

CONSERVATION MANAGEMENT PLAN REVIEW

“OLD GOVERNMENT COTTAGE”

Original CMP date June 2002

Updated April 2016

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Including notes on “Old Government Cottage” and its possible connection with the government tannery by Dr. Robin McLachlan.



Figure 1 View of the 'old government cottage' September 2015

Executive Summary

The original 2002 Conservation Management Plan was commissioned by the Bathurst City Council. Known as 'Old Government House' or 'Government Cottage', the building was listed as being of State Significance and urgent works were needed at that time to stabilise and conserve the building. This CMP has now been updated in February 2016, under the auspice of the Bathurst Regional Council.

In 2002 it was believed that the construction of this building was ordered by Governor Macquarie during his visit of 1815, and that the building dated from 1817. However the 2002 CMP and subsequent research has not revealed any evidence to support the Governor Macquarie involvement, and the date of construction is suggested as between 1846 and 1850 after this parcel of Government land was sold into private ownership.

The building is currently used by the Bathurst Historical Society as a museum, which is opened to the public most Sundays. It is furnished generally in the context of an early Georgian cottage and in this way provides an appropriate home for many items of moveable heritage. It is also set in a period appropriate garden which adds significance to the setting.

The cottage was for many years, in fact most of its life, intimately connected to, and part of, the house at 1 George Street. Presumably for some years before this it was a standalone cottage representing an earlier period.

What is fascinating about the house is its strongly perceived 'significance' as a 'Government Cottage', and sometimes even as part of the 'Old Government House'. It is described as such in many past publications, and it is difficult to take that status away from this cottage without considerable concern. Because of this, time has been spent looking for a link between this building and the early Government era of Bathurst's first settlement.

It does have one undeniable link. It is constructed on land that once formed part of the first Government settlement of Bathurst in 1815, and it is located opposite the Macquarie River bank where the convict gardens provided the food crops for the early Corps.

Its long association with 1 George Street should be respected. Where possible this link should also be maintained. The earliest possible date that could be put on the cottage in the writers opinion is 1834, but it seems unlikely that it existed prior to 1846 to 1850 when the land was sold into private ownership.

This still means it is amongst the earliest dwellings within Bathurst City. Most of the other survivors from that era are the houses of the landed 'gentry', much extended and improved since, on the outskirts of the city. So this cottage is especially important as an example of an ordinary man or women's home of the period, which has seen little change to its essential fabric.

There is still mystery associated with the cottage. We cannot say for certain who built it or why. Whether it was built for a lady's residence and girl's school on the edge of town or was a remnant of a tannery as suggested by the Bathurst and District Historical Society. There remains interesting questions as to the ultimate significance of this building.

The area on which the cottage sits, its curtilage or setting, has been largely eroded. However its main aspect, facing towards the Macquarie River, remains open and uninhibited, and should be maintained.

Considerable improvements were made in the garden setting of the cottage for the Bathurst Bi-centenary fulfilling the recommendations and policies of the 2002 CMP (p61,62) with regards to *Improving the setting of the building by improvements to the landscaping and historical collection components.*

The Bathurst Gardeners Inc. group designed and implemented the historically appropriate garden, providing a suitable context for this colonial - early Victorian cottage and allowing for visual appreciation of the cottage from Stanley Street. At the same time the external collection has been rationalised having now a much smaller selected collection of suitable items in the setting.



Figure 2 View from Stanley Street. Image: BJ Hickson.

The historical Society have reviewed the 2002 CMP and its history, and carried out their own further research. Their position recorded in a publication states:

'The cottage was once thought to be an 1817 dwelling from Governor Macquarie's new settlement at Bathurst, however research has shown it to be a kitchen wing, or perhaps a tannery, from probably the late 1840s. Even so it is a rare survivor from this period in Bathurst's history. There are very few buildings still standing in the town from this period.'

Dr Robin McLachlan comments on the building further as follows:

Extant evidence does not allow us to establish the date or purpose of the construction of the cottage at 16 Stanley Street. James Bligh may have built it sometime between 1847 and 1850, or Miss Falloon in 1850 to serve as school premises, or in the mid-1820s to serve as the house for the Government Tanner. There is no conclusive evidence to support, or to dismiss, any of these possibilities.

Further research is warranted given the possibility this cottage may be the sole surviving building of the Government Settlement precinct. This research might include a more detailed expert examination of the building and its grounds. Dr Higginbotham, the AMP archaeologist, suggests that an examination of the top course of bricks in the external walls might help set a date for the building's construction. As well a renewed search for contemporary records and maps in NSW State Records and the Mitchell Library might recover additional information, including perhaps the map prepared for the leasing of the tannery in 1828.

The following sign designed for the recent Settlement Heritage Trail in Bathurst best describes the position of the Bathurst & District Historical Society and historian Dr Robin McLachlan. That is 'the origins of Old Government Cottage' remain a mystery.



Figure 3 Sign from the 2015 Bathurst Government Settlement Trail.



Figure 4 Location map.

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1.0 Introduction

1.1 Outline of task required.

This document sets out to be a guide to the management, repair and future use of this building and to review for original 2002 CMP.

1.2 Study area

The study focusses on the 'Old Government Cottage' which is situated at 16 Stanley Street Bathurst, Lot 1 of DP788005. The cottage was located on parts of Lot 6, and Lot 7, Section 20 A. Lot 6 was originally approximately 2020sm. These two Lots were subdivided a number of times and is now divided into 6 separate titles. Old Government Cottage now sits is Lot 1 of DP788005, created in 1989. The area of this lot is approximately 500 sm.

Because of its intimate connection with 1 George Street, known as 'Macquarie House', this place too has been included in the historical account. 1 George Street was separated by title from the 'Old Government Cottage' in 1989, and stands on Lot 2 of DP 788005.

1.3 Methodology

This Heritage Assessment is made in accordance with the Burra Charter and The Conservation Plan by J. S. Kerr, with contents based on the Heritage Office document 'A suggested Table of Contents for a Conservation Management Plan'.

1.4 Limitations

This study has been undertaken by one consultant only, Heritage Architect, Barbara Hickson. There is also acknowledged input from historian Dr Robin McLachlan.

The initial study period was July 2001 to May 2002 with a number of site visits from 30th August 2001 to Sunday 12th May 2002. Then the review was undertaken in September 2015 to February 2016 with site visits on 3rd and 17th September.

The period of the study (CMP) covers from the early colonial settlement to the present day.

1.5 Authorship

This study was undertaken by Barbara Hickson, Architect and the Heritage Adviser to Bathurst Regional Council.

1.6 Acknowledgements

In the 2002 study, and the 2015 update, considerable assistance was received from:

- Geoff Smith (Historical Society),
- Janet Bingham and John Jordon and the Bathurst City Council,
- The late Councillor Wardman (Councillor at the time of the Olympic Pool Construction), Mr. Peter Chadwick, Historical Officer, Land Titles Office, Sydney,
- The late Theo Barker (Historical Society),

- Deirdre Bacon (former owner of 1 George St, 2002) and Ian Pratley (former owner of 1 George St).
- Dr Robin McLachlan. Historian.
- Mrs Barbara Bacon (present owner of 1 George St, 2015).

2.0 CONSERVATION MANAGEMENT PLAN

2.0 Understanding the place

2.1 Gathering Evidence

Evidence for this Plan has been obtained from a number of site visits; 7 August 2001, 30 August 2001, 13 September 2001, 12 March 2002 and the 12 May 2002, and again in 2015 on 3 and 17 September. Photographs and/or measurements were taken of the cottage on each visit.

Other documentary evidence includes Parish Maps, various legal documents pertaining to sales of the land, wills, deeds and mortgages, a report by the Historical Society on the history of 1 George Street, survey and subdivision plans, sewerage plans and various historical publications and books.

Some of the evidence for the historical outline has been oral evidence gathered from a number of interviews with people interested in either the 'Old Government Cottage' or 1 George Street. While this evidence is considered secondary evidence, it has been important in the writing of this history, in an attempt to fill gaps in the history of this place. A list of these people is included in the acknowledgements above.

2.2 Chronology of events

The following chronology of the historical evidence of the cottage includes both physical and oral evidence, primary evidence (plans and surveys) and here-say. In fact any evidence pertaining to the possible provenance of the cottage is included in an attempt to gather all possible history of this place. There has been considerable effort to find more evidence.

The history of the cottage is based on the present state of knowledge, however, there is still unanswered questions about this cottage. More evidence may well change the view of the history that is expressed there.

It seems certain that this cottage was not part of the government establishment however historian Dr Rob McLachlan and the BDHS maintain that it may have been part of the early government Tanner's establishment. Refer to Part 2.5 for more detail.

Because the cottage has long been purported to be part of the 'Old Government Cottage' of the Macquarie era the history begins there.

1806

Governor King was succeeded by Captain William Bligh RN, a British admiral, who is most famously connected with the 'Mutiny on the Bounty'. Bligh is a harsh commander and remained in office as

the Governor for only two years being removed from office in 1808 as a consequence of the Rum Rebellion. He returned to England in 1811. Bligh died in England, the father of six children.

Bligh is also included in this history because the first private owner of the land on which the cottage sits is one James William Bligh, almost his namesake, and perhaps a relative.¹

1808

Governor Lachlan Macquarie replaced Bligh. He was a Scotsman by birth and the fifth Governor of the Penal Settlement of New South Wales. He was intensely interested in excursions, and soon after an exploratory run by Assistant Surveyor George Evans in 1813, he determined that a road should be built to the well-watered extensive Bathurst Plains².

1815

Under the guidance of William Cox, a party of twenty eight convicts and six soldiers constructed the rough road through to the Bathurst Plains by January 1815, and shortly afterwards Gov. Macquarie, his wife and his large retinue of some seventy people set out upon it. The tour took three weeks, covering 140 miles in length from Sydney, and it was on this trip that Macquarie founded the town of Bathurst, named it after the Secretary of State, Lord Bathurst, sited on the Macquarie River, named after himself. The 'founding of Bathurst' in May 1815 was recorded in a watercolour painting attributed to John Lewin, showing the place on which the flag was raised as being beside the river with rising hills across the background, and which is quite possibly the same area as became the Ordinance Ground in the first surveyed plans.³

Lord Bathurst was critical of surveyor Evans' poorly detailed descriptions of the landscape during his journeys, and so Surveyor-General John Oxley was appointed to continue the investigations inland. With, two botanists and a party of experienced bushmen, he set out to discover more about where the inland rivers ran from the Bathurst Plains.

1817

John Oxley describes the settlement at Bathurst as having a '*substantial brick building, thatched, for the Commandant, with the ground fenced in, and the stock-yard shows the abundant produce of the last harvest.*'⁴

The Government House and associated buildings, including the Commandant cottage, Commissioners store, Military Barracks are either now built, or under construction. (The 1833 Govt. surveyor's plan locates these buildings. The Commandant's cottage was probably one of the buildings indicated on that plan near the Commissioner's store, and had they existed today they would stand in or near William Street.)

¹ As yet I do not know if there is any connection between James William Bligh and the Governor Capt. William Bligh, but it would make some sense if there were).

² Ref 4

³ Ref 1

⁴ Ref 1

1818-1824

Richard Lewis who was a 'free man' and who had accompanied Evans on his trip, was left in charge as 'Superintendent' of the new settlement, with some six soldiers and six convicts and looked after the settlement until 1818.

Early in 1818, William Cox took over the management of the new settlement and was appointed to '*act as Magistrate and Commandant to the country west of the Blue Mountains*'. He was replaced by Lieutenant William Lawson 18 months later in 1819, and then Captain Fennell was appointed Commandant and Magistrate.

1817-1819

In December 1817, with the prospect of a pension after eight years of service, Macquarie tendered his resignation to Lord Bathurst, which was declined. Then in 1819 John Thomas Bigge arrived in the colony having been appointed by Macquarie to inquire into the affairs of the Colony. A year later (1820) Lord Bathurst accepted Macquarie's resignation.⁵

c. 1822

Thomas Fitzherbert Hawkins with his wife and family arrived at Bathurst after an arduous journey across the mountains. Hawkins had been appointed Government storekeeper at Bathurst, and their first home was the store keepers residence.' Mrs Hawkins described the 1822 scene as follows '*we crossed safely and got to our 'Home'. It consisted of three rooms- brick floors- two rooms in front with a skillion room behind one and a pantry behind the other, with a ladder to the loft....*' (this description does not fit 'Old Government Cottage')

Mrs Hawkins continues: '*the settlement consisted of Government House of four rooms, our own three, a courthouse, a Barracks for a few soldiers, Government stores and a good garden*'.⁶

Again there is nothing here that fits the description of the 'Old Government Cottage'. The home referred to was probably one of the buildings indicated on the 1833 Govt. Surveyors plan near the Commissioner's Store and if they existed today they would stand in, or near, William Street.

1821- 1824

Governor Macquarie returns to Bathurst in 1821, when he presumably stayed in the original Government House or the Commandants cottage. (One of several brick buildings built for the Commandant).

The Macquarie's left Sydney for England on the 15th February 1822.

In 1819 John Thomas Bigge had been appointed by Lord Bathurst to conduct an inquiry into the affairs of the colony. His report was very critical of Macquarie, with the result that when Macquarie returned to England he was unable to secure the pension that was now his due, and his great need.

⁵ Ref 1

⁶ Ref 1

He finally received the promise of an annuity in May 1824, but, physically exhausted and ruined financially, he died five weeks later aged 63, in his London Lodgings.⁷

1826

1826 is the date that an apricot tree, close beside 'the cottage', is purported to have been planted by Alan Cunningham, the Government Botanist. The tree has been checked, as far as it can be, by visual inspection and confirmed as 'a very old tree' by the expert. (Verbal: Ref Historical Soc.) It is conceivable that, as this area is close to the 'convict gardens' beside the Macquarie River that an orchard existed here that contained such a tree. Alternately Miss Falloon, who lived at Govt. House and then presumably moved to this site in 1851 brought the tree or seedling with her.

1826 -1837

After Capt. Fennell, Charles William Wall was appointed Commandant and Magistrate, and with his wife and daughter Eliza Jane, settled in Bathurst in September 1826. (It was CW Wall's great-grandson, the Governor of NSW, Lieut. Gen Sir Eric Woodward, who was later to open the 'Government Cottage' as a museum in 1965).⁸

It is believed that each of these administrators lived in the original Government House.⁹

When C.W. Wall was appointed, the colony was under the rule of Governor Brisbane. Governor Macquarie was recognised as a man who gave credit to the transportees for their hard work, and the part they played in opening up the new settlement. He often rewarded their good conduct with tickets-of-leave and free pardons, and Governor Brisbane followed his example¹⁰.

Governor Brisbane was followed by Governor Darling, who tried to suppress the transportees, but was soon recalled to England in 1831. Then followed Governor Bourke, another supporter of emancipation. He ruled from 1831-1837, admitted newspapers to the Legislative Assembly and recognised the importance of a growing free community. Largely as a result of his rule transportation of convicts ceased in 1840 to New South Wales.

By 1841 only 20% of the population were convicts in NSW.

Governor Wall continued to govern the settlement until Major General Stewart of Mount Pleasant, Bathurst, arrived two years later (1828).

⁷ Ref 4

⁸ Ref 3 Lieut. General Sir Eric Woodward's speech at the opening of the cottage in 1965

⁹ Ref 3

¹⁰ Ref 7

1827 Engraved brick

At 1 George Street, on the upper floor verandah, is a brick set in the wall, engraved in small nails: 1827.

Who made or placed this brick in the wall, or if it holds any significance to buildings on this site is unknown. This brick may relate to some earlier structure, or the construction of the cottage, or simply have no significance at all.



The poor workmanship of the brick insertion, the fact that it does not appear to be a clay brick of the period, indicates that it has been inserted into the wall after the wall's original construction.

Figure 5 engraved brick on the upper level of 1 George Street

1828

There is some belief that the cottage is the sole surviving building of the Government Settlement precinct dating from 1828. Dr Higginbotham, the AMP archaeologist, suggests that an examination of the top course of bricks in the external walls might help set a date for the building's construction. If the bricks lack a frog, or indentation, then it may or may not be the tanner's cottage. As well, a renewed search for contemporary records and maps in NSW State Records and the Mitchell Library might recover additional information, including perhaps the map prepared for the leasing of the tannery in 1828.

1828 - 1835

In 1828 the settlement was governed for a short time by Major-General Stuart. Bathurst was growing strongly under the Squatters who took the leading role in these colonial times. Development of self-government was carefully managed by the Squatters. In 1828 a Council formed from this powerful squatting class were empowered to veto the Governor's decisions, if they so wanted. (Originally the Governor chose the Council members himself, but by 1842 this council became two thirds elective). On this background it was natural that it was the Squatters who owned the principle buildings that have survived from that period in Bathurst.

These early buildings include the original parts of the 1830's homesteads of Walner, Westbourne, Blackdown, Alloway Bank, Ardsley, Strath or Mount Pleasant, Rainham (1833), and closer to the urban centre: Kelsoville or Broombee. Also 'The King William Inn' (1835) the former offices of Evans Shire Council, and the Holy Trinity Church (1835) at Kelso were built at this time.¹¹

1832

In 1832 The new governor, General Sir Richard Bourke, visited Bathurst in October. He instructed the Surveyor General Major Thomas L. Mitchell to make arrangements for '*opening the town of Bathurst without delay*', and Mitchell instructed the Assistant Surveyor at Bathurst J.B. Richards to lay out the blocks and streets. This was done in September 1833.

¹¹ Ref 8

It is believed that Major Mitchell named the streets, and that George Street was named after King George III.¹² It is likely that Stanley Street was named after Lord Stanley, who at this time was the Secretary of State for War and the Colonies, and who introduced measures to abolish slavery in the Empire in 1833. (Ref B. Baskerville)

1833 Plan for the Town of Bathurst

The town plan signed by Surveyor General Major Thomas L. Mitchell, 19th Jan 1833 shows the present site of 'Old Government Cottage' as part of the un-sectioned government land, and not a town allotment. The original Government house, military barracks, commercial store and other buildings are clearly shown on the government site, however to the west of the Government House site, no improvements are indicated on the site of 1 George St or behind it, in what is to become 16 Stanley St.

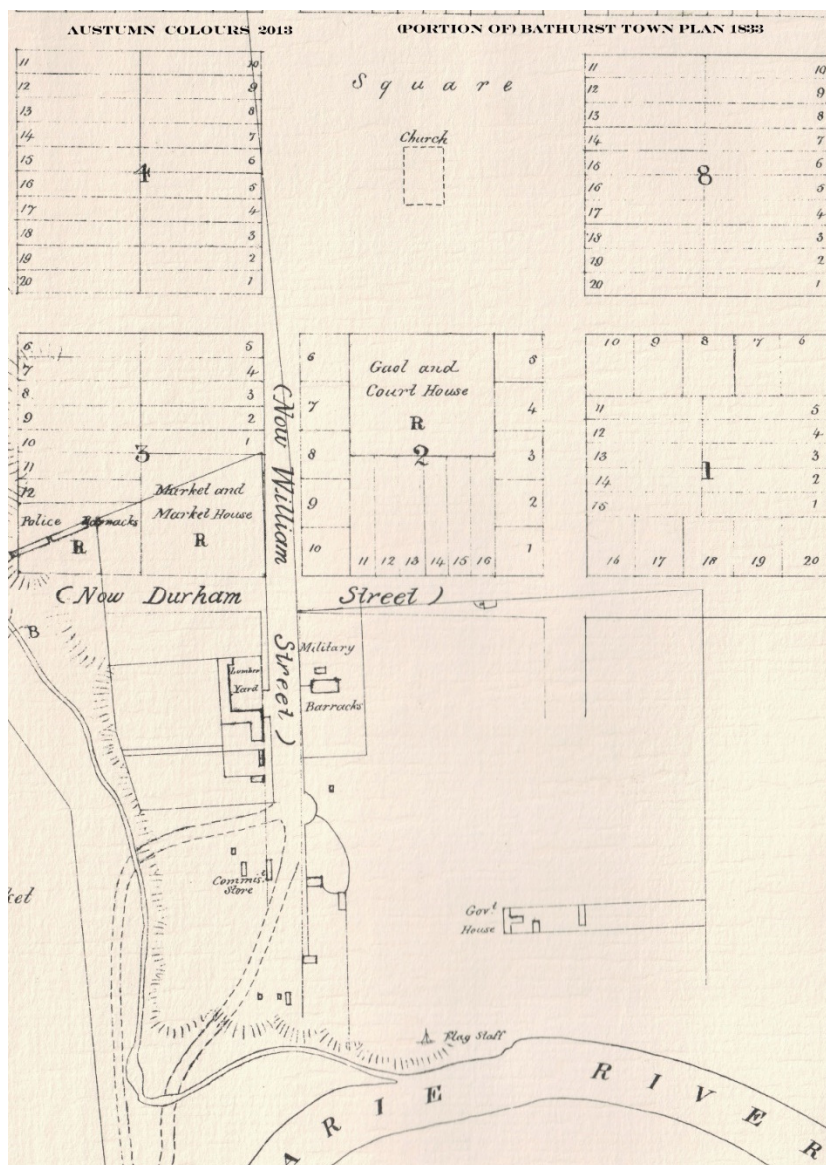


Figure 6 Part of Mitchel's 1833 Plan of Bathurst

¹² Ref 1

1844 Government House was used as a temporary church of England

In 1844 the real Government House was used, at least in part, as a temporary church. The SMH reports: *'Although the adjoining town of Kelso possesses a very neat church, the more important town of Bathurst is wholly destitute of that very essential building, but divine service is performed every Sabbath in a temporary place of worship in the old Government House, and we are given to understand that a church will very shortly be erected, the site having been already marked out'*¹³.

The Sydney Morning Herald¹⁴ further reports : *On Saturday last, His Honor Mr. Justice Stephen was met by Major-General Stewart, Colonel Morisset, and the principal gentry of Bathurst, about two miles from the township, and was thus escorted to his quarters at Rotten's New Inn, the Queen Victoria, where the judicial party arrived at about half-past three pm. His Honor, whose health seemed to have been not at all affected by his journey over the mountain roads, was accompanied by the High Sheriff, the Criminal Crown Solicitor, and Alfred Stephen, Esq., the Clerk of Arraignment.*

On Sunday forenoon, His Honor and suite attended divine service at the temporary church, in the old Government House, Bathurst, where the Assize Sermon was preached by the Rev. Mr. Sharpe.

1844 December - Government House rooms pulled down

Some of Government House in Bathurst were pulled down in 1844.

The members of the Church of England are seriously inconvenienced for want of a suitable room to assemble for divine service on Sunday, whilst the new church is building, as the room formerly used for this purpose, in the old Government House, has been pulled down. ¹⁵

1846 Crown Plan

This plan was drawn up for the subdivision of Crown land and for its subsequent private sale. It appears that when the Plan was drawn, that Stanley Street was formed for the purpose of access to new allotments. The Plan indicates the land opposite along the Macquarie River, are gardens, and a small circle near the land, to the north-east, indicates some improvement, perhaps a well. Unfortunately it is not annotated and now forms part of Stanley Street. There are no buildings indicated, but neither was this a condition of these Plans to show such improvements. Sometimes they were shown, but with the surveyor presumably very busy working towards many new allotments at that time, it would not have been important to him. (Ref: Peter Chadwick: of the Land Titles Office).

In this Plan, Section 6, running parallel with Stanley Street was divided into ten equal lots, each 2 chains x 2 chains 50 links. The site of 'old Government Cottage' is part of Lot 6 and part of Lot 7.

¹³ SMH **Friday 5 April 1844** p 3

¹⁴ SMH **Friday 29 March 1844** p 2

¹⁵ SMH **Friday 6 December 1844**

1847 Deeds

On 5 November 1847 Lot 6, and all lots 1 to 10 in section 20A, were sold to James William Bligh a solicitor. The purchase price of Lot 6, the corner Lot, was £10, while its neighbour Lot 7, was sold for £7.

Bligh, who lived in Bathurst from 1841 to 1851 was presumably a speculator in land. He bought at least 20 other allotments in the vicinity of this Section. The Historical Section of the Titles Office have provided the full list of prices for lots in this section. These are placed in the lot positions of Section 20A as follows:

Lot5	Lot4	Lot3	Lot2	Lot1
£8.Us.4p	£6	£5	£4	£4
Lot6	Lot 7	Lot 5	Lot 9	Lot 10
£10	£7	£4.Us.4p	£6.6s.8p	£11.6s.8p

Because of the variation in prices, it is possible to imagine that these lots were offered by auction. Initially not much bidding on Lot 1, the first corner lot. But as the bidding passes along the street towards the next corner to Lot 5, the prices generally rise. They go even higher at the next corner Lot 10, then decline again until finally only one block is left in the Section, the last corner, Lot 10, which now has the strongest bidding and sells for the highest price £11. 6s. 8p.

The variation in the figures are not as diverse as they first seem, with each price being a whole, one third or 2 thirds of a pound. You can imagine the auctioneer saying we will take a 'third of a pound ladies and gentleman', when the bidding stalled.

(If it is supposed that an existing dwelling, the 'Government Cottage', existed on this site (Lot6), then the purchase price of 10 pound does not indicate this, in comparison to prices for the neighbouring blocks. The higher price paid for corner blocks generally seems only to represent the additional value that a corner block with two street frontages, provides. (Ref. Peter Chadwick of the Land Titles office.)

1847

8 September 1847 a public meeting was held at Mrs Mary Black's Inn following a request from 65 householders that the question of a market for Bathurst should be discussed. A Market site had been shown on the 1833 town plan, but there were some who preferred the site of the Town Square. The matter was in the hands of the Market Commissioners, whose duty was to control and regulate any market that might be officially established. These commissioners were James Morisset, Edward Austin, JW Bligh, MS Finley, J Simmonds and Peter White who were elected on 30th Dec. 1847. Bligh was secretary.¹⁶

¹⁶ Ref 9

1847-48

James William Bligh may have built a cottage on the land at this time for himself, for a tenant, a caretaker, or he may not have built on the land, as it is understood he was primarily a speculator.

1850- 1851

James William Bligh subdivided and sold the land. Slightly less than half of the lot 6, section 20A was sold to Miss Anne Marie Falloon in 1850 for £25.

She at this time was the tenant at the real 'Government House' which was soon to be put up for sale at 'public auction' on 4th June 1851.

Lot 6 had cost Bligh £10 and so his sale of half that block to Miss Falloon three years later represents a reasonable profit of £15 for half a block. It does not appear to be sufficient profit to include an improved block of land with an almost new cottage on it, but it is possible! And if a cottage did exist, the subdivision of Lot 6 may have been planned to allow for this cottage to be hived off.

Miss Falloon was probably aware that she must soon vacate the rented premises at Government House and so purchased the land (and possibly a cottage) from J.W. Bligh meaning to make herself comfortable in a new cottage close by her existing home. If a cottage was purchased, she may have carried out the additions to the west which were shown on the 1916 Sewerage plan.

1857-60

There was a conveyance of land from Ms Falloon to Mr John Ford for £75 ,and this does seem to represent an 'improved capital' price with an increase of £50. Soon Mr. Ford built his own house, the present house at 1 George Street. Construction commenced in 1859, and was presumably completed in 1860. It used the cottage behind as part of the house.

The 'cottage' behind gives all the physical appearance of an older more humble construction than No1 George Street¹⁷. Part of that cottage is still attached to the rear on 1 George Street.

Mr Ford included the cottage at the rear in his new house of 1859, and perhaps improved it to serve as a kitchen and servants quarters for his new main house. In 1862 Ford is registered as a resident in that area of Bathurst.

1859

According to a pencil inscription beneath a timber fire place mantel piece in a front room of 1 George Street, which reads 1859 -Jacob Toole, this is the date of construction of this house. (Ref: Previous owner Ian Pratley when the fire place as disturbed during repairs).

1860 Parish Map: Town of Bathurst

Section 20, which is still divided into 10 equal lots, including Lot 6 is shown as originally owned by J.W Bligh. The land opposite on the river bank is shown as R as 'recreation'.

¹⁷ eg Plan layout, brick paved floor, small span pitched roof.

1860

The Bathurst Times on 28th Feb 1860 refers to 'Old Government House' (see Photostat at cottage). (The real Government House is still in existence at this time).

1875

By 1875 Macquarie House was owned by John Andrew Gardiner.

1882 Parish Map

Section 22 is shown as it was in the 1860 Parish Map. The land opposite Section 20, on the river bank was dedicated on 13 March 1877 for 'Public Recreation' and is shown thus on the Parish Map.

1883

April 1883, John Andrew Gardiner of Wellington, sold the property to John Henry Ratcliffe Ford, a Bank Clerk of Bathurst (and the son of a former owner) for the sum of £1300. The site is described as being one hundred and ninety two feet to George Street, and one hundred and seventeen feet six inches to Stanley Street.

1884-1887

From 1884 to 1887 'Macquarie House' as it was then known, served as one of the Ladies Colleges of Bathurst.

Bathurst High School started operating in 1884 first only as a boys school, and then as a boys and girls section from 1885, but by 1887 it was forced to close due to lack of students. This may also have been because of rival schools including the 'Pixie Ladies College', in Upper William Street under the direction of Miss Keyes, and this establishment of 'Macquarie House for Young Ladies' under the direction of Mrs. Mackenzie'.¹⁸

1891

1 August 1891, conveyance of part of the land from John Henry Ratcliffe Ford to Alfred Gordon Thompson (Solicitor and Trustee) for MA Ford and SP Ford.

1895

In 1895 an indenture of mortgage is held by Alfred Gordon Thomson (Solicitor and Trustee). A.G. Thomson was at that time Bathurst Council's Solicitor, and an active member of Bathurst's Progress Association.

Over the next few years other mortgagees included Elizabeth Elms, M.L. Davidson, (1895), H. McPhillamy and Chas. R. McPhillamy (1905).

1908

Alfred Gordon Thomson died 6 July 1908, leaving as heir Mary Ann Ford and Samuel Percy Ford and exordia Minna Augusta Thompson.

¹⁸ Ref 1

1912 Parish Map : Town of Bathurst

All Lots in Section 20A, shown originally owned by JW Bligh. The land opposite on the river bank is shown as R. for 'Public Recreation, dedicated 13 March 1877'.

1916-1917 Council's Sewerage Linen Plan No 28.

The Council's Linen plan of Sewerage is believed to date from 1916-17. This plan shows 1 George Street and the 'Old Government Cottage' at 16 Stanley Street as one building in outline. Beyond this is the outline of another building on the same site, which is likely to be the original coach House and/or stables. Over this building is drawn the later house and the fence line indicating one of the subdivisions of the original block of land.

The owners name is pencilled on the plan as Mrs J Ford.

John Henry Ratcliffe Ford died on 13 January 1917 and was buried at Kelso cemetery .

Probate was granted to Arthur Francis Grace in 1917.

1918 Photograph

Included in Theo Barker's Illustrated History of Bathurst, is a photo taken looking across the Macquarie River at this site. (refer Figure 3). Entitled "Manly" it shows the side on view of No1 George Street, the Old Government Cottage to the right (behind), and further to the right again a large 'stables' building. The Government Cottage group in the photo can be compared to an image from today. The 'cottage' appears longer than the building is today, (and in the Council Drainage of 1918 it was 20% longer) and no trees obscure its central section. However large trees do obscure No 1 George Street. The stables building has since been replaced by a house built in the 1950's.

1918 Advertisement

20 April 1918 the local paper has an advertisement for a property. This advertisement could refer to No: 1 George Street which described it as a 'fine two storied brick residence, with verandahs and balcony, built at the rear of 'old Government House' and with 'a 99 foot frontage to George Street, and opposite the Ordinance Ground' advertised 'on account J.B. Richards'. Also included was 'a three stall stable, coach house, fowl house and a well of excellent water.' ¹⁹

(It is not certain that this house is 1 George Street as there is no record of a JB Richards²⁰ in connection with the land. The old Government House referred to here, was shown on the 1833 survey on the south east corner of the Ordinance Ground. The corner of the allotment today containing the Public Olympic Pool. As noted earlier the Original Government House on the 1833 plan consists of a U shaped building plus a rectangular building to the east which, if existing today, would run parallel with 1 George Street and be further south at approximately No 5. Perhaps this building is the one alluded to in an advertisement of 1918.)

¹⁹ Reference Bathurst Historical Society

²⁰ At this stage this property of old Government house would be in the ownership of the Ford family.

1922 Parish Map: Town of Bathurst

The site of the 'old Government Cottage' is still shown as surveyed as Lot 6, of section 20, by J.W. Bligh but the land opposite on the river bank is now shown as R. for 'Public Recreation. dedicated 13 March 1877'.

1923

Mary Ann Ford and Samuel Percy Ford sold the property to Charles William Griffin, an Apiarist from Granville, for the sum of £720.

The count of rooms in the rate books of 1923 shows that the house contained thirteen rooms, and hence that the 'old cottage' behind formed part of these premises.²¹

1943

26 May 1943 the property was transferred from Charles William Griffin (who had owned it from 1923 to 1943) to James Bligh Hastings from Longreach in Queensland, a descendant of James Bligh. A mortgage to Griffin continued until discharge 17 January 1947. The mortgage was then transferred to The Commercial Bank of Australia, which was in turn discharged on 22 June 1964. (Ref: Deeds and Docs: No 23839).

1945

The date notated on a council sewerage plan as the date that the Government House was demolished. See attachment 11.

1949 Survey Plan

10 July 1949 Survey Plan shows on Lot A the 'two storey brick Macquarie House' on the corner of Stanley and George streets and the 'old brick' single storey building behind. They are joined by only a wall line. The single storey building crosses the boundary of Allotment B (No 3 George Street) by approximately 1.5 metres. To the north west, and on the next allotment in Stanley St an 'old brick stable' is shown behind a weatherboard shed. (This generally is the same form as shown in the 1916-1917 Council's Sewerage Linen Plan No.28).

1949-1952

Between 1949 and 1952 the portion of the 'old Government Cottage' that was now running over the side boundary is demolished, and a new fibro house built.

1952 Survey Plan

16 January 1952 a check of boundaries and measurements on lots 6 and 7 of Section 20. This indicates in writing the 'old 2 storey brick house, Macquarie House' on the corner, and a 'new fibro house' on the lot next door at 3 George St. It also shows that at this date there is no building or part of building infringing the boundary between 1 and 3 George St.

²¹ Reference Bathurst Historical Society

1955

A verbal date given as date when the final remains of the original Old Government House burnt down.²²

1958

In images taken in 1958 the physical remains of the cottage show a roof lined with pressed tin tiles in very poor condition, possibly white washed with lime, and with various vines climbing on the structure.



Figure 7 Images taken of the cottage in 1958 by Rutherford. Courtesy BDHS and DR. Rob McLachlan.

1964

1 George Street (Lot A of a subdivision of parts of Allotments 6 and 7 of section 20A) was bought by the Bathurst City Council (Mayor: Ald. Parnham), and was given in use to the Bathurst Historical Society.²³ It was stated in an article by Mrs J. Rutherford in the Bathurst Historical Society's 1968 Annual Magazine that 1 George Street then:

'Consisted of two parts: the two storey section still known today as No1 George Street, and the single storeyed wing behind being described as 'the only remaining building authorised by Governor Macquarie' after his visit in 1815, when he proclaimed the town and town site of Bathurst, and where he stayed in his farewell visit in 1821 and where he wrote a letter headed 'Government House, Bathurst', a photostat copy of which be seen there.

The first official mention of the cottage known is Oxley's reference in 1817 to a 'substantial brick building, thatched, for the Commandant. The other one is a two-storeyed brick building facing the street, built by John Ford in 1860.

A great effort by both members and helpful friends enabled us to open both buildings during the Sesqui-centenary Celebrations in March 1965, and now two years later, the outside walls of 'Old Government House' are in order and we hope that soon the agreement with the firm who have restored St Matthews at Windsor, for the complete restoration of the old cottage, will be signed. After that is done, and the cottage finished as it should be, we hope to do more for the larger place, which houses our main collection.'

²² *ibid*

²³ (Authors note: I have been unable to locate any details of the building agreement in BCC).

The article goes on to say that at that time *'the museum is open on Wednesdays and Sundays from 2pm to 5pm and on Saturdays from 10am to 5pm.'*

1965

A DPC and subsoil drainage was then installed by the Council, according to Geoff Smith, and he wondered if this had led in turn to the movement in the walls.

A grafted tree from the original apricot tree planted.

In the cellar of the cottage the wrought iron rails belonging to No1 George Street were found, and returned to that house.²⁴

1965 Opening

On 24 March 1965 and Lt.-Gen. Sir Eric Woodward opened the cottage (at No: 1 George St) as Bathurst Historical Society's Museum.²⁵ and Bathurst Historical Society 1968, Annual Magazine.



Figure 8 Wall plaque installed at the Governor's visit

At that stage the Western Advocate recorded the following:²⁶

Bathurst District Historical Society plan to develop a museum based on the two storey building fronting George Street, Government House at the rear, and a third building still to be constructed, and intended for the societies larger exhibits, such as ancient vehicles.

Already a great deal of money has been spent acquiring the site and its two buildings and part of the essential restoration work.

It is estimated that another £15,000 is needed to properly establish and launch the project and the society plans in the near future to make an appeal to the people of Bathurst and district for the necessary funds.'

This work included the construction of the new brick and wrought iron fence (using panels of iron from the cemetery, and the original linkage to the house at 1 George Street was altered to incorporate a toilet and laundry. A full verandah to the rear of 1 was also built at this time but may have incorporated earlier brickwork.

²⁴ Ref: Geoff Smith

²⁵ Ref 1 page 245 and Bathurst Historical Soc. Annual Magazine 1968.

²⁶ Ref 3

1972

In 1972, with Dr Brookmoore as head of the Historical Society, major restoration were undertaken at the cottage by builders from Penrith ('someone' and Irons) and the furnishing of the cottage in 'period' style. This included:

- The pavement bricks in the floor were turned over
- The roof was shingled in Canadian timber shingles . Prior to this it was flat iron tiles with ridges and valleys that overlapped at the edges.
- A kitchen was built onto the rear of 1 George Street (which did not have its own at that stage).
- The buildings, 1 George and 16 Stanley, were separated.

1977

The cottage was photographed with a shingle roof and face brick walls. The building received some attention including the removal of vines from the walls. A front footpath was laid in brickwork leading directly to the back of No1 George St. There appeared to still be a brick structure connecting the two buildings.²⁷

1982

A similar photograph as described above



Figure 9 View of cottage in 1982

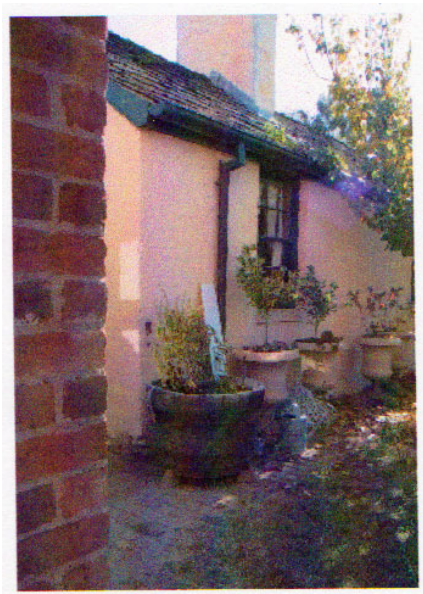


Figure 10 View of cottage in 2002 Image: BJ Hickson

1989 Subdivision Plan

5 Jan 1989 plan shows the 'old system' subdivision of Lot A, being the corner allotment on Stanley and George St. The single storey brick building, and the two storey brick building Macquarie House are shown within the boundaries of the blocks. The two buildings are co-joined with a narrow section of building, indicated as of masonry construction. A new portion B, 14.265 M wide is shown across the south-west

²⁷ Ref 6

boundary without any encumbrances. (Earlier, part of the single storey building had covered part of this land).

By now a number of subdivisions of the original Lots of land have occurred, breaking the original Lot 6 into four separate portions.

1989

The lot containing Macquarie House is sold to Mr. Ian Pratley, a Bathurst resident and Antique dealer. Ian carried out some extensive repairs on 1 George street including the reconstruction of a badly cracked north wall, the removal of a tree believed to cause the problems there, a new window to the south side and the reframing of the rear verandah roof to provide more pitch.

1989

In 1989 The Bathurst Heritage Study was undertaken. At that time the 'Government Cottage' at Stanley Street had come to be well known as 'Old Government House'²⁸, and yet the 'Archaeological reports' and the 1833 plan, identified the site as being clearly on the other side of George Street, in what had been part of the Ordinance Ground. The consultants concluded that the Government House had been 'relocated'.²⁹

1990

Further renovations to cottage.

2000- 2001



Figure 11 Rear view of cottage towards 1 George St.
Images: BJ Hickson



Figure 12 Rear Chimney, possible former working space with oven.

²⁸ Ref 6

²⁹ Ref 8

Plans to extend 1 George St, by architect Margi Fallen, with a new garage and loft over are submitted to Council, approved, and constructed.

2002

Repair works to the cottage and a Structural Assessment were carried out. (see Council files). This included reroofing and repairs to brickwork, replacement of callow bricks and repairs to cracks.

2.3 References to Chronology

1. Greaves, Bernard 1976, 'The Story of Bathurst', pub Angus and Robertson, Chronology of events, p. 52, 245.
2. Bathurst Historical Society 1968, Annual Magazine, p.8 and 9.
3. Western Advocate Thursday March 25 1965 p.1-3, 11.
4. Broadbent, James and Hughes, Joy. 'The Age of Macquarie' 1992 'Melbourne University Press' p. 1, 2, 16, 59-73.
5. Bathurst Historical Soc. Inc. 'Old Government Cottage in Stanley Street, behind No: 1 George Street' Brochure. May 2000.
6. A Short Story of Bathurst, 1977. Western Printers Bathurst.
7. Barrett, Charles. Ed. 1954 'The Australian Junior Encyclopaedia' Vol 1. pub. The Australian Educational Foundation.
8. Bathurst Heritage Study 1989.
9. Theo Barker; A history of Bathurst Vol 1 p. 180-182. 1992 Crawford House Press.



Figure 13 Restored front door.



Figure 14 Door detail showing worn brick showing 'picked' brick work that was formerly rendered, and worn section of brickwork at door way indicating knife sharpening. Images: BJ Hickson

2.4 Brief History

There is evidence that the 'Old Government Cottage' did not exist in the period up to and including 1833. This evidence includes the Govt. survey of buildings 1833 and descriptions of the Government buildings prior to that, which do not fit with the physical description of this building.

From 1833 to 1846 there is still strong circumstantial evidence that the 'cottage' did not exist, in that when the land was divided into allotments and sold into private hands in 1846 to James William Bligh, he did not pay a price that indicated an improvement existed there; the price for Lot 6, the corner lot, was £10, while Lot 7 in Stanley Street, was £7. However, the BDHS has since stated there is some evidence that a Tannery existed and that the Tanner may have had a dwelling in this location.

There is also a slight possibility that this James William Bligh built the cottage. He was a descendant of Capt. William Bligh: (Governor 1806), and he was to all accounts a 'well to do' man, and land speculator. He had bought this entire Section 20A of 10 lots along with 10 lots in Section 19A, and 10 lots in Section 19, and possibly others. He lived in Bathurst from 1841 to 1851 and in 1847 was secretary to the 'Market Commissioners' for Bathurst.

In 1833 the town plan of Bathurst showed a reserve for a 'Market' in Section 3, but there was much debate as to whether this site, or the central Town Square was the best suited to the purpose. Bligh would obviously have had a great deal to do in this matter, as Secretary of the Market Commissioners, with respect to the control and regulating of the local market. In 1848 he is still in the fore of public life in Bathurst, being elected to a public committee for the establishment of a town common.³⁰

In 1851 JW Bligh left town, but the year before this Bligh sold the land in question for £25 to Miss Anne Marie Falloon, who was then living in the rented, real, Government House. Miss Falloon presumably built or improved³¹ the cottage in order to move into it by June 1851, when her rented premises were sold at auction.

So, it was in 1846 to mid-1851 that this simple long 'Georgian' style cottage was probably constructed. Additional circumstantial evidence for this comes from the fact that its fabric and style appear older and more primitive than the residence at 1 George Street, and since No1 was built in 1859-60, it follows that the cottage was probably built as long before that date as possible.

This long low cottage probably consisted of four rooms: kitchen, living room, bedroom and a separately entered store room with shallow cellar or clamp, below. Later, in Ford's time, there was probably more rooms, or roofed spaces added, perhaps beneath a skillions roof, as shown in a the 1916-17 Sewerage Plan.

This sewerage plan and survey plans up to 1949 indicate that the cottage was some 13 to 14 ft wider (3.9-4.2 m) for a section of approx. 50ft long (15M) to the south west side. That is, its roof or floor area then covered an additional 700 s. ft (or about 77 sq. metres) .

³⁰ Ref 9

³¹ The property was probably unimproved in 1846 – but there is a small chance a cottage of some size was built by the time of its sale to Miss Falloon in 1851.

In 1857 the property was sold by Falloon for £75 to John Ford, of Kelso, and William Phillip Mylecharane. John Ford was known as a local banker and Coach proprietor, and was probably also the same John Ford who owned a steam flour mill in Kelso in 1851.

In 1859, according to an inscription on a fire place surround in No: 1 George St, the house at George Street was built, or at least commenced, by Jacob Toole (carpenter and Joiner) for Mr. Ford.

Whether the new house at No1 was built over part of an earlier house is not known, but it certainly joined with the earlier 'cottage'. In this way the 'cottage' formed the kitchen and store rooms, and possible staff area for the new 'gentleman's residence' and so was to be an integral part of that house for almost 130 years until its subdivision in 1989.

This whole property became known as 'Macquarie House' in the later part of the 1800s. The former original Government House still stood nearby in the ordinance grounds, although by then it was reduced in size and in ruin. (Part of it was demolished in 1844).

In 1875 the house was bought by John Andrew Gardiner. He resold it six years later in 1883 for the sum of £1300 to John Henry Ratcliffe Ford, a bank clerk of Bathurst and the son of the former owner John Ford. John Jnr probably grew up in the house and presumably decided to purchase it for sentimental reasons. However it was not then used as a house but for the next 3 or 4 years served as the Ladies College of Bathurst under the guidance of Mrs Mackenzie. Its rival college was the Pixie Ladies College in upper William Street.

In 1890 John Henry Ratcliffe Ford died and Alfred Gordon Thomson, a solicitor and trustee, came to control the property through mortgage loans. AG Thomson was an important local man, the Bathurst's Council Solicitor, and an active member of the Bathurst Progress Association alongside such men as James Rutherford, WH Webb and Thomas Machattie.

After the Ladies College closed to business, the house was presumably used again as a residence. When in 1908 AG Thomson died, title to the house passed back to JHR Ford's heirs: Mary Ann Ford and Samuel Percy Ford.

This remained their home until its sale in 1923 to Charles William Griffin, an apiarist formerly of Granville, for the sum of £720; a considerable loss on the purchase price of £1300. Griffin kept the house for 20 years, selling it in 1943 to James Bligh Hastings, a descendent of James William Bligh, a man from Longreach in Queensland, who came to retire in Bathurst. It is understood he lived upstairs in the house, renting out part of the ground floor to another occupant.

Gradually over the years the land connected with this property dwindled, with portions being hived off to make more and more allotments. However up until 1949 at least, the house together with its rear wing cottage appears to be the same size that it was in the 1916 sewerage survey, and presumably for most of its life before this.

Then, between 1949 and 1952 portion of the rear cottage was demolished to make way for further subdivision, as Hastings sold off another allotment.

In 1964 the Bathurst City Council purchased the building, passing on the property to the Bathurst and District Historical Society for its use as a Museum. Some repairs were carried out at that time and plans put in place for further repairs in the future.

At that stage the Historical Society had quite grand plans for the property envisaging *'the complete restoration of the old cottage.'* and then *'to do more with the larger building, which houses our main collection'* ³². And then to build a *'third building, intended to house the society's larger exhibits, such as ancient vehicles'* (Ref p. 2 Western Advocate 25.3.1965).

A great deal of effort went towards these ends and in 1972 major restoration work on the cottage were undertaken including the re-shingling of the cottage roof (probably believing shingles to be the original covering); conservation work on the paved floor and the construction of a kitchen in the rear of 1 George Street. This made 1 George Street self-sufficient from the cottage, which up until that time had provided the only kitchen facility for the house as a whole.

In 1977 the cottage was face brick building and connected to 1 George Street. At some stage the lower walls of the cottage had been rendered³³ or stuccoed, up to 12 or so courses. This was probably due to deteriorated mortar in the wall through rising damp. The walls were then painted, or lime-washed, a light cream colour. This render still exists on the former cottage kitchen wall adjoining the rear of Macquarie House, while it was removed from the 'Government cottage'.

In 1987 Macquarie House had fallen into disrepair with considerable damage in the form of cracking and movement occurring to its north eastern wall facing Stanley Street. Public controversy erupted as to the fate of this building. While the building was considered 'beyond repair', to many the idea of demolition was publically unpalatable, although some people were opting for it. Finally in 1989 the Bathurst City Council sub-divided the property with the 'cottage' being left on one parcel, and retained as a museum by the Historical Society.

1 George Street on the other hand was then sold to Mr. Ian Pratley who was keenly interested in 'saving' the building, and proceeded to carry out major repairs to this significant house including the removal of a problem tree, and reconstruction of a large portion of the North Eastern brick wall. After structurally

securing Macquarie House, Mr. Pratley sold the house to Mr. and Mrs Bacon.



Figure 15 Old government cottage with shingle roof on 2002. Image: BJ Hickson

³² Ref 2

³³ Photos in 1958 show the walls rendered half way up.

2.5 Notes on “Old Government Cottage” and its possible connection with the government tannery by Dr. Robin McLachlan.³⁴

I have been asked to provide some advice on the possibility that the cottage at 16 Stanley Street, known as ‘Old Government Cottage’ (OGC), may have been built and used as the “Tanner’s Cottage” in association with the nearby Government Tannery, established in 1825. Most of the information provided here is taken from the report provided to Bathurst Regional Council in 2013 as part of the Archaeological Management Plan for the Bathurst Government Settlement site.³⁵ Some additional information has been included that was found since researching and writing that report.

The observations offered here support the essential finding in the 2002 Conservation Management Plan by Barbara Hickson that OGC is not the historic Government House, built prior to April 1818. However, there is a possibility that it may have been built in the mid-1820s as a cottage for the Government Tanner.

2.5.1. The OGC is not Government House but equally its origins are not known.

SUMMARY: There is no evidence that the OGC was Government House, but, equally, there is no documented evidence that the building was not built prior to 1850-51, when it was first reported occupied by Miss Falloon for use as a school and residence.

It is a simple matter to establish that the OGC is NOT the Government House built under Governor Macquarie’s instructions of 1815 by referring to any one of a number of government maps and plans for the settlement prepared from 1818 onwards. Without exception, all of these maps and plans place Government House on the other side of George Street, roughly between the Aquatic Centre and the eastern side of George Street and to the south of the Stanley and George streets intersection. Two outbuildings at the back of Government House were on land compromised with the extension of George Street later in the century, and consequently demolished. No structure connected with the Government House precinct is shown on the site of the “Old Government Cottage” at 16 Stanley. (For example, *Map 117 Plan of Bathurst* (1833))

In the mid-1960s, the Bathurst District Historical Society (BDHS), assisted by Sydney-based experts, wrongly identified the cottage at 16 Stanley Street as the original Macquarie-era Government House. As outlined in the 2002 CMP, this conclusion was arrived at by misinterpreting advertisements in the local press in 1848 concerning the location of Miss Falloon’s girl for schools. (15 July 1848, *Bathurst Advocate*) These advertisements gave the school as being in “Government House”, which was correct at that time. However, Miss Falloon soon lost her leasehold on Government House and, at short notice, relocated her school and residence to a building on a nearby allotment she purchased in February 1850, of which 16 Stanley Street formed a part. An incorrect assumption was made by the BDHS that the two buildings were one and the same. (A summary of this argument will be found in the leaflet provided for OGC by the BDHS, prepared by this writer.)

What is not known is whether the “new” school building was an existing building or was built by Miss Falloon following her purchase of the land in 1850. The land in question was only released for public

³⁴ Chintola Pty Ltd “Bandoola” 1566 Mitchell Highway. Bathurst, NSW 2795

³⁵ R McLachlan, “A Delightful Spot” *A Brief History of the Government Settlement at Bathurst, NSW 1815-1840*, Vol 2 in E Higginbotham & Associates, *The Government Settlement at Bathurst, NSW (1815-1840) Archaeological Management Plan* (2013).

purchase in 1847, with the initial owner being James Bligh, who purchased a number of neighbouring properties. If it was an existing building, it is possible that Bligh may have built it between 1847 and 1850. However, there is also a possibility it may have been built in the mid-1820s as the cottage for the Government Tanner. To date, no document evidence has been found to support, or disprove, any of these theories.

The 2002 CMP noted that there is no evidence in the 1847 sale price of the allotment (Lot 6, £10) reflecting the added value of a cottage relative to the prices reached by other allotments in Section 20A, all known to be without buildings. This is a reasonable assessment but some caution may be warranted. The average sale price for the ten allotments was just under £7, individually ranging from two at £4 to one at £11/6/8. As suggested in the 2002 CMP, the slightly higher than average value of lot 6 might be explained by it being a corner block with two street frontages and it would be reasonable to expect that an existing building would have seen an even higher price. (Lot 10, another corner lot with no building, fetched the highest price.) But, we cannot be certain as to the knowledge of the prospective buyers, other than what was on the town plan. This would have shown a corner block but not an existing building. Did the prospective buyers know what was on the lot? With buyer awareness in mind, we don't know the physical arrangements for the land sale, for example whether by public auction in Bathurst with land on view or off the plan by sealed tender in Sydney. As well, we don't know the social dynamics of the land sales. The purchase of allotments in that precinct was dominated by a handful of buyers, with James Bligh being the most active. Bligh was the purchaser of all ten lots in Section 20A, suggesting he had command of the sales. All of this may have helped to keep prices low, thus limiting any added value a small brick cottage on a corner lot might have attracted - if it existed and if it was known to exist. (*SRNSW: Map 1424, The Town Plan of Bathurst, 1846*, Brindley, 1846).

2.5.2. Establishment and History of the Government Tannery

Summary: The Government Tannery, operational from 1825 to c.1837, extended into, or was at least peripheral to, the site now occupied by OGC. The tannery complex is known to have included a “Tanner's Cottage”, built between 1825-28.

A tannery was established in 1825 by Commandant John Fennell (c.1790-1826). Work commenced on its construction in March of that year, within weeks of his arrival as the newly appointed commandant. (*SRNSW: NRS 897, Col Sec's Papers [4/1800]*, pp.53-60; Reel 6065) He reported on 2 September that work on the “tan pits” was finished. By mid-September, the tannery was operational. (*SRNSW: NRS 897, [4/1801, 17 September 1825]*).

The location of the tannery is shown on several maps and plans prepared in the 1830s by the Surveyor-General's Office, available in the collection of the State Records of New South Wales.³⁶ No maps or plans prior to 1835 showing the tannery have been located.

Roughly speaking, the tannery was on a site between Rankin and George streets, extending from the Macquarie River across Stanley Street into the allotments fronting that street. The land occupied by OGC at 16 Stanley Street looks to be just within or on the periphery of the tannery site. Although the footprints

³⁶ For example, *SRNSW: NRS 13886 (Surveyor-General's Sketch Books), Sketch of the Govt. Tannery at Bathurst (1835)*, Vol.3 folio 21; and, *Sketch showing the Govt. Tannery at Bathurst ...1837*, folio 72.

of the tannery's building complex and its ponds are shown on the abovementioned maps, unfortunately nothing is individually identified.

The Tannery operated as a government run undertaking until at least mid-1828, at which time it was put up for private lease. The decision to do so would have been in keeping with the wider decision to wind up the settlement's agricultural activities.

An advertisement in the *Sydney Gazette* (9 May 1828) offered a seven-year lease on the "Government Tannery", **"together with the Tanner's Cottage**, and other necessary works appertaining thereto, including an adjoining Lagoon". **This reference to a "Tanner's Cottage" is the earliest and, to date, the only documented reference found to the existence of a "Tanner's Cottage" in the settlement.**

However, there is a reference to a "hut" in an 1829 report. It was listed with the tannery in a comprehensive building report for the entire settlement prepared by the Superintendent of Public Works for Governor Darling, dated January 1829. The entry reads, "Tannery of 6 pits, weather board and shingles with a hut adjoining all in a good state of repairs." No further details were given. Whether one man's "hut" is another man's "cottage" is open to debate as this report lists a number of smaller residences as "huts" and classifies Government House as only a cottage. (Mitchell Library: (uncatalogued item in) ML Mss DDLADD 203, *Report on a Survey of the Present State of the Public Works and Buildings at Bathurst* (January 1829))

The research for the wider study of the Government Settlement precinct, as summarised in the report for the Archaeological Management Plan, did not reveal any purpose or reason for the building of a cottage, or hut, in that area, other than to house the tanner. This area was on the extreme edge of the settlement and, with the tannery alongside, was not a salubrious site for anyone but a tanner to reside.

The tannery, including presumably the cottage or hut, was under lease by 1830 to John Shaw Strange, a former convict and boot maker by trade. A notation on the 1837 plan, noted above, states the tannery is "Now leased to John Shaw Strange for 7 years from 15 February 1830. (SRNSW: NRS 13886, Vol.3 folio 21) The life story of John Shaw Strange, a convicted terrorist, is well documented, establishing him as one of the settlement's significant residents. His connection with the "Tanner's Cottage" contributes to the possible heritage significance of the OGC.

A separate memo from the Colonial Secretary to the Surveyor-General, dated 15 August 1837, notes that the tannery was at that time under lease to "one Strange at Bathurst". This memo concerned the proposed sale of the tannery, together with a half an acre of ground, to Strange. The sale appears not to have been approved, but rather, on the recommendation of the Surveyor-General, "the materials only of the buildings shall be disposed of". It is not clear, however, whether the "Tanner's Cottage" was included in either Strange's offer of purchase or the later demolition sale. (SRNSW: *Colonial Secretary Copies of Letters to the Surveyor-General*, 4/3919 37/501)

This recommendation not to sell the tannery was possibly connected with a preference to keep the area intact pending proper surveying into allotments and subsequent sale. The proposed demolition sale of the building materials suggests the Government Tannery may have ceased operations with the end of Strange's seven-year lease. No further reference to it could be found in documents researched.

2.5.3. THE NON-APPEARANCE OF THE TANNERY ON EARLY MAPS

Summary: Maps and Plans of the time offer no information on the location or layout of the tannery prior to the late 1830s, but this absence can be explained in context.

The tannery does not appear before the mid-1830s as an identified site on any of the maps or plans consulted for the AMP study. Significantly, the tannery is absent from the series of maps prepared to assist the drawing up of the first Bathurst township plan, prepared by J Larmer in 1832. The tannery is also absent in Larmer's town plan. (*SRNSW: Map 1423, Plan for the Town of Bathurst*, J Larmer, 1832.)

Larmer's township plan shows only a riverside reserve, opposite Stanley Street, identified as "Tannery Reserve". His plan may well have initially shown the tannery. However, the only known surviving copy was used as an accretion, or compilation, office copy with content erased or altered to record later information, until replaced in 1846 with a new town plan. By 1846, reference to the tannery on maps and town plans had disappeared with the appearance of Stanley Street and the row of new allotments fronting the street.

There may be a two-part answer as to why the tannery was not mapped until the late 1830s, more than a decade after its establishment. To begin with, no new map or plan of the settlement appears to have been prepared during the second-half of the 1820s, the time of the tannery's first years of operation. Thus, when drafts of the town plan were being prepared in the early 1830s, the tannery very likely would not have been shown on the office copies of any earlier maps used to provide the base map for the new town plan. Relying on existing information provided by earlier surveys and maps for copying onto new maps was an established practice. As well, the tannery was outside the area south of Durham Street to be surveyed for private sale, lessening the need to note it on the maps being prepared for the surveying of the new township of Bathurst. The tannery was also by 1830 under private lease and, consequently, may not have appeared on the inventory of government buildings to be noted on the maps drawn up for the new township. In any case, the tannery is not shown on the three plans prepared between 1831 and 1833. (*SRNSW: Map 1421* (1831), *Map 1422* (1831), *Map 1423* (1832)& *Map 117* (1833)) This may be because, quite simply, there was no pressing reason to show it on those plans. We know the tannery existed at this time and it would have been known to the surveyors, if only by smell.

This absence of any mapped reference to the tannery before 1837 is relevant to the question of the location of the Tanner's Cottage.

2.5.4. THE LOCATION OF THE TANNER'S COTTAGE

Summary: There is no map or document evidence found to date to show where the Tanner's Cottage was located, or where it wasn't located.

The Sydney Gazette advertisement, 9 May 1828, offering the leasing of the tannery refers to a tanner's cottage. The advertisement also refers to "a plan of the Premises and of the Lagoon" being available. Finding this plan would likely resolve the question as to where the tanner's cottage, built sometime between 1825-1828, was located. A concerted attempt to find this plan in State Records, including with the direct assistance of State Records staff, has proven unsuccessful. No map or plan has been found showing the location of the tanner's cottage. Other than the 1828 advertisement and the previously mentioned 1829 building report, no other documents have been found specifically mentioning a cottage or residence at the tannery.

The tannery maps from the late 1830s, as discussed above, do show a connected cluster of unidentified structures within the tannery worksite, but none of which is obviously suggestive of a cottage. Given the polluted conditions of a tannery and the availability of nearby land, it is not unreasonable to suppose the cottage might have been located a little distance away but still within close proximity of the tannery. The OGC fits well with this scenario.

2.5.5. THE EVIDENCE OF THE BUILDING

Summary: Circumstantial evidence supports the need for further investigation of the building as possibly being the “Tanner’s Cottage”.

The size and the layout of the building is more likely that of a workman’s cottage, rather than that of a structure purpose built by Miss Falloon in 1850 to serve as her residence and boarding school for girls.

The location of the building, together with its layout as a residence with a separate store or workroom, suggest it could possibly be the unaccounted for “Tanner’s Cottage” of 1828. It is a more basic residence compared with the Superintendent’s House and Government House, both built in the previous decade, and is appropriate for someone of a lesser standing in the government hierarchy.

The extensive wear on the bricks by the front door, possibly from knife or scraper sharpening, is in keeping with it being the residence of a tanner over a period of at least a decade. Tannery tools were valuable and would have been kept safe from pilfering, with some likely brought home for routine sharpening and safekeeping. Alternatively, the wear may be from domestic knife sharpening as the building was used as the kitchen for many years by the neighbouring house at 1 George Street. The storeroom may have served as a lock up for tannery tools - or perhaps naughty girls during Miss Falloon’s occupation. Or, it may have served as a food store when the building was used as a kitchen.

It has been suggested by locals that the extant building is only part of a much larger structure, now demolished. No evidence has been found in support of this view. Local lore, encouraged by Sydney experts, led to the building being wrongly identified as Government House, where Macquarie supposedly stayed on his visit in December 1821.

2.5.6. 6. CONCLUDING COMMENTS:

Extant evidence does not allow us to establish the date or purpose of the construction of the cottage at 16 Stanley Street. The cottage may have been built by James Bligh sometime between 1847 and 1850, or by Miss Falloon in 1850 to serve as school premises, or by the colonial government in the mid-1820s to serve as the house for the Government Tanner. There is no conclusive evidence to support, or to dismiss, any of these possibilities.

Further research is warranted given the possibility this cottage may be the sole surviving building of the Government Settlement precinct.

This research might include further expert examination of the building and its grounds. Dr Higginbotham, the settlement AMP archaeologist, has suggested that an examination of the top course of bricks in the external walls might help set a date for the building’s construction.³⁷ According to Dr Higginbotham, frogs in the bricks would likely indicate a building built after 1825-28. The absence of a frog, however, would

³⁷ In various discussions with R McLachlan, 2015.

only be circumstantial evidence of a pre-1840s building, as bricks from demolished early buildings were sometimes recycled in later constructions.

As well, a renewed search for contemporary records and maps in NSW State Records and the Mitchell Library might recover additional information, including perhaps the map prepared for the leasing of the tannery in 1828.

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September 2015

2.6 History in site plan form

The way the land was developed over the years shows the way the curtilage or setting of the building group was eroded. The following diagrams are based on various plans: Parish Maps, Survey, sewerage and sub-division plans. The 1864 plan shows no building however, as per the notes above, it is a possibility.

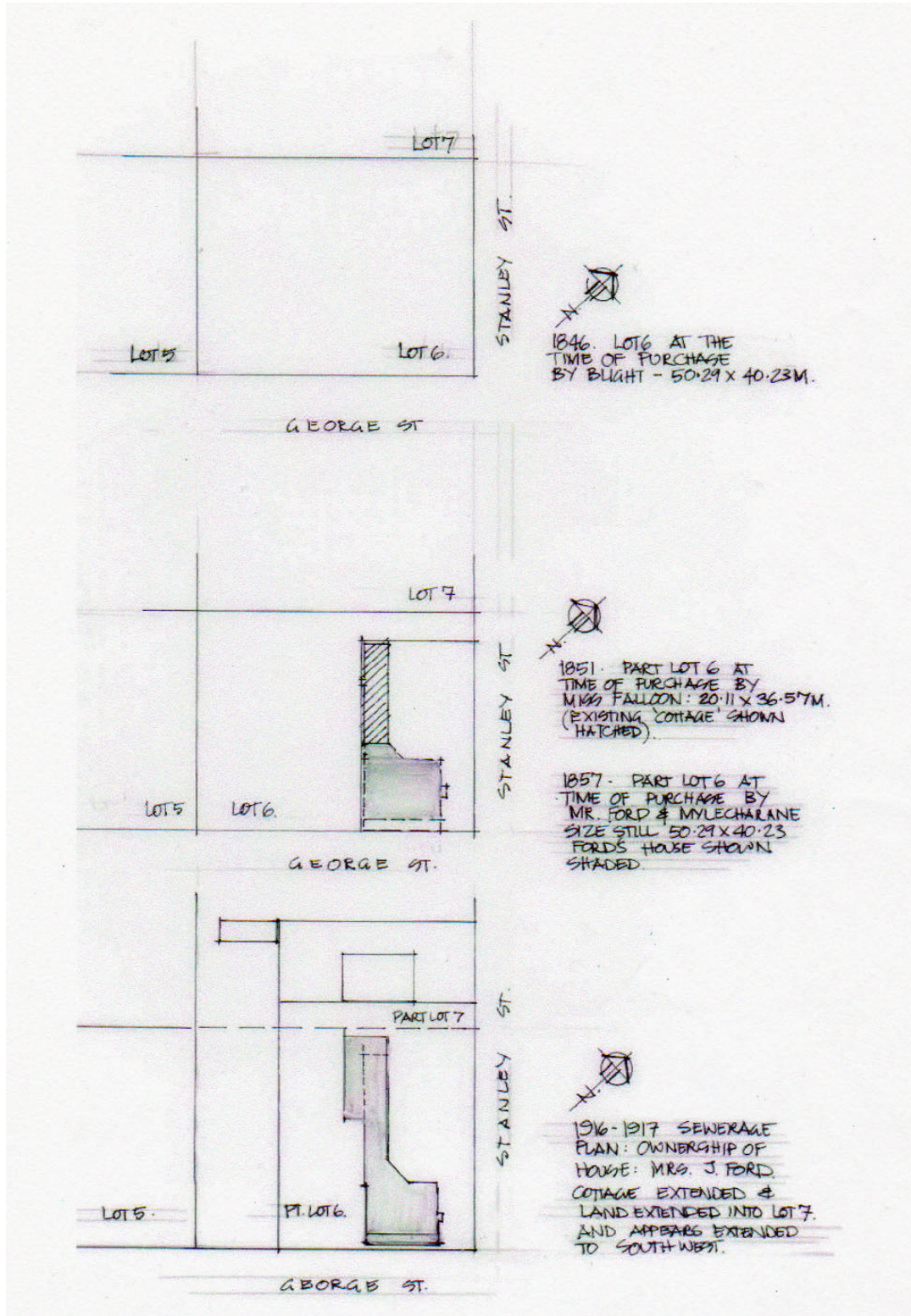


Figure 16 Progressive Site Plan. Drawn by BJ Hickson

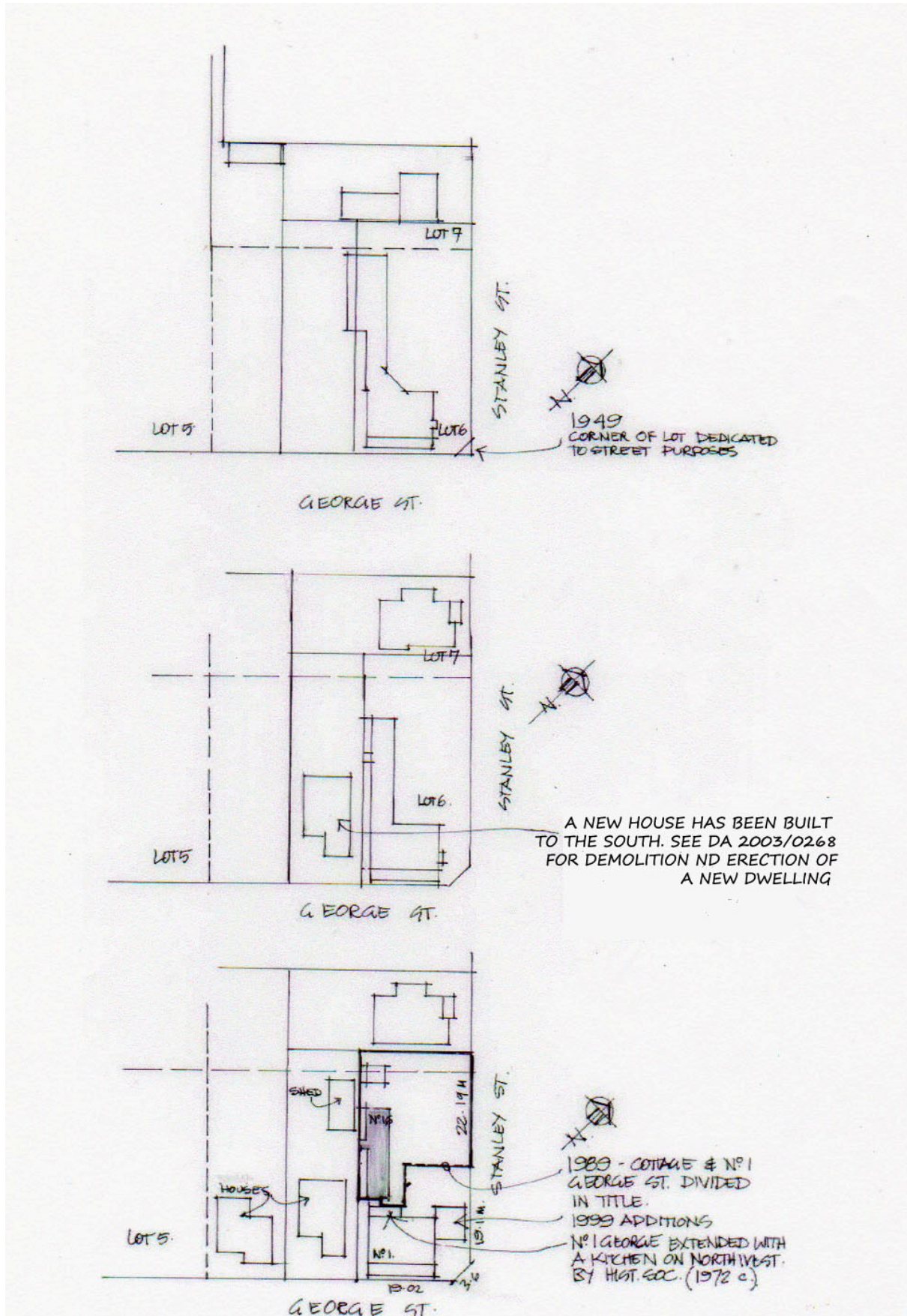


Figure 17 Progressive Site Plan. Drawn by BJ Hickson

2.7 Physical Evidence 16 Stanley Street

2.7.1 The cottage

The cottage at 16 Stanley Street was examined over a number of site visits, with two of those visits including the interior.

The following pages include photographs and measured drawings from those visits.

2.7.2 Description

The cottage is a single storey building of solid brick construction in Flemish garden wall bond. (every second course is plain stretcher bond). It is 18.5 metres long and 4.1 metres wide, divided into 4 rooms in a straight line on plan.

This simple straight plan suggests a very early, or at least pre-Victorian era house.

The room at the north-west end is 3.7 x 3.2m, separately entered by a front door with no internal access to the remainder. Its floor is concrete, or concrete screed over paving. It has one window to the front, facing Stanley Street. A waist deep cellar, or clamp, is entered internally by a set of stairs. The room appears to have been constructed as a store, with the cellar for cool storage of perishable foods, such as root vegetables. The steps down were covered for safety reasons in the first years using the cottage as a museum, but in 2015 the BDH society members were planning to open up the steps with a side handrail.

The remaining three rooms are interconnected. The room at the far south east end is a small room (approx. 3.7 x 3.0m) containing a fireplace and was believed to be a kitchen area for cooking and/or food preparation. Its floor is brick paved. It has 3 doors. They lead out towards 1 George St, towards Stanley Street and another that leads in towards the central room. One window faces the front and Stanley Street.

The central room is the largest (approx. 3.7 x 8m), and it too has a fire place at one end. Its floor is brick paved. It has a 'front' and 'back' door, and at the back, a chimney and cooking area attached to the back wall. The front of this room has a central door and window set to each side. It would have been a room to live and dine in.

The next room is small again (approx. 3.7 x 3m) and is only accessible from the central living room. The floor is timber boarding. It too has a window to the front and is likely to have been used as a bedroom.

The front elevation of the cottage is as symmetrical as the plan would allow with well-spaced double hung timber framed windows, with six lights per sash.

The wall heights appear low, without eaves and with an above standard door height of 2400mm with windows set at the soffit of the eaves. At the base the wall thickens with an additional course of brick work to form a dado line.

There is sparrow pick marks on the front facing brickwork up to 12-15 courses indicating that an earlier render or stucco. This can be seen in 1958 photos (see Fig 15, 16) but has since been removed.



Figure 18 1958 Rutherford Image: wall detail and roof showing rendered lower section of wall and peeling or flaking paint above. Metal tiles on the roof, Courtesy BDHS



Figure 19 1958 Rutherford Image showing 1 George Street in the back ground, The poor condition of the brickwork and plants attached to the walls can be seen. Courtesy BDHS

The roof is pitched at approx. 40 degrees, and was clad in timber shingles in 2002 when the first CMP was written. The roof is now clad in corrugated iron.

The shingles were Canadian timber, and were installed as part of c.1972 restorations, and were selected because 'shingles' were believed to be the original roof cladding. At the time the Historical Society came into possession of the cottage however the roof cladding was metal tiles as shown in the photographs above. This type of cladding came into limited use in about 1840- 1850.³⁸ The metal tiles were a large 'pan' with rolled edges, typically laid on boards and fixed with metal clouts. Such tiles were also used to

³⁸ http://www.environment.sa.gov.au/files/28d88d43-bc84-4ba3-b9ce-9e2900d01748/early_roofing2.pdf

upgrade earlier shingle or bark roofs. One brand was 'Morewood and Rogers' tiles. Local tin tiles may also have been hand made. A surviving metal tile roof on a former bank in Sofala was made in Britain and retains its maker's mark.

Corrugated iron, as a popular profile, became common some two decades later after the coming of railway transport to Bathurst.

This means that the tin tiles removed from the roof in c.1972 may have been the actual original roofing material.



Figure17 Flat tile roof on the former bank building at Sofala , circa 1870
Photograph taken September 2015. Image: BJ Hickson.

The external walls are paint finished or lime washed in pale cream which was applied after 1982.

The house is furnished inside in appropriate period furniture as a house museum . The furniture has been provided by the Historical Society and so is not original to this building. The perimeter of the wall appears to have had a damp proof course inserted into it. Internally all walls appear lightly bagged and again are painted off-white. The ceiling is canted to partially follow the slope of the roof and then flattens in the centre. (Mansard shaped). Its joints are plain set.

There is one large chimney on the house, with two fireplaces below it.

On the eastern end of the building is damaged and re-worked brickwork indicating the demolition of some earlier structure. (ie The wall connecting this cottage to 1 George Street). In the western corner of the site is a small gabled, timber framed and weatherboard clad building constructed by the Historical Society since 1965.

2.7.3 Cracking

The inspection in 2002 revealed the cottage has been damaged in recent years by a number of cracks. Photos and a diagram shows the location of these cracks. The main cracks, which generally show movement were at the fire place (back to back in the kitchen and living rooms) and the south-east end wall.

Other than the wall cracks there were also ceiling cracks between the walls and ceiling for most of the perimeter. The structural defects were worse near the south-east end.

What was the cause of the cracking? Presumably the house remained fairly stable for approximately 120 years. Then a number of events occurred that may have destabilized the house:

1. The site was properly drained. Gutters and down pipes picked up and the stormwater and were piped away from the building. This good drainage was probably introduced to reduce rising damp. However any change in the substrata, the foundation area, in reactive ground conditions such

as this clay foundation, will lead to movement in the ground due to the shrinkage or swelling of the ground dependant on weather conditions.

At the west end of the cottage the ground is still subjected to some stormwater concentration from a neighbour's roof that had no gutters and sheds rainwater directly onto the ground. It is in this area that the cracking is minimal.

2. Repairs and re-cladding of the roof was carried out on the cottage and perhaps this altered loads on the roof as the roof was battened over and shingles added.
3. The end wall that previously had some masonry connection to 1 George St. was demolished and a load change occurred.
4. Another suggestion from the Historical Society was damage due to an earth tremor in December 1989 (Newcastle Earthquake).
5. The old fruit tree (Apricot) that grows close to the damaged area may have acerbated the problem. But the structural report by Baker Saran Engineers (2003) indicated its affect would be minor.

The cracks appeared to be fairly consistent over a period of 6 months in 2002.



Figure 20 2002 image of cracking internally



Figure 21 Most of the internal cracking has been repaired or filled. Some small cracks reappeared on chimney above. Images: BJ Hickson

2.7.4 Rising Damp

The original cottage is solid brick construction without a damp proof course. Naturally there would be nothing to stop ground water salts from rising up into the brick walls with subsequent failure of a number of the softest, callow, bricks. As noted above the site was drained to reduce rising damp and a damp proof course appears to have been inserted all-round the perimeter. The earlier rendering of the lower courses indicates an aesthetic repair to damaged mortar.

The cottage was painted with a water based paint.

Bricks had deteriorated to approximately 15 courses above ground. Approximately 25 bricks (approx. half) had almost fully disintegrated in the 2002 inspection. Those bricks had lost their entire surface face, could not receive paint, and were generally very soft and fretting away rapidly. They were replaced.

Once 'rising damp' is arrested, it does not mean that the old bricks will stabilize completely. They contain much salt and attract moisture to themselves directly out of the air especially on rainy days. When bricks

are to be replaced with similar aged old bricks, the replacement bricks should be de-salinized before re-use.

2.7.5 Roofing

The shingle roof reached the end of its life and was replaced with corrugated iron c. 2012. It should last many decades but in future restoration a flat roof of metal tiles, such as the one that were removed in 1965, should be considered as a better choice. However they are not readily available.

When roofing is replaced it will provide an opportunity for any structural stabilization that is required, and these two activities should be co-ordinated.

2.7.6 Structural Report

In October 2003 the Bathurst Council received a report on the structural condition of the building, including cracking, by Baker Saran, consulting civil engineers of Orange NSW.

They made a number of recommendations as follows:

- Repair the roof cladding and guttering
- Repair internal floors and re-level pavers
- Divert storm water into existing mains
- Correct site drainage by regrading away from the dwelling
- Remedial works to rising damp
- Provide additional downpipes

Most of this work done under the care and supervision of councils' staff before repairs to walls and rising damp were carried out.

2.7.7 The Cottage Garden

A low maintenance garden existed in front of the cottage until 2015 which included a number of fruit trees, shrubs and a large portion of lawn. The garden is accessible from Stanley Street through a double gate.

As part of the 2015 bi-centenary the new garden was designed and established which better suited a museum of the late colonial period. Gravel paths with brick header courses wind through a low growing landscape of herbs and flowers.

Among the trees the very old apricot tree is retained, close to the centre entrance door. It is commonly held that this apricot tree was planted by the Government Botanist Cunningham. While this is unlikely it is possibly a seedling of from an earlier planted tree and another seedling was added in 1965 to commemorate the opening of the museum in that year.

The front fence consists of brick piers with wrought iron panels between the piers. The panels are believed to have been formerly at the Bathurst cemetery.

Archaeology:

Note: There is potential for archaeology in future ground works if the surface, or sub-surface is to be disturbed through gardening or services. If there is any proposal to disturb the surface of the ground an archaeological assessment is required. Refer to the Bathurst Regional Council for further advice.



Figure 22 The Bicentenary garden August 2015. Image: BJ Hickson

2.7.7 Site Signage

Signs on, and to the site, need to be reconsidered in wording in light of this CMP. An interpretive sign has been proposed in 2015. There is now an interpretations sign adjacent to the site. See figure 3.

The former onsite sign proclaimed the site as part of Government house, but currently the signage is soon to be renewed.



Figure 23 Former Site Sign in 2002 Image: BJ Hickson

2.8 The Physical evidence of 1 George Street

2.8.1 Description

This house is a separately and privately owned two storeyed house in full brick construction. The brickwork is in full Flemish bond with some tuck-pointing on George Street facade.

The style of the house today appears to be typical of the Victorian Filigree period, but this is an illusion as the house initially had a timber rail balustrade, simple timber posts approx. 125mm square above and larger on each end and on the ground floor, and was typical of its very early Victorian period. See Image 24 below.



Figure 24 House newly constructed with members of the Ford family present in c. 1859. Courtesy Mrs. Barbara Bacon

The main roof is a hipped, corrugated iron lined roof. It is likely the roof was lined originally in corrugated iron as the above image shows. A separate hipped roof extends across the full front verandah on the upper floor of the house, supported on cast iron columns, with lace balustrade, brackets and frieze lacework in a two storey verandah. The facade is symmetrical, except for the recent addition to the north containing a car garage and loft space. On the ground floor the central entry door is flanked on each side by a single double hung window. On the upper floor, the facade contains three sets of French doors providing access to the verandah.

The verandah roof extending across the rear elevation is also hipped, corrugated iron clad, but of recent construction. Across the rear elevation three double hung windows are evenly spaced. Each sash has eight lights per pane.

The front pedestrian gateway still has what appear to be original posts, with a lacework iron work gate, although the fence to each side is now missing. Two large face brick chimneys surmount the roof.

1 George Street was extended prior to the period of this study, incorporating a garage on the easterly end of the house, enabling the new owners to park their car on site.

The plans were drawn up by Margi Fallon, of Integrated Design, a heritage adviser and architect. The plans were carefully considered and made only minor alterations to the original house. The new additions were butt jointed to the existing walls, accommodating future removal of the additions if so desired.

Detailed landscaping plans were also drawn up by a landscape architect from Integrated Design and Associates, in August 2001. That garden was then established. Prior to this, the house had no garden of any significance, with predominantly lawn at the back and flowers or shrubs at the front.



Figure 25 Font door 1 George Street remains original.
Image: BJ Hickson



Figure 26 No 16 Stanley as seen from the rear of No 1 George Street in September 2015. Image: BJ Hickson

2.9 Analysis of the Existing fabric

2.9.1 16 Stanley Street - the 'Old Government Cottage'

- The cottage addresses Stanley Street, and the river bank that accommodated the 'convict gardens'
- The cottage is currently used as a 'standalone' structure in that it contains spaces suitable for cooking, living, sleeping and storage. Wash spaces were presumably on the 'rear' or south west side. We know that for most of its life this building had a larger roofed area on that side that could have easily accommodated such spaces.
- Similar such spaces have existed where 1 George Street, stands today.
- The cottage has been connected to 1 George Street for almost 130 years. Before that another part of this cottage may have existed on the No1 site.
- The cottage is a typical Colonial Georgian period building, circa late 1840s early 1850's with emphasis on Symmetry, as far as the plan form would allow. The small spanned roof was formerly believed to be originally timber shingle lined, but may have been metal tile lined as per the 1958 images. The plan form and elevations are simple and well proportioned. windows and doors, with no verandah.
- There is an old apricot tree in the garden that is believed to be historically significant.
- The cottage was constructed within Lot 6 originally, but this was later expanded to take in part of Lot 7. Many subdivisions of the original lots have now occurred.
- The name of the cottage as 'Old Government Cottage' needs to be carefully considered, possibly fully revising it if more evidence on its history comes to hand.

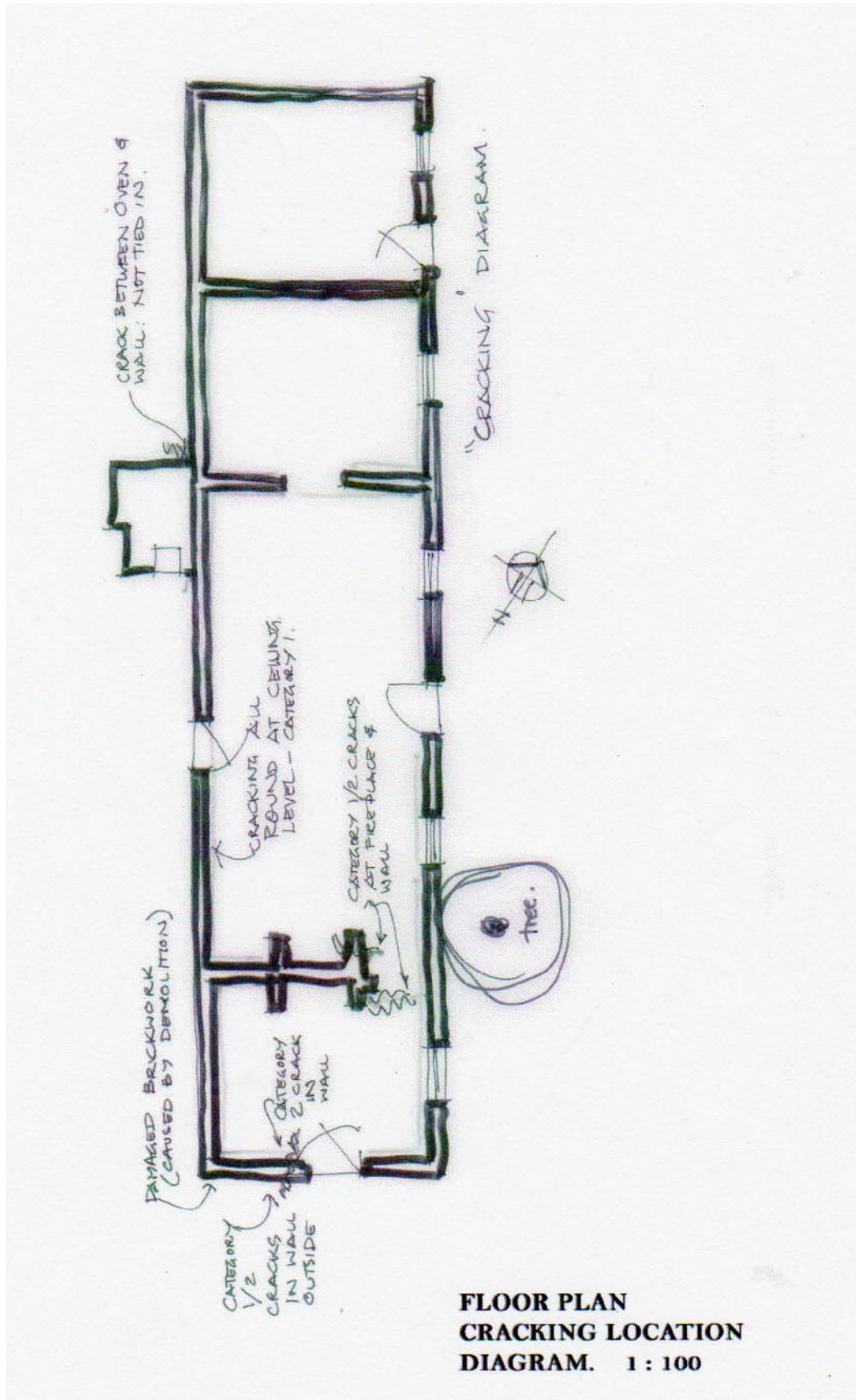
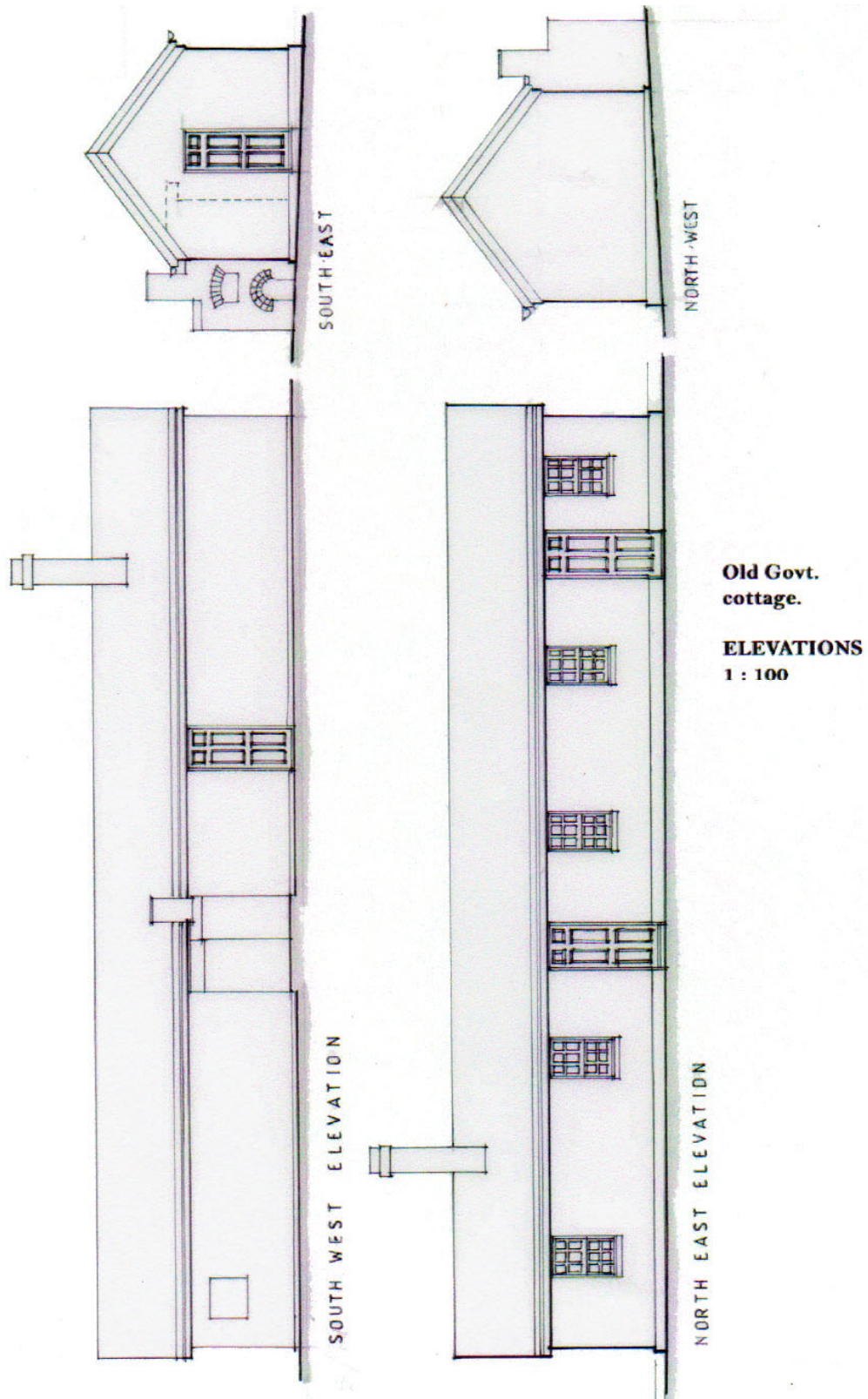


Figure 27 Floor plan drawn in 2002, Plan by BJ Hickson.

Figure 28
Elevations
drawn in
2002 by BJ
Hickson



2.9.2 1 George Street

- The house when built had a simple timber picket balustrade but today presents is as typical of the Victorian Filigree period having been upgraded in the late Victorian period, (1875-1890) reflecting the greater wealth of the times. This was an ornate style of building with extensive use of decorative cast iron components usually associated with the verandah. Simple and well propositioned windows and French doors are also typical.
- Indications of the original 'joining up' of the two buildings exist in the physical damage to altered walls, in the plan form of the building over the years and in some photos. 1 George did not originally contain a kitchen or a laundry as these rooms were supplied by the cottage.
- There is a small section of the former 'cottage' still adjoining the back of 1 George Street. The two walls do not align. The older wall is rendered half way up, as was the 'cottage' at some earlier stage.



Figure 29 Side view of No 1 George Street showing the earlier part of the cottage jutting out. Image by BJ Hickson



Figure 30 view of 1 George Street, 1st October 2015. Image by BJ Hickson

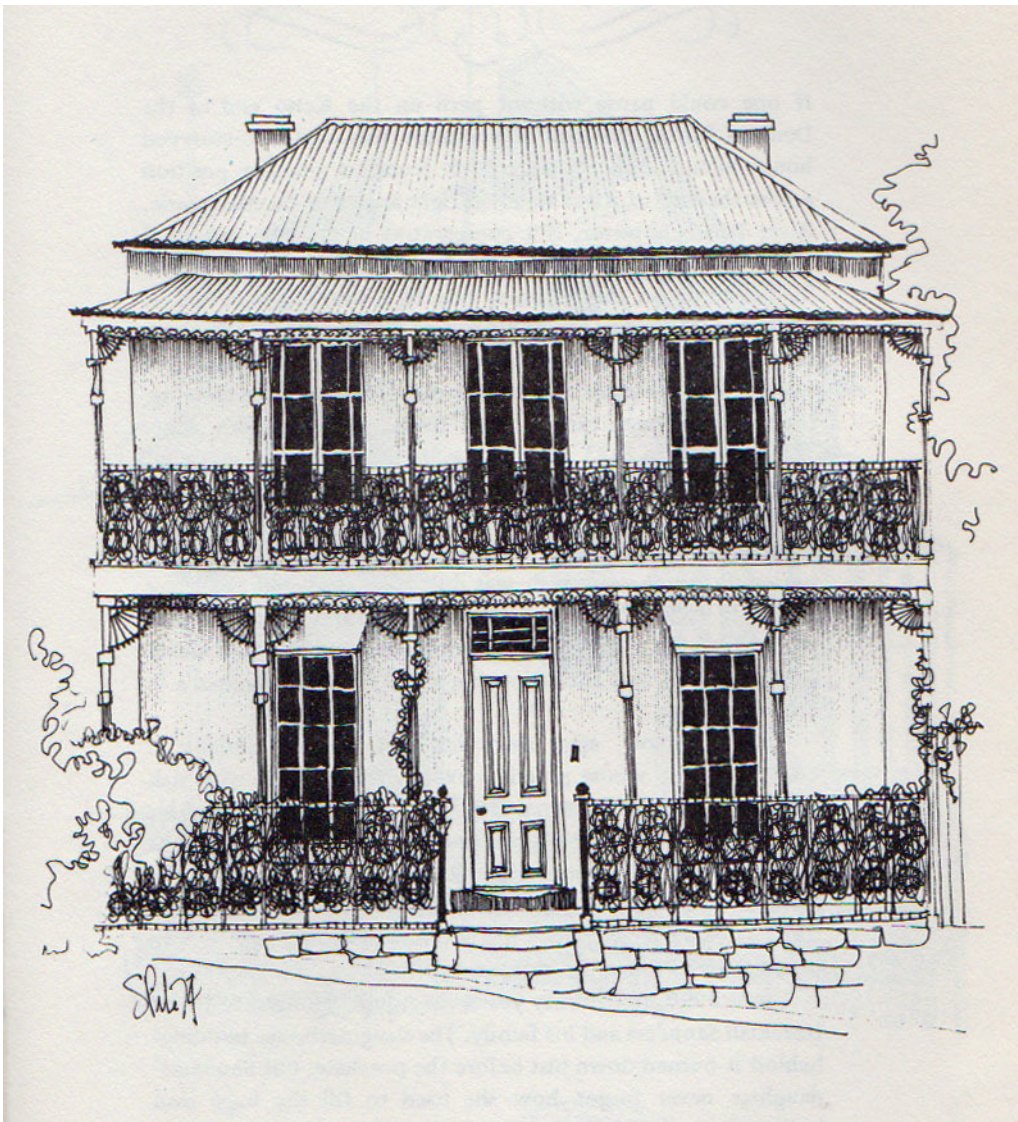


Figure 31 Drawing of 1 George Street by Stephen Pile 1975 . Bathurst Sketchbook.

2.10 The collection

In 2002 the cottage collection consisted broadly of an indoor collection, mostly of furniture, and an external collections of both fixed items and implements.

These items belong to the Bathurst Historical Society who use the house and its setting as a museum. When this house and 1 George St were originally acquired it was stated in an article by Mrs J Rutherford in the Bathurst Historical Society's (1968 Annual Magazine) that their intention was to *'develop a museum based on the two storied house facing George Street a third building still to be constructed, and intended for the societies larger exhibits, such as ancient vehicles.'*

These plans have obviously changed considerably over the 47 years since, with the sale of 1 George Street, its building additions, and the limited potential for any additional larger outdoor exhibits on the site.

The cottage is still run as a house museum. The collection that was present in 2002 appeared mixed in age and type. Some items fitting well with the cottage and its period, while others were quite unrelated. Today the cottage is set within a more ordered and small collection with a new period garden occupying much of the grounds.

While it is beyond the scope and expertise of this report to analyse the collections, it appears the collection has been significantly and thoughtfully reduced. The external items are set within the new garden creating a more appropriate and appealing period setting for the cottage.

This has been a considerable improvement and the new garden appears to be:

- in the best interests of the historic cottage and its setting.
- well presented to visitors to the cottage, and aids its interpretation.
- better suited to the members of the historical society who look after the museum and its garden and are clearly more involved with increased enjoyment of the place.
- an excellent use of the BDHS's own expertise.
- follows the policies set by the earlier CMP.

Images follow that illustrate the setting today:



Figure 32 The new cottage garden view towards the cottage. Image by BJ Hickson



Figure 33 The new cottage garden view along the fence line with no 1 George Street in the background. Image by BJ Hickson

2.11 Historical Themes

To be evaluated as 'significant' a place must be shown to qualify under at least one of the criteria set out by the Burra Charter: ie it must have or demonstrate values of aesthetic, historic, scientific or social values, and must maintain integrity of the key attributes when these are considered in the context of relevant historic themes.

To these criteria can be added values of 'representativeness' (an 'ability to demonstrate') and its 'rarity', or a 'connection with the life or works of a (notable) person'.

The Heritage Office in its publication: 'Assessing Significance' provides guidelines for inclusion and exclusion of these criteria when applied to a specific place.

In this case the criteria will be assessed twice.

1. The group of buildings: i.e. 16 Stanley Street (The 'Old Government Cottage') together with 1 George Street, (Macquarie House).
2. The cottage at 16 Stanley Street alone.

In the following tables the assessment is expressed as a matrix.

Case 1: 16 Stanley Street, together with 1 George Street

Criteria	reasons for inclusion	reasons for exclusion	State Theme (National Theme)
Historical Significance	Does show evidence of significant human occupation in assoc. with the earliest historical phase of private settlement and sub-division of Government Land	Lacking evidence that 16 is representative of a Government House or Cottage of the Macquarie era	Housing (Building settlements) Urbanisation, township s: (Building settlement).
Aesthetic Significance	1 George: An imposing building with landmark qualities, as exemplifies a 'gentleman's residence' of the Victorian period. 16 Stanley Street is a complete contrast, a simple Georgian cottage, pastoral rather than urban in appearance which relates to the rural scene it would have once been set in.	No1 Historical appearance has been partially obscured by recent additions to the North- East.	Housing (Building settlements) Urbanisation, townships (Building settlements)
Scientific Significance	The site has the potential to yield new archaeological information, and the group provides scarce evidence of a past way of life.		Housing (Building settlements)
Social Significance	Important to the Bathurst community sense of place as the presumed early 'Government cottage' and in context with convict riverside gardens.	Lacking evidence that No: 16 is representative of part of the original Government house or Cottage of the Macquarie era.	Social Institutions (developing Australia's Cultural Life) Education

	Connection of JW Bligh as a Market Commissioner for Bathurst, and working for Bathurst Common. The cottage may have been built specifically as an independent ladies home. Each used as some stage for education.		
Connect with the life of a person of note.	The places are important in their social connection to two families in particular. The Bligh family and Ford family. The cottage is important in association with Miss Falloon and Mr. Thompson.	More information on these persons would be useful.	Persons. (Marking the phases of life).

Case 2 The 'Old government cottage' at 16 Stanley Street.

Criteria	reasons for inclusion	reasons for exclusion	State Theme (National Theme)
Historical Significance	Shows evidence of significant human occupation in assoc. with the earliest historical phase of private settlement and sub-division of Government land.	Lacking evidence that No: 16 is representative of Government House or Cottage of the Macquarie era	Housing (Building settlements)
Aesthetic Significance	16 Stanley street is an unpretentious 'workers' cottage, pastoral rather	Original appearance now obscured by painted brickwork and non-original roofing iron.	Housing (Building, Settlements) Urbanisation (building settlements)
Scientific Significance	16 is important as a single women's house of that period, and has the potential to yield new archaeological information and provide evidence of a past way of life.		Housing (Building, Settlements)
Social Significance	Is important in context with convict riverside gardens. Connection to Bligh as a market Commissioner, and on party for Bathurst Common.	Lacking evidence that 16 had any connection with Government House or as a building of the Macquarie Era.	Social Institutions (developing Australia's Cultural Life)
Social Institutions (developing Australia's Cultural Life)	Association with William Bligh and Miss Falloon, as an early owner and teacher.		Persons (marking the phases of life) Education.

The history of the 'Government Cottage' in association with Macquarie House at 1 George Street shows that even though the historical research has indicated that it is probably not a house of the Macquarie era, nonetheless the item is of considerable heritage significance, and has the ability to demonstrate a number of historic themes.

Together the buildings provide a more significant place, illustrating even more historical themes and with the potential to reveal more significance in the future.

3.0 Assessment of Cultural Heritage

3.01 Comparisons

Bathurst contains a number of residential buildings from the late Government period of 1835 to 1850, but most of these represent a different class of building being the homes of the wealthy and landed settlers. This list includes such famous places as the original portions of the 1830's homesteads of Walner, Westbourne, Blackdown, Alloway Bank, Ardsley, Mount Pleasant and Rainham (1833) all located in rural areas; and closer to the urban centre is Kelsoville (c. 1840). At 67 Morisset Street Bathurst there is the recently renovated c. 1837-40 now called 'The Tannery'.

'Old Government Cottage' is a rare town building in terms of style, period and purpose. Early images of Bathurst show that this cottage is aesthetically typical of the earliest period with simple short roof span buildings, high pitched with gable ends, and its use of brick walls. While the simple double hung timber windows have multiple panes per sash.

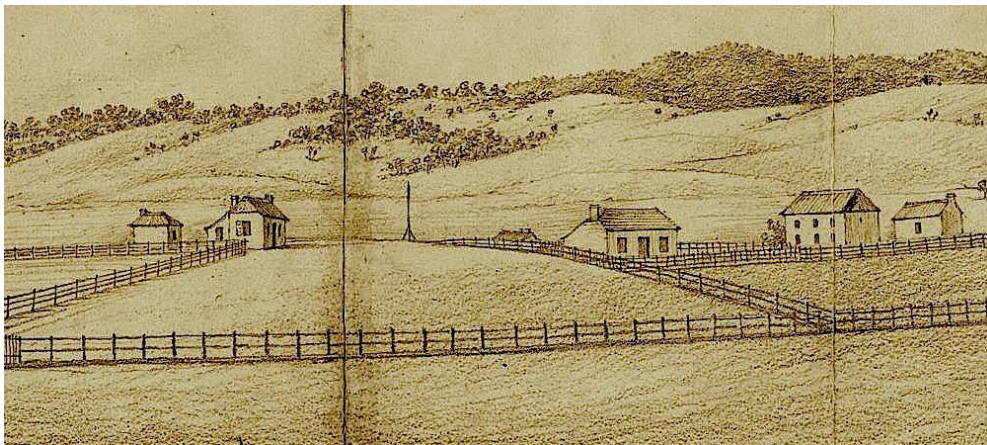


Figure 34 Extract of Evans early settlement drawing.

3.02 Curtilage

The area in which the cottage sits has been greatly altered over the 170 years or so of its existence. But interestingly, while the curtilage or setting has been largely eroded its main aspect facing north east towards the Macquarie River remains open and uninhibited. Its proximity to the river facing Stanley Street has been the reason for that. It is still possible to view the old cottage from across the other side of the Macquarie River in a similar way to that of 170 years ago.



Figure 35 View of the group from the riverside. Image by BJ Hickson

The garden is an important part of the curtilage. In the 2002 CMP it was recommended that ‘the garden could be used to improve the perceived curtilage of the house, and to a great extent this has now been achieved with the Bi-centenary garden project of 2015. The garden fully compliments the cottage and strengthens the historic connection between the two buildings.

Screen planting have also been planted to aid in creating a visual screen for the privacy of the neighbour at 1 George Street. Houses to the right hand side of the site are relatively recent constructions of fifty years or less, so a 19th C streetscape doesn’t exist.



Figure 36 Garden view to house October 2015. Image by BJ Hickson

3.03 Significance

Using JS Kerr's 'Conservation Plan' as a guide, and his suggestion that one should 'reveal with brevity and relevance the nature and degree of significance of the place.'

The cottage at 16 Stanley Street Bathurst is of considerable local significance, and of State Significance when viewed as a group item with 1 George Street because:

- The 'Old Government Cottage' is historically significant as a Georgian cottage, which are comparatively rare in Bathurst city. It is presumed to have been built circa 1846-51, and is constructed on what was originally Government grounds.
- It has strong association with early town developer JW Bligh.
- The cottage is significant as an early Bathurst private residence owned by an independent single lady, and is illustrative of the style of life in that period.
- The cottage together with 1 George Street, form a more imposing house, typical of the mid Victorian Period, which has been owned by a number of important public men of Bathurst.
- A strong social attachment to the house has developed since the ownership of the BDHS with much volunteer work over the past 46 years.
- A strong social attachment to 1 George street resulted in it being owned by subsequent members of the same families repurchasing the property:
 - James William Bligh (1847-1851) - James Bligh Hastings (1943- 1965).
 - John Ford (1851/59 -1875) - John Henry Ratcliffe Ford (1883-1890). Mary Ann Ford and Samuel Percy Ford. (1908-1923).
- The house as a whole is also significant in its role as an early site of female education and the cottage owner, Miss Falloon, formerly ran a home based ladies school in the actual Government House.



Figure 37 Mr. John Ford, original owner of 1 George Street.



Figure 38 Mrs John Ford. Images courtesy Mrs. Bacon.

3.04 Themes

With respect to the State and national themes the cottage is important in illustrating the following themes:

National Theme	NSW State Theme	Example
Developing Australia's Cultural Life	Domestic Life	The cottage and 1 George Street together and each separately. The cottage as home of Miss Falloon, 1850, and prior to that the possible accommodation of a Tanner.
Educating	Education	The 'Macquarie House Ladies college' 1884 to 1887, and Miss Fallon ladies college 1850s.
Building, Settlements, Towns and cities	Land tenure	Originally Government land. The early subdivision and purchase of land for speculation. Proximity to convict gardens.
Building, Settlements, Towns and cities	Accommodation	The cottage and 1 George Street together and each separately.
Marking the Phases of Life	Persons	Miss Anne Marie Falloon Bligh Family Ford Family Mrs. Mackenzie

3.05 Listings

The 'Old Government Cottage' and 1 George Street were listed under the Bathurst LEP 1997 as one item, and are included in the current LEP, Bathurst Regional LEP 2014.

The State listing refers to the 'Old Government Cottages Group', while the 'LEP Listing is 'Old Government House Group'. This item 123 is described as Lot 1 and 2 of DP 788005, 1 George and 16 Stanley Street. The listings were updated in November 2010. The statement of significance for both levels of listings now reads:

'One of the oldest brick building groups west of the Macquarie River, the group is situated on the original Government Grounds, adjacent to the Government Convict Gardens. This group is important for its associations with significant early Bathurst figures such as James William Bligh.

16 Stanley Street is physically the older building of the two, and could have been constructed in the government era, possibly as early as 1837 under Governor Bourke. 1 George Street (or Macquarie House) is also important for its architectural qualities, with its ornate iron decoration to the verandah which reflects the key characteristics of late Victorian filigree style.

In addition to its historical and architectural qualities, the group is located on a corner site overlooking

the Macquarie River and with the nineteenth century styling of its buildings, represents a landmark element in the streetscape of this old quarter of Bathurst (HO).'

The two listing names should match. Replacing the local listing with either 'Old Government Cottage Group' but a more correct name may be 'Cottage and house group on Government Land'.

3.06 Constraints and Opportunities

The primary purpose of any Conservation Plan is to guide the future use of the building or place. In this case the current and future use as resource of the Bathurst Regional Council, and through them as a museum of the Bathurst and District Historical Society, remains the primary purpose.

The present function of the cottage at 16 Stanley is as a house museum illustrating the earliest period of settlement in Bathurst, and this suits the building well. It also minimises the pressure on the cottage to be altered or 'modernised' for today's convenience or amenity.

If this purpose were not to continue at some stage in the future, then the cottage could conceivably be re-used for purposes, as per its original use. However If it remained on its own title, which is too small and totally lacking amenities, to become a residence again without additions. Therefore if it were to become a residence or part of 1 George Street residence again, in order for it to regain integrity in context with 1 George Street, it should be re-united in title and function with that building.

The recommendations are:

- ***The cottage should be retained as a museum cottage under the auspice of the BDHS.***
- ***If the cottage loses its function as a cottage museum in the future, it could be reunited with 1 George Street.***

As a museum, the building should be maintained according to the following conservation policies.

4.0 Conservation Policies

Using J. S. Kerr's Conservation Plan as a guide, and bearing in mind that the constraint that the buildings current and future uses should remain compatible with the past uses, the main areas in which policy guidance is needed are:

- To retain significance of the cottage.
- To maintain physical condition of the cottage.
- To suit the proposed or existing use of the cottage.

4.01 Policy : Continue to maintain as much of the original fabric of the building as possible, both internally and externally.

Discussion: The 'original fabric' of the building can be defined as 'all remaining fabric predating, or dating from, the conversion of the cottage to a museum in 1964, and including sub-surface archaeological materials.

The cottage has already lost original fabric through demolition of the extended roofed areas to the south west and north west as indicated on the 1917 sewerage plan. Fortunately the remaining fabric probably contains all the original main rooms, except for that portion that was connected with 1 George Street.

There is some opportunity for additional recovery of aesthetic significance through the removal of paint work on the external walls. However this is impractical in this case as most methods of paint removal such as soda or sand blasting, will cause loss of fabric. This cottage has many soft or 'callow' bricks and the amount of erosion of the bricks would be unacceptable. In recent years repair work was carried out on the cottage and it was decided to renew the paint or lime wash rather than attempt to remove it. Some callow bricks that were severely deteriorated were also replaced as part of the work.



Figure 39 Detail of repointed and repainted brickwork. Image by BJ Hickson

Structural cracking is also a problem for this building. Cracks have been repaired but continue to re-open. Possibly additional structural advice could be sought, taking care to have the site stabilised possibly through pavement extension around the building, forming an apron. The rear side of the cottage is

unpaved and may be subject to storm water penetration from the neighbour.

Other repair work that has been carried out since the first CMP in 2002 includes repairs to guttering, and repainting windows and doors. At the present time the cottage is in good condition.

Recommendations:

- **Pave the rear and sides of the cottage with ‘breathable’ clay pavers. Remember however that areas around the building should never be concreted, as concrete slabs or pavement in close contact with the building will exacerbate rising damp.**
- **Maintain good drainage on the site, falling stormwater away from the building.**
- **If cracking continues to be a problem, obtain additional structural advice.**
- **Only remove paint surface to brickwork if that can be achieved without damage to the brick faces.**
- **When the present roofing material comes to the end of its life and needs replacement consider returning the roof lining to the earlier known roof lining of flat tin metal tray tiles such as the covering in 1965.**

4.02 Policy : Protect and maintain the remaining curtilage around the building and its setting.

Discussion: The curtilage of the building has been greatly eroded over time. This house was once part of 1 George street and has now been separated. However its front yard, facing Stanley Street is intact and should be protected from any further erosion.

The 2002 CMP called for an ‘improvement to the setting through landscaping’ (P61)’. Since that CMP this action has taken place and the ‘setting’ of the cottage has been greatly enhanced through landscaping, improving the outlook from and to the cottage. The landscaping helps frame the cottage and is a period appropriate garden.



Figure 40 The Bathurst Gardener’s Club volunteers working on the garden in 2013. Images by the BGC Inc.

In 2012 members of the Bathurst Gardener's Club Inc. under the guidance of Peter Varman undertook to rebuild what was then a very neglected garden. The design was to reflect the Georgian to Mid-Victorian period of the house and to establish a kitchen garden including vegetables, herbs, berries, fruit and flowers. The work was carried out by volunteers.

Pathways were constructed of crushed granite and brick pavers, and new soil was brought in and watering system was established. Planting commenced in spring 2013. Heritage plants included Cox Orange, Pippin Apple, White Lilac, Foxglove, Wormwood and Cos lettuce.

The garden was successfully established and became an important feature of the Bathurst bi-centenary celebrations.



Figure 41 Flowering in October 2014, and at the opening of the garden in 2015. Images by BGC Inc

These improvements greatly fulfil the recommendations and policies of the 2002 CMP (p61,62) with regards to the setting. The policy read: *'Improve the setting of the building by improvements to the landscaping and historical collection components.'*

Action 9 of the former CMP required *'the replanning and rebuilding of the landscaped area of the cottage in the following way:*

- *An historically appropriate garden*
- *Compatible with, yet separate from, 1 George Street*
- *Allowing for visual appreciation of the cottage from Stanley Street*
- *Accommodating a selected collection of compatible materials'*

The recommendations also called for *'appropriate signage'* and that work is in hand. Overall the recommendations of the CMP have been admirably followed to great effect.

4.03 Policy : Investigate the environmental setting and circumstances of the historical collections, as a group and as individual components.

Discussion: A review of the collection of the moveable items connected with the building in 2002 has

taken place with rationalisation of many of the objects. The work is beyond the scope of this CMP but over the past few years the BDHS has removed many of the miscellaneous items that were previously located here. Many items have been removed to more suitable storage.

In the garden area, only a few items remain, and these are items suitable to the period and character of the house. This rationalisation has also allowed for a better and larger space for the new garden.



Figure 42 Trough ? One of the few retained items outside the cottage. Image by BJ Hickson



Figure 43 Fireplace and surrounds with historical objects. Image by BJ Hickson

4.04 Policy : Provide a new main sign and an interpretive sign that better reflects the significance of the building.

Discussion: Signage around the house has been reconsidered. As the cottage was believed to be a remnant of Macquarie's Government cottage the signs that indicate that are now part of its history. For example a plaque on the front wall, which was unveiled by Sir Eric Woodward at the opening of the Museum, declares the *'building to be the remaining portion of Government House, erected in 1817 by order of Lachlan Macquarie, Governor of NSW'*.

New signage, inside and out the cottage are underway. The Historical Society plan that the words 'old government cottage' remain in the title of the place, in its museum capacity. Inside the cottage the story will be further explored through interpretive signs that include the possible connection with a Government Tannery and with Miss Falloon, who ran a ladies school from this site.

To a considerable degree this building is more 'museum' than relic. It is currently well accepted by members of the BDHS as part of the story of Bathurst and as a colonial museum cottage fulfils a roll that no other building in Bathurst does.

Bathurst has two other house museums: Miss Trails House and Ben Chifley's House. This cottage serves as another part of that collection.

4.05 Policy : Archaeology

Discussion: This site is undoubtedly one of the earliest occupied in Bathurst. Some of its history remains a mystery. If and when excavation is proposed, on or near the site, great care should be taken in case archaeological materials are encountered. For example somewhere nearby there was a well, and this cottage formerly had additions to the north-west and south-west.

- ***Any disturbance of the surface or sub-surface, or excavation on this site may require an excavation permit. An archaeological assessment should be made initially to determine the potential for disturbance of a relic. Refer to the Bathurst Regional Council for advice.***

4.06 Policy: Maintenance

Discussion: The house should be monitored in a regular way to note any matters of wear and tear, vandalism, entry of pests or structural defects. There should be a maintenance plan providing for regular inspections and reporting any damage.

Much of the work noted in the 2002 CMP has been carried out in the intervening years. The building now presents as a well-cared for structure although some defects such as minor cracking are reappearing.

- ***Maintain a 'maintenance, inspection and repair' book.***

4.07 Policy: Additional research

Discussion: There remain uncertainties as to the early history of the cottage. Records imply that the cottage was built in the late 1840s to early 1850s because it is then that there is a reasonable increase in property value to reflect such an improvement. However the Bathurst & District Historical Society believe strongly in an earlier date relating to a government facility for the Tanner. More evidence may

come to light in the future and every opportunity to secure more information should be taken.

- ***Bring to notice any additional historical documents of physical evidence that better secures an original date and purpose for this building.***

4.08 Policy: Review

This 2015 CMP has reviewed the 2002 CMP. All CMPs should be reviewed at regular intervals or when substantial work is carried out, or new circumstances occur such as a change of ownership or new evidence of the history of the place. Without change the CMP should be reviewed within 10 years.

As the land on which the cottage is located is public land, this CMP should be publicly available and a copy should be provided to the BDHS and the Bathurst Library.

- ***Review this CMP within 10 years.***
- ***Make the document publicly available.***

Attachments

1. Part of Government Survey Plan 1833 by Mitchell.
2. 1846 plan and deeds
3. 1850 Conveyance Doc: Bligh to Falloon
4. 1857 Conveyance Doc: Falloon to Ford and Mylecharane
5. Notes re information from the above two documents
6. Part 1860 Parish Map
7. Part 1882 Parish Map
8. Part 1897 Parish Map
9. Part 1912 Parish Map
10. Part 1922 Parish Map
11. Part 1917 Bathurst City Sewerage Plan
12. 1923 Abstract of Title of Samuel Percy Ford
13. 1923 Supplemental Abstract of the title of Charles William Griffin
14. 1949 Survey Plan of parts of allotments 6 and 7.
15. Supplemental Abstract of the Title of James Bligh Hastings.
16. 1952 Survey Plan of parts of allotment 6 and 7.
17. 1964 Deeds of sale
18. 1961 Conveyance
19. 1989 Certificate of Title
20. 1989 Survey Plan of Subdivision of Lot A in DP 157856 21.
21. 2000 Purchase of No 1 George St letter.
22. 2000 Sketch of proposed additions to No 1 George St.
23. 2001 Garden Plan for No 1 George Street
24. Two drawings illustrating changes to No 1 George and 16 Stanley Street

Adding in 2015 some additional maps supplied by Dr Robin McLachlan :

25. SRNSW: NRS 13886 (Surveyor-General's Sketch Books), Sketch of the Govt. Tannery at Bathurst (1835), Vol.3 folio 21
26. SRNSW: NRS 13886 (Surveyor-General's Sketch Books), Sketch showing the Govt. Tannery at Bathurst ...1837, Vol.3 folio 72.
27. An extract from the 1832 town plan prepared by J Larmer, but it was an accretion or compilation office copy and information was added and deleted until the next town plan (1846) became the office compilation copy. (That's SR 1424, Brindley 1846).

From the Bathurst Visitors Centre

28. Cardboard cut-out of the cottage available at the Bathurst Business centre.

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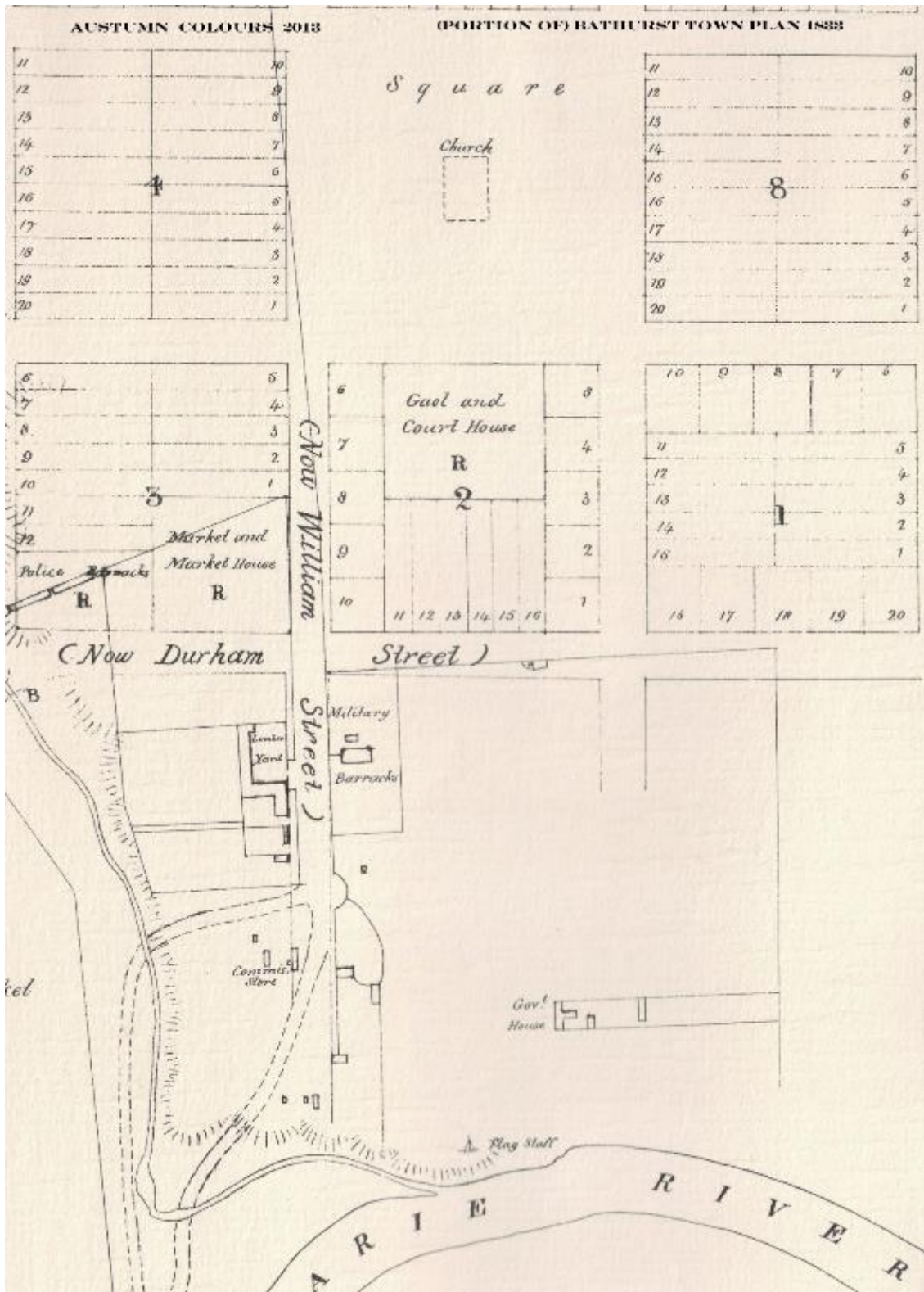
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Attachment 1 – Part of the Government Survey Plan 1833 by Mitchell.



Attachment 2A 1846 deeds page 1

SYDNEY DISTRICT.—TOWN LOT.

96



James William Black
24th March 1847
Town of Bathurst
 AC. B. P. O.

Victoria, by the Grace of God of the United Kingdom of Great Britain and Ireland, Queen, Defender of the Faith, and so forth:

To all to whom these Presents shall come, Greeting:—

WHEREAS in conformity with the Laws now in force for the Sale of Crown Lands in Our Territory of New South Wales, and Our Royal Instructions under Our Signet and Sign Manual, issued in pursuance thereof, *James William Black of Bathurst* has become the Purchaser of the Allotment or Parcel of Land hereinafter described for the sum of—

Seven pounds
 Sterling: Now Know Ye THAT for and in consideration of the said Sum for and on Our behalf, well and truly paid into the Colonial Treasury of Our said Territory before these Presents are issued, And in further consideration of the Quit-Rent hereinafter reserved, We HAVE GRANTED and for Us, Our Heirs and Successors, Do HEREBY GRANT unto the said *James William Black* his Heirs and Assigns, Subject to the several and respective Reservations hereinafter mentioned, ALL THAT Allotment or Parcel of Land in Our said Territory containing by Admeasurement

Two Woods *Town of Bathurst*—Parish of *Bathurst*—being Allotment No. *Five* be the same more or less, situated in the County of *Bathurst* of Section No. *Twenty A*—

Commencing at the south-east corner of allotment number seven - and bounded northerly by a line bearing South Forty One and a half degrees west two chains fifty links dividing it from that allotment westerly by a line bearing South forty eight and a half degrees east two chains dividing it from allotment number five southerly by a line bearing north Forty One and a half degrees east two chains fifty links dividing it from George Street and easterly by a line bearing north Forty eight and a half degrees west two chains dividing it from Stanley Street to the south-east corner of allotment number seven as aforesaid. Being the allotment lot was Lot 58 in - pursuance of the Proclamation of 5th November 1846.

with all the Rights and Appurtenances whatsoever thereto belonging; To Hold unto the said *James William Black* his Heirs and Assigns for ever, YIELDING and Paying therefore Yearly unto Us, Our Heirs and Successors, the Quit-Rent of One Peppercorn for ever, if demanded; PROVIDED Nevertheless, AND We DO HEREBY RESERVE unto Us, Our Heirs and Successors, all Mines of Coal; AND We DO ALSO RESERVE unto Us, Our Heirs and Successors, and to the Governor for the time being of Our said Territory, by such Person or Persons as shall be by Them or Him authorised in that behalf, full power to make and conduct through the said Land, all Common or Public Drains and Sewers which may be deemed expedient; In Testimony Whereof, We have caused this Our Grant to be Sealed with the Seal of Our said Territory.

WITNESS Our Truly and Well-beloved Sir CHARLES AUGUSTUS FITZ ROY, Knight Companion of the Royal Hanoverian Guelphic Order, Our Captain-General and Governor-in-Chief of Our said Territory and its Dependencies, at Government House, Sydney, in New South Wales aforesaid, this *fourth* day of *March* in the *Seventh* Year of Our Reign; And in the Year of Our Lord One Thousand eight hundred and forty- *Seven*

L. S. (Signed) *W. A. Fitzroy*

In the Register of Town Purchases No. 404 page 197
 ENTERED on Record by me, this *first* day of *May*
 One Thousand eight hundred and forty- *Seven*

E. Deas Thomson
 COLONIAL SECRETARY AND REGISTRAR.

Plan of 10 allotments in Section
20a in the Town of Bathurst. Put
up by the Crown.

TOWN LOTS under reg^d Act of Parliament
Proclaimed in Gov. notice of 5th Dec. 1846
folio 1402 for sale at an upset of £8 per
acre. Lots 53 to 62. Sale to Dec. 1846
Sold to James Melhuish Bligh 1846



Scale of 6 chains to an Inch

Transmitted to the Deputy Surveyor General with letter and
descriptions dated 27 July 1846

J. H. Davidson
ap. Sur

70-824

[illegible]

Jath Blyth, G

Sam^a Benney Sargent

John W. Hyatt

Wm J. Dennis Secy of Sydney - on the being of said
South Wales Valuing Clerk - made cash and sent out the above writing on the 6th of
of the Original Deeds said Valuing Clerk having been examined by John Deponent with the said Dece
live this Deponent further says that the name is signed J. W. Bligh truly
at the writing is of the proper handwriting of the said James William Bligh a party to the
said Original Deed -

Room at Sydney in the
belong of the British Consulate
2 second day of April 1840
Before me

Sanro Leprie

Respect me
Alfred Ward
Chief Clerk of the Supreme Courts

Maine into the Office of Registering Deeds as per the first Bill -
for which thereafter on the Second day of April A.D. 1850 from
James Parsons of Sydney ~~Wm. Parsons~~
~~Wm. Parsons~~ Clerk of the Supreme Court

No 789 Book 50 Cont.

Myself tested and delivered by the witness
 named above at the Fallow in the presence of
 Geo. Colquhoun
 Bailiff

James M. Fallow

Received on the day and year past within within of and from the
within named John Ford and William Phillips the sum of the sum of
one hundred pounds being the consideration money within
of and to have been by them paid to me
Witness
Geo. Colver, Secy. James M. Colver

Ballantyne in the colony of
 New South Wales
 Little South Bay of August in the year one thousand eight hundred
 and fifty seven George Edgemoor of Scotland in the said colony of New South
 Wales duly sworn makes oath and says as follows I have examined the said map
 contained on the preceding page of parchment with the original deed of homestead
 bearing date the 10th day of July one thousand eight hundred
 and fifty seven of which it purports to be a copy and it is a true copy of
 the same that I further say that the signature Thomas M. Ballantyne written
 immediately above this affidavit is of the proper handwriting of the said
 Thomas M. Ballantyne one of the parties to the said original deed
 sworn by the deponent on the day and
 year first above mentioned at Ballantyne
 affidavit before me

Thomas M. Ballantyne

J. W. Rich and Co.
 Commissioners for Affidavits

Received into the office for the Registration of Deeds
 at Sydney the twenty fifth day of August A.D. 1857 at
 10 o'clock in the afternoon
 from Henry J. Edgemoor

Deputy Registrar

Copy of informatio from No 387 Book 18

This indenture made the 20th day of February 1850 between James William Bligh of Bathurst o the colony of NSW, gentleman, of the one part and Anne Marie Faloon of the same place , Spinster, of the other part.

Witnessers that for and in consideration of the sum of **£25 sterling money to the said James William Bligh to the said Anne Marie Falloon** in hand paid before the sealing and delivery hereof the receipt whereof is hereby acknowledged. He the said James William Bligh doth by these present to grant bargain, sell,and release unto the said Anne Marie Falloon and her heirs All that piece or parcel of land situate in the town of Bathurst aforesaid and containing in **120 feet (36.57M) and in depth 66 feet (20.11M) portion of allotment No 6 of Section 20a** and bounded on south easterly by a line 66ft commencing at the easterly corner of the said allotment formed by the intersection of George and Stanley Streets dividing it from George St and Bounded north easterly by a line dividing it from Stanley Street 120ft south westerly by a line 120ft dividing it from the remaining portion of the said allotment , the said last mentioned line to be drawn parallel with Stanley Street at the depth of 66ft from Stanley St. and all the estate and right title and interest of the said James William Bligh therein to have and to hold unto, and to the use of the said Anne Marie Fallon her heirs and assigns in ever. And the said James William Bligh doth hereby for himselfexecutors and administrators, covenant and agree with the said Anne Marie Falloon that he the said James William Bligh hath good right to convey the said parcel of land in manner aforesaid to the said Anne Marie Falloon . And that he and his heirs will execute all further .. in the more satisfactorily conveying the same to the said Anne Marie Falloon or her counsel in the law and to be tendered to be ... In witness whereof the parties aforesaid have here set their hands and seal the day and year first above written/-

(Here land known as part of Lot 6, Section 20A, 120ft x 66 ft, is sold by J.W.Bligh to Miss Anne Marie Falloon for the sum of £25)

copy of information from 789 Book 50

made the 6th day of July in the year 1857 between Anne Marie Falloon of Bathurst , in the colony of NSW , Spinster of the one part and **John Ford the younger of Kelso in the County of Roxburgh in the same colony, grazier and William Phillip Mylecharane** of the same place Grazier of the other part.

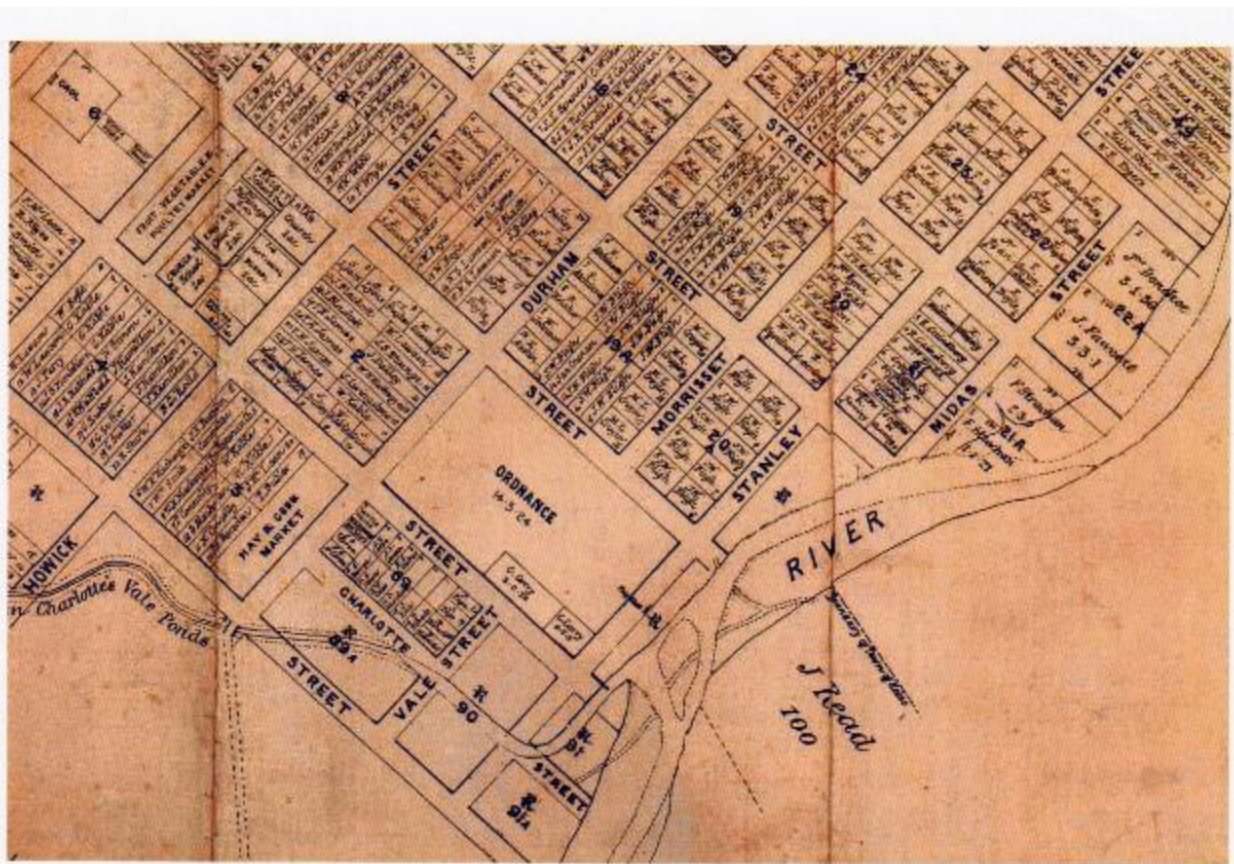
Whereas the said Anne Marie Falloon is siesed or entitled for an estate of inheritance and whereas the said Anne Marie Falloon has contracted with the said John Ford and William Phillip Mylecharane for the sale to them in fee simple... for the said amounts hereafter described **the price of £100.**

All that piece or parcel of land situated in the town of Bathurst aforesaid containing in length **120feet and in depth 66 feet** of allotment 6 section number 20A.. commencing at the easterly corner of the said allotment formed by the intersection of George and Stanley Streets...

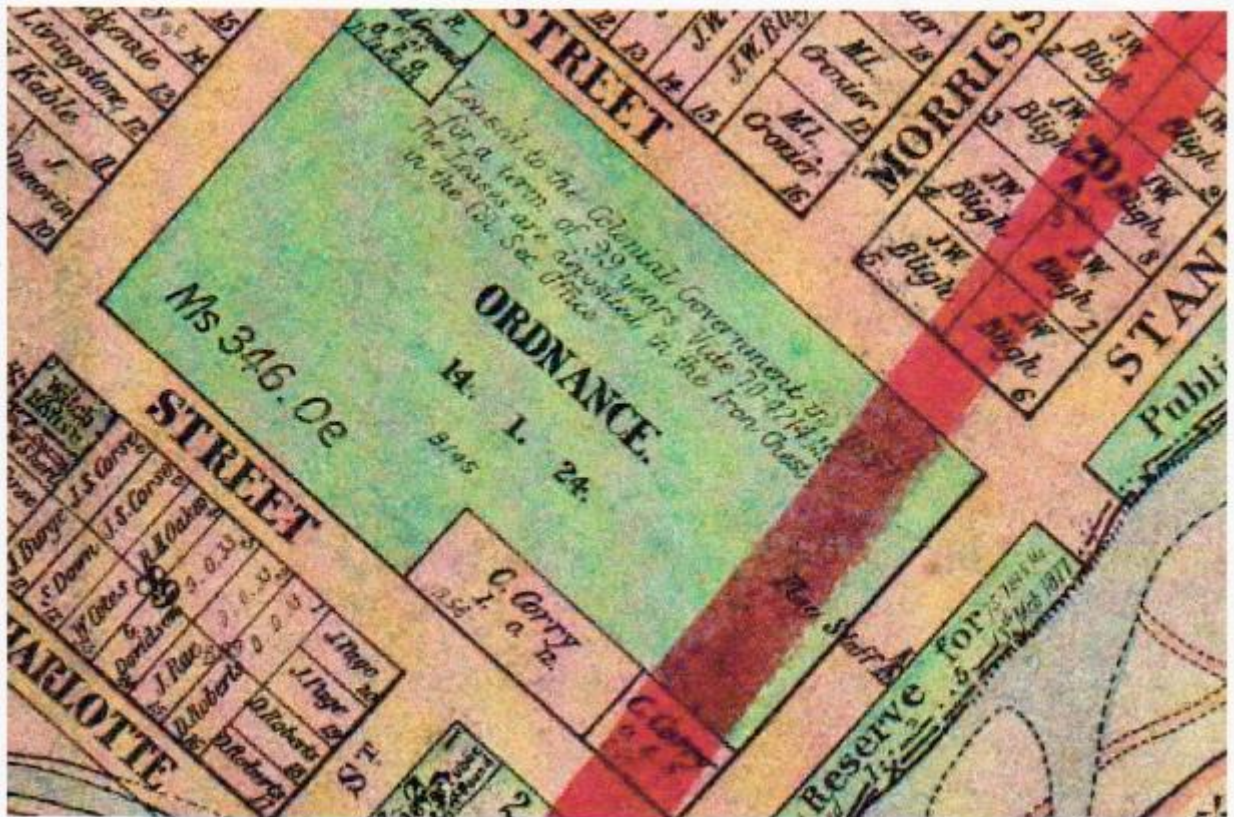
Concerning the said hereditaments with their appurtenances to have and to hold all and singular the lands, **tenements and hereditaments** hereby assigned or intended to be with their appurtenances unto the said John Ford and William Phillip Mylecharane and their heirs

..the said **hereditaments.and premises** herein before described with their appurtenances

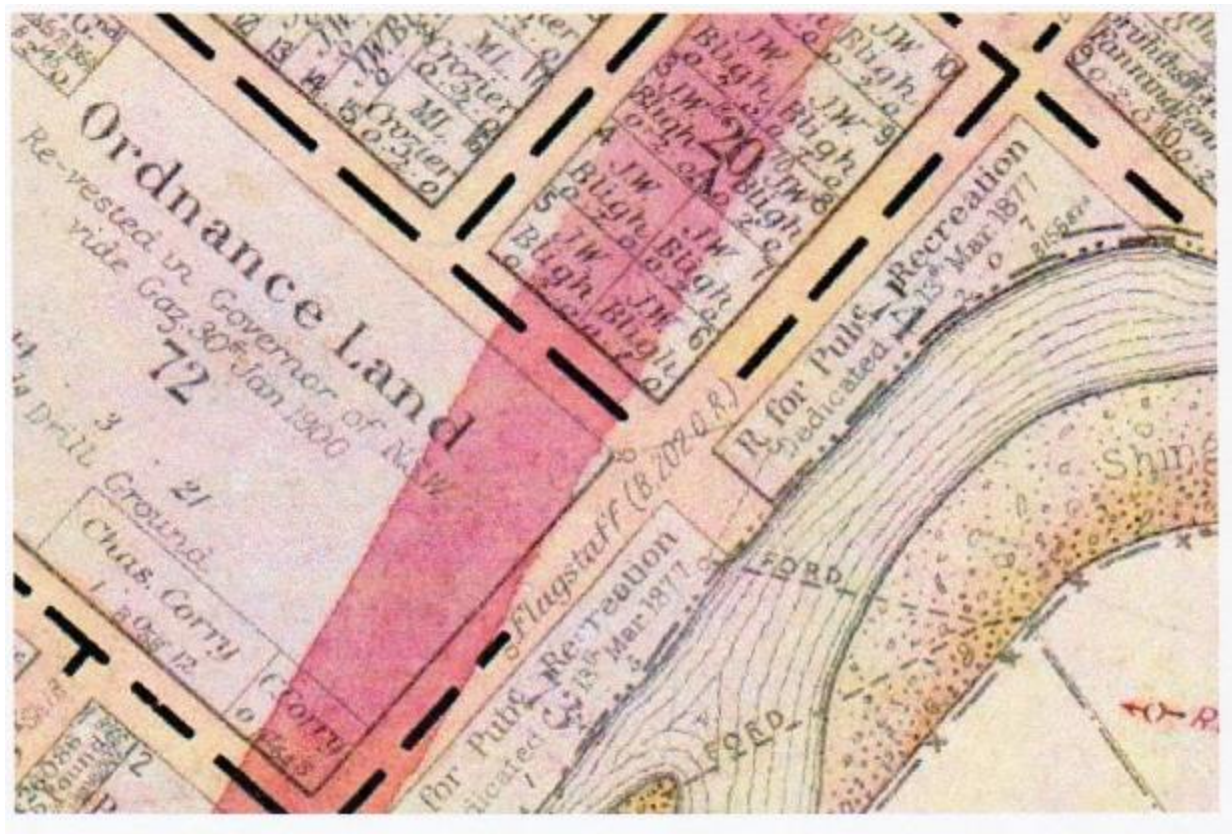
(Here land known as part of Lot 6, Section 20A, 120ft x 66 ft, describes as 'hereditaments and premises' is sold by Miss Anne Marie Falloon to John Ford Jun. and William Phillip Mylecharane for the sum of £100)



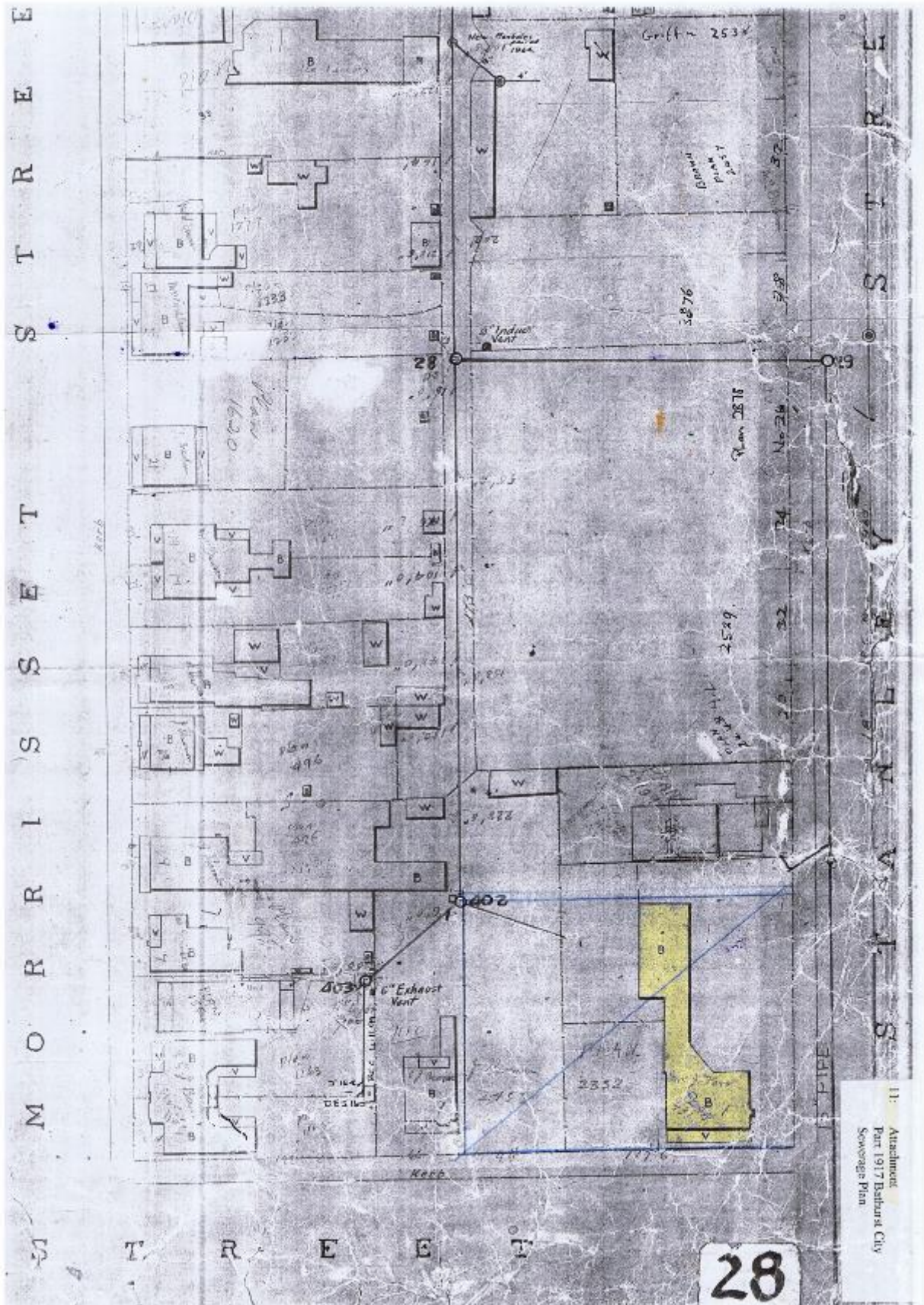
Attachment 7 Part of the 181882 Parish Map.



Attachment 8 Part of the 1897 Parish Map.



Attachment 11 Page 1 of 1917 Bathurst Sewerage survey drawing. (Govt. cottage highlighted yellow)



Attachment 11 Page 2 of 1917 Bathurst Sewerage survey drawing. (Govt. House highlighted blue)

ABSTRACT OF THE TITLE OF
 RANDEL FRANK FORD & ORS. to land George Street Bathurst

IN CONVEYANCE of this date made between John Andrew Gardiner of Wallington (hereinafter called Vendor) of the one part and John Henry Batcliffe Ford of Bathurst Bank Clerk (hereinafter called Purchaser) of the other part

RECITING contract for sale
 IT WAS AGREED that in consideration of £100 payable by certain instalments
 The receipt etc.

He the said Vendor did grant bargain sell alien release and assure unto the said Purchaser and his heirs

ALL THAT piece or parcel of land in the Town Parish and County of Bathurst COMMENCING at the easternmost corner of Section No. 20 A of the said Town of Bathurst and bounded on the north east by Stanley Street one hundred and ninety two feet thence on the north west by a line at right angles to the last mentioned boundary one hundred and seven feet six inches thence on the south west by a line parallel with Stanley Street one hundred and ninety two feet to George Street and thence on the south east by George Street one hundred and seventeen feet six inches to the point of commencement (be the said measurements a little more or less) and being allotment No. 2 of a subdivision made by the said John Andrew Gardiner of Allots 6 and 7 of the sd. Section number 20 A originally granted by the Crown to James W. High by Crown Deeds respectively dated the 24th. March 1847

ALSO ALL THAT piece or parcel of land commencing at the northwestern corner of the said allotment No. 6 and bounded thence on the north west by Stanley Street aforesaid two hundred and ten feet thence on the north west by a line at right angles to Stanley Street one hundred and fifty eight feet to a line thence on the south west by the said land two hundred and ten feet and thence by a line at right angles to the said line one hundred and fifty eight feet to the point of commencement (be the several measurements a little more or less) and being allotments three four five six seven eight and nine of a subdiv. made four five six seven eight and nine of a subdiv. made

Attachment 12 page 2 Abstract of title SP Ford & Ors to Land George St Bathurst

By the said John Andrew Gardiner of allotments 7 and 8 of the said section 20A originally granted by the Crown to James W. High by Crown Deeds respectively dated the 24th. day of March 1847.

THEIR WILL etc.

AND the reversions etc.
 AND all the Estate etc.

HATHEN unto the said Purchaser his heirs and assigns for ever

CONVEYANCE of the said Vendor
 THE good right to assure
 FREE from encumbrances
 FOR further assurance

WILL executed and attested
 RECEIPT for £100 signed and witnessed
 REGISTERED that January 1864 No. 606 Book 282
 Stamp duty paid 20/1/64 10.10.0 and marked
 Fine paid

IN WITNESS WHEREOF the said John Henry Batcliffe Ford of Bathurst Bank Manager of the 1st part Mary Ann Ford of the same place Widow of the 2nd part Alfred Gordon Thompson of Bathurst Solicitor (a trustee for the purposes hereinafter mentioned and hereinafter called the sd. trustee) of the 3rd part and the said John Henry Batcliffe Ford and Samuel Henry Ford of Bathurst the said Colony Clerk of the 4th part

RECITING estate of John Henry Batcliffe Ford
 RECITING that the said J.H.B. Ford was desirous of conveying the lands hereinafter described upon the trusts and for the ends intents and purposes hereinafter declared

IT WAS WITNESSED that in consideration of the natural love and affection which the said J.H.B. Ford had and bore towards the said Mary Ann Ford and in consideration of 10/- paid by the said Trustee to the said J.H.B. Ford

The receipt etc.

He the said J.H.B. Ford did thereby grant bargain sell alien release and confirm unto the said Trustee and his heirs

ALL THAT parcel of land situate, in the Parish of Bathurst and County of Bathurst, and being the same as the said J.H.B. Ford did thereby grant bargain sell alien release and confirm unto the said Trustee and his heirs

THE reversions etc.
 AND all the estate etc.

HATHEN unto the sd. trustee his heirs and assigns upon trust for and to the said Mary Ann Ford during the term of her natural life and to her heirs and assigns for ever

Attachment 12 page 3 Abstract of title SP Ford & Ors to Land George St Bathurst

SUPPLEMENTAL ABSTRACT OF THE TITLE of CHARLES WILLIAM GRIFFIN to land at corner of George and Stanley Streets in the City Parish and County of Bathurst.

reh 20th BY DEED OF CONVEYANCE of this date between the sd. Mary Ann Ford and the sd. Samuel Percy Ford & Arthur Francis Grace of the 1st part Minna Augusta Thompson of the 2nd part & Charles Wm. Griffin of the 3rd part

RECITING before abstracted Indenture of the 1st day of August 1891

AND RECITING that sd. J.H.R. Ford by his will dated the 11th day of Sept. 1916 appointed the sd. Arthur F. Grace sole Executor

AND RECITING death of sd. J.H.R. Ford on the 13th day of Jan. 1917 without having altered or revoked his sd Will Probate whereof was on the 20th. day of June 1917 granted by the Supreme Court of N.S.W. in its Probate Jurisdiction to the sd. Arthur Francis Grace

AND RECITING that by his will dated the 23rd day of Feb. 1900 the sd Alfred Gordon Thompson appointed the sd Minna Augusta Thompson sole Exix thereof

AND RECITING the death of the sd. Alfred Gordon Thompson on the 6th day of July 1908 without having revoked or altered his said will Probate whereof was on the 21st day of Aug. 1908 granted by the Supreme Court of N.S.W. in its Probate Jurisdiction to the sd. Minna Augusta Thompson

AND RECITING Agreement for sale for £780

AND RECITING Agreement by sd M.A. Thompson to enter into & execute the now abstracting Indre. for the purpose of conveying to the sd. C.W. Griffin any estate that might be vested in her as such Exix. as afo.

IT WAS WITNESSED that in conson. of £780 paid etc. the receipt etc. the sd. M.A. Ford & S.P. Ford as beneficial owners the sd. A.F. Grace as such Exor. as afo. and the sd. M.A. Thompson as such Exix. as afo.

DID and each of them DID THEREBY

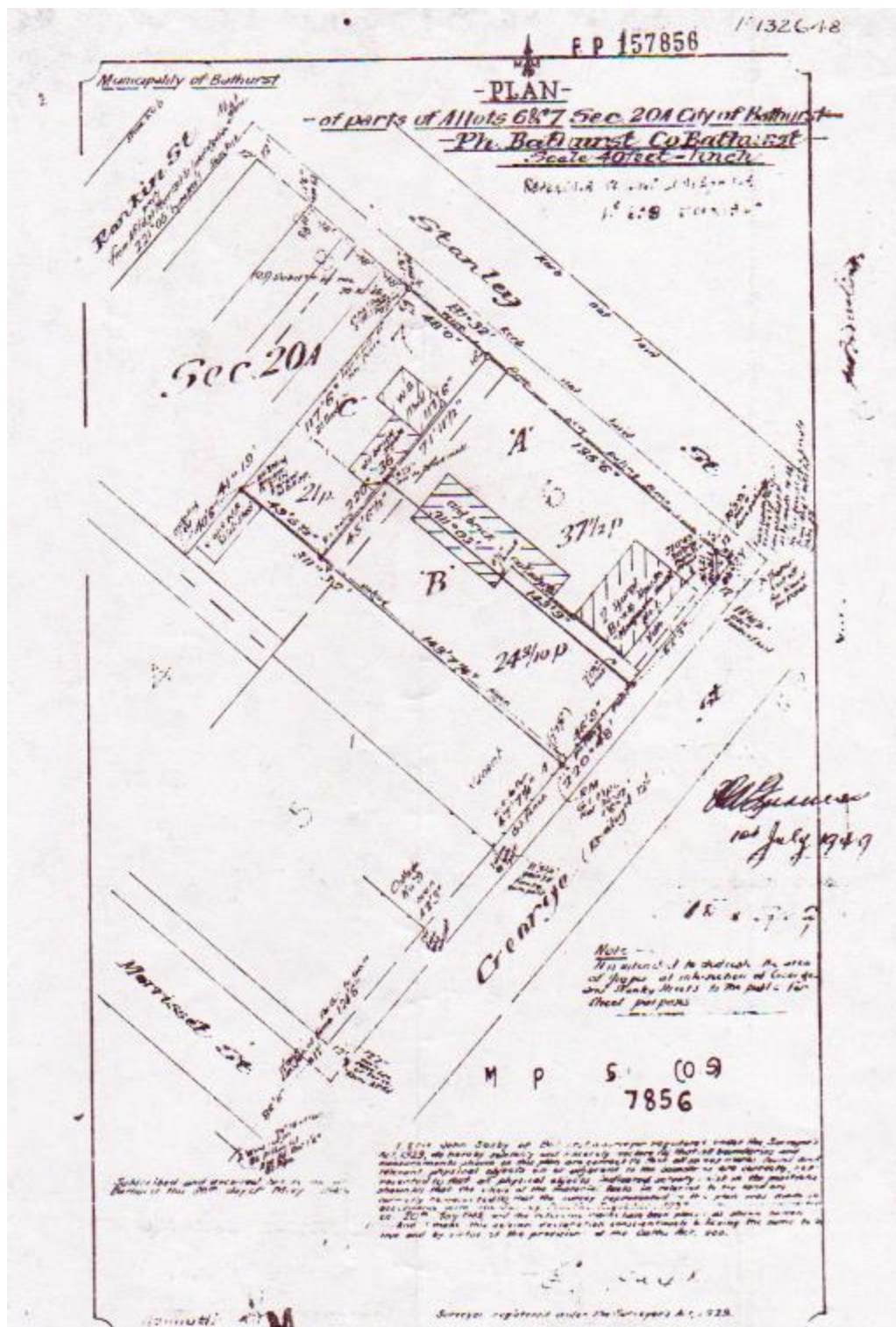
Convey unto the sd. Charles Wm. Griffin in fee simple

ALL THOSE pieces or parcels of land described in the before abstracted Indre. of the 6th. day of Apl. 1883

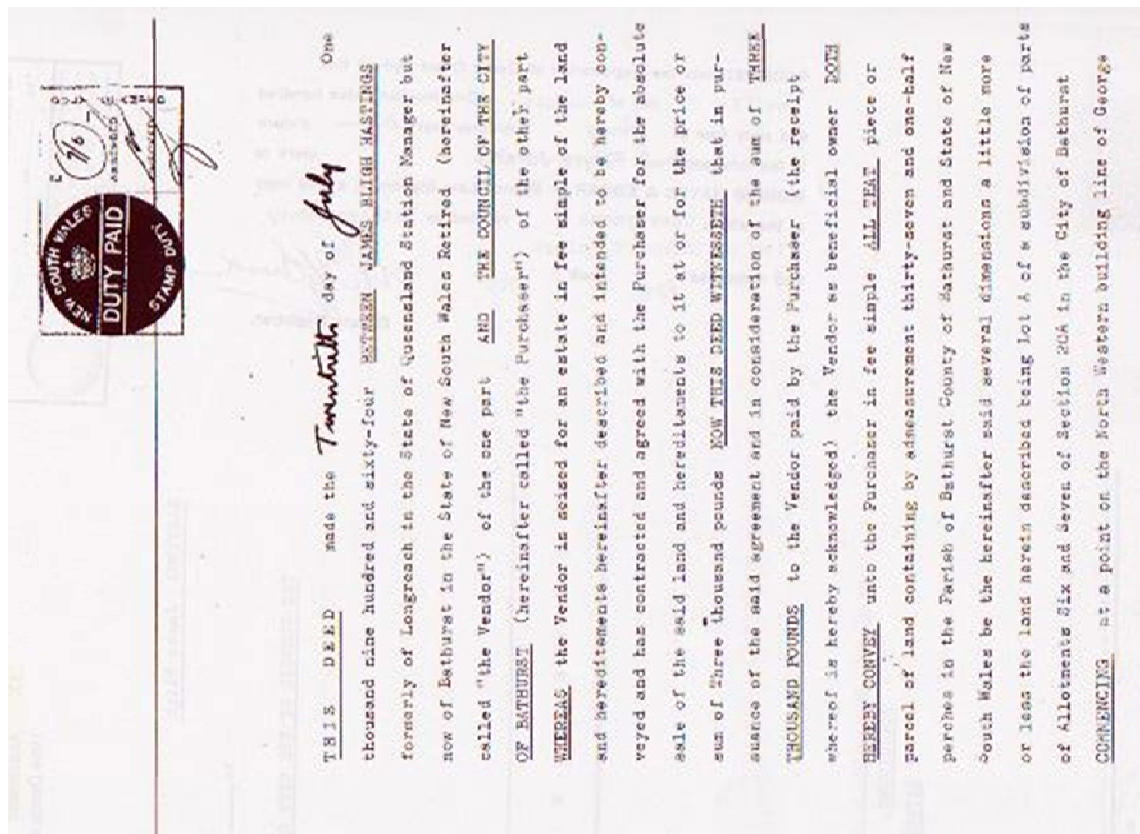
DULY EXECUTED AND ATTESTED

RECEIPT endorsed signed and witnessed

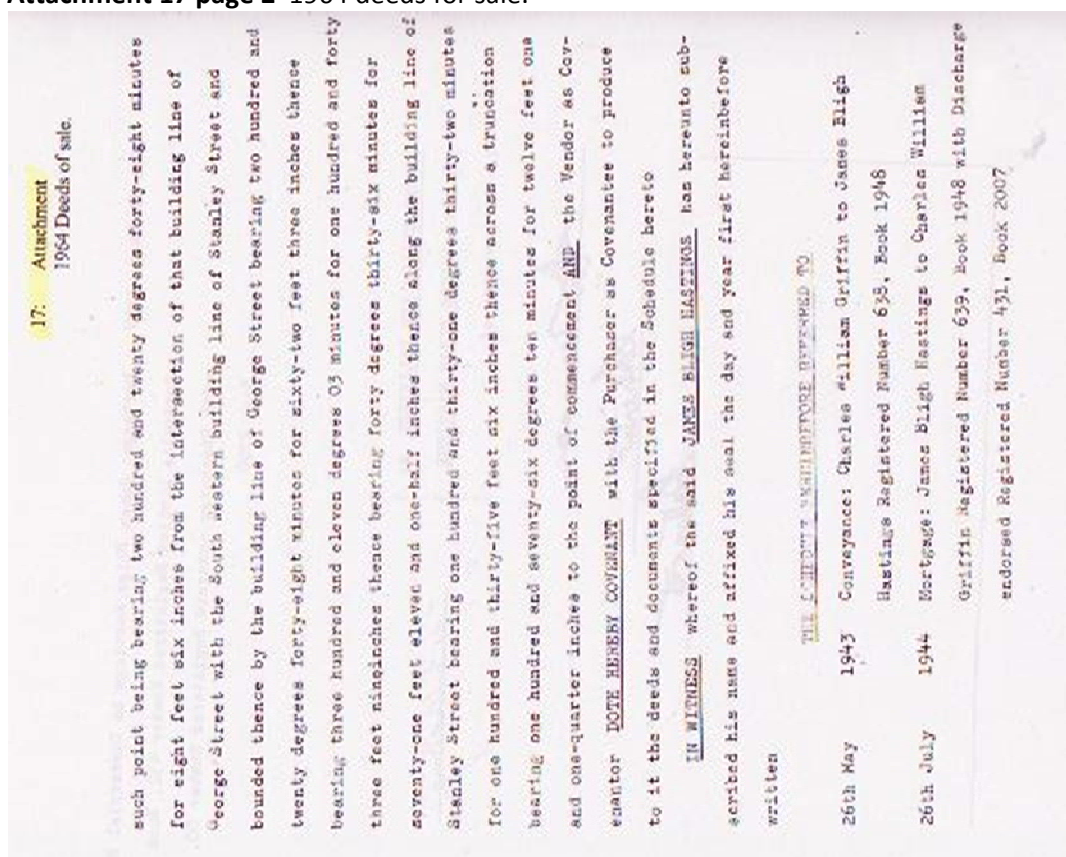
REGISTERED 6th Apl. 1923 No. 700 Ex. 1297.



Attachment 15 page 1 Supplemental Abstract –1947 James Bligh Hastings.



Attachment 17 page 2 1964 deeds for sale.



Attachment 18 1964 conveyance.

18: Attachment
1964 Conveyance

RECEIVED into the Office of the Registrar General at Sydney the under-mentioned Deeds and Documents deposited permanently for custody under Section (2) 53 Sub-sec. 2 (e) of the Conveyancing Act 1919, from McIntosh McPhillamy & Co., Solicitors of 103 William Street Bathurst.

Date	No.	Book	Nature of Deed	Parties to unregistered instruments
26.5.1943	638	1948	Conveyance	Charles William Griffin to James Bligh Hastings
26. 7.1944	639	1948	Mortgage	James Bligh Hastings to Charles William Griffin
17. 1.1947	431	2007	Discharge	endorsed on above Mortgage
20. 1.1947	432	2007	Mortgage	James Bligh Hastings to The Commercial Bank of Australia Limited
22. 6.1964	80	2708	Discharge	endorsed on above Mortgage

Fee paid £1.5.0

Date of receipt 21.8.1964

1964 M 5328

Registrar General
New South Wales
J.H. Watson
Registrar General

We the undersigned Clerks to Messrs. McIntosh McPhillamy & Co. of Bathurst Solicitors hereby certify that we have examined the above with the original and it is a true copy thereof

Dated this fourth day of September 1964

A. L. Lisk

E. C. Daley

BOX 35D
(CA37976)

NEW SOUTH WALES

19: Attachment
1989 Certificate of Title

CERTIFICATE OF TITLE
REAL PROPERTY ACT, 1900



TORRENS TITLE

REFERENCE TO FOLIO OF THE REGISTER	
IDENTIFIER	1/788005
EDITION	DATE OF ISSUE
1	29. 3. 1989

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries as appear in the Second Schedule and to any additional entries in the Folio of the Register.

B. J. J. J.
REGISTRAR GENERAL



LAND

LOT 1 IN DEPOSITED PLAN 788005
AT BATHURST
CITY OF BATHURST
PARISH OF BATHURST COUNTY OF BATHURST
TITLE DIAGRAM: DP788005

FIRST SCHEDULE

THE COUNCIL OF THE CITY OF BATHURST

SECOND SCHEDULE

1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2. QUALIFIED TITLE, CAUTION PURSUANT TO SECTION 28J OF THE REAL PROPERTY ACT, 1900. ENTERED 29.3.1989 BK 2709 NO 945
3. EASEMENT(S) AFFECTING THE PART(S) OF THE LAND ABOVE DESCRIBED SHOWN SO BURDENED IN THE TITLE DIAGRAM CREATED BY -
DP788005 -RIGHT OF CARRIAGEWAY 3.345 WIDE
DP788005 -RIGHT OF FOOTWAY 0.9 WIDE
4. EASEMENT(S) APPURTENANT TO THE LAND ABOVE DESCRIBED CREATED BY -
DP788005 -RIGHT OF FOOTWAY VARIABLE WIDTH

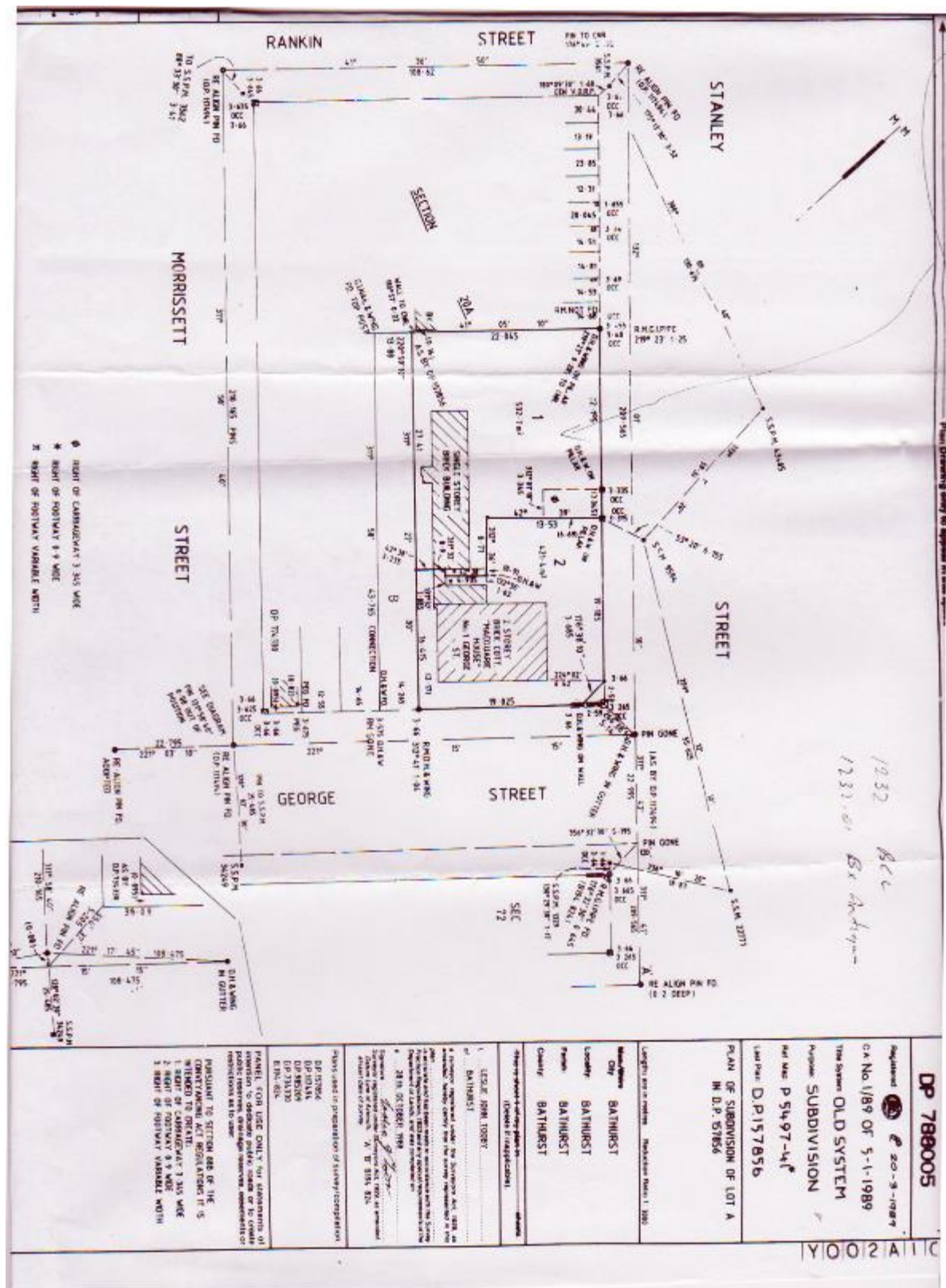
PERSONS ARE CAUTIONED / GAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

575357

CERTIFICATE OF TITLE 1989

WARNING: BEFORE DEALING WITH THIS LAND SEARCH THE CURRENT FOLIO OF THE REGISTER

4-2891



Attachment 21 Purchase of No 1 George St 2000.

17 February 2000

Marshall Marks Kennedy
Lawyers
Level 9
The Tattersall's Building
179 Elizabeth Street
SYDNEY NSW 2000

Attention: Mr Philip Jones

Dear Sir,

RE: BACON PURCHASE FROM PRATLEYS ANTIQUES PTY LTD
PREMISES: 1 GEORGE STREET RATHURST NSW

As requested by you we have surveyed Lot 2 in Deposited Plan 788005 being the whole of the land comprised in Folio Identifier 2788005 having a frontage of 19.025 metres to George Street a truncation of 3.685 metres and a frontage of 19.105 metres to Stanley Street Bathurst within the City of Bathurst as shown edged pink on the sketch opposite

Upon the land and entirely within its boundaries stands a One and Two Storey Brick Cottage roofed with galvanised iron known as Macquarie House No 1 George Street Bathurst. The south western wall of the cottage to which is attached an overhanging eave and gutter 25 metres wide stands from 2.215 to 2.220 to 1.935 to 1.99 metres north east of the south western boundary.

It is our opinion that the cottage complies with the minimum clearances required by Clause 57 Parts 2 and 4(a) of the Local Government (Approvals) Regulation 1993 which clause regulates the distances of walls and roof overhangs from boundaries.

The property is partly fenced as shown on the sketch.

The property has Rights over a Right of Carriageway 3.345 metres wide and a Right of Footway 9 metres wide burdening Lot 1 in DP 788005 adjoining on the north west.

The property is subject to a Right of Footway of variable width (enclosing Lot 1 in DP 788005)

Subject to the above and with the exception of minor encroachments in fencing we are of the opinion that the property is free from further visible encroachments.

Yours faithfully,
GODFREY BLISS & CO PTY LIMITED

G.A. Bliss
Registered Surveyor.

17/2/2000 PURCHASE OF NO 1 GEORGE ST.

NTS

Your Ref: PMJRT(M)
Our Ref: 206318

SKETCH

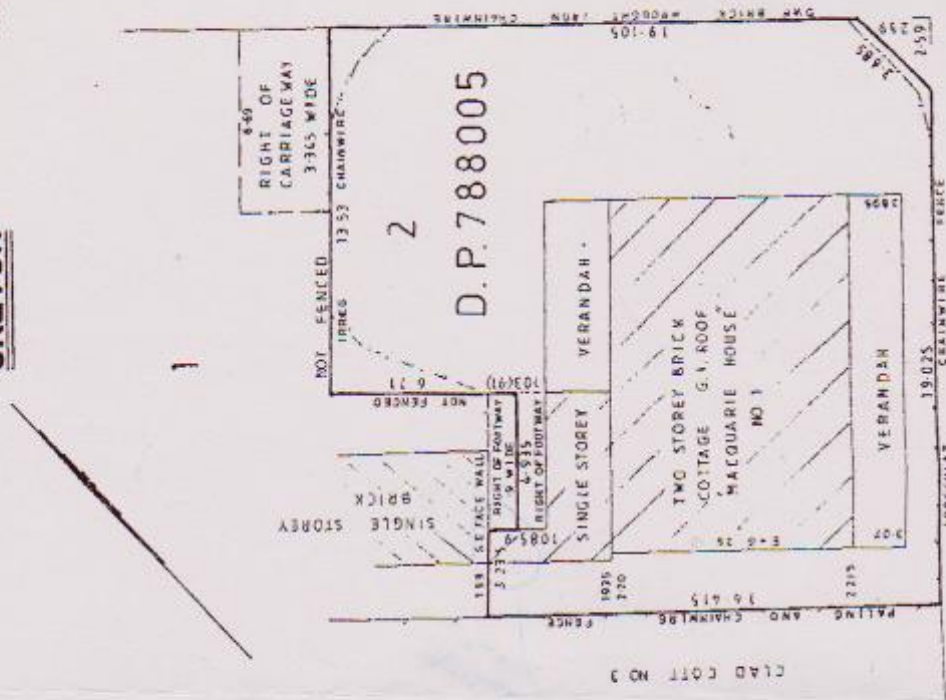
INSTR. 306318

17/03/2000 12:44 +61

STANLEY ST

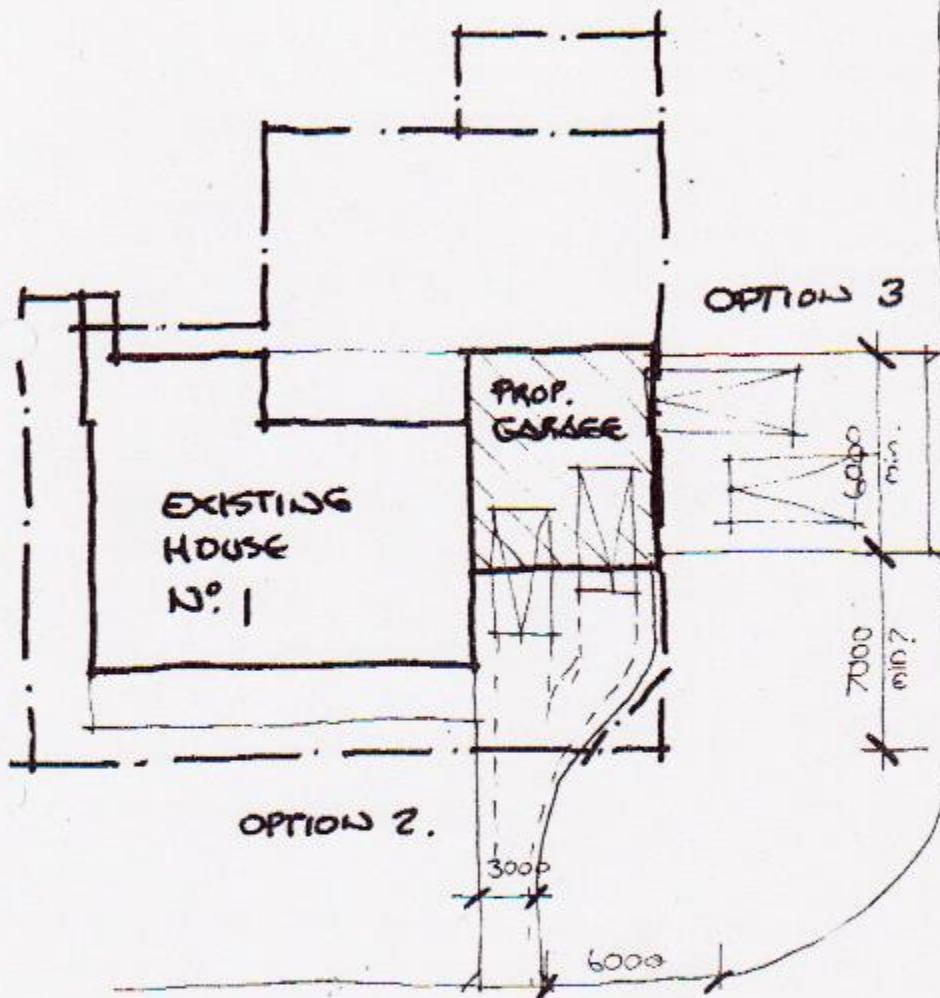
21

Attachment
2000 Purchase of
No 1 George Street, letter.



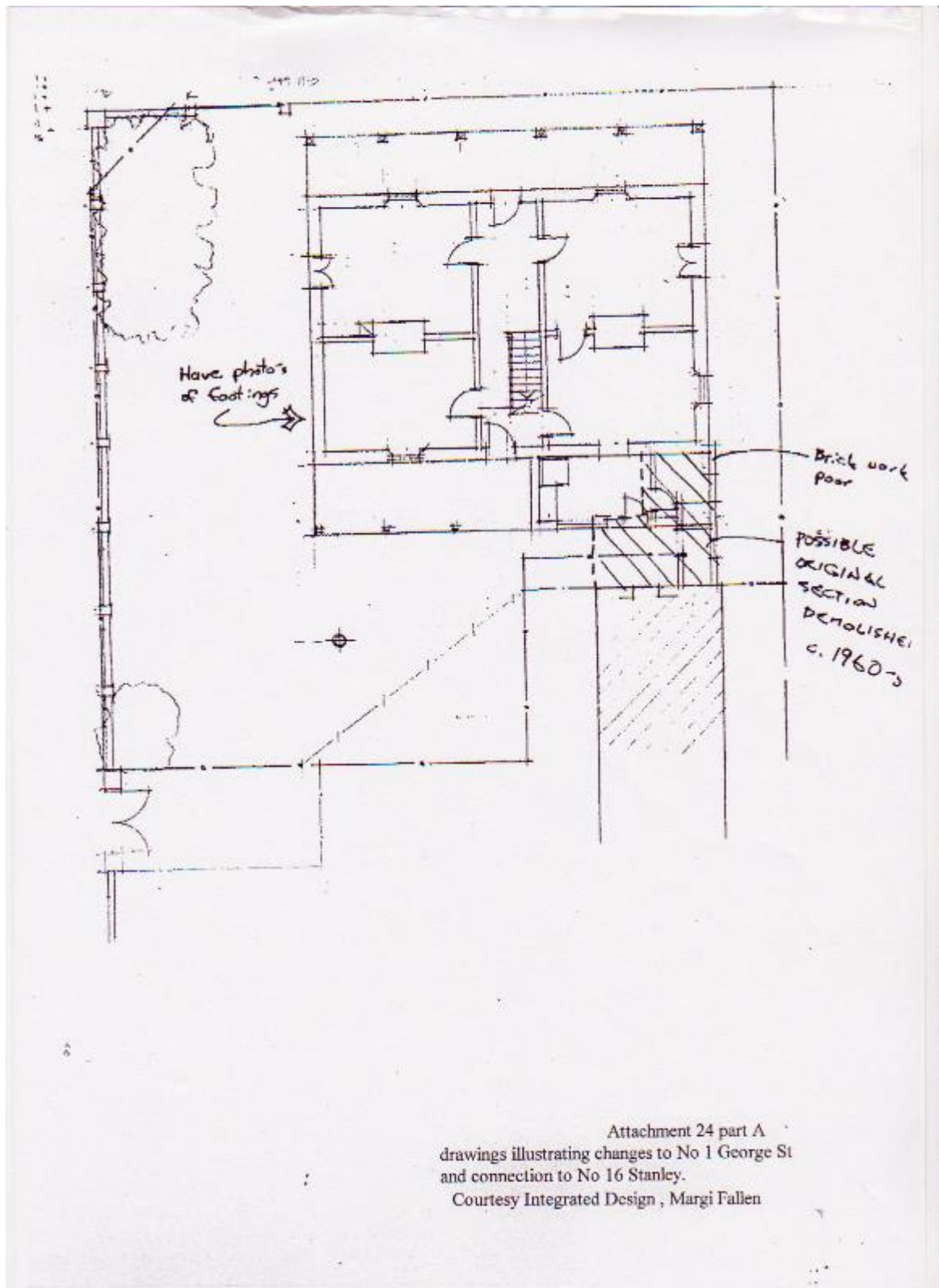
GEORGE ST

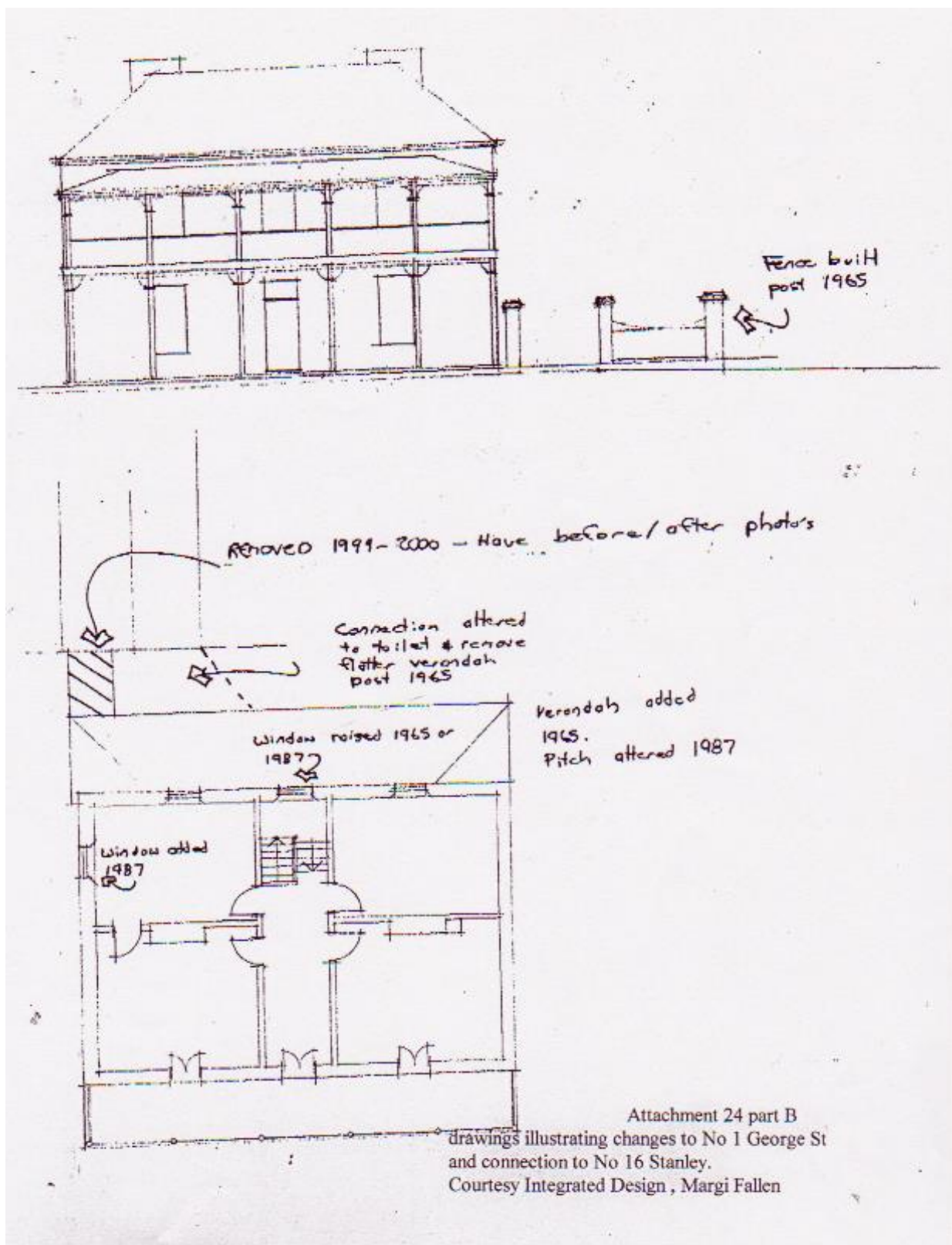
Blue Mountains
10 Aqueduct Ave
Wentworth Falls 2782
Phone 02 4757 7826
Fax 02 4757 4235
fb@iog@hermes.net.au



22: Attachment
2000 Sketch of proposed
additions to No. 1 George St.

Attachment 23 2001 garden plan





Attachment 25 SRNSW: NRS 13886 (Surveyor-General's Sketch Books), Sketch of the Govt. Tannery at Bathurst (1835), Vol.3 folio 21

58.21. V3
 Aug 22nd June 1835
 Wm Gault & Brattle 35/11
 Brattle 29th Aug 1835
 Wm Gault & Brattle 35/11
 Brattle 29th Aug 1835
 Wm Gault & Brattle 35/11
 Brattle 29th Aug 1835

26

Marquette River

Pointe du Dock

Survey of the Gov^t Tannery at
 Bathurst. by Wm Gault.

Scale half an Inch to a Chain

Now used to show how change for
 7 years - from 15th May 1836

Accompanying Report dated 29th Sept 1837

58.21. V3
 Aug 22nd June 1835
 Wm Gault & Burtin 35/11
 Burtin 29th Aug 1835
 Wm Gault & Col. H. 35/146
 Col. H. - 35/762

26

Macquarie River

Pointe Fort

Scale half an Inch to a Chain

Survey of the Gov^t Tannery at
 Bathurst. by Wm Gault.

Now used to show how change for
 7 years - from 15th May 1836

Accompanying Report dated 29th Sept 1837

