

## ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

13 April 2022

His Worship the Mayor & Councillors

### **Notice of Ordinary Meeting of Bathurst Regional Council – Wednesday 20 April 2022**

I have to advise that an Ordinary Meeting of Bathurst Regional Council will be held in the Council Chambers on Wednesday 20 April 2022 commencing at 6:00 PM or immediately following the conclusion of the Public Forum session.

Public Forum will be held from 6.00 pm where there will be an opportunity for members of the public to raise matters with Council.



D J Sherley

**GENERAL MANAGER**



**MINUTES OF THE ORDINARY MEETING OF  
BATHURST REGIONAL COUNCIL  
HELD ON Wednesday 20 April 2022**

**1 PUBLIC FORUM**

**MINUTE**

**D Reynolds - DA2021/440 for 36 Stanley Street - Applicant** - This is the family residence. Design, after consultation with Council staff, is believed to be sympathetic to the area. The existing house needs a lot of work and is currently an eyesore. Keen to encourage similar developments to that proposed and be replicated along the bottom of William Street.

**S Rowlands - DA2021/560 for Medicinal Cannabis Production Facility** - Tabled a document for each Councillor. Reinforced his concerns as identified in the "issues" as outlined in the tabled document. Has lodged objections to the proposed development and suggests that some of the matters proposed might be illegal.

**M McCormack - DA2021/588 Peel Street Development** - Thanked Councillors and staff for visiting site yesterday. Spoke to the need for the protection of the Heritage Area and acknowledged the increase in housing density that this area is experiencing. Including only a facade makes a mockery of Heritage Preservation. The development, including the removal of trees, doesn't seem to be in the betterment of Bathurst. Cannot comprehend how the proposal can be recommended for approval. The removal of the trees and the buildings/slabs proposed will increase the heat sink on the property and the neighbouring area. The number of garbage bins will be excessive. bird habitat will be affected and is prominent in this area.

Will have impact on school kids walking past the developed site and if an incident occurs will place Council at a litigation risk and if a flood event occurs that this will also place Council at a litigation risk. The approval of a "community title" provides an open slather to the developer and is not conducive to what the community wants. Double storey buildings are out of character.

**B O'Sullivan - DA2021/560 - Applicant** - Thanked the staff for working with the applicant to ensure a compliant DA was presented to Council for consideration. Advised that the DA has been endorsed by NSW Police. No light pollution to surrounding neighbours and odour will be managed through a series of appropriate filters. DA is compliant with the relevant Federal Legislation. The Community benefits by 50+ jobs, seeking to partner with local universities, costing of \$10-15 million to construct with the engagement of local contractors where possible. Development of alternative medication will be the first in NSW.

**B Woods - DA2021/560 - Neighbour** - Main concern with the development is security. Site location is up-to 15 minutes from Eglinton and concern on response time from emergency services needing to attend to site. Supportive of the proposal just questioning the location and suggests that it should be within an industrial area. Seeking site to be manned 24/7 to ensure security.



**G Crisp** - Spoke to report on page 18 - Designated Persons Returns and objects to the documents being tabled at the end of the meeting. Should be tabled prior to the commencement of the meeting to allow the community to inspect. Acknowledged that Council has complied with the law. Claims to be unlawfully obstructed from paying his water charges. Claims to be trying to save the Mayor from going to jail. Threatened to have these matters sought through the courts.

**D Hagan - DA2021/506 - Neighbour - Locke Street Raglan** - Wishes to clarify an error in the business paper that this shed is not the same size as the adjoining property.

**K Woods - DA2021/560 - Neighbour** - Concerns with the existing condition of the road which is going to be adversely impacted by the increase in vehicle movements that this development will generate. Concern over what is the "future expansion" that is being mentioned and will it become too big for the site and area.

**V Fallon - Secretary of Bathurst Regional Access Committee (BRAC)** - Spoke to the need for a changing places facility within the CBD of Bathurst. BRAC endorsed a proposal in May 2021 and has re-written to Council earlier this month. Aquatic Centre is not available 24/7 and is not in a convenient location given its distance from the CBD. It's a basic human right to be able to access a public facility to go to the toilet. BRAC considers a changing place facility in the CBD to be a necessity. It would be an asset to our Region specifically to support disability tourism. If funds become available this should be a priority.

**L Sargeant** - Applaud the efforts for Councillor Jennings for his Notice of Motion seeking progress on the by-pass project. Acknowledged Western Advocate editorial - Mayor's pitch "getting big things done". Need to engage with the community through other means other than just "your say". Spoke to brother's ideas that would improve the Gilmour Street Roundabout proposal with the use of appropriate slip lanes. Another river crossing should be considered as part of the by-pass project. Ms Sargeant has been collating a list of trucking companies that frequently pass by her residence and supports Councillors Jennings proposal to redirect the \$2.25 million loan to other projects e.g. changing places facility.

**B Trimming - Disability access advocate** - Spoke to Peel Street development, agrees with Mr McCormack's concerns, specifically no foot path proposed from the development to the local school facility. Agrees with the comments raised by BRAC in relation to the changing places facility. Disagrees that the \$2.25 million loan should be redirected to this facility. The accessible toilets at the Bathurst Library/Art Gallery would be a better project. Spoke to the location of changing places facility needs to be carefully considered and should be central to the CBD with appropriate and adequate parking available. Library, Machattie Park are great locations. Questioned what happened with the \$320,000 budget allocated in the current year's budget.



## **2 RECORDING OF MEETINGS**

## **3 MEETING COMMENCES**

### **MINUTE**

Meeting commenced at 6.51pm.

**Present:** Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith, Cr R Taylor

## **4 PRAYER AND ACKNOWLEDGEMENT OF COUNTRY**

## **5 APOLOGIES OR ATTENDANCE BY AUDIO-VISUAL LINK**

### **MINUTE**

**MOVED: Cr W Aubin SECONDED: Cr I North**

**RESOLVED:**

Nil



## 6 MINUTES

### 6.1 CONFIRMATION OF MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD 16 MARCH 2022

File No: 11.00005

#### RECOMMENDATION:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 16 March 2022 be adopted.

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#### REPORT:

The Minutes of the Ordinary Meeting of Bathurst Regional Council held on 16 March 2022 are attached.

#### FINANCIAL IMPLICATIONS:

Nil

#### BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

**Objective 6:** Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

#### COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### ATTACHMENTS:

1. Confirmation of Minutes - Ordinary Meeting of Bathurst Regional Council held 16 March 2022 [6.1.1 - 29 pages]

#### MINUTE

RESOLUTION NUMBER: ORD2022-109

MOVED: Cr K Burke SECONDED: Cr G Hanger



**RESOLVED:**

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 16 March 2022 be adopted.



## **7 DECLARATION OF INTEREST**

### **Declaration of Interest**

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-110**

**MOVED: Cr I North SECONDED: Cr K Burke**

**RESOLVED:** That the Declaration of Interest be noted.

Councillor Smith declared a non-pecuniary interest in item 14.1.3 of the Director Corporate Services and Finance Confidential Report.

Reason: Bathurst Golf Club is a customer of his employer of which he conducts monthly visits.



## 8 MAYORAL MINUTE

### 8.1 AUSTRALIAN LOCAL GOVERNMENT ASSOCIATION - FEDERAL ELECTION PRIORITIES 2022

**File No:** 18.00289

#### RECOMMENDATION:

That Council:

- a. Supports the national funding priorities of the Australian Local Government Association, which would contribute an estimated \$6.46 billion per year to Australia's Gross Domestic Product (GDP) and create 43,444 jobs; and
- b. Agrees to support and participate in the Australian Local Government Association's advocacy for their endorsed national funding priorities by writing to the local Federal Member of Parliament, all known election candidates in the local Federal electorate, and the President of the Australian Local Government Association to:
  1. Express support for the Australian Local Government Association's funding priorities,
  2. Identify priority local projects and programs that could be progressed with the additional financial assistance from the Federal Government being sought by the Australian Local Government Association; and
  3. Seek funding commitments from the local member, candidates and their parties for these identified local projects and programs.

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#### REPORT:

In conjunction with its member state and territory associations, the Australian Local Government Association (ALGA) have developed a framework and resources for a national advocacy campaign that will run in the lead up to the Federal Election.

Under the tagline "Don't Leave Local Communities Behind", the campaign will promote 17 priority asks in the portfolios of economic recovery, transport and community infrastructure, building resilience, circular economy and intergovernmental relations.

These priorities are based on motions passed by councils at the ALGA's National General Assembly, and have been endorsed by ALGA's Board which is comprised of representatives from all state and territory Local Government Associations. The priorities have been assessed by independent economists and would add around \$6.46 billion per year to Australia's GDP while creating 43,444 jobs.

The full list of national Federal Election Federal Election priorities that will be promoted through this campaign are detailed in the "Don't Leave Local Communities Behind" publication which is provided at **attachment 1**.



The Success of this campaign would have a considerable impact on the financial sustainability and reliance of local government in today's society.

## **FINANCIAL IMPLICATIONS:**

Nil

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 6: Community leadership and collaboration.**

**Objective 6: Community leadership and collaboration.**

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. ALGA - Federal Election Priorities [8.1.1 - 16 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-111**

**MOVED: Cr R Taylor**

## **RESOLVED:**

That Council:

- a. Supports the national funding priorities of the Australian Local Government Association, which would contribute an estimated \$6.46 billion per year to Australia's Gross Domestic Product (GDP) and create 43,444 jobs; and
- b. Agrees to support and participate in the Australian Local Government Association's advocacy for their endorsed national funding priorities by writing to the local Federal Member of Parliament, all known election candidates in the local Federal electorate, and the President of the Australian Local Government Association to:
  1. Express support for the Australian Local Government Association's funding priorities,
  2. Identify priority local projects and programs that could be progressed with the additional financial assistance from the Federal Government being sought by the Australian Local Government Association; and
  3. Seek funding commitments from the local member, candidates and their parties for these identified local projects and programs.



## **9 RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS**

### **9.1 GENERAL MANAGER'S REPORT**

#### **9.1.1 CENTRAL NSW JOINT ORGANISATION (CNSWJO) BOARD MEETING 24 FEBRUARY 2022 IN CANOWINDRA**

**File No: 07.00017**

#### **RECOMMENDATION:**

That the Report on the Central NSW joint Organisation Board Meeting held on 24 February 2022 be noted.

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#### **REPORT:**

The Central NSW Joint Organisation Board meeting was held on Thursday 24 February 2022 in Canowindra.

The Board elected a new Chair Cr Kevin Beatty Mayor of Cabonne and Deputy Chair, Cr Mark Kellam Mayor of Oberon. Cr Kellam was one of four new Mayors in the region welcomed to the Board, the others being Cr Robert Taylor, Mayor of Bathurst, Cr Jason Hamling, Mayor of Orange and Cr Craig Bembrick, Mayor of Weddin.

The following matters were considered:

1. Review of the CNSWJO Advocacy position for a safe, swift link between Central NSW and Sydney
2. Advocacy Tactics to the State and Federal Elections
3. Developing the Statement of Strategic Regional Priority for this term of the JO
4. Regional State Government/Local Government Workshop – Informing Community Strategic Plans
5. Policy for Competitive Funding
6. Regional Procurement and Contracts
7. Energy Program
8. Destination Network Central West Report
9. Regional Water Security
10. Matters raised by members – Bathurst Regional Council Section 10 Application on the Mount Panorama Wahluu Area
11. Financial Report
12. Quarterly review of implementation of the Statement of Strategic Regional Priority

The Board resolved to organise a workshop on refining the policy position on the safe



swift link between Sydney and Central NSW. It was recognised that it is difficult to criticise a \$4bn spend on the Great Western Highway, however when the current upgrade of Medlow Bath underway includes two sets of traffic lights, an unimpeded journey over the mountains at 100kph suitable for freight is clearly not being progressed. The meeting noted the Draft Central West and Orana Transport Plan has removed all references to the long term need for a highspeed transport link between Sydney and Central NSW. A response to the Draft Plan is being prepared including the need for planning for this link and to take an alternative approach to population assumptions being made in all State plans at present, that show population decline or small growth in all Central NSW communities.

With the Federal election imminent the Board resolved to meet with both the government and opposition to advocate for the following priorities which align with :

1. Opportunities along the Lachlan Valley to do business differently to support the nation's growth aspirations. Raising the dam wall at Wyangala is an important first step to deliver better flood immunity and water security to enable the agricultural sector.
2. The roll out of Inland Rail with funding support for enabling infrastructure in region.
3. Regional activation precincts like the one in Parkes and the 20 suggested by the National Farmers Federation for agricultural place-based development.
4. Connectivity, including to ports, ensuring a safe swift link between Western Sydney and the Central West including the current upgrades along the Great Western Highway and more importantly securing a corridor for dual carriageway for a future crossing at 100kph. Queensland has two safe swift highways at 100kph to the west of Brisbane and NSW has not one.
5. A progressive increase in Financial Assistance Grants to at least one percent of Commonwealth taxation revenue (at least \$4.5 billion per year), and an initial injection of additional Financial Assistance Grants funding.
6. A solutions-based approach to health workforce shortages and aged care that puts the needs of regional communities first.
7. A Federal Government led fully funded support program for apprenticeships in local government codesigned with local government.
8. A Local Government Climate Response Partnership Fund of \$200m over four years to enable planning and preparation to minimise the impacts of climate change in local communities and enable councils to achieve climate neutrality as soon as practicable.
9. Continuation of the Stronger Regional Digital Connectivity Package at \$55m over four years to improve community resilience and local economic recovery.

Discussion at the Board level suggested that media prioritise key messaging in:

1. A progressive increase in Financial Assistance Grants
2. Health and ageing
3. Water
4. Connection – transport and digital

## **Review of the CNSWJO Strategy**

Like Council, CNSWJO must review its strategy each term. The mandated Statement of Strategic Regional Priority is due in December 2022. Procedures are being put in place to review the strategy.

## **Regional Submissions**



Members have forwarded requests for the JO to lodge submissions, where all advice provided is within existing policy. All are available on the CNSWJO website at

<https://www.centraljo.nsw.gov.au/submissions/>

The Board has approved submissions be lodged for the

- a. DPE Draft Central West and Orana Regional Plan
- b. TfNSW Draft Central West and Orana Regional Transport Plan
- c. AER Framework and Approach Consultation;
- d. NSW Public Lighting Code Review; and
- e. AEMC Review of Regulatory Framework for Metering Services
- f. IPART Review of Electricity Network Operators' Licenses

## Value to members

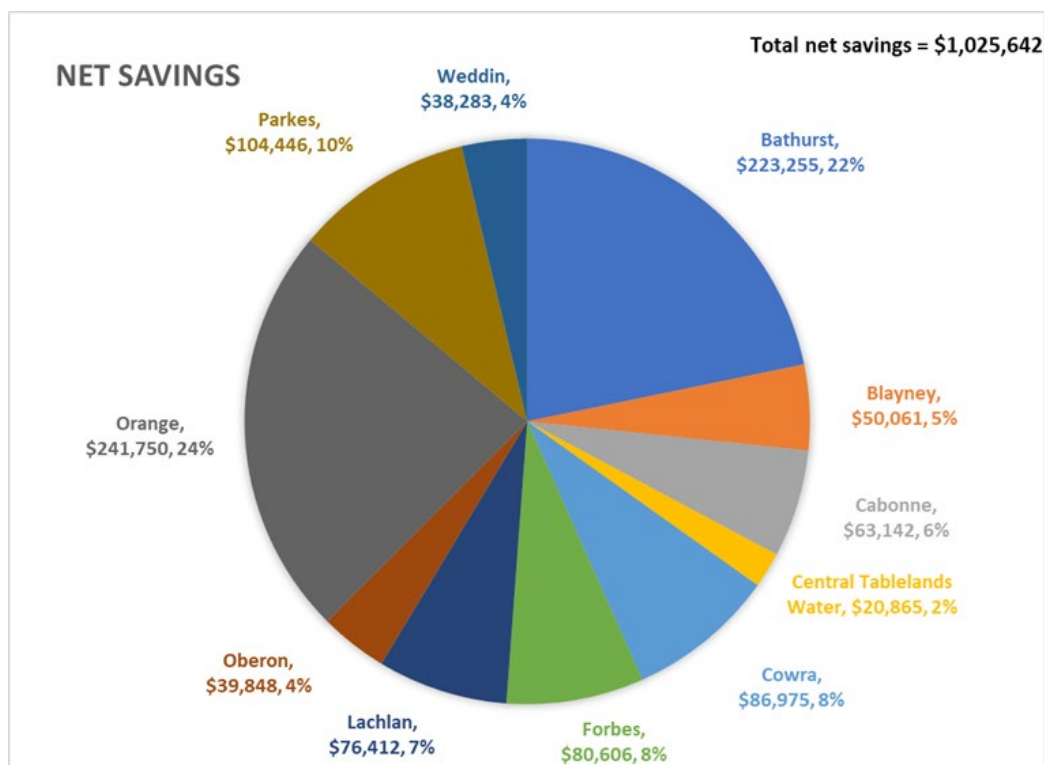
A snapshot of the value to members of the various activities undertaken by the JO for their members in the context of the CNSWJO Strategic Plan follows.

VALUE FOR MEMBERS 2020/2021	FY 2019/2020	FY 2020/2021	FYTD 2021/2022
SUBMISSIONS	20	23	10
PLANS, STRATEGIES AND COLLATERAL	26	12	2
GRANTS SEEKING	3	3	0
GRANT FUNDING RECEIVED	\$215k	\$736k	0
COMPLIANCE	13	9	9
DATA	6	3	0
MEDIA INCLUDING SOCIAL MEDIA	13	18	11
COST SAVINGS	\$1.87m	\$2.2m	\$1.03m
REPRESENTATION	147	159	156
OPPORTUNITIES COUNCILS HAVE BEEN AFFORDED	35	102	72

## Savings

The following chart shows the savings achieved by member councils through aggregated procurement and programming net of JO costs. The chart reflects savings in the 21/22 financial year to date.





## FINANCIAL IMPLICATIONS:

Funding for this item is contained within existing budgets

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

### Objective 4: Enabling sustainable growth.

Strategy 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region.

### Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

Strategy 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently.

Strategy 6.3 Advocate for our community.

## COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## MINUTE



**RESOLUTION NUMBER: ORD2022-112**

**MOVED: Cr I North SECONDED: Cr A Smith**

**RESOLVED:**

That the Report on the Central NSW joint Organisation Board Meeting held on 24 February 2022 be noted.



## **9.1.2 REQUEST TO NAME WALKWAY/CYCLEWAY WITHIN SALTRAM CIRCUIT EGLINTON**

**File No: 20.00024**

### **RECOMMENDATION:**

That Council advertise for two weeks the proposal to name the walkway/cycleway which runs through the Saltram Creek open space adjacent to the Icley residential estate in Eglinton, in memory of Mr Russell William Carrig for public comment.

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### **REPORT:**

Council has received a request to consider the naming of the walkway/cycleway which runs through the Saltram Circuit Open Space adjacent to the Icley residential estate in Eglinton, in memory of Mr Russell William Carrig. This matter was previously discussed at Council's Working Party held on 2 March 2022.

The site for the walkway is shown at **attachment 1**.

Mrs Robyn Waddell (Mr Carrig's daughter) has provided supporting documentation:

- (i) Road request naming 2014 **attachment 2**.
- (ii) Walkway request 2019 **attachment 3**.
- (iii) Walkway additional information 2021 **attachment 4**.

Having regard to the documentation provided by Mrs Waddell, contact was made with Mr Chris Marshall, former District Soil Conservationist, who advised:

*"The proposal to name the new section of cycleway at Eglinton adjacent to Saltram Creek after Russ Carrig is entirely appropriate and I totally support it."*

Mr Marshall provided some additional data, refer **attachment 5**.

Under Council's Procedures for naming of Council facilities, it is generally a requirement to seek public comment via a two week advertising period in the local newspaper, before a decision is made by the Council over the naming proposal. A copy of Council's Policy for the naming of Council facilities is shown at **attachment 6**, which highlights the conditions that an application will need to meet in order to be worthy for consideration of having a facility named after someone.

### **FINANCIAL IMPLICATIONS:**

Costs of consultation will be met within existing budgets.

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**



**Objective 6: Community leadership and collaboration.**

Strategy 6.5 Be open and fair in our decisions and our dealings with people.

Strategy 6.7 Invest in our people.

**COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

**ATTACHMENTS:**

1. Site Map [9.1.2.1 - 2 pages]
2. Road request naming [9.1.2.2 - 6 pages]
3. Walkway request [9.1.2.3 - 1 page]
4. Walkway additional information [9.1.2.4 - 29 pages]
5. Additional data [9.1.2.5 - 7 pages]
6. Naming of Council Facility Policy [9.1.2.6 - 3 pages]

**MINUTE**

**RESOLUTION NUMBER: ORD2022-113**

**MOVED: Cr W Aubin SECONDED: Cr A Smith**

**RESOLVED:**

That Council advertise for two weeks the proposal to name the walkway/cycleway which runs through the Saltram Creek open space adjacent to the Icley residential estate in Eglinton, in memory of Mr Russell William Carrig for public comment.



### **9.1.3 DISCLOSURES BY COUNCILLORS AND DESIGNATED PERSONS RETURNS**

**File No: 11.00002**

#### **RECOMMENDATION:**

That the completed Disclosure of Interest Returns for Councillors after the December 2021 Election be noted.

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#### **REPORT:**

Council Elections were held in December 2021, following a deferral from the proposed September 2021 date. Given the time delay, all Councillors were required to complete new Disclosures of Interest Return Forms.

In accordance with the provisions of Council's Code of Conduct (Clause 4), the Disclosure of Interest for Councillors and Designated Persons Returns for Councillors will be tabled at the meeting.

#### **FINANCIAL IMPLICATIONS:**

Nil

#### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

Nil

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-114**

**MOVED: Cr M Hogan SECONDED: Cr I North**



**RESOLVED:**

That the completed Disclosure of Interest Returns for Councillors after the December 2021 Election be noted.



## 9.2 DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING SERVICES REPORT

### 9.2.1 SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

**File No:** 03.00053

#### **RECOMMENDATION:**

That the information be noted.

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#### **REPORT:**

Section 4.15 of the Environmental Planning and Assessment Act 1979 is provided below to assist Council in the assessment of Development Applications.

#### **4.15 Evaluation** (cf previous s 79C)

- (1) **Matters for consideration—general** In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application—
  - (a) the provisions of—
    - (i) any environmental planning instrument, and
    - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
    - (iii) any development control plan, and
    - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
    - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),
    - (v) (Repealed)that apply to the land to which the development application relates,
  - (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
  - (c) the suitability of the site for the development,
  - (d) any submissions made in accordance with this Act or the regulations,
  - (e) the public interest.
- (2) **Compliance with non-discretionary development standards—development other than complying development** If an environmental planning instrument or a regulation contains non-discretionary development standards and development, not



being complying development, the subject of a development application complies with those standards, the consent authority—

- (a) is not entitled to take those standards into further consideration in determining the development application, and
- (b) must not refuse the application on the ground that the development does not comply with those standards, and
- (c) must not impose a condition of consent that has the same, or substantially the same, effect as those standards but is more onerous than those standards,

and the discretion of the consent authority under this section and section 4.16 is limited accordingly.

- (3) If an environmental planning instrument or a regulation contains non-discretionary development standards and development the subject of a development application does not comply with those standards—
  - (a) subsection (2) does not apply and the discretion of the consent authority under this section and section 4.16 is not limited as referred to in that subsection, and
  - (b) a provision of an environmental planning instrument that allows flexibility in the application of a development standard may be applied to the non-discretionary development standard.

**Note—**

The application of non-discretionary development standards to complying development is dealt with in section 4.28(3) and (4).

- (3A) **Development control plans** If a development control plan contains provisions that relate to the development that is the subject of a development application, the consent authority—
  - (a) if those provisions set standards with respect to an aspect of the development and the development application complies with those standards—is not to require more onerous standards with respect to that aspect of the development, and
  - (b) if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards—is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development, and
  - (c) may consider those provisions only in connection with the assessment of that development application.

In this subsection, **standards** include performance criteria.

- (4) **Consent where an accreditation is in force** A consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the *Building Code of Australia* if the building product or system is accredited in respect of that requirement in accordance with the regulations.
- (5) A consent authority and an employee of a consent authority do not incur any liability as a consequence of acting in accordance with subsection (4).



(6) **Definitions** In this section—

- (a) reference to development extends to include a reference to the building, work, use or land proposed to be erected, carried out, undertaken or subdivided, respectively, pursuant to the grant of consent to a development application, and
- (b) ***non-discretionary development standards*** means development standards that are identified in an environmental planning instrument or a regulation as non-discretionary development standards.

**FINANCIAL IMPLICATIONS:**

Nil

**BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

**COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

**ATTACHMENTS:**

Nil

**MINUTE**

**RESOLUTION NUMBER: ORD2022-115**

**MOVED: Cr I North SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.



## 9.2.2 GENERAL REPORT

**File No:** 03.00053

### RECOMMENDATION:

That the information be noted.

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### REPORT:

The following reports are provided for Council's information.

- (a) Applications approved using authority delegated to the Director Environmental Planning & Building Services during March 2022 (**attachment 1**).
- (b) Applications refused during March 2022 (**attachment 2**).
- (c) Applications under assessment as at the date of compilation of this report (**attachment 3**).
- (d) Applications pending determination for greater than 40 days as at the date of compilation of this report (**attachment 4**).
- (e) Applications with variations to development standards under Clause 4.6 of Bathurst Regional LEP 2014 approved in March 2022 (**attachment 5**).
- (f) No political disclosure statements have been received in relation to any "planning applications" being considered at this meeting.

### FINANCIAL IMPLICATIONS:

Nil

### BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

**Objective 4: Enabling sustainable growth.**

Strategy 4.6 Plan for, assess and regulate development activity.

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.



## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. DAs approved [9.2.2.1 - 2 pages]
2. DAs refused [9.2.2.2 - 1 page]
3. DAs pending [9.2.2.3 - 4 pages]
4. Over 40 Days [9.2.2.4 - 2 pages]
5. Variations [9.2.2.5 - 1 page]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-116**

**MOVED: Cr W Aubin SECONDED: Cr K Burke**

## **RESOLVED:**

That the information be noted.



**9.2.3            DEVELOPMENT APPLICATION NO. 2021/440 –  
DEMOLITION OF EXISTING DWELLING AND  
OUTBUILDING AND CONSTRUCTION OF SINGLE  
STOREY DWELLING WITH ATTACHED GARAGE AND  
DETACHED SHED AT 36 STANLEY STREET,  
BATHURST. APPLICANT: D REYNOLDS. OWNER: DW &  
KL REYNOLDS**

**File No:            2021/440**

**RECOMMENDATION:**

That Council:

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/440, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
- 1) Demolition is not to commence until a Construction Certificate has been issued for the infill dwelling;
  - 2) The subject site is to be consolidated into one lot prior to the issue of an occupation certificate;
  - 3) Prior to the issue of a Construction Certificate, a schedule of external colours and materials is to be submitted and approved by Council. Colours are to be warm autumn tones and any brickwork on the façade and fencing is to be facebrick.
  - 4) Prior to the issue of Construction Certificate, details of any fencing fronting Stanley Street are to be submitted and approved by Council. The fencing is to include :
    - The Diplomat Palisade fencing should be broken up with the use brick pillars at the driveway entry and also a pedestrian entry.
    - Reuse of the brickwork from the existing dwelling is to be incorporated into these fencing pillars.
  - 5) Prior to the issue of Construction Certificate, an amended eastern elevation is to be submitted and approved by Council which address the following:
    - The aluminium windows in horizontal proportions on the eastern elevation are not supported. Windows on the Stanley Street façade should be double hung, timber framed and symmetrical to the verandah post layout.
    - The single garage door facing Rankin Street is not supported. The garage door is to be broken up into two individual doors through the incorporation of a separating feature such as a wall or pillar.



- 6) Measured drawing and photographic recording of the existing dwelling are required to be provided.
- 7) During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.
- 8) The applicant is to lodge, prior to the issue of a construction certificate, a Construction Heritage Management Plan to Council which addresses the following:
  - Mitigation measures in relation to the likely archaeology onsite;
  - The proposed monitoring that will be in place for any archaeological relics uncovered;
  - Training, resources and consultation for staff on the site during excavation;
  - Incident management protocol; and
  - Methods dealing with unexpected finds during works.
- 9) Demolition is to be undertaken whereby the following can be salvaged and cleaned for reuse whether on or off site:
  - Bricks
  - Windows and joinery.

All salvaged materials are to be stored in a safe and secure location with limited exposure to weather, vandalism and theft.

- 10) Prior to the issue of a Construction Certificate, details of any fencing fronting Rankin Street are to be submitted and approved by Council. The fencing details should include:
  - Proposed appearance of the pressed paling inserts including colours and finishes.
  - Proposed colour of the concrete panels.
  - Proposed landscaping species.
  - Proposed irrigation method for ongoing maintenance of landscaping.

OR

The applicant is to provide an alternative design to the proposed fencing fronting Rankin Street to improve the Rankin Street streetscape and experience of the pedestrian on the Rankin Street footpath. The following design considerations are suggested:

- Landscaping between the footpath and the front fence to match the predominant landscaping in front of other dwellings on Rankin Street.
- Retention of steps in the length of high privacy fencing. At least two (2) steps should be created with a minimum of 300mm in depth.
- A mix of masonry (up to 60%) and timber and/or robust material similar in presentation to timber.



- b) notify those that made submissions; and
- c) call a division.

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## SUMMARY:

Council has received a Development Application (DA) for the demolition of the existing single storey dwelling house and outbuildings and the construction of a single storey dwelling with an attached garage and a detached shed at 36 Stanley Street, Bathurst, described as Lot 101 DP 1010287 and Lot 102 DP 1010287.

In accordance with Council's Community Participation Plan, the Development Application was advertised and notified to adjoining property owners from 19 September to 27 September 2021. During the public exhibition period, one submission in support of the proposed development was received.

The proposal is important in that it involves demolition of a building which is significant in terms of its age however its condition renders demolition supportable. The proposed replacement or infill dwelling is significant in size and will span 2 existing lots. There has been considerable discussion around the appropriateness and the justification of the design of the replacement dwelling. This has resulted in some changes to the design of the replacement dwelling however it remains a large dwelling in an area where the scale of dwellings is generally smaller and is reported to Council for determination for this reason.

## Summary of Attachments

Attachment No.	Description
1	Location Plan and Aerial Photo
2	Proposed Plans
3	Copy of received submission
4	Statement of Heritage Impact and addendum
5	Structural Assessment
6	Photomontage
7	Infill form
8	Letter to support proposed dwelling design

## REPORT:

### The Site

The subject site is located on the corner of Stanley Street and Rankin Street and spans two allotments being Lot 101 and Lot 102 in DP 1010287.

Lot 102 is approximately 522.1m<sup>2</sup> and is a corner allotment with frontage to Stanley Street and Rankin Street. Lot 102 contains the existing dwelling house and a small outhouse building.

Lot 101 is approximately 455.3m<sup>2</sup> and has frontage to Stanley Street. Lot 101 currently contains an outbuilding, carport and shipping container. The existing dwelling on Lot 102 partially encroaches on Lot 101.



Together the two allotments have a total site area of approximately 977.4m<sup>2</sup>. The frontage to Rankin Street is 28.04m. The frontage to Stanley Street is 30.48m.

The subject site is located in the Bathurst Heritage Conservation Area and fronts Macquarie Park to the north-east. Macquarie Park is a local heritage item as part of the Bicentennial Park Group. The properties at 25 -31 Rankin Street are also listed as a group of heritage items, as is 1 George Street.

The site contains a medium sized tree/shrub which will remain.

See location plan and aerial photo at **attachment 1**.



**Figure 1** – Site Plan overlaid aerial photo of 36 Stanley Street, Bathurst.

### The proposal

The Development Application seeks to:

- Demolish the existing single storey dwelling house and associated outbuildings;
- Construct one single storey replacement dwelling with an attached garage utilising both lots; and
- Construct a 154.15m<sup>2</sup> detached shed.
- 

See plan of proposed development at **attachment 2**.

Note that during assessment, amended plans were lodged to include:

1. A reduction in the scale of the roof;
2. Articulation of the front façade, including the removal of the wrap around verandah and stepping of the proposed master bedroom and bedroom 2;
3. A new design of the front fence fronting Stanley Street; and
4. Landscaping and articulation of the proposed side fence fronting Rankin Street.

The amended plans addressed some the concerns initially raised in relation to infill



however other aspects were not addressed by the applicant. These included:

1. The scale and width of the proposed dwelling was requested to respect that of the existing dwelling.
2. A Streetscape Elevation (photomontage) demonstrating how the proposal sits within both the Stanley Street and Rankin Street streetscapes in terms of height, eave height and building width.
3. The double garage was requested to be set back as far as possible and to consider reducing its floor area given that a 150m<sup>2</sup> shed was already proposed.
4. The proposed windows should be vertical in proportion, double hung, timber and symmetrical to the post layout.
- 5.

Absent this information provided by the applicant, Council has undertaken its own streetscape assessment of the proposal in terms of the scale and width of the proposal.

#### Advertising and Notification

In accordance with Council's Community Participation Plan, the Development Application was advertised and notified to adjoining property owners from 19 September to 27 September. During the public exhibition period, one (1) submission in support of the proposed development was received.

See copy of the received submission at **attachment 3**.

The submission does not raise any issues that require consideration by the applicant or Council.

#### Planning Context

##### ***Bathurst Regional Local Environmental Plan 2014***

The subject site is zoned R1 General Residential under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. A *dwelling house* is permissible with consent in the R1 General Residential zone. The proposal is consistent with the objectives of the zone.

#### **Clause 4.3 Height of Buildings**

The *Height of Buildings Map* indicates that the maximum building height for the subject property is 9 metres. The proposed dwelling will have an overall height of approximately 5.4 metres. The development therefore complies with Clause 4.3 *Height of buildings*.

#### **Clause 5.10 Heritage Conservation**

The subject site is within the Bathurst Heritage Conservation Area but is not listed as an individual Heritage Item.

Within the immediate vicinity of the property there are heritage items and groups of heritage item as noted below:

- Macquarie Park as part of the Bicentennial Park Group
- 25-31 Rankin Street
- 1 George Street.

Clause 5.10(4) of the Bathurst Regional Local Environmental Plan 2014 requires Council



to consider the effect of the proposed development on the heritage significance of the Heritage Conservation Area.

As background, the NSW Land and Environment Court has adopted “planning principles” to guide consent authorities in dealing with common planning issues. The Court has adopted the following planning principles for dealing with the demolition of contributory buildings in the Heritage Conservation Area (i.e., buildings which are of significance to the HCA but are not individually listed).

***Planning Principle (Helou v Strathfield Municipal Council [2006] NSWLEC 66)***

*43 Most Local Environmental Plans include a heritage provision that requires a proposal's impact on the heritage significance of an item or conservation area to be assessed. **This planning principle applies only to contributory items in a conservation area, not to listed heritage items.***

*44 A contributory item in a conservation area is a building that is not individually listed as a heritage item, but by virtue of age, scale, materials, details, design style or intactness is consistent with the conservation area, and therefore reinforces its heritage significance.*

*45 The demolition of a building which contributes to a conservation area will impact on the area's heritage significance even if its replacement building "fits" into the conservation area. Although the replacement building may be a satisfactory streetscape or urban design outcome, this does not address heritage impacts as the original heritage element has been removed. Despite this, it is open to the consent authority still to permit the demolition of a contributory element, for example, if the replacement has other planning benefits that the original does not.*

*46 The following questions should be addressed in assessing whether the demolition should be permitted:*

- 1. What is the heritage significance of the conservation area?*
- 2. What contribution does the individual building make to the significance of the conservation area?*

*The starting point for these questions is the Statement of Significance of the conservation area. This may be in the relevant LEP or in the heritage study that led to its designation. If the contributory value of the building is not evident from these sources, expert opinion should be sought.*

- 3. Is the building structurally unsafe?*

*Although lack of structural safety will give weight to permitting demolition, there is still a need to consider the extent of the contribution the building makes to the heritage significance of the conservation area.*

- 4. If the building is or can be rendered structurally safe, is there any scope for extending or altering it to achieve the development aspirations of the applicant in a way that would have a lesser effect on the integrity of the conservation area than demolition?*

*If the answer is yes, the cost of the necessary remediation/rectification works should be considered.*



*5. Are these costs so high that they impose an unacceptable burden on the owner of the building? Is the cost of altering or extending or incorporating the contributory building into a development of the site (that is within the reasonable expectations for the use of the site under the applicable statutes and controls) so unreasonable that demolition should be permitted?*

*If these costs are reasonable, then remediation/rectification (whether accompanied by alteration and/or extension or not) should be preferred to demolition and rebuilding.*

*6. Is the replacement of such quality that it will fit into the conservation area?*

*If the replacement does not fit, the building should be retained until a proposal of suitable quality is approved.*

The existing dwelling house at 36 Stanley Street is a Mid Victorian (1860-1875) dwelling and is located in the study area for the Early Government Settlement Map 35 of the DCP. The existing dwelling is therefore considered to be “contributory” having regard to the planning principles established above.

A Heritage Impact Statement (HIS) prepared by Patsy Moppet Consulting dated August 2021 initially indicated that the dwelling may have been constructed between 1848 and 1877 and concluded that the historical significance would be low. Given the age of construction Council would not support this conclusion. The period of construction would mean the dwelling is a very early building in Bathurst and therefore the heritage significance would be a lot higher. The higher level of significance does not preclude demolition subject to assessment of the loss of this significance and the adequacy of the infill.

Following the age of construction being raised as an issue, the author of the Heritage Impact Statement revised the approximate date of construction to 1865 – 1870. An “aerial sketch of Bathurst” dated 1877 indicates a building on the land at that time. Details relating the date of construction are contained in the Addendum to the Heritage Impact Statement.

It is also noted that the Addendum to the Heritage Impact Statement included a recommendation that “*modelling be undertaken to demonstrate impact of the new build (scale, width, height and view lines) on the precinct within the heritage conservation area*”. The intention of the modelling is to demonstrate how the new infill development sits within the streetscape. Unfortunately, the applicant declined to address these issues in detail. This does not preclude consent being granted but has made assessing the appropriateness of the development as an infill more difficult than would have otherwise been required. Ideally this process would have been done in the early stages of formulation of plans for the site rather than after the bulk of the design was completed.

A Structural Report prepared by Calare Civil dated 18 August 2020 indicates that the dwelling has suffered significant damage as a result of ground movement and lack of maintenance. The dwelling is in a very poor condition and would require in excess of \$200,000 worth of repairs.

While the building has a BCAMS rating of contributory, it is acknowledged that the building is in a state of disrepair and its demolition can be supported if the replacement dwelling is respectful of the HCA. Compliance with the HCA is discussed in more detail below under Chapter 10 of the DCP.



## **Bathurst Regional Development Control Plan 2014**

### **Chapter 4 Residential development**

A summary of compliance with the principal development standards under Chapter 4 is provided below:

<b>Development standard</b>	<b>Permissible</b>	<b>Proposed</b>	<b>Complies?</b>
Minimum lot size	550m <sup>2</sup>	977.4m <sup>2</sup> *	Yes
Height	9m	5.4m	Yes
Setbacks	Front – must complement existing (approximately 2.8m)	3.3m	Yes, is not closer than the existing
	Side – as per NCC	As per NCC	Yes
	Rear – as per NCC	As per NCC	Yes
Car parking	1 covered space	Garage with 2 spaces	Yes
Private open space	40m <sup>2</sup> for 3 bedrooms	43m <sup>2</sup>	Yes
Private open space width	4m	6.2m <sup>2</sup>	Yes

\*The dwelling is proposed to utilise both lots 101 and 102 of DP 1010287, both of which are under the minimum lot size requirement. When combined, the consolidated lot will comply with the minimum lot size requirement. Given that the proposal involves replacement of an existing dwelling the variation of the minimum lot size is considered reasonable.

### **Chapter 9 Environmental Considerations**

Section 9.9.3 of the DCP 2014 outlines building design principles for the construction of buildings which can save energy, water and money, while creating a more enjoyable and comfortable place to live and work. Consideration is given to lighting, water saving, rainwater tanks, grey water reuse, renewable energy and energy efficient systems, and, relevant to the proposed development, solar passive design, landscaping and colours.

#### Solar passive design

<b>Type</b>	<b>Design Principle</b>	<b>Comment</b>
Building orientation	Building orientation should seek to maximise winter solar access and minimise summer heat, in particular: i. the long axis of the building should face up to 30 degrees east and 20 degrees west of true north. ii. Living spaces should face north, sleeping areas to the east or south and utility areas to the west and south.	Proposed living spaces include a sitting room, living room and media room. The orientation of the dwelling is restricted by the alignment of Stanley and Rankin Streets, however, the sitting area faces the north-east while the living and media rooms face the south east and south-west. The master bedroom and adjoining walk-in wardrobe will maximise northern sunlight rather than east or southern sunlight.
Passive solar access	i. Existing winter shadows of trees/structures to the north, NE and	No trees are proposed to be removed. One small existing



	<ul style="list-style-type: none"> <li>ii. NW of the site.</li> <li>iii. Possible future developments to the north, NE and NW of the site.</li> <li>iv. Pergolas should face north.</li> <li>iv. Use of sun porches or greenhouses</li> </ul>	<p>tree will remain in the proposed alfresco area which faces the north-west.</p> <p>A possible future pool is proposed on the south-east portion of the block which may be overshadowed by the development.</p>
Shading devices and windows	<ul style="list-style-type: none"> <li>i. Main windows should be shaded in summer between 9am and 4pm.</li> <li>ii. Shading elements should be integrated into the overall elevation design.</li> <li>iii. Where winter solar access is not optimum, double-glazing or high performance glass should be used.</li> <li>iv. Horizontal shading devices (including eaves, verandahs, pergolas, awnings and external horizontal blinds) allow low winter sun into the window whilst providing shade from high summer sun.</li> <li>v. Minimise the size of east and west facing windows due to the hot, low summer sun, or provide suitable shading or other solar control which avoids summer overheating. External vertical shading devices include vertical blinds, blade walls and thick vegetation.</li> </ul>	<p>Shading elements, such as eaves and covered verandahs are incorporated into the design of the dwelling.</p> <p>The windows into the master bedroom and bedroom 2 face the north-east and will obtain the most amount of sun.</p> <p>Living areas will largely be overshadowed by the proposed roof eaves and will have limited access to sunlight.</p>
Insulation	<ul style="list-style-type: none"> <li>i. Insulation should be incorporated into buildings to moderate temperature swings in both summer and winter.</li> <li>ii. Insulation options include bulk insulation, reflective insulation and insulation to windows.</li> <li>iii. Insulate walls between living areas and garages.</li> </ul>	<p>Insulation will be installed as per the submitted BASIX certificate.</p>
Maximise ventilation in summer	<ul style="list-style-type: none"> <li>i. Place windows to allow for cross ventilation. Windows to the south are good for cross-ventilation however their size is best restricted.</li> <li>ii. Fans, roof vents and high level windows should be installed.</li> <li>iii. Consider evaporative cooling and/or wind stacks.</li> <li>iv. Windows should be lockable in a partly open position.</li> <li>v. Exhaust fans to wet areas should be ducted outside.</li> </ul>	<p>All rooms only contain one window except for the living/dining area which contains a three-panel sliding door facing the north-west and accesses the proposed alfresco area, and a six-panel sliding door and windows that face the south-west and access the proposed covered deck. Given that the southern facing windows are numerous and large, it is expected that cross-ventilation will be least effective in this area.</p>
Minimise air leakage	<ul style="list-style-type: none"> <li>i. Consider air locks at entries and minimise air gaps.</li> </ul>	<p>Air locks have not been incorporated into the design.</p>

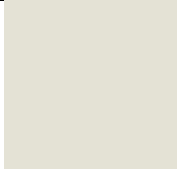

### Landscaping

Design Principle	Comment
a. Tree species and height should be chosen and placed to maximise solar access in winter, shading in summer	An existing medium-height tree will remain in the proposed alfresco area however it is noted that the construction of the garage and

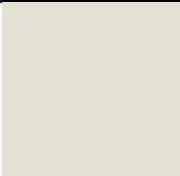





and solar access to neighbouring properties to the south, south-east and south-west.	dwelling house may impact the health of its root structure. The only proposed landscaping, other than lawn, is within the indented concrete tilt panel fencing that fronts Rankin Street. The type of landscaping in this area has not been specified however can be conditioned so as to respect the landscaping of nearby heritage items. No shade trees are proposed other than the retention of the existing medium tree.
b. Evergreen trees are good shade trees to the east and west (especially thicker species) and good to the north if low enough to allow winter solar access.	No shade trees are proposed however an existing tree will remain in the proposed alfresco area.
c. Use internal courtyards (with landscaping and/or water elements). Consider using a porous paving to increase the infiltration of rainfall and irrigation.	An internal courtyard and alfresco area is proposed north-west of the proposed dwelling which will be enclosed by the proposed concrete panel fence. No landscaping is proposed within this area other than the existing medium tree.
d. Include deciduous vines on pergolas to the north.	No pergolas are proposed.
e. Water elements and rainforest gardens assist in cooling the surrounding air.	No water elements other than a potential future pool are proposed. No details of landscaping are provided.
f. Thick shrubs can protect against prevailing winter winds or channel summer breezes.	Shrubs are proposed in the indentation of the concrete panel fence on Rankin Street. Details of the shrub species will be required as a condition of consent.
g. Mulch garden beds to reduce watering needs.	No garden beds are proposed.

## Colours

Design Principle	Comment	
Light coloured surfaces should be used internally and externally.	No colour details are provided for the internal design of the dwelling.	
	The proposed external dwelling colours are as follows.	
	<u>Building component</u>	<u>Colour</u>
	Roof and Gutter	
		Colorbond 'sea mist' (or surf mist)
	Front Door	Stained timber and obscure glazing
	Windows	
		Colorbond 'wallaby'



	Fascia	
		Colorbond 'sea mist' (or surf mist)
	Garage Doors	Weather timber finish (Steel Line)
	Bricks	Reclaimed bricks (flush jointed)
	Fencing	
		Colorbond Monument
	Diplomat Steel Gate	
		Powdercoated Monument
	Concrete Driveway	Plain finish
	Diplomat fence	
		Powdercoated Monument

### Sustainable Design Summary

It is recognised that the proposed dwelling is located on a corner allotment with street frontages to the north-west and north-east which limits the capacity for a dwelling that is aligned with the street frontages to amplify solar access. However, the design of the location of living areas could have been better sited to the north with sleeping areas to the south so as to maximise solar access on the block. In its current form, it is likely that the proposed living areas will have limited solar access, limited cross-ventilation and that private open space to the north-east and south-east will likely be overshadowed by the development itself.

While no shade trees have been proposed, the current design of the dwelling house could benefit from having no shade trees in order to retain solar access. It is also noted that an existing medium tree will remain within the proposed alfresco area.

The external colours of the fascia of the proposed dwelling are light, consistent with the recommendations in section 9.9.3 of the DCP 2014 however the colours will be required to be of warm autumn tones to suit the heritage colours of the area. Further, the use of monument is not supported for the HCA nor is it an appropriate colour according to section 9.9.3. Conditions of consent will require a schedule of colours and materials to be



submitted which incorporate warm autumn tones. The proposed fencing fronting Stanley Street will be required to incorporate brickwork to break up the unbroken line of fencing.

## **Chapter 10 Urban design and heritage conservation**

### **Statement of Heritage Impact**

A Statement of Heritage Impact (i.e., a Heritage Impact Statement (HIS)) has been prepared in accordance with Section 10.3.3 of the Bathurst Regional Development Control Plan 2014. A copy of the HIS and an Addendum to the report is included at **attachment 4**.

An infill form has been provided upon request and can be viewed in **attachment 5**.

Despite being requested and included as a recommendation of the HIS, no photomontage or detailed assessment has been provided by the applicant demonstrating how the proposed dwelling has been designed to sit within the existing streetscape. Given that this item is important to the assessment of the development application, Council has prepared a photomontage and can be viewed in **attachment 6**.

### **Historical Assessment**

The original HIS identified that the dwelling could have been constructed between 1848-1851, and that evidence clearly identifies a building on the land in 1877. The following Statement of Significance has been prepared for the existing dwelling:

*The residence is significant in its context as one of the earlier dwellings in Bathurst, dating probably back to the late 1800's in the early years of accommodation construction in the town for private purposes.*

*It does not hold any strong social connections, although the [James William] Bligh and Patsworth families may have had associations.*

*Its construction design demonstrates the early layout of a main four bedroom dwelling, flanked by primitive kitchen/laundry/bathroom add-ons at the rear. As was the pattern over time, the one structure now shows quite different construction standards.*

*The original four roomed building maintains a poor aesthetic integrity and only stands out as an impoverished element of the heritage precinct. The rear annex joined to the main building is visible from Rankin Street, and detracts from the street view, which is not enhanced by any landscaping.*

*No particular features of the dwelling warrant preservation in demolition of the place, although the layers of construction have become part of the fabric of the building and demonstrate changes in adaptation, reuse and conservation management over time.*

*The original footprint of the building, although not rare, is still clear and there remains some slight potential for archaeological research on the site.*

Whilst the original Heritage Impact Statement concludes the dwelling has low historical significance this is not a conclusion that Council would agree with.

An Addendum to the report was submitted which provided further clarification as to the



age of construction:

*The original SHI states the building is POSSIBLY one of the earliest dwellings constructed in Bathurst based on information available at that time. No further information was available which could narrow the date range to show otherwise. Consultation with the landowner provided little information beyond that known by his immediate family. Consultation with the Bathurst District Historical Society has provided an “Aerial sketch of Bathurst” dated 1877, which vaguely shows a building on the land.*



**Figure 2** – Bathurst District Historical Society aerial sketch.

*We know Bligh left Bathurst in 1851. He had been developing some of his land from 1848, but he had not been living at what is now 36 Stanley Street. It is unknown which of his lots had been “developed” and how this was done ie. dwellings, shops, industry. The original SHI suggests that he MAY have built on No. 36, but this is unconfirmed. It is more likely that he sold it along with his other blocks, to divest himself of his Bathurst properties, once he left town.*

A further examination of the family history associated with the site makes the assumption that the applicant’s family bought the land from Bligh and built the dwelling.

*A Title Deed from 1964 shows the death of the owner in 1956, Emily Jane McMillan, and the property being subsequently being sold by the Executors, Joyce and Leonie Parkes, and Mervyn McMillan, to Leonie and Ronald Parkes, in accordance with Emily’s will. Probate was granted in 1957 and the land sold to the purchasers in 1964. These families are forebears of the current owner. Emily does not seem to have married. If Emily’s father built the house, it would date from when the family moved to Bathurst.*

*Emily was the daughter of Hugh and Margaret McMillan, and was born in 1856-7, one of several children born to them whilst living in Sydney. Their last child, Martha was born in Sydney in 1864, so it is assumed that until that point they were still living in Sydney. If they moved to Bathurst after this, bought the land from Bligh or from a later landowner, and built the house soon after, the earliest we can*



*date the house is perhaps 1865.*

*The current landowner mentions the name Patsworth as being associated with the building, but no evidence can be found to support this. It is unknown whether Patsworth was perhaps family, or a lessee of the premises.*

Given the closer examination on the family history, the date in which the dwelling was possibly constructed has been refined to 1865-1870.

The HIS draws the following conclusions:

*The proposed works within the heritage precinct and the wider heritage conservation area, that is, the demolition of a dilapidated building and the construction of a contemporary home is expected to have minimal significant adverse impact on the integrity and significance of the history of the locality.*

*The works would enable efficient and effective continued use of the site for residential purposes within a residential precinct, and maximise health, building and safety issues with regard residents' use of the site, in addition to value adding to the property and conservation of the historic nature of the adjacent streets.*

*The shed construction is in a suitable location and would be completed to match the main house in colour and cladding, and to enable a better solution to storage of vehicles and other materials and equipment and provide an all-weather workspace.*

*Alternate restoration options were considered, but limited, as discussed above and outlined in the condition assessment, and the most appropriate methodology has been recommended to maximise visual amenity and heritage protection.*

*The dwelling appears to have been constructed in the late 1800's and the owners seek to retain and enhance the site for their own continued use and for interpretation by future generations. The existing building has obviously been able to adapt to changes over time in service provision and occupation but has lost its original integrity as a late Victorian cottage building. The old dwelling does not retain aesthetic appeal and is no longer able to effectively address modern accommodation requirements.*

*Assuming the above works are carried out in accordance with the proposed methodology, the mitigation measures and sympathetic solutions documented should ensure minimal adverse impact, and a positive heritage outcome for the site and the heritage conservation area.*

### **Structural Assessment**

A Structural Assessment aims to demonstrate the condition of the building and essential and desirable works. Council's DCP defines essential work to be "any works required to make the building structurally sound and safe and reverse any adverse deterioration". Desirable works means "other work required to make the structure more habitable and comfortable".

#### **Calare Civil Building Condition Survey (Structural Assessment)**

A Structural Assessment (prepared by Calare Civil Pty Ltd, dated 18 August 2020) submitted with the application indicates that the building has suffered major damage



throughout due to reactive clay movement, unsuitable building techniques and general weathering/deterioration due to lack of maintenance of a long period of time. These concerns have been confirmed by a site inspection undertaken by Council Officers. See Structural Assessment included at **attachment 5**.

The Structural Assessment prepared by Calare Civil Pty Ltd identifies the following essential and desirable works:

1. Essential Work (to ensure structural soundness and safety of building).
- 2.

Remedial Work	Cost Estimate
Repair external timber and eaves	\$5,000
Replace complete roof	\$30,000
Replace all gutters and downpipes and ensure connection to in ground system	\$5,000
Repair sub floor bearers and joists and replace floor throughout	\$40,000
Remove all asbestos and replace internal walls and ceilings	\$70,000
Repair external cracked and damaged masonry	\$9,000
Replace all internal plumbing	\$6,000
Repair all stormwater drainage	\$4,000
Replace bathroom	\$15,000
Replace kitchen	\$15,000
Replace all electrical wiring	\$11,000
Replace verandah and awning	\$25,000
Cost estimate ex GST	\$235,000

3. Desirable Work (to make structure more habitable and comfortable).
  - 4.
- Desirable work was not considered in the report.

The report concluded that the building has suffered damage due to reactive clay soils and general weathering and the costs to make the building habitable are considered unreasonable (\$235,000). Whilst the dwelling has a high BCAMS rating, the building in its current state will require significant reconstruction work which will ultimately alter the original fabric.

Given the building is in a severe state of disrepair, conditions of consent are requested regarding a full measured drawing and photographic recording of the existing dwelling to be provided.

### **Bathurst Conservation Area Management Strategy (BCAMS)**

In order to assess the conservation significance of the dwelling proposed for demolition and consider the findings of the Statement of Heritage Impact in relation to whether or not demolition can be supported in this instance, an assessment under the *Bathurst Conservation Area Management Strategy* (BCAMS) was undertaken.

The following table provides a summary of the assessment.

<b>Address of Building:</b> 36 Stanley Street Bathurst	<b>BCAMS Rating:</b> 8
<b>Type of Building/Current Use:</b> Residential detached dwelling	<b>Zoning:</b> R1 General Residential





**Figure 3** – Existing dwelling house.

**Period of**

**Construction:**

☐ Mid Victorian 1860-1875

☐ Representative

**Heritage Listings:**

None. Located within the Bathurst Heritage Conservation Area. The site is located within the Study area for the Early Government Settlement Map 35 of the DCP. The site is not identified as having high archaeological potential. However, it is in close proximity to an early tannery that operated opposite the site on Rankin Street.

**Streetscape:**

The dwelling is located in one of the earliest parts of the settlement of Bathurst, with several early dwellings located adjacent on Rankin Street (Item 58 Group of Houses on 25 -31 Rankin Street) and Old Government Cottage and 1 George Street at the other end of the block of Stanley Street. Between the subject site and Old Government Cottage, the street is a mix of Interwar 1930's and Post War 1945-1960's dwellings.

**Brief History:**

A Statement of Heritage Impact (prepared by Patsy Moppet, dated Aug 2021) and notes the following:

The land was originally owned by James William Bligh who emigrated to Bathurst from England and was instrumental in the foundations Bathurst. He became Magistrate of Bathurst and 1852 and Member of Parliament for Bathurst between 1851 and 1856 and was an avid land speculator. He relocated to North Sydney in 1851 becoming the first Chairman of North Willoughby municipality until his death in 1869.

When Bligh purchased the subject land in 1847 it was part of a larger holding. Bligh owned the entire block of land bounded by Stanley, Morrisset, Rankin and George Streets, including the land in which Old Government Cottage sits. At the time Bligh left Bathurst in 1851, development had been occurring on his lots. The HIS notes the dwelling was constructed some time between 1848 and 1877 and it was requested of the applicant narrow down the date range. A building constructed c.1848 would make this a very early building remaining for Bathurst and therefore its significance would be a lot higher.

**Physical Description:**

The original dwelling is constructed on a timber frame with weatherboard cladding, an iron roof and a front verandah. It is regular in form and scale, with a symmetrical façade with central entrance door flanked by two 12 panel double hung windows. The dwelling is situated close to the front boundary.

A posted bullnose verandah with decorative timber posts and remnant timber frieze. Roof is in half sheet painted galvanised iron and based on it the age of dwelling likely has evidence of its original shingle roof underneath the roofing iron. Externally the façade has been rough cast rendered and faux stone quoining is present which was likely done in the 1930-1940's.

**Condition Description:** A Structural Report (prepared by Calare Civil dated 18 August 2020)



indicates the dwelling has suffered significant damage as a result of ground movement but also from a lack of maintenance. The dwelling is in a very poor condition and would require in excess of \$200,000 worth of repairs.
<b>Statement of Significance:</b> A small scale cottage of a size typical for the period, displaying many original features. The dwelling is located in one of the earliest parts of the settlement of Bathurst and located in a highly prominent corner location, opposite the heritage listed Bicentennial Park.
<b>Heritage Significance:</b> (4) Historically significant in a regional context (pre 1900/state significant)
<b>Streetscape Rating:</b> (3) Contributory
<b>Special Vegetation:</b> None.
<b>Integrity:</b> (1) Altered unsympathetically – Reversible

The overall conclusion of Council is that the dwellings is historically significant given its age. This reflected in its high BCAM's rating of 8 and is it at odds with the Heritage Impact Statement conclusion that the dwelling is of low significance. The condition of the building is however such that demolition can be supported subject to the infill development being satisfactory. This is consistent with the "planning principles" established above, i.e., *"if the replacement does not fit, the building should be retained until a proposal of suitable quality is approved"*.

### **Infill development**

The applicant has submitted a completed Residential Infill Application (**attachment 7**). The applicant was requested to provide an amendment to the Heritage Impact Statement to address the design of the proposed dwelling in relation to character, scale, form, siting, materials and colours, architectural detailing and to provide a photomontage. The photomontage is also consistent with the applicant's own recommendations made in the Addendum of the Heritage Impact Statement to provide *"modelling be undertaken to demonstrate impact of the new build (scale, width, height and view lines) on the precinct within the heritage conservation area"*.

In response, a letter was submitted (**attachment 8**) which makes the following comments:

*It is noted that there have been a number of revisions made to address Councils concerns with respect to the design to ensure that it is appropriate in this location (this is a modern home that addresses both streets but still respects the surrounding buildings). Yes, it is noted that the land contains 2 lots, but it is noted that Lot 101 is only 10m wide and not really considered ideal for a house in this location (there is no provision that prohibits a dwelling on two lots subject to consolidation). The two lots combined create a relatively square lot with nearly even street frontages to both Stanley and Rankin Streets (with the exception of the rear of Lot 101 which is proposed for a rear shed). Accordingly, the design has been undertaken to address both street frontages with passive surveillance to both streets.*

With respect to Lot 101 (the vacant lot) being approximately 10m at the Stanley Street frontage, it is not unusual for dwelling houses in Bathurst to be located on narrow lots. Given that 36 Stanley Street consists of two allotments, an alternative development could, subject to planning provisions, see the construction of a replacement dwelling solely on Lot 102 that respects the scale of the existing dwelling and leaves the option to develop a separate dwelling house on Lot 101. Such a development may be more suitable to the site than utilising two allotments for one replacement dwelling.

*As a result of the relatively even frontages to both lots, it is reasonable to consider the proposed dwelling with consideration to the housing in both Stanley and Rankin*



*Streets (where there are a number of examples of buildings with larger and more modern footprints – 14, 16, 19 Rankin Streets have long frontages).*

With Lot 101 and 102 consolidated, the Stanley Street frontage will be approximately 30m. No other allotment fronting Stanley Street exceeds approximately 24m, with the exception of State Heritage Item 'Old Government House Group' on the corner of Stanley Street and George Street. The Old Government House Group has a combined street frontage to Stanley Street of approximately 41.2m however more than half of this frontage is occupied by landscaping.

The existing Rankin Street frontage of Lot 102 is approximately 28m. No other allotment fronting Rankin Street exceeds approximately 23.7m. The comment in the submitted letter suggests that 14, 16 and 19 Rankin Street exemplify long frontages similar to that of Lot 102. However 14 and 16 Rankin Street are attached dwellings and are situated on their own allotments. Both dwellings have a frontage on Rankin Street of approximately 12.3m. Combined, the frontage would be approximately 24.6m. Similarly, 19 Rankin Street referred to in the letter consists of 3 attached dwellings; 1/19 and 2/19 Rankin Street have frontages of approximately 8.5m, while 3/19 Rankin Street has a frontage of approximately 8.7m. Combined, the three dwellings would have a frontage of 25.7m.

While the combined frontages of 14 and 16 Rankin Street (approximately 24.6m) and the combined frontages of 1/19 - 3/19 Rankin Street (approximately 25.7m) are similar to 36 Stanley, it is not particularly useful to the discussion as they comprise higher occupancy development as opposed to an individual dwelling. The façade of the proposed dwelling that will face Rankin Street will utilise approximately 22m.

*There are a number of commercial buildings across the intersection that provide further building diversity and scale to the area, which indicates that there is not a consistent theme for the area.*

The sites diagonally opposite comprise commercial scale development some of which has been in existence for many years. It is not directly relevant to the bulk and scale of this proposal.

Council's own observations of Stanley Street (between Rankin and George) is that it contains a mix of Interwar 1930's and Post War 1945-1960's dwellings with the exception of Old Government Cottage and a new infill dwelling behind 26 Stanley Street.

*The lots along Stanley Street are generally narrower and the houses built at the time were designed accordingly. The subject land is not a narrow lot as discussed above – however, the design has been refined by the further articulation of the Stanley Street frontage with the master bedroom and Bed 2 been brought forward and a significant amount of bulk taken out through redesign which has enabled the building height to be lowered.*

It is assumed that the comment '*the subject land is not a narrow lot*' was made in relation to consolidating Lot 101 with Lot 102. In their current form, Lot 101 (10.82m) is considered to be narrow, with Lot 102 (19.66m) being one of the wider allotments on both Stanley and Rankin Streets reflective of its position on a corner.

The articulation of the façade facing Stanley Street was requested by Council in order to better utilise the footprint of the existing dwelling house and to design a roof height and pitch more consistent with the streetscape. The changes are considered appropriate.

*The windows generally have horizontal proportions which has [sic] in keeping with*



*other dwellings along Stanley Street.*

Council has previously requested that the windows on the Stanley Street façade be vertical in proportion as the horizontal proportions were not supported. As the applicant raised in the comment above and as evidenced in the photomontage, the windows on other dwellings in Stanley Street are generally horizontal and therefore horizontal proportions can be accepted. A condition of consent is warranted to ensure the Stanley Street facing windows are double hung, timber framed and symmetrical to the verandah post layout.

*The roof pitch proposed is representative of the neighbouring development (the neighbouring flat roof house on Rankin Street has not been considered). The use of face brick and Zinalume roofing is considered consistent with the surrounding locality.*

*It is noted that the proposed dwelling is setback further from Stanley Street than the current house on the site.*

*The front fence has been changed to address Council's suggestions and the fence along Rankin Street has been articulated with pressed paling panel inserts with landscaping within the inserted areas to provide a visually appealing outcome whilst still affording privacy for the owners.*

An indented fence design is now proposed along Rankin Street, allowing for two opportunities for landscaping. Further details regarding the pressed paling panel materials and colours that would be applied to the fence are outstanding and can be conditioned.

With regard to the front fence on Stanley Street, no further justification is provided for the proposed 1.2m diplomat fencing. Diplomat fencing is a type of security fence often seen bordering schools (albeit taller). While black iron styled fencing is in keeping with the inter-war period for the streetscape, the clean, unbroken line of diplomat fencing is not supported. This is largely a factor of the length of the frontage. The fencing would benefit by being articulated by the use of brick pillars at the driveway entry and also at the pedestrian entry. This can be imposed as conditions of consent.

*The rear shed (to fill the area at the back of Lot 101), is proposed to be used for the storage of cars and associated vehicles of the owners and not be used on a regular basis. The rear shed works due to the odd shape of the subject land and this is considered the best use of this area. Due to the design of the house, the shed will be obscured from Stanley Street and due to its significant setback from the street, will generally not be seen. The proposed garage off Rankin Street will be for the garaging of the owners everyday use cars. The garage is setback a reasonable distance from the intersection so as to not create any traffic safety issues.*

While the proposed shed is of a considerable size (154m<sup>2</sup>), it is well set back from the street and will be partially hidden by the proposed dwelling house.

With respect to the proposed attached garage, it currently presents as double garage with a single door of 5.1m in width. The door is proposed to be colorbond in "weathered timber" appearance. Alterations to the door have previously been requested however these suggestions have not been adopted in the application. The current garage door is considered inappropriate and should be broken into two individual doors by the incorporation of a separating feature such as a wall or pillar. An example of an appropriate two paneled garage would be the garage doors on 14 & 16 Rankin Street, as seen in Figure 4 below.





**Figure 4** – Garage doors on 14 & 16 Rankin Street.

Conditions of consent can be implemented to ensure that the proposed garage door is articulated for an appearance more suitable to the Rankin Street frontage and Heritage Conservation Area.

The justification that the distance of the garage to the intersection is not relevant to its appropriateness in the streetscape.

*The living and dining areas will receive morning and afternoon sun and will open out onto the alfresco and deck areas (with future pool option). No issues with security have been identified.*

As discussed in section 9.9.3 of DCP 2014 above, the design of the location of living areas could have been better sited to the north with sleeping areas to the south so as to maximise solar access on the block. In its current form, it is likely that the proposed living areas will have limited solar access, limited cross-ventilation and that private open space to the north-east and south-east, including the potential future pool, will likely be overshadowed by the development itself.

*Whilst other alternative designs have been considered by the owners, they have designed their home to meet their future requirements and lifestyle, whilst been sympathetic to surrounding homes. They have made changes to the design and appearance of the building to endeavour to meet the concerns of Council. It is considered that the proposed dwelling will provide a positive inclusion into the area.*

As noted previously Chapter 10 would require an Infill Form to be submitted with the application together with the Heritage Impact Statement. In this case the infill form was not originally submitted. A perfunctory attempt at the Infill form was eventually submitted meaning that some of the design concerns were not identified in the initial planning stages of the development. Council must conclude whether the infill as a whole is acceptable.

Council has prepared a photomontage of the streetscapes (Stanley and Rankin) to illustrate the bulk and scale of the replacement. The photomontage is particularly important to illustrate the bulk and scale of the development relative to the neighbours. *While bulk and scale tend to be used interchangeably, strictly speaking, bulk refers to the mass of a building and scale is properly used only when referring to the relative size of two or more things* (Veloshin v Randwick Council [2007] NSWLEC 428).



The photomontage can be viewed in **attachment 6** and in figures 5-7 below.





**Figure 5 – Photomontage: Stanley Street - full**



**Figure 6 – Photomontage: Stanley Street – half, close up**



**Figure 7 – Photomontage: Rankin Street - full**



The photomontage demonstrates that the proposed dwelling is of a scale, form and size (particularly width) that is substantially larger than the dwelling it replaces and many of its neighbours. No other dwelling on either Stanley Street or Rankin Street is of similar bulk or scale as the proposed dwelling. In relation to these aspects of the design, an assessment of the DCP 2014's infill criteria is made in the below table.

DCP INFILL CRITERIA	COMMENT
a) Character - All built environments have their own special character. The proposal is to ensure that the harmony and unity of the area is maintained.	<p>Stanley Street is characterised by a mix of Interwar 1930's and Post War 1945-1960's dwellings with the exception of Old Government Cottage and a new infill dwelling behind 26 Stanley Street.</p> <p>Rankin Street (on its south eastern side) does not show a consistent style or period of dwelling).</p>
b) Scale - The scale of a building is its size in relation to surrounding buildings or landscape. Infill design should recognise the predominant scale (height and bulk) of the setting.	<p>When viewed from Stanley Street the dwelling will be significantly wider (approximately 21.7m) when compared with other dwellings in this section. Other dwellings in Stanley Street range in width from approximately 8m to 13.5m.</p> <p>The scale therefore represents a departure from what is the norm when viewed from Stanley Street. This is a reflection of the location of the dwelling across a significant proportion of the frontage to Stanley Street.</p> <p>Whilst there has been some attempt to modulate the frontage of the dwelling in the amended plans, the design nonetheless remains of a much larger scale than its immediate neighbours in Stanley Street.</p> <p>The eave heights appear to be slightly lower than that of immediately adjacent 34 Stanley Street however the difference is negligible. The roof height as originally proposed was significantly bulky and had a max height of approximately 6.4m at the central ridge. A revision in the plan saw a reduction in the overall roof bulk and height and is now no taller than approximately 5.4m. Therefore the roof and eaves heights are deemed acceptable.</p> <p>Comparisons to adjoining dwellings in Rankin Street are of limited value as the frontage is dominated by the front fence and the immediate adjoining dwelling at 8 Rankin is setback well behind the proposed infill development.</p> <p>The proposed shed at the rear, whilst of a considerable size (15.4m x 10m, eave height 3.1 approx, ridge 5.4m) is setback at rear of the site with the smallest elevation fronting Stanley Street and a single roller door. The shed will partially be screened from view by the proposed dwelling.</p>
c) Form – The form of a building is its overall shape	The plans as originally submitted featured a wrap around verandah that featured prominently on Stanley



<p>and volume and the arrangement of its parts. Infill design should be sympathetic to the predominant form of its neighbours.</p>	<p>Street and wrapped down the south-eastern side of the dwelling. This design was not deemed appropriate for the Interwar and Post-War period dwellings in Stanley Street. A revision to the plan proposed articulation to the Stanley Street frontage, featuring two stepped rooms to complement the frontage of the adjacent dwelling on 34 Stanley Street. This broke the verandah into sections, with two small verandahs on the Stanley Street frontage and a side verandah on the south-eastern side.</p> <p>While the roof form is unlike any on Stanley Street, the reduction in bulk is appreciated.</p>
<p>d) Siting – New buildings should contribute sympathetically to the local streetscape. Infill design should conform to existing front and side setbacks and be oriented on site in a manner consistent with the established streetscape pattern.</p>	<p>The existing dwelling house is located approximately 3m from the front boundary on Stanley Street and features a verandah forward of the front wall. From Rankin Street, the existing dwelling is setback approximately 8m.</p> <p>The proposed dwelling does not utilise the existing dwelling footprint, rather, it is setback further from Stanley Street to enable landscaping forward of the façade and a desired setback from the dwelling to the proposed front fence. To Rankin Street, the proposed dwelling encroaches over the existing footprint such that the dwelling will be setback approximately 3m from Rankin Street, a significant decrease from the existing 8m.</p> <p>With the exception of 1 George Street (which also fronts Stanley Street), no other dwelling house is set back as close as the proposed dwelling on Stanley Street. Likewise, no other dwelling in Rankin Street is set back as closely as the proposed dwelling. That being said, the existing dwelling house on 36 Stanley Street would allow for a setback consistent with the existing footprint, such that the slightly reduced Stanley Street setback is deemed acceptable.</p> <p>The setback to Rankin Street is inconsistent with the existing dwelling and its neighbours. However, comparisons to adjoining dwellings in Rankin Street are of limited value as the number of dwellings are few and the setbacks vary from approximately 3.5m to approximately 9m</p>
<p>e) Material and Colours – Infill design should recognise characteristic materials, textures and colours used locally and in adjacent buildings.</p>	<p>The walls and roof are proposed as Colorbond ‘sea mist’ (or surf mist – cream), windows in Colorbond ‘wallaby’ (grey) and fencing in Colorbond Monument (dark grey). The garage door is proposed to have a weathered timber finish.</p> <p>Regardless of the proposed colours, conditions of consent can be imposed to ensure that a schedule of external colours and materials is submitted and approved by Council prior to the issue of a</p>



	construction certificate. Colours are to be warm autumn tones and any brickwork on the façade and fencing is to be face brick in order to be consistent with the streetscape.
f) Detailing – Common details within an area establish neighbourly resemblance and contribute to its special character, eg, verandahs, chimneys, decorative mouldings etc. Modern details can reinterpret traditional details and provide levels of visual interest that contribute to the character of a place	<p>As discussed above, the proposed dwelling has been stepped to be consistent with the immediately adjacent 34 Stanley Street façade form. This is a common feature on Stanley Street and is also established in 18, 22 and 24 Stanley Street. The stepped formation also helps to break up the proposed wrap around verandah which was not supported as it was inconsistent with the character of the streetscapes.</p> <p>The proposed side fence that will face Rankin Street is proposed to be a concrete panel fence with pressed paling inserts. The fence has been stepped in to incorporate two opportunities for landscaping to mirror the existing landscaping present on 25 Rankin Street, the heritage item across the street. The use of concrete panels for a boundary fence is not supported until further details are provided. A condition of consent can be implemented to ensure that the fencing is further articulated to be more consistent with the streetscape.</p>

Given the above assessment, the proposed infill dwelling is inconsistent with the streetscapes in relation to scale, siting, materials and colours, and detailing. The latter two can be resolved by way of conditions. Scale and siting aspects are less able to be managed by way of conditions as changes required could potentially alter the bulk and scale of the dwelling warranting re-assessment.

The subject site and other allotments on the same block fronting Stanley Street are located in the R1 General Residential zone in which low and medium density development is permissible with consent. With easterly views over Macquarie Park and the Macquarie River/Wambuul, it is likely that the row of dwellings may, in the future, be developed into medium density housing to capitalise on the location and views. If such development were to take place, it may be in the form of two-storey terrace houses that could be set back consistent with that of the proposed dwelling. This would not be inconsistent with the setback of the two-storey heritage item on the corner of Stanley Street and George Street. Such a scenario would see that the bulk, scale and setbacks of the proposed dwelling would be satisfactory.

A number of matters remain outstanding that the applicant has not addressed but can be conditioned.

- The Stanley Street fencing should be broken up with the use brick pillars at the driveway entry and also a pedestrian entry. This fencing is to incorporate the existing brickwork from the dwelling. This can be conditioned prior to CC.
- 
- Further details are required regarding the 1.8m concrete panel fence along Rankin Street.
- The windows on the Stanley Street façade are to be double hung, timber framed and symmetrical to the verandah post layout.



Should the application be approved, the following conditions are recommended:

- Prior to the issue of Construction Certificate, a schedule of external colours and materials are to be submitted and approved by Council. Colours are to be warm autumn tones and any brickwork on the façade and fencing is to be facebrick.
- Prior to the issue of Construction Certificate, details of any fencing fronting Stanley Street are to be submitted and approved by Council. The fencing is to have consideration to:
  - - o The Diplomat Palisade fencing should be broken up with the use brick pillars at the driveway entry and also a pedestrian entry.
    - o
    - o Reuse of the brickwork from the existing dwelling is to be incorporated into these fencing pillars.
- Prior to the issue of Construction Certificate, an amended eastern elevation is to be submitted and approved by Council. The windows on the Stanley Street façade should be double hung, timber framed and symmetrical to the verandah post layout.
- Measured drawing and photographic recording of the existing dwelling are required to be provided.
- During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.
- The applicant is to lodge, prior to the issue of a construction certificate, a Construction Heritage Management Plan to Council which addresses the following:
  - i) Mitigation measures in relation to the likely archaeology onsite;
  - ii) The proposed monitoring that will be in place for any archaeological relics uncovered;
  - iii) Training, resources and consultation for staff on the site during excavation;
  - iv) Incident management protocol; and
  - v) Methods dealing with unexpected finds during works.
- Demolition is to be undertaken whereby the following can be salvaged and cleaned for reuse whether on or off site:
  - a) bricks
  - b) windows and joinery.

All salvaged materials are to be stored in a safe and secure location with limited exposure to weather, vandalism and theft.
- Prior to the issue of a Construction Certificate, details of any fencing fronting Rankin Street are to be submitted and approved by Council. The fencing details should include:
  - Proposed appearance of the pressed paling inserts including colours and finishes.



- Proposed colour of the concrete panels.
- Proposed landscaping species.
- Proposed irrigation method for ongoing maintenance of landscaping.

OR

The applicant is to provide an alternative design to the proposed fencing fronting Rankin Street to improve the Rankin Street streetscape and experience of the pedestrian on the Rankin Street footpath. The following design considerations are suggested:

- Landscaping between the footpath and the front fence to match the predominant landscaping in front of other dwellings on Rankin Street.
- Retention of steps in the length of high privacy fencing. At least two (2) steps should be created with a minimum of 300mm in depth.
- A mix of masonry (up to 60%) and timber and/or robust material similar in presentation to timber.
- Incorporation of transparent elements to facilitate passive surveillance of the Rankin Street footpath.

## **CONCLUSION:**

Council has received a Development Application for the demolition of existing dwelling and outbuildings and construction of a single-storey dwelling with and attached garage and separate shed at 36 Stanley Street, Bathurst. The Development Application was advertised and notified to adjoining property owners from 13 September 2021 to 27 September 2021. One submission in support of replacing the existing dwelling was received during the public exhibition period. A high BCAMs rating has been given to the property based on age and streetscape contribution.

The complete demolition of a structurally poor building is supported on the basis of its poor overall condition and the cost of structural remedial works. The design of the infill dwelling, while of a scale, form and size (particularly width) that is substantially larger than the existing dwelling which is proposed to be demolished, is expected to be consistent with the potential future development of the area and therefore considered satisfactory. Detailing elements of the design of the dwelling can be managed by way of conditions of consent.

## **FINANCIAL IMPLICATIONS:**

Nil

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 1: Our sense of place and identity.**

Strategy 1.2 Protect, enhance and promote the region's European heritage assets and character.

Strategy 1.5 Promote good design in the built environment.

**Objective 5: Community health, safety and well being.**



Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

**COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

**ATTACHMENTS:**

1. Aerial location plan [9.2.3.1 - 1 page]
2. Proposed Plans [9.2.3.2 - 11 pages]
3. Copy of received submission [9.2.3.3 - 1 page]
4. Statement of Heritage Impact and Addendum [9.2.3.4 - 39 pages]
5. Structural Assessment [9.2.3.5 - 6 pages]
6. Photomontage [9.2.3.6 - 2 pages]
7. Infill Form [9.2.3.7 - 2 pages]
8. Letter to support proposed dwelling design [9.2.3.8 - 3 pages]

**MINUTE**

**RESOLUTION NUMBER: ORD2022-117**

**MOVED: Cr I North SECONDED: Cr B Fry**

**RESOLVED:**

That Council:

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/440, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
  - 1) Demolition is not to commence until a Construction Certificate has been issued for the infill dwelling;
  - 2) The subject site is to be consolidated into one lot prior to the issue of an occupation certificate;
  - 3) Prior to the issue of a Construction Certificate, a schedule of external colours and materials is to be submitted and approved by Council. Colours are to be warm autumn tones and any brickwork on the façade and fencing is to be facebrick.
  - 4) Prior to the issue of Construction Certificate, details of any fencing fronting Stanley Street are to be submitted and approved by Council. The fencing is to



include :

- The Diplomat Palisade fencing should be broken up with the use brick pillars at the driveway entry and also a pedestrian entry.
  - Reuse of the brickwork from the existing dwelling is to be incorporated into these fencing pillars.
- 5) Prior to the issue of Construction Certificate, an amended eastern elevation is to be submitted and approved by Council which address the following:
- The aluminium windows in horizontal proportions on the eastern elevation are not supported. Windows on the Stanley Street façade should be double hung, timber framed and symmetrical to the verandah post layout.
  - The single garage door facing Rankin Street is not supported. The garage door is to be broken up into two individual doors through the incorporation of a separating feature such as a wall or pillar.
- 6) Measured drawing and photographic recording of the existing dwelling are required to be provided.
- 7) During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.
- 8) The applicant is to lodge, prior to the issue of a construction certificate, a Construction Heritage Management Plan to Council which addresses the following:
- Mitigation measures in relation to the likely archaeology onsite;
  - The proposed monitoring that will be in place for any archaeological relics uncovered;
  - Training, resources and consultation for staff on the site during excavation;
  - Incident management protocol; and
  - Methods dealing with unexpected finds during works.
- 9) Demolition is to be undertaken whereby the following can be salvaged and cleaned for reuse whether on or off site:
- Bricks
  - Windows and joinery.
- All salvaged materials are to be stored in a safe and secure location with limited exposure to weather, vandalism and theft.
- 10) Prior to the issue of a Construction Certificate, details of any fencing fronting Rankin Street are to be submitted and approved by Council. The fencing details should include:
- Proposed appearance of the pressed paling inserts including colours and finishes.



- Proposed colour of the concrete panels.
- Proposed landscaping species.
- Proposed irrigation method for ongoing maintenance of landscaping.

OR

The applicant is to provide an alternative design to the proposed fencing fronting Rankin Street to improve the Rankin Street streetscape and experience of the pedestrian on the Rankin Street footpath. The following design considerations are suggested:

- Landscaping between the footpath and the front fence to match the predominant landscaping in front of other dwellings on Rankin Street.
- Retention of steps in the length of high privacy fencing. At least two (2) steps should be created with a minimum of 300mm in depth.
- A mix of masonry (up to 60%) and timber and/or robust material similar in presentation to timber.

b) notify those that made submissions; and

c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

**The result of the division was:**

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

Against the Motion - Cr J Jennings

Absent - Nil

Abstain - Nil



**9.2.4 DEVELOPMENT APPLICATION 2021/613 - PROPOSED  
SHED AND SHED EXTENSION, 10 OPHIR STREET,  
BATHURST. APPLICANT: BATHURST SHEDS. OWNER:  
G & K WHITEHOUSE**

**File No: 2021/613**

**RECOMMENDATION:**

That Council

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/613, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including the following:
    - 1) The front setback of the replacement garage is to be altered such that it is located behind the verandah line of the dwelling and in line with the front door of the dwelling. This could be achieved by an extension to the existing shed forward of its current alignment by approximately 3.5m – 4.0m (as opposed to 7.2m as proposed).
  - b) notify those that made submissions of its decision; and
  - c) call a division.
- 

**SUMMARY:**

Council has received a Development Application at 10 Ophir Street, Bathurst for the demolition of part of an existing shed and construction and new garage generally in its place. A second shed is proposed for construction at the rear of the property. The application was subject to public notification which gave rise to a number of submissions from adjoining residents.

**REPORT:**

**Site**

10 Ophir Street (Lot 1 DP780678) is a 1116 square metre residential allotment in a well established part of Bathurst.

The site currently contains:

- a large dwelling;
- a garage/shed in two sections at the front of the property;
- well established garden;
- an outhouse located at the rear of the site.



An aerial map of the land and surrounding area is available at **attachment 1**.

### **Proposed development**

The proposed development seeks consent to:

- Demolish part of an existing section of the garage/shed located at the front of the property.
- Construct a new shed (6m x 7.2m) as a replacement to the demolished shed to match the existing section (referred to as the “replacement garage”) (**attachment 2**).
- Remove two trees from the site.
- Construct a new shed (10.5m x 7m) at the rear of the site (referred to as the “new shed”) (**attachment 3**).

### **Summary of Attachments**

<b>Attachment No.</b>	<b>Description</b>
1	Aerial location plan
2	Plans of the proposed replacement garage at the front of the site
3	Plans of the proposed new shed at the rear of the site
4	Shadow Diagrams in relation to the proposed shed and shed extension
5	Street front elevation showing proposed replacement garage
6	Submissions and Summary of Submissions
7	Response to Submissions

### **Bathurst Local Environmental Plan 2014**

#### **Zone**

The land is located in the R1 – General Residential zone. The objectives of the zone are as follows:

#### **Objectives**

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide housing choice and affordability by enabling opportunities for medium density forms of housing in locations and at densities that complement the surrounding residential environment.*
- *To protect and conserve the historic significance and scenic quality of the urban villages of Eglinton, Raglan and Perthville.*
- *To enable commercial development that is compatible with the amenity of the area and does not prejudice the status and viability of the Bathurst central business district as the retail, commercial and administrative centre of Bathurst.*

The proposal is consistent with the objectives of the R1 General Residential zone.

#### **Permissibility**

The proposed replacement garage and proposed new shed are ancillary to the residential



uses occurring on the site and are permissible in the R1 – General Residential zone.

### **Special Provisions**

#### **Clause 4.3 Height of Buildings**

The Height of Buildings Map indicates that the maximum building height for the subject land is 9 metres. The replacement garage is 4.43m at the apex of the roof. The new shed is 4.8m at the apex of the roof.

#### **Clause 5.10 – Heritage conservation**

The land is in the Heritage Conservation Area (HCA) but is not listed as an individual heritage item.

Clause 5.10(4) applies to the proposal and requires consideration of the effect on the heritage significance of the HCA.

In this instance the proposed replacement garage is not appropriate in terms of its impact on the streetscape. Whilst it is in a similar location to the existing single car garage the replacement garage represents a much wider and bulkier building than its predecessor. An alternative design to the replacement garage is discussed below.

The new shed at the rear will not have any significant impact on the streetscape. The materials and roof pitches are appropriate.

### **Bathurst Development Control Plan 2014**

#### **Chapter 4 – Residential development**

Section 4.4.1 of the DCP outlines the general siting considerations for all residential development. The objectives outlined in Section 4.4.1 include:

- *To enhance and/or maintain residential streetscape and character and to provide for landscaping in front of buildings.*
- *To provide access and fire protection, to maximise solar access and privacy, to minimize possible adverse impacts on adjoining properties, and to facilitate flexible site planning.*
- *To reduce the visual dominance of garages, vehicle access, carports and parking in streetscape.*

The DCP does not contain any specific provisions in relation to the overall height (beyond the general height of building limitations, i.e. 9m) and size for residential sheds.

Setbacks from boundaries are in accordance with the provisions of Chapter 4 as noted below:

#### ***Replacement Garage***

<b>Development Standard</b>	<b>Permissible</b>	<b>Proposed</b>	<b>Complies</b>
Front building line setback	Complement the existing setback	6m	Garage is in line with the existing dwelling on the site however due to its size has a significant impact on the streetscape.



Side setback	As per National Construction Code (NCC)	0.9	Yes
Rear setback	As per National Construction Code (NCC)	Approx. 27m	Yes

#### *New Shed*

Development Standard	Permissible	Proposed	Complies
Front building line setback	Complement the existing setback	Behind from building line	Yes
Side setback	As per National Construction Code (NCC)	4m	Yes
Rear setback	As per National Construction Code (NCC)	1m	Yes

As outlined below, the potential for the new shed at the rear of the property to overshadow surrounding land has been raised in the public submissions.

BRDCP 2014 requires that:

*New development should not significantly affect access to sunlight of existing or likely future development on other property between 9.00am and 3.00pm, particularly living areas and usable open space. At least two hours of sunlight to indoor and outdoor living areas of adjoining properties is to be maintained between 9.00am and 3.00pm on June 21.*

Shadow diagrams for shadows cast by the new proposed structures as well as the existing structures have been prepared for this report and can be found at **attachment 4**.

The following conclusions can be drawn in relation to overshadowing:

- Shadows will impact the rear yard of 12 Ophir but will not extend onto the property beyond 11am on 21 June.
- Shadows will impact on the rear yard and shed of 211 William Street but will not extend onto the property beyond 11am on 21 June.
- Shadows will impact on the rear yard of 209 William Street commencing at approximately 12 noon 21 June and extending further onto the property later in the day.

The shadows cast by the new shed do not reduce the sunlight available to the indoor and outdoor living areas of the adjoining properties to below two hours during the appointed day.

### **Chapter 10 – Urban design and heritage conservation**

Section 10.5 of the DCP pertains to development within the Bathurst Heritage Conservation Area and provides the following development standards for garages and outbuildings:

- Garages and parking areas should generally be located behind the building line. Council may give consideration to locating one roller door (panel design) visible from the street frontage but only where it is located a minimum 1 metre*



*behind the front building line.*

The existing single car garage/shed located at the front of the property has been present on the site for some time. No records of its construction have been found however aerial imagery held by Council indicates it has been present on the site since at least 2001. Immediately behind the single car garage is larger colourbond shed. The larger shed is approximately 6m x 7m and constructed in or about 2016 under the exempt development provisions of the LEP.

The replacement garage as proposed will extend to the same building line as the existing shed, but because of its width will have a greater presence in the streetscape. The existing garage to be demolished is approximately 3.7 metres wide and 3.5 metres high whilst the proposed replacement shed will be 6 metres wide and rise to 4.43 metres high.

**Attachment 5** contains a streetscape assessment of the proposed replacement garage.

Whilst the new garage is “in line” with the forwardmost part of the dwelling relative to Ophir Street, it must be acknowledged that this forwardmost part of the dwelling is located on the opposite side of the dwelling to the existing and proposed garage. That section of the dwelling located closest to the garage is an open verandah with a significantly lower roof line.

A far preferable approach to the garage would be for it to be located behind the verandah line of the dwelling and in line with the front door of the dwelling. This could be achieved as an extension to the existing shed forward of its current alignment by approximately 3.5m – 4.0m (as compared to 7.2m as proposed), this distance being subject to confirmation on site. This arrangement is illustrated below.



*Figure 1 - Diagram showing the front building line (adapted from Council aerial imagery)*

It is noted that as part of the pre-lodgement discussion with the applicant the location of the new garage relative to the existing dwelling and the dwelling/front door was discussed. Ultimately that advice has not been adopted by the applicant in the current



application with the owner advising that they require the proposed dimensions of the replacement garage to accommodate the owner's vehicle and have adequate circulation space.

It is noted that there are other examples of sheds forward of the building line within Ophir Street. They are however distinguishable from the proposal as follows.

- 184 Rocket Street, located on the corner of Rocket and Ophir Streets, contains a carport with a roller door which sits at the lot boundary with Ophir Street. While forward of the Ophir Street Building Line, it does not have a significant impact on the streetscape.
  - 20 Ophir Street, located at the top of the Ophir Street cul-de-sac. This two-storey dwelling includes a double garage which extends forward of the building line and exists as an attached component of the dwelling. This garage was approved as part of Development Application 2006/0524 for additions and alterations to the dwelling.
- b. *Garages and outbuildings are to complement the design and character of the main buildings on the site and other garages/outbuildings within the street.*

**Discussion:** It is considered that the replacement garage will be out of character with the streetscape. The proposed materials and roof pitch are however appropriate.

The new shed is appropriate in terms of its materials and roof pitch.

- c. *Where visible from the street, roof pitches are to generally be at least 30 degrees or complement adjoining roof pitches.*

**Discussion:** The proposed roof pitches complement the existing shed.

- d. *Any steel sheeting is to be of a traditional corrugated profile and is to be galvanized iron, zincalume, or pre-coloured metal sheet (provided the colour is sympathetic to the historic character of the area).*

**Discussion:** Conditions of consent will require colour scheme to be sympathetic to the existing sheds on the site.

## **Chapter 16 – Earthworks**

Minimal earthworks are required to level the site in preparation for the shed at the rear of the site.

## **Bathurst Regional Community Participation Plan 2019**

This application was notified to adjoining properties under clause 3.14.4.2 of the Bathurst Regional Community Participation Plan 2019, as the proposed shed and replacement garage are over 45 square metres within the Bathurst Heritage Conservation Area.

## **Notification Period**

The application was notified to nine (9) adjoining neighbours between 10 and 19 January 2022.



## **Number of Submissions**

During this time four (4) submissions were received. These submissions can be found at **attachment 6**.

## **Issues**

The submissions broadly raised the following concerns:

- The intended use of the proposed sheds,
- Additional traffic that may be generated by use of the sheds,
- The impact of overshadowing,
- Stability of the retaining wall between the development site and 209 William Street (Lot: 1 DP: 794669),
- Loss of trees from the site,
- Drainage of the proposed sheds,
- The street front elevation of the proposed development, and
- Views to and from the site.

The submissions were forwarded to the applicant, and a response was received from the owner on 21 February 2022. This response can be found at **attachment 7**.

## **Discussion**

### **Intended use/traffic**

The garage and shed will be used for domestic storage only and accordingly is not expected to generate any significant traffic.

### **Overshadowing**

As a result of the concerns raised in submissions, the applicant reduced the height of the proposed new shed at the rear of the site, from 5.02m to 4.821m. Shadow diagrams discussed above indicate that the impact on adjoining properties is within Council's acceptable guidelines.

### **Retaining wall**

Between 10 Ophir and 209 William Street there is an existing low stone retaining wall. The retaining wall is located on 209 William Street. The proposed shed does not directly impact on the retaining wall.

The plans submitted with the new proposed shed indicate the method of construction. It is considered that the impact of the new proposed shed on the retaining wall dividing 10 Ophir Street from 209 William Street will be mitigated through the correct construction of these foundations. It is noted that issues surrounding on the one hand, damage that may be caused to the retaining wall during construction, and on the other, the duty of care that exists to maintain support for adjoining properties where retaining walls exist are not matters that fall within the Council's remit, suffice as to say it would be in the interest of the parties to ensure that a proper dilapidation report of the retaining wall is prepared to ensure that an appropriate baseline is established.

### **Tree Removal**



The applicant has nominated that the two trees within the footprint of the new proposed shed are to be removed and replaced with new trees. These trees are non-native species and are less than 9m in height. Removal would not require consent.

### **Drainage**

Drainage of roofwater will be to Ophir Street.

### **CONCLUSION:**

Council has received a Development Application at 10 Ophir Street, Bathurst for the demolition of part of an existing shed and construction and new garage generally in its place. A second shed is proposed for construction at the rear of the property. The proposal is generally supportable however it is recommended that modification to the replacement garage be required to limit the impact upon the streetscape. The application was subject to public notification which gave rise to a number of submissions from adjoining residents. These matters can be appropriately dealt with by way of conditions of consent should Council approve the application.

### **FINANCIAL IMPLICATIONS:**

Nil

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 4: Enabling sustainable growth.**

Strategy 4.6 Plan for, assess and regulate development activity.

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

### **COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

### **ATTACHMENTS:**

1. Aerial location plan [9.2.4.1 - 1 page]
2. Proposed Replacement Shed [9.2.4.2 - 10 pages]
3. New Proposed Shed [9.2.4.3 - 9 pages]
4. Shadow Diagrams [9.2.4.4 - 2 pages]
5. Street Front Elevation [9.2.4.5 - 1 page]
6. Submissions [9.2.4.6 - 8 pages]
7. Applicant's response to submissions [9.2.4.7 - 2 pages]

### **MINUTE**



**RESOLUTION NUMBER: ORD2022-118**

**MOVED: Cr A Smith    SECONDED: Cr M Hogan**

**RESOLVED:**

That Council

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/613, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including the following:
  - 1) The front setback of the replacement garage is to be altered such that it is located behind the verandah line of the dwelling and in line with the front door of the dwelling. This could be achieved by an extension to the existing shed forward of its current alignment by approximately 3.5m – 4.0m (as opposed to 7.2m as proposed).
- b) notify those that made submissions of its decision; and
- c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

**The result of the division was:**

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

Against the Motion - Nil

Absent - Nil

Abstain - Nil



### 9.2.5

### **DEVELOPMENT APPLICATION NO. 2021/560 – INTENSIVE PLANT AGRICULTURE (MEDICINAL CANNABIS) INCLUSIVE OF GREENHOUSE AND PROCESSING FACILITY, LOT 6 DP 247662, 1673 FREEMANTLE ROAD WATTON. APPLICANT: BLAKE O’SULLIVAN. OWNER: MR M T O’SULLIVAN**

**File No:** DA2021/560

#### **RECOMMENDATION:**

That Council:

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/544, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following:
- b)
  - 1) A Noise Management Plan is required to be submitted prior to the issue of a construction certificate which relates to the management of noise during construction and during operational periods. The Plan must demonstrate that the proposed plant machinery will comply with the Noise Policy for Industry (2017) guidelines and should include consideration of background noise levels, identification of intrusive, amenity and sleep disturbance levels and mitigation measures associated with the plant machinery.
  - 2) All documentation must be reviewed at Construction Certificate stage to ensure all acoustic recommendations have been satisfactorily incorporated into the design of the site, prior to the issue of any Construction Certificate.
  - 3) A Waste Management Plan is required to be submitted prior to the issue of a construction certificate which details waste management during construction and during operational stages.
  - 4) The office shall only be conducted between 7:00am to 5:00pm Mondays to Fridays and 7:00am to 3:00pm Saturdays to Sundays.
  - 5) Compliance with any requirements of the NSW Police Force, including the following recommendations:
    - i. Lighting - If employees were to be on the premises during night hours, the following would be recommended:
      - Lighting in the car park and at the entrance to the premises.
      - Sensor lighting to all vestibule and walkways including parking bays and outdoor areas.
      - Develop a lighting plan to maintain safety and security.
    - ii. Surveillance/Technical Supervision



- CCTV camera to be located at the front entrance Boom gates.
  - CCTV cameras must be maintained throughout the premises, including processing plant, storage areas and all general areas accessible by staff and the public.
  - CCTV cameras to cover the carpark.
  - Camera views should not be obstructed by temporary or permanent structures, signage or other impediments.
  - Recordings should be retained for a period of 30 days before being reused or destroyed. The Owner/operate shall ensure that no person is able to delete or alter any recordings within a 30-day period.
  - Immediate access to the CCTV systems and the ability to review recordings on the system is to be granted to members of the NSW Police Force. The system shall be able to reproduce a copy of the recordings on compact disk, DVD or USB memory stick.
  - The CCTV system should be checked each day to ensure that it is fully operational and if not fully operational all reasonable steps must be taken to repair the system as soon as practical.
  - The owner/operator to register (and supplies details) with the BIZKEYS program (after hours contacts register) at Bathurst Police Station.
  - Install back to base security alarms around the perimeter of the complex and to the internal buildings.
- iii. Territorial reinforcement:
- No signage denoting the business name be displayed at the entrance of Freemantle Road.
  - Internal signage be clearly displayed.
  - Premises monitored by CCTV at entry/exit point signage.
  - Speed limit signage in the driveway/carpark area. Max 10kph.
  - "Trespassers will be prosecuted" signage clearly visible around entrance/exit points.
  - Security patrol signage.
  - All Fire/emergency exits be clearly signed.
- iv. Space/activity management
- Maintain existing farmland vegetation and develop a maintenance plan around the operational area of the business as well-maintained areas often exhibit strong territorial cues.
- v. Access control
- Polycarbonates and impact resistant glass/glazing to all windows.
  - Ensure all entry/exit doors to all buildings be fitted with single cylinder locksets or keypad entry and comply with the Building Code of Australia.
  - Consider training given to staff on the use of security cameras and security in general.
  - Consider fire wardens trained in evacuation plans.
  - Consider WHS procedures/protocols implemented, and staff trained.
  -



- 6) All exterior lighting associated with the development shall be designed and installed so that no obtrusive light will be cast onto any adjoining property or in an upward manner.
- 7) The development is to be conducted in accordance with an approved Noise Management Plan, and in a manner that will not interfere with the amenity of the locality by reason of the emission of noise.
- 8) Prior to the issue of the Construction Certificate the developer is to submit to Council a Construction Management Plan which includes (but is not limited to) the following:
  - a) Traffic management, including:
    - i) Loading, unloading area and material storage areas;
    - ii) Access to adjoining properties; and
    - iii) Parking areas (for construction workers and surrounding properties).
  - b) Noise
  - c) Soil and water management
  - d) Waste management
  - e) Stabilisation and monitoring of adjoining buildings.
  - f) Vibration.
  - g) Proposed methods of communication, including:
    - i) Communication with adjoining property owners;
    - ii) Communication with the general public; and
    - iii) Complaints management.
- 9) Erosion and sediment control measures are to be established prior to commencement of construction and maintained to prevent silt and sediment escaping the site or producing erosion. This work must be carried out and maintained in accordance with an approved Soil and Water Management Plan.
- 10) Effluent shall not be disposed within 100m of a waterbody (Macquarie River/Wambuul) or any other watercourse.
- 11) Internal road speeds should not exceed 20km/h to minimise vehicle strikes to wildlife, including koalas.
- 12) If any unidentified material not previously identified as part of an investigation are uncovered during the development, then all works shall stop immediately in that area and Council be contacted. Works are not to recommence until approval has been received from Council. Depending upon the nature and the significance of the material, further assessment may be required before further work can continue in that area. Unexpected finds include but are not limited to:
  - i. Suspected contamination in the form of ash, staining, discolouration, odours, underground petroleum storage systems or suspected asbestos containing material; or
  - ii. Suspected Aboriginal relics in the form of tools, artwork, bones etc; or
  - iii. Suspected non-Aboriginal heritage relics not previously identified.



- c) notify those that made submissions of its decision; and
- d) call a division.

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## SUMMARY:

Council has received a Development Application seeking consent to undertake the growing, cultivating and processing of medicinal cannabis and the construction of buildings to carry out these activities on Lot 6 DP 247662, being 1673 Freemantle Road, Watton.

The total building footprint is 6,600m<sup>2</sup> and includes:

- A 4350m<sup>2</sup> greenhouse for the growing and cultivating of medicinal cannabis,
- A 1860m<sup>2</sup> processing building which includes six (6) production rooms, store, vault (for finished product) and dispatch area, and
- A 390m<sup>2</sup> ancillary office building.

The development also involves the construction of a carpark to accommodate 35 car spaces.

The proposed use includes growing medicinal cannabis which is considered to be *intensive plant agriculture* (permitted without consent). The buildings associated with the use are to be used for propagation and growing of the medicinal cannabis (intensive plant agriculture) and the processing of that agricultural produce. The processing of the product would be most appropriately considered as an *agricultural produce industry*; i.e. it involves handling, treating (drying), processing and packing of the product and prepared for distribution. It is a commercial product produced from agriculture. The estimated production will be 8000kg per annum.

The finished product is aimed at managing chronic pain, epilepsy and multiple sclerosis as well as pain associated with palliative care. It is expected that once fully operational the facility will employ up to 50 people.

While the proposed development may be the first of its kind in the Bathurst Regional Local Government Area, it is not unprecedented in Australia. For instance, Tamworth Regional Council approved a medicinal cannabis farm in 2018<sup>1</sup> and Brisbane City Council approved a medicinal cannabis farm on rural land approximately 19km south-west of Brisbane<sup>2</sup>. Further development consent has since been issued in Queensland<sup>3</sup> and Western Australia<sup>4</sup> in relation to proposed medicinal cannabis farms.

Provided that the proposed medicinal cannabis farm complies with Council's requirements, the development is permissible with consent. There are however additional legal requirements pertaining to the growing of medicinal cannabis governed by the Federal Office of Drug Control (ODC) and the Federal Australian Government Department of Health, in particular, *Conforming with Therapeutic Goods (Standard for Medicinal Cannabis) (TGO 93) Order 2017*.

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<sup>1</sup> <https://www.centralwesterndaily.com.au/story/5695316/tamworth-council-approves-development-of-8m-cannabis-farm/>

<sup>2</sup> <https://www.brisbanetimes.com.au/national/queensland/medicinal-cannabis-farm-application-near-brisbane-approved-20180811-p4zwy3.html>

<sup>3</sup> <https://www.abc.net.au/news/rural/2021-04-15/australias-biggest-medicinal-cannabis-farm-toowoomba/100070770>

<sup>4</sup> <https://www.abc.net.au/news/rural/2021-02-17/medical-cannabis-crop-facility-approval-in-gascoyne-wa/13160764>



## REPORT:

### The Site

1673 Freemantle Road (Lot 6 DP 247662) is located on the western side of Freemantle Road and adjoins the Macquarie River/Wambuul to the west. The site is approximately 40.55ha and currently contains a single storey dwelling house and two outbuildings. The existing dwelling is setback approximately 974m from the eastern front boundary and approximately 50m from the southern side boundary.

The adjoining allotment to the north, being Lot 7 DP 247662 known as 1683 Freemantle Road, Watton, contains a dwelling house and a second rural dwelling. The second rural dwelling is located approximately 246m from the proposed development as measured from the south-eastern corner of the second rural dwelling to the north-western corner of the proposed building footprint.

The adjoining allotment to the south, being Lot 501 DP 840363 known as 1663 Freemantle Road, Watton, contains a dwelling house. The dwelling house is located approximately 696m south-east from the proposed development, as measured from the west of the existing dwelling house to the south-eastern corner of the proposed building footprint.

An aerial map of the land and surrounding area is available in **attachment 1**.



**Figure 1** – Site plan overlaid location plan.

### Proposed Development

The Development Application seeks approval for a 6600m<sup>2</sup> indoor medicinal cannabis facility including a greenhouse, processing area and ancillary offices generally as follows:

- Glasshouse building of 4350m<sup>2</sup>
- Processing area of 1860m<sup>2</sup>
- Office area of 390m<sup>2</sup>

The building is generally rectangular (with the exception of the northern office area). The building will be approximately 189m at its longest by 59.4m at its widest.



The building will be located 18m off the common boundary with 1663 Freemantle Road being the property to the south.

The “glasshouse” component of the building comprises polycarbonate roof and walls. The glasshouse will be 7m high at the apex of the roof.

The processing component of the building will comprise a mix of colorbond, zincalume and prefinished insulated panels to a height of 6.25m.

The office component of the building will comprise a mix of colorbond and prefinished insulated panels to a height of 4.7m.

There are a number of ancillary structures around the building such as a pump house and rainwater tanks.

A carpark providing for 35 spaces will be provided.

The land slopes generally from the west to east and ranges from approximately 622m AHD in the south eastern corner of the building through to 616m in the north western corner of the building. As the ultimate proposal will be built at a single level there will need to be earthworks undertaken to achieve a level platform (estimated at 6,000 m<sup>3</sup>). An earthworks cross sectional plan can be viewed in **attachment 2**.

Access to the facility will be provided from the existing property access and driveway within the property.

The property has frontage to the Macquarie River/Wambuul. The advice Council has received is that whilst there is an existing stock and domestic water supply from the River, the applicant has applied for an irrigation licence (4 ML) to enable irrigation of the crops.

Approximately 3ML of effluent water will be generated per year. Waste water from the irrigation process is to be collected and used for filling water tanks and the fire sprinkler tank and for irrigation on the surrounding land used for pasture purposes. Water that is stored and re-used passes through a reverse osmosis process and then re-dripped on the cannabis plants.

It is also noted that the applicant has provided an outline of the process from propagation through to dispatch. The process is shown graphically at **attachment 3** but is also described below.

Stage	Process
Production Room 1 – Propagation, media and potting room	<ul style="list-style-type: none"><li>• Tissue culture is planted into potting media by using off-cuts of a mother plant</li><li>• Room is set to optimum humidity, temperature and plants are under lights.</li><li>• Once plant has reached maturity, they are re-potted and taken out to the greenhouse.</li></ul>
Greenhouse – Vegetation and flowering	<ul style="list-style-type: none"><li>• Maturing plants in greenhouse receive equal sunlight to darkness each day.</li><li>• Ventilation is controlled by an automated system controlling louvres and fans.</li><li>• Mechanical plant is used to maintain an optimal temperature range. Only kicks in when automated system requires it.</li><li>• Lights are only turned on if not enough natural sunlight</li></ul>



	<p>within the 12 hour sunlight cycle.</p> <ul style="list-style-type: none"> <li>• Light deprivation in the evening, with the use of black shut out blinds.</li> <li>• Harvesting occurs once fully flowered, which is done manually by cutting off the stem of the plant.</li> </ul>
Production rooms 2 to 4 – Drying rooms	<ul style="list-style-type: none"> <li>• Dry heat, achieved by conditioned air, is applied to the room to reduce moisture from the product to allow trimming and packaging.</li> <li>• The plant is hung by its stems on racks and spends a number of days in the drying rooms, dependent on the strain to determine the time drying.</li> <li>• There are multiple drying rooms to accommodate crops flowering at different times.</li> </ul>
Production room 5 – Trimming room	<ul style="list-style-type: none"> <li>• Manual hand trimming of the flower with scissors to remove seeds, stems and leaves to desired visual appearance and finished product.</li> <li>• Off cuts put into a secured waste bin, weighed and taken off site by waste management company for incineration.</li> </ul>
Production room 6 – Packaging room	<ul style="list-style-type: none"> <li>• Dried and trimmed flower is weighed and bagged, then placed in transport crates.</li> <li>• Packaged product is either sent to dispatch for secure delivery service to pick up or locked in the vault whilst awaiting dispatch.</li> </ul>
Vault/Dispatch – Product sale	<ul style="list-style-type: none"> <li>• Product is sent to vault to await dispatch.</li> <li>• Once cleared to dispatch, the product is loaded into secure delivery service.</li> <li>• Dispatched to licenced wholesale buyer, i.e. pharmacies for consumer sale in current form or medicinal cannabis company to be made into supplementary products such as oils</li> </ul>

The submitted Statement of Environmental Effects described the development as follows:

*...medicinal cannabis will be grown in a greenhouse environment, harvested, processed and packaged for distribution. The estimated production will be 8000kg per annum. Its products are aimed at managing chronic pain, epilepsy, multiple sclerosis, as well as pain associated with palliative care.*

*The proposed development is an indoor cultivation operation. The facility utilises controlled environment horticulture, excluding pest and disease, which may render the crop unsaleable or require treatment which may damage plant health or make the crop unsuitable for use. No pesticides are proposed.*

*Mature plants are dried in a low humidity environment until the target moisture content is reached. The flowers are harvested from the stems and the remaining plant material destroyed. The flower is treated according to their desired end-use, which defines the final form, moisture content and decarboxylation requirements. Product trimming if required, is by hand. The finished product is packaged accordingly. Waste is collected, weighed, recorded and held for destruction.*

*The site will be monitored 24/7 and will include the erection of perimeter fencing (2 fences and then barriers around the building, along with a vault for the finished product) to meet state and federal requirements.*

The existing dwelling house and outbuildings will remain.

Proposed plans for the development are provided at **attachment 4**. The applicant's Statement of Environmental Effects is at **attachment 5**.



Note that during assessment, additional information was requested to include the details of how the product is processed and how the proposed development will mitigate potential amenity impacts.

### Summary of attachments

Attachment no.	Description
1	Aerial map of land and surrounding area
2	Earthworks cross sectional plan
3	Cultivation process flow chart
4	Plans of proposed development
5	Statement of Environmental Effects
6	Geotechnical report for effluent disposal plan for factory and office waterclosets, sinks etc.
7	Biodiversity Assessment Report
8	NSW Police Crime Risk Assessment
9	Public submissions received in relation to proposal
10	Additional submissions received outside of notification period
11	Applicant's written response to public submissions
12	Proposed effluent disposal plan for wastewater from the cultivation and processing of the medicinal cannabis plant
13	Aboriginal Due Diligence Assessment Report

### Designated Development

In certain circumstance “agricultural produce industries” are considered to be “designated development”. Designated development is subject to specific processes governing the preparation of an Environmental Impact Statement (EIS) and consideration of the Development Application.

Schedule 1 of the Environmental Planning and Assessment Regulations 2000 (as in force when the Development Application was lodged) provides for agricultural produce industries to be designated development under the following circumstances:

#### *Agricultural produce industries*

*Agricultural produce industries (being industries that process agricultural produce, including dairy products, seeds, fruit, vegetables or other plant material)—*

- (a) *that crush, juice, grind, mill, gin, mix or separate more than 30,000 tonnes of agricultural produce per year, or*
- (b) *that release effluent, sludge or other waste—*
  - (i) *in or within 100 metres of a natural waterbody or wetland, or*
  - (ii) *in an area of high watertable, highly permeable soils or acid sulphate, sodic or saline soils.*

Having regard to these criteria:

- Production is less than 30,000 tonnes per annum.
- Effluent (for the purposes of this proposal meaning treated or partially treated waste water from irrigated plants associated with agricultural processing industries) is released (or in this case irrigated) further than 100m from any watercourse (refer to **attachment 6**).
- The site is not known to contain areas of high watertable, highly permeable soils or acid sulphate, sodic or saline soils.



The proposal is not considered to be designated development.

## Planning Context

### State Environmental Policies

The following is a summary of the relevant State Environmental Planning Policies that apply or require consideration for the proposal.

Planning Instrument	Comment
State Environmental Planning Policy (Infrastructure)	<ul style="list-style-type: none"><li>• Application does not require referral to Essential Energy as a result of proximity to electricity infrastructure.</li><li>• Development does not have frontage to a classified road.</li><li>• Development is not “traffic generating development” requiring referral to TfNSW.</li></ul>
State Environmental Planning Policy (Koala Habitat Protection)	<ul style="list-style-type: none"><li>• As noted in the Biodiversity Assessment Report the subject is largely without trees. The two tree species noted on the site (Yellow Box (<i>Eucalyptus melliodora</i>) and Blakely’s Red Gum (<i>E.blakelyi</i>) are not listed in the SEPP as Feed Tree Species. Accordingly, the land is not considered to be koala habitat for the purposes of the SEPP.</li><li>• The submitted Biodiversity Assessment Report concludes that the development is not required to be referred under the EPBC.</li><li>• A condition of consent will be implemented to ensure that internal road speeds do not exceed 20km/h to minimise vehicle strikes to Koalas as recommended in the report.</li></ul>
State Environmental Planning Policy No 33 – Hazardous and Offensive Development)	<ul style="list-style-type: none"><li>• The proposal is not considered to be a hazardous or offensive industry for the purposes of the SEPP.</li><li>• The proposal does not involve the use of dangerous goods on site.</li></ul>
State Environmental Planning Policy No.55 – Remediation of Land	<ul style="list-style-type: none"><li>• There is no land use history to suggest that the land may be contaminated from historical activities.</li></ul>
State Environmental Planning Policy (State and Regional Development)	<ul style="list-style-type: none"><li>• The proposal is not considered State Significant Development.</li><li>• The proposal is not considered Regionally Significant Development.</li></ul>

### Local Provisions

#### Bathurst Regional Local Environmental Plan 2014

##### Zone

The subject site is located in the RU1 Primary Production zone. The objectives of the zone are as follows:

- *To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.*
- *To encourage diversity in primary industry enterprises and systems appropriate for the area.*



- *To minimise the fragmentation and alienation of resource lands.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To maintain the rural and scenic character of the land.*
- *To provide for a range of compatible land uses that are in keeping with the rural character of the locality, do not unnecessarily convert rural land resources to non-agricultural land uses, minimise impacts on the environmental qualities of the land and avoid land use conflicts.*

The proposal is consistent with the objectives of the RU1 Primary Production zone in that:

- Will have a minimal impact on agricultural land given that the development has a small footprint in relation to the overall site area, being 6600m<sup>2</sup> on a 40.55ha lot.
- Provides diversity in primary industry enterprises, being a unique agricultural activity.
- Is sited away from dwellings on adjoining land to reduce conflict between land uses.
- Minimal impact on the rural and scenic character of the land given that it will not be highly visible.
- Retains agricultural land on the remaining 40.55ha allotment.

### Permissibility

*Intensive Plant Agriculture* is defined in the LEP 2014 as:

***intensive plant agriculture*** means any of the following—

- the cultivation of irrigated crops for commercial purposes (other than irrigated pasture or fodder crops),
- horticulture,
- turf farming,
- viticulture.

**Note—**

Intensive plant agriculture is a type of ***agriculture***—see the definition of that term in this Dictionary.

The growing of cannabis would be appropriately characterised as intensive plant agriculture for the purposes of BRLEP in that it involves the cultivation of irrigated crops for commercial purposes. The fact that it is also regulated by the Office of Drug Control or the Therapeutic Goods Administration does not alter this characterisation.

*Intensive Plant Agriculture* is permissible without consent in the RU1 Primary Production zone. The construction of the greenhouse component of the development to house the cannabis requires development consent.

*Agricultural Produce Industry* is defined in the LEP 2014 as:

***agricultural produce industry*** means a building or place used for the handling, treating, processing or packing, for commercial purposes, of produce from agriculture (including dairy products, seeds, fruit, vegetables or other plant material), and includes wineries, flour mills, cotton seed oil plants, cotton gins, feed mills, cheese and butter factories, and juicing or canning plants, but does not include a livestock processing industry.

Having regard to this definition the following observations can be made:

- The growing of cannabis is a form of agriculture.
- The processing component of the use involves the handling, treating, processing and packaging of the cannabis.
- The proposal is for commercial purposes.



In this regard it is considered that agricultural produce industry is an appropriate characterisation of this component of the development.

*An Agricultural Produce Industry* is permissible with consent in the RU1 Primary Production zone.

The office component is considered to be ancillary to the intensive plant agriculture and agricultural produce industry occurring on the site.

It is noted that public submissions, which are discussed in more detail below, suggest alternative characterisations including as an industry (i.e., as a heavy industry, light industry or as high technology industry). The appropriate characterisation is important in this respect due to the prohibition that exists under the LEP on industries in the RU1 Primary Production zone. It is also noted the submissions make reference to high technology industries as a prohibited use in the RU1 Primary Production zone, however high technology industries are in fact a permissible use in the RU1 Primary Production zone

*An industrial activity means the manufacturing, production, assembling, altering, formulating, repairing, renovating, ornamenting, finishing, cleaning, washing, dismantling, transforming, processing, recycling, adapting or servicing of, or the research and development of, any goods, substances, food, products or articles for commercial purposes, and includes any storage or transportation associated with any such activity (BRLEP 2014).*

It is also worth noting that an “industry” is considered a “group definition” in that it comprises a number of sub-definitions.

Those respective definitions are repeated below:

**industry** means any of the following—

- (a) general industry,
- (b) heavy industry,
- (c) light industry,

but does not include—

- (d) rural industry, or
- (e) extractive industry, or
- (f) mining.

Of note is that rural industries, which include agricultural produce industries, are excluded from the group definition of industry.

**heavy industry** means a building or place used to carry out an industrial activity that requires separation from other development because of the nature of the processes involved, or the materials used, stored or produced, and includes—

- (a) hazardous industry, or
- (b) offensive industry.

It may also involve the use of a hazardous storage establishment or offensive storage establishment.

**Note—**

Heavy industries are a type of **industry**—see the definition of that term in this Dictionary.

**light industry** means a building or place used to carry out an industrial activity that does not interfere with the amenity of the neighbourhood by reason of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil, or otherwise, and includes any of the following—

- (a) high technology industry,
- (b) home industry,
- (c) artisan food and drink industry,



- (d) creative industry.

**Note—**

Light industries are a type of **industry**—see the definition of that term in this Dictionary.

**high technology industry** means a building or place predominantly used to carry out an industrial activity that involves any of the following—

- (a) electronic or micro-electronic systems, goods or components,
- (b) information technology (such as computer software or hardware),
- (c) instrumentation or instruments of a scientific, industrial, technological, medical or similar nature,
- (d) biological, pharmaceutical, medical or paramedical systems, goods or components,
- (e) film, television or multi-media technologies, including any post production systems, goods or components,
- (f) telecommunications systems, goods or components,
- (g) sustainable energy technologies,
- (h) any other goods, systems or components intended for use in a science or technology related field,

and includes a data centre, but does not include a building or place used to carry out an industrial activity that presents a hazard or potential hazard to the neighbourhood or that, because of the scale and nature of the processes involved, interferes with the amenity of the neighbourhood.

The following legal principles are relevant to the appropriate characterisation on the use (*Australians for Sustainable Development Inc v Minister for Planning* [2011] NSWLEC 33 (10 March 2011)):

- (a) in planning law, a use of land must be for a purpose. The purpose of development is the end which the land is seen to serve. It describes the character which is imparted to the land at which the use is pursued: *Chamwell Pty Ltd v Strathfield Council* [2007] NSWLEC 114, 151 LGERA 400 at [27].
- (b) the nature of the use must be distinguished from the purpose of the use. Uses of different natures can still be seen to serve the same purpose: *Shire of Perth v O'Keefe* [1964] HCA 37; (1964) 110 CLR 529 at 534 - 535; *Warringah Shire Council v Raffles* (1978) 38 LGRA 306 at 308;
- (c) the characterisation of the purpose of development must be determined objectively: *Warriewood Properties Pty Ltd v Pittwater Council* [2010] NSWLEC 215 at [45]; and must be done in a common sense and practical way: *Chamwell* at [45];
- (d) characterisation of the purpose of the use of land should be done at a level of generality which is necessary and sufficient to cover the individual activities, transactions or processes carried on, not in terms of the detailed activities, transactions or processes: *Royal Agricultural Society of NSW v Sydney City Council* (1987) 61 LGRA 305 at 310;
- (e) the question of whether a use for a particular purpose is subservient or incidental to another purpose, or whether it constitutes an independent use, is one of fact and degree: *Lizzio v Ryde Municipal Council* [1983] HCA 22; (1983) 155 CLR 211 at 216 - 217; *Peters v Manly Municipal Council* [2007] NSWCA 343 at [21];
- (f) the task of characterisation is first and foremost a question of fact and degree: *Penrith City Council v Waste Management Authority* [1983] HCA 22, (1990) 71 LGRA 376; *Foodbarn Pty Ltd v Solicitor-General* (1975) 32 LGRA 157.

While a *High Technology Industry* is permissible with consent in the RU1 Primary Production zone, it is not considered an appropriate land use definition for the proposed development. A High Technology Industry is generally associated with goods and components produced by high technology industries using industrial activities that are mechanical, scientific and/or complex in nature. The proposed development involves the growing and cultivation of cannabis plants which are dried, trimmed, packaged and stored in a secure vault before dispatch. Those products are direct result of the agricultural



activities occurring on site, do not involve the use of high technology industrial processes nor the production of a pharmaceutical or medical product. A flowchart has been submitted to demonstrate the process (see **attachment 3**). The industrial activity being undertaken is not highly mechanical, scientific and/or complex in nature. It is akin to many other agricultural products involving the growing, cultivating and processing of other plant goods.

Similarly, the characterisation of the development as a “heavy industry” is dependent on *“an industrial activity that requires separation from other development because of the nature of the processes involved, or the materials used, stored or produced”*. In this instance the industrial activity is limited to drying and trimming of the cannabis. That process by itself does not require separation from other development.

It is noted that office premises are prohibited in the RU1 Primary Production zone. Attention is drawn to *The University of Sydney v South Sydney City Council (1998)* in which it was found that in order for the proposed prohibited use to be legally permissible, it must be found to be ancillary to the permissible dominant use<sup>5</sup>.

A 390m<sup>2</sup> ancillary office building is proposed to adjoin the processing area of the facility. The office area is proposed to contain a security office, a comms room, storage, boardroom, meeting room, female and male amenities, kitchen/break out room and open office area/collaboration space. It is considered that the office component is ancillary to the proposed development given that the use of the land for intensive plant agriculture and agricultural produce industry is the dominant use. The office building is there to serve the other dominant uses occurring on the site. It is appropriately considered as an ancillary use and therefore permissible. This approach is consistent with the NSW Department of Planning & Infrastructure Planning Circular that provides advice on how to characterise development. In the Circular, ancillary use is described as:

An ancillary use is a use that is subordinate or subservient to the dominant purpose. The concept is important when a development involves multiple components on the same land. To put simply:

- If a component serves the dominant purpose, it is ancillary to that dominant purpose;
- If a component serves its own purpose, it is not a component of the dominant purpose but an independent use on the same land. It is a dominant use in its own right. In such circumstances, the development could be described as a mixed use development.<sup>6</sup>

The intensive plant agriculture and agricultural produce industry are considered to be the dominant purposes of the development, being the growing, cultivation and processing of the plant being in this case cannabis. The dominant use is established by the scale, being 4350m<sup>2</sup> within the proposed greenhouse and 1860m<sup>2</sup> within the processing area.

Having regard to this discussion, the uses proposed to occur on site are appropriately characterised as “intensive plant agriculture” and as an “agricultural produce industry”. Alternate characterisations as suggested by public submissions are not considered appropriate for reasons as outlined above.

### **Bathurst Regional Development Control Plan 2014 (DCP 2014)**

The proposed development generally complies with the requirements of the DCP 2014, subject to conditions in relation to implementing a soil and water management plan, providing a landscaping plan, meeting Council’s access requirements and implementing

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<sup>5</sup> <http://www8.austlii.edu.au/cgi-bin/viewdoc/au/cases/nsw/NSWLEC/1998/24.html?stem=0&synonyms=0&query=private%20hospital>

<sup>6</sup> <https://www.planning.nsw.gov.au/-/media/Files/DPE/Circulars/planning-circular-how-to-characterise-development-2013-02-21.pdf?la=en>



the crime prevention recommendations of the NSW Police.

## **Chapter 6 – Rural and Rural Lifestyle Development**

Part 6.2.3 of the DCP provides that rural industries located in the RU1 Primary Production zone require a 50m setback to all boundaries. The proposed development is 18m from the southern side boundary as measured from the boundary to the wall of the proposed glasshouse. Measured to the proposed security fence that bounds the facility and a portion of vacant land to the west, the fence is set back approximately 1.5m to the southern side boundary.

The applicant's submitted Statement of Environmental Effects (see [attachment 5](#)) includes a request to vary the setback to 18m and has provided the following justification:

- *The area within the 50m setback is [a] glasshouse that is required as part of the crop growing (glasshouse).*
- *The processing and office areas are set back a considerable distance from the southern boundary.*
- *There is no identifiable development on the neighbouring land to the south that will be negatively impacted upon.*
- *The house on the southern neighbouring lot is over 750m from the development site towards the east and does not have any direct line of site.*
- *There is no surrounding land uses that require an increased building setback.*

It is noted that Section 4.15 (3A) of the Environmental Planning and Assessment Act requires Council in consideration of provisions such as this "to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects to those standards".

The objectives of this provision are found in Part 6.2 of the DCP as follows:

- *To prevent conflict between residential activities and primary industry.*
- *To ensure that development will not significantly adversely affect the use of adjoining land.*
- *To ensure that building sites do not impact on existing drainage patterns and water supplies*
- *To protect the environmental qualities of the land.*

Under the circumstances the variation is considered acceptable having regard to the following:

- The proposal is being undertaken within a building which limits the potential for conflict between residential activities and primary industries.
- The nearest dwelling to the southern boundary is approximately 696m from the industry.
- The proposal will not impact upon the usage of the adjoining land.
- The proposal will not impact on existing drainage patterns and water supplies.
- The environmental qualities of the land are not adversely impacted as a result of the variation.
- The fence setback is minor in nature in terms of impacts to privacy and is required for security around the development.

The above justifications are sufficient and satisfactory to vary the setback requirement in relation to the location of the proposed building.



## Chapter 9 - Environmental Considerations

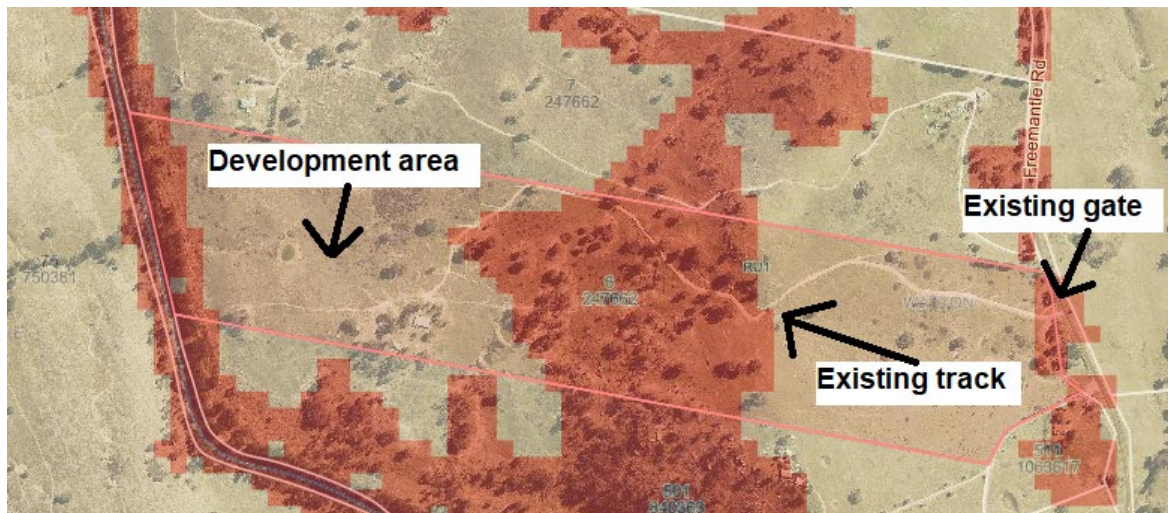
Chapter 9 of the DCP provides a range of environmental issues that require consideration as part of the assessment. These are considered below.

Provision	Comment
9.2 Land Resources (DCP Map No.29)	The property does not contain any land identified under DCP Map No.29 – Land Resources.
9.3 Riparian Land and Waterways (DCP Map No.30)	<p>The property adjoins the Macquarie River/Wambuul and is identified on DCP Map.No.30.</p> <p>There are no works identified within 40m of any sensitive waterways.</p> <p>Work during construction has the potential to impact on water quality but can be mitigated by an appropriate soil and water management plan.</p> <p>Irrigation of waste water from the irrigation process is to be a minimum of 100m from the Macquarie River/Wambuul and tributaries.</p> <p>The effluent from the office building has been assessed in the Geotechnical Report for the site.</p>
9.4 Biodiversity (DCP Map No.31)	Part of the property is identified as being of “high biodiversity sensitivity” however the works are not proposed in this area of the property. Compliance with Chapter 9.4 is further discussed below.
9.5 Groundwater (DCP Map No.30)	<p>Part of the site is being of “high and moderately high groundwater vulnerability”.</p> <p>The effluent from the office building has been assessed in the Geotechnical Report for the site.</p> <p>Appropriate setbacks from watercourses can be established.</p>
9.6 Flooding	<p>The land adjoins the Macquarie River/Wambuul.</p> <p>Council does not have records in relation to flooding of the property.</p> <p>The building will be located approximately 190m from the Macquarie River/Wambuul.</p> <p>The Macquarie River/Wambuul is generally at 600m AHD in this location. The proposed building will be at a minimum of 616m AHD.</p>
9.7 Bushfire Prone Land	<p>The land is identified as being partially bushfire prone.</p> <p>The development does not require a Bush Fire Safety Authority from NSW Rural Fire Service.</p>
9.8 Flora and Fauna Surveys	Discussed in detail elsewhere in this report.

### Chapter 9.4 – Biodiversity

The DCP Map no. 31 – *Biodiversity* applies to the land., as seen in Figure 2 below.





**Figure 2** – Map no. 31 – Biodiversity applied to the land.

The proposed development is not located within any of the high biodiversity sensitivity mapping as seen in Figure 2 above. It is noted that an existing track traverses through the high biodiversity sensitivity areas, including at the location of the existing entrance to the site.

The applicant has submitted a Biodiversity Assessment Report prepared by OzArk Environment & Heritage dated October 2021 (see [attachment 7](#)).

The Report identifies an area of disturbance of approximately 1.25ha consisting of 1.16ha of highly degraded pasture land and 0.06ha of native vegetation. The clearing is less than the threshold of 1ha for triggering of the Biodiversity Offset Scheme. A Biodiversity Development Assessment Report (BDAR) is not required.

The site has been identified as containing areas of Yellow Box – Blakely's Red Gum. White Box – Yellow Box – Blakely's Red Gum Grassy Woodland which is identified as a Critically Endangered Ecological Community under the Biodiversity Conservation Act. The area comprises a mix of remnant woodland (0.06ha) and degraded areas (1.16ha)

The Report also found that 97 flora and fauna species listed as threatened under the Biodiversity Conservation Act or protected under migratory bird legislation are known or predicted to occur in the larger South Eastern Highlands Bioregion. Of those 44 species or populations were assessed as having a moderate or greater likelihood of occurring on the site (see below).

Threatened species with potential to be impacted by the proposal				
Species Name	Common Name	NSW Status <sup>1</sup>	Comm. Status <sup>2</sup>	Record within 10km
<i>^Calyptorhynchus lathami</i>	Glossy Black-Cockatoo	V,P,2		No
<i>Anthochaera phrygia</i>	Regent Honeyeater	E4A,P	CE	Yes
<i>Artamus cyanopterus cyanopterus</i>	Dusky Woodswallow	V,P		No
<i>Burhinus grallarius</i>	Bush Stone-curlew	E1,P		No
<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	V,P,3		No
<i>Chthonicola sagittata</i>	Speckled Warbler	V,P		Yes



<i>Climacteris picumnus victoricae</i>	Brown Treecreeper (eastern subspecies)	V,P		No
<i>Daphoenositta chrysoptera</i>	Varied Sittella	V,P		No
<i>Falco subniger</i>	Black Falcon	V,P		No
<i>Glossopsitta pusilla</i>	Little Lorikeet	V,P		No
<i>Grantiella picta</i>	Painted Honeyeater	V,P	V	No
<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	V,P		No
<i>Hieraaetus morphnoides</i>	Little Eagle	V,P		No
<i>Hirundapus caudacutus</i>	White-throated Needle-tail	P	V,C,J,K	No
<i>Lathamus discolor</i>	Swift Parrot	E1,P,3	CE	Yes
<i>Melanodryas cucullata cucullata</i>	Hooded Robin (south-eastern form)	V,P		No
<i>Melithreptus gularis gularis</i>	Black-chinned Honeyeater (eastern subspecies)	V,P		No
<i>Neophema pulchella</i>	Turquoise Parrot	V,P,3		No
<i>Ninox connivens</i>	Barking Owl	V,P,3		No
<i>Ninox strenua</i>	Powerful Owl	V,P,3		No
<i>Petroica boodang</i>	Scarlet Robin	V,P		No
<i>Petroica phoenicea</i>	Flame Robin	V,P		No
<i>Polytelis swainsonii</i>	Superb Parrot	V,P,3	V	No
<i>Stagonopleura guttata</i>	Diamond Firetail	V,P		No
<i>Tyto novaehollandiae</i>	Masked Owl	V,P,3		No
<i>Lepidium hyssopifolium</i>	Aromatic Pepper-creep	E1	E	No
<i>Leucochrysum albicans</i> var. <i>tricolor</i>	Hoary Sunray		E	No
<i>Swainsona recta</i>	Small Purple-pea	E1	E	No
<i>Swainsona sericea</i>	Silky Swainson-pea	V		No
<i>Cercartetus nanus</i>	Eastern Pygmy-possum	V,P		No
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat	V,P	V	No
<i>Dasyurus maculatus</i>	Spotted-tailed Quoll	V,P	E	Yes
<i>Falsistrellus tasmaniensis</i>	Eastern False Pipistrelle	V,P		No
<i>Miniopterus orianae oceanensis</i>	Large Bent-winged Bat	V,P		No
<i>Myotis macropus</i>	Southern Myotis	V,P		No
<i>Petauroides volans</i>	Greater Glider	P	V	No
<i>Petaurus australis</i>	Yellow-bellied Glider	V,P		No
<i>Petaurus norfolcensis</i>	Squirrel Glider	V,P		No
<i>Petrogale penicillata</i>	Brush-tailed Rock-wallaby	E1,P	V	No
<i>Phascolarctos cinereus</i>	Koala	V,P	V	Yes
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V,P	V	No
<i>Saccolaimus flaviventris</i>	Yellow-bellied Shear-tail-bat	V,P		No
<i>Aprasia parapulchella</i>	Pink-tailed Legless Lizard	V,P	V	No
<i>Delma impar</i>	Striped Legless Lizard	V,P	V	No

<sup>1</sup>Listed under the BC Act, where E4A = Critically Endangered, E1 = Endangered, E4 = Presumed Extinct, P = Protected and V = Vulnerable, 2 = category 2 sensitive species, 3 = category 3 sensitive species.

<sup>2</sup>Listed under the EPBC Act or a migratory birds act, where CE = Critically Endangered, E = Endangered, V = Vulnerable, C = CAMBA, J = JAMBA, R = ROKAMBA

An appropriate “5 part test” or tests of significance as required under the Biodiversity Conservation Act has been undertaken for those species and populations that have a



moderate or greater likelihood to occur on the site. This is included in Appendix E of the Biodiversity Assessment Report.

The Biodiversity Assessment Report concludes that the proposal will not have a significant impact upon the identified species and populations. This conclusion is supported.

#### Chapter 14 Parking

The proposal includes parking for 35 spaces as well as areas for deliveries. Council does not have a direct standard in relation to parking rates for intensive plant agriculture or agricultural produce industries. It is considered that 35 spaces are adequate noting the any overflow or additional parking will not have any direct impact on any surrounding property.

#### Chapter 15 Crime Prevention

In accordance with Chapter 15 of the DCP Council referred the application to the NSW Police Force for comment.

It is noted that for the purposes of assessment there has been direct communications between the applicant and NSW Police in relation to the matters governing the risk of crime associated with the proposal. This included a crime risk assessment being carried out by the NSW Police based on a dossier of crime prevention documents that are not available to the public due to the Office of Drug Control requirements. The NSW Police assessment can be viewed in **attachment 8**.

In its broadest sense, security around the facility will include the following measures:

- A minimum (2) two barriers are maintained, with two fences employed as deterrents and a secure building with a vault for finished produce
- No blind spots for CCTV system
- Razor wire on fencing
- Early detection systems on fencing
- Back to base security system that is monitored 24/7
- Workers are given overalls with no pockets to avoid theft and illegal use of produce
- Track and trace system is in place to avoid theft and illegal use of produce
- Strict access control for authorized personnel
- Dual gate system to ensure no truck and trailer access for unauthorized vehicles
- Manned security during operational hours

Following this assessment the NSW Police have determined that the proposed development has a low risk provided that the proposed methods are carried out and that the recommendations of the NSW Police are implemented as conditions of consent.

#### **Bathurst Regional Council Community Participation Plan 2019 (CPP 2019)**

In accordance with the *Community Participation Plan 2019*, the Development Application was notified to property owners within a radius of approximately 1.5km of the location of the proposed development between 29 November 2021 to 9 December 2021.

Following the notification period, four (4) submissions were received (see submissions at **attachment 9**). It is noted that Ms Marilyn Rowland and Mr Stephen Rowland made a submission to Council on 6 December 2021 and made a subsequent amendment to the



submission on 9 December 2021. An additional submission was received from Messenger & Messenger Solicitors on behalf of Ms Marilyn Rowland and Mr Stephen Rowland outside of the notification period on 23 December 2021 which can be viewed in **attachment 10**.

The matters raised are summarised as follows:

<b>Table 1: Summary of submissions received within notification period.</b>	
<b>Submission author</b>	<b>Summary of concerns raised</b>
Mr Arkinstall	<ul style="list-style-type: none"> <li>- Safety and traffic impacts on Freemantle Road</li> <li>- Water use and sourcing from the Macquarie River/Wambuul with respect to climate change</li> </ul>
Mr & Ms Barnard	<ul style="list-style-type: none"> <li>- Safety and traffic impacts on Freemantle Road</li> <li>- Odour impacts</li> <li>- Noise impacts</li> <li>- Visual impacts</li> <li>- Waste management</li> <li>- Boundary fences</li> <li>- Water use</li> <li>- Operating hours</li> <li>- Security</li> <li>- Impact on property value</li> <li>- Social/economic benefit</li> </ul>
Mr & Ms Woods	<ul style="list-style-type: none"> <li>- Safety and traffic impacts on Freemantle Road</li> <li>- Odour impacts</li> <li>- Impact on property value</li> <li>- Crime/security</li> <li>- Noise impacts</li> <li>- Social/economic benefit</li> </ul>
Mr & Ms Rowland	<ul style="list-style-type: none"> <li>- Land use characterisation</li> <li>- Compatibility with surrounding land uses</li> <li>- Odour impacts</li> <li>- Noise impacts</li> <li>- Visual impacts</li> <li>- Lighting impacts</li> <li>- Traffic impacts</li> <li>- Security and crime impacts</li> <li>- Waste management</li> <li>- Perceived errors in supplementary reports</li> </ul>

It is noted that the issues raised in the submission made after the notification period include concerns which are largely the same as those stated within the Rowland submission. They are summarised in the below table:

<b>Table 2: Summary of submission made <u>after</u> notification period</b>	
<b>Submission author</b>	<b>Summary of concerns raised</b>
Messenger & Messenger Solicitors	<ul style="list-style-type: none"> <li>- Land use characterisation</li> <li>- Noise impacts</li> <li>- Traffic impacts</li> <li>- Wastewater disposal</li> <li>- Waste disposal</li> <li>- Odour impacts</li> <li>- Proposed setbacks</li> <li>- Security and crime impacts</li> </ul>

The Applicant's response to the submissions can be viewed at **attachment 11** and is summarised in Table 3 below:




**Table 3: Applicant's response to submissions**

Concern	Applicant's Response
<p>That Freemantle Road is not suitable to handle the additional traffic generated by the proposed development</p> <p><b>(Safety and traffic impacts on Freemantle Road)</b></p>	<p>It is likely that the proposed development (at full production) will generate the following:</p> <p>Light vehicles (cars etc) – 70 vehicle movements per day  Medium rigid vehicle – 1 truck per day (harvest periods)  Small couriers – 4 vehicles per day (harvest periods)</p> <p>Carpooling of workers will be encouraged to reduce the impact on the road system and options relating to the use of a bus will be explored.</p> <p>Based on the production of only 8000kg per annum, the number of commercial vehicle movements as shown above is very small.</p> <p>It is noted that the additional traffic loading on Freemantle Road is predominantly light vehicles, which will have minimal impact on the road network.</p> <p>The internal road will be upgraded to a sealed surface.</p>
<p>The potential odour impact that the development may generate and the measures proposed to mitigate any impact.</p> <p><b>(Odour impacts)</b></p>	<p>The following discussion is provided by the client of the applicant:</p> <p><i>We understand from the responses that the responders are concerned the odour will carry to their properties and negatively impact quality of air and equity on their properties, particularly the neighbours bordering the proposed development.</i></p> <p><i>We understand that odour emission may be a concern for neighbouring properties and is something that we have already considered to ensure odour is diminished and non-impacting to our neighbours.</i></p> <p><i>Steps we have taken in our design to attenuate odour, which were not highlighted due to the high-level nature of the submission, are as follows:</i></p> <ul style="list-style-type: none"> <li><i>Airtight building envelope, per GMP certification requirements</i></li> <li><i>HEPA filtration on all mechanical plant and equipment</i></li> <li><i>Carbon filtration on all mechanical plant and equipment</i></li> <li><i>Building is lower than surrounding dwellings and located in a valley, which provides natural ventilation and odour attenuation</i></li> </ul> <p><i>The above odour attenuation has been tried and proven at our US Cultivation Partners cannabis farms, which border residential areas in Carpentaria CA. It has proven to be effective in little to no odour emitted from the farm and can only be smelt when inside the Better Green indoor property's facilities.</i></p> <p><i>Furthermore, due to the strict parameters to be met for an approved facility GMP certification, which are in place to avoid any contaminants entering the building, odour outside of the development is almost fully eliminate as a by-product to achieving the certification.</i></p> <p>The applicant is happy to accept a condition on the DA consent relating to the control of dust (especially during construction of the facility). It is noted that the internal road will be sealed. Water trucks will be used as required for dust suppression.</p> <p>There is a very minor odour from the plant themselves, however, this would only be noticeable within the facility itself.</p>
<p>The potential noise</p>	<p>It is noted that there are no refrigerated cool rooms on the site.</p>



<p>impact that the development may generate and the measures proposed to mitigate any impact.</p> <p>(Noise impacts)</p>	<p>Water is already pumped on site from the Macquarie River to the farm dam – so there will be no additional impact than currently experienced.</p> <p>General noise relating to the facility mostly impacted from plant and equipment. We understand that the biggest noise contributing plant would potentially be the backup generator which will only start up during the event of a power outage which will be rare (and only for the duration of the outage), air conditioning units on the roof and mechanical plant fans.</p> <p><b>The following comments are provided by the client:</b></p> <p><i>Noise pollution attenuation has been completed very successfully in several industries requiring mechanical plant that runs 24/7, that are neighboured by residential areas. Better Green has an agreement with the property owner to ensure that sound attenuation methods are in place. As it stands, we included in our 20% design brief the need for noise pollution attenuation, and will utilise the following methods:</i></p> <ul style="list-style-type: none"> <li>• <i>Acoustic barrier around mechanical plant and generator</i></li> <li>• <i>Silencer on fan units</i></li> <li>• <i>Reduced rigid connections to minimise vibration</i></li> </ul> <p><i>The design is not progressed enough to determine exact noise attenuation, but it has already been noted in the design brief for the D&amp;C Contractor to be addressed and installed fit for purpose.</i></p> <p><i>Regarding noise pollution from workers, vehicles and moving plant and equipment, all work is contained within the building envelope with no heavy machinery required to complete the cultivation. Vehicles of workers are only to be used to and from work, and product transport vehicles are minimal per day and no more than if a surrounding farm had to maintain and transport livestock.</i></p> <p><b>REFERENCE NOISE LEVELS</b></p> <p><i>Type of Vehicle Noise Level Lmax (dB) Auto 50 (at 30 metres) Ute or small van 75 (at 20 metres) Tractor 84 (at 15 metres Reference: Construction Noise Impact Assessment <a href="https://www.nrc.gov/docs/ML1225/ML12250A723.pdf">https://www.nrc.gov/docs/ML1225/ML12250A723.pdf</a> Table F, above, shows noise levels for typical vehicles and agricultural support equipment that will be used at the Site.</i></p> <p><i>Based on these measurements, noise levels from Project activities are expected be below the “normally acceptable” or “clearly acceptable” level by the time they reach the nearest property. Based on the types of equipment to be utilised by the Project, and the distance to nearby receptors, impacts related to noise are expected to be less than significant. Negligible impact would be anticipated.</i></p> <p><i>Lastly, the location of the development is well hidden away in the valley and positioned at the furthest possible point from any neighbouring residence, many of which have natural thick vegetation for further noise attenuation. The surrounding vicinity is sparsely populated. Further, the Project proposes agricultural activities consistent with the current and historical use of RU1 Primary Production Zone under the LEP, and no uses are proposed that would generate excessive ground borne vibration.</i></p> <p><i>Negligible impact would be anticipated.</i></p>
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	<p>Without a DA in place, the further design of the development and further identification of noise management strategies can't progress at this stage. The applicant is prepared to accept a reasonable condition of consent relating to this matter and the submission of further information as part of the Construction Certificate documentation.</p> <p>The figure below indicates the location of nearby houses – as can be seen they are a considerable distance from the proposed development and due to the topography are also out of direct sight. There is a secondary dwelling approximately 328m north of the site that has its view of the site obscured by mature vegetation on the property.</p>  <p><b>Figure 3</b> – Nearby noise receivers (dwelling houses). (Source: Anthony Daintith Town Planning letter dated 24 March 2022).</p>
What are the hours of operation?	<p>Monday – Friday 7:00am to 5:00pm Saturday – Sunday 7:00am to 3:00pm</p>
<b>(Noise impacts)</b>	
What are the proposed fencing arrangements? There is a feral animal problem on the subject land that needs to be addressed.	<p>We understand that one of the responses referred to ongoing issues regarding fencing and fence maintenance. There was also mention of feral animals and pests due to fencing issues and maintenance of the property.</p> <p>Better Green has (2) two security fences around the 10 acre land plot that is leased to the company. Our bordering fences to neighbouring property will be maintained as necessary to keep them in good working order. Furthermore, as part of our agreement with the property owner, we are to maintain the adjacent property, which in turn minimizes foreign particles for our agricultural site.</p>
<b>(Boundary fences)</b>	
The potential visual impact from the development on neighbouring properties.	<p>Better Green feels there is negligible impact on any views from any of the neighbouring properties or any adjacent land. The development is hidden in a valley and cannot be seen from the road, nor can it be seen as direct line of site due to dense vegetation between direct neighbouring houses and the proposed development.</p>
<b>(Visual impacts)</b>	<p>Furthermore, we have used an earthy palette for the façade and will introduce vegetation around the boarder of the property, should there be any impact to the view, which is per our agreement with the land owner.</p>



<p>Potential security impacts of the development?</p> <p>(Crime/security impacts)</p>	<p>We understand that the responses related to security and crime prevention relate to the nature of what is being cultivated on the property, which is to be sold to pharmaceutical companies, and the like, as a controlled substance. This is related to the risk to neighbouring properties and an inferred increase of crime in the area.</p> <p>Security and risk mitigation is a high priority of Better Green's during our planning and license application with the Federal governing body, the Office of Drug Control (ODC). Better Green has engaged an experienced security consultant and met all strict requirements of the ODC, with regards to security and crime prevention. This involves an approved security schematic drawing and security management plan, which includes all ODC specified barriers, security cameras and detection equipment and Standard Safety Operation procedures.</p> <p>As these security documents are highly confidential and cannot be released to the public, we are unable to provide this in our application. However, I would like to highlight the following:</p> <ul style="list-style-type: none"> <li>• A minimum (2) two barriers are maintained, with two fences employed as deterrents and a secure building with a vault for finished produce</li> <li>• No blind spots for CCTV system</li> <li>• Razor wire on fencing</li> <li>• Early detection systems on fencing</li> <li>• Back to base security system that is monitored 24/7</li> <li>• Workers are given overalls with no pockets to avoid theft and illegal use of produce</li> <li>• Track and trace system is in place to avoid theft and illegal use of produce</li> <li>• Strict access control for authorized personnel</li> <li>• Dual gate system to ensure no truck and trailer from unauthorized vehicles</li> <li>• Manned security during operational hours</li> <li>•</li> </ul> <p>The Better Green internal safety measures to alleviate internal theft and overflow of emergencies to staff and local community. These measures include safety protocols and safety training relevant to specific job functions.</p> <p>Training topics may include:</p> <ol style="list-style-type: none"> <li>1. Emergency contact list which includes at a minimum, operation manager contacts, emergency responder contacts, and poison control contacts</li> <li>2. Emergency action response planning</li> <li>3. Employee accident reporting and investigation policies</li> <li>4. Fire prevention</li> <li>5. Hazard communication policies, including maintenance of material safety data sheets (MSDS)</li> <li>6. Materials handling policies and Job hazard analyses</li> <li>7. Personal protective equipment policies, including respiratory protection.</li> </ol> <p><b>Important to Note:</b> Better Green, CEO (Mr Blake O'Sullivan), has been in regular contact with the Bathurst Police during the design process and will continue to work closely with Police to protect against theft and diversion not only from intruders, but also from staff members and appropriate approved</p>
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	<p>visitors. This will be accomplished by regularly meetings with the Police and by monitoring by police when required. Strict inventory control measures will also be employed to prevent and detect diversion.</p> <p>It is also noteworthy that our efforts in being transparent with the <u>Bathurst Regional Police Commander has resulted in endorsement</u> of the proposed development, as documented in the SEE.</p> <p>Better Green is in a strong position in the deterrent of a break and enter, due to the numerous measures in place. The community should feel safe, due to any criminal activity in the area will be caught, with so many deterrents and early detection in place.</p>
<p>The potential for lighting at night of the facility that may impact on neighbouring properties.</p> <p><b>(Lighting impacts)</b></p>	<p>We understand that from a majority of the responses question what lighting will be applied for the farm and at what times. The reason for the concern is to ensure no undue light pollution to the neighbouring properties. We also note, there was concern to the power availability for the property and how it will be sourced.</p> <p>Firstly, lighting will only be applied during operating hours to the offices and the processing rooms. Therefore, there will be no impact to light pollution from these areas of the property.</p> <p>Regarding the green house, this area is to only be lit by lights when there is not sufficient light from the sun. That being said, the growing method requires 12 hours of sunlight and 12 hours of light deprivation for the plants, which results in no light pollution impact over the course of the evening or night.</p> <p>Lastly, there will be no lighting applied as part of security measures and will not be applied to any outdoor areas apart from entrance ways, when required.</p>
<p>The potential negative impact on property values.</p> <p><b>(Impacts on property value)</b></p>	<p>Not a valid planning consideration.</p>
<p>The development has been incorrectly characterised and accordingly is prohibited in the RU1 zone and is more of an industrial nature.</p> <p><b>(Land use characterisation)</b></p>	<p>Based on the nature of the development and in consultation with Council, it is considered that the most appropriate definition of the proposal is as follows which is permitted in the RU1 zone:</p> <p>“Intensive Plant Agriculture (medicinal cannabis), inclusive of greenhouse and processing facility”.</p> <p>It is noted that the processing of the cannabis is relatively minor in that the plant which is grown on the site is de-leafed and dried (the end customer buys the dried product). There is nothing added to the plant or change to its properties.</p> <p>Offices, amenities, utilities and the like are considered ancillary and the primary purpose as outlined above. There are no other independent land uses associated with the proposed development that would necessitate a broadening of the characterisation.</p> <p>It is noted that there will only be approximately 8000kg (or 8 tonnes) of product produced per annum.</p> <p>Any other definition or characterisation suggested by the objectors (i.e., heavy industry, light industry or high technology industry) is not considered reasonable. As stated throughout the application and this</p>



	<p>response submission, the processing element of the overall development is relatively minor. The development involves the growing of a plant on the site and the minor processing of it to create an end product for further processing off site.</p>
<p>Inconsistent with the objectives of the zone.</p> <p><b>(Compatibility with surrounding land uses)</b></p>	<p>The proposed development is consistent with the RU1 zone objectives as it:</p> <ul style="list-style-type: none"> <li>• Encourages sustainable primary industry production including growing and harvesting plant materials through better utilisation of primary production land.</li> <li>• Provides alternative enterprise in addition to traditional primary production in the area.</li> <li>• Fragments the land to provide better utilisation of the land resources to assist in the primary production process without increasing dwelling entitlements on the site.</li> <li>• Provides a use which is consistent with surrounding primary production activities.</li> <li>• Seeks to maintain the rural and scenic character of the land through considered and sympathetic building placement on the site and more broadly the general area.</li> <li>• The proposed development fundamentally is seeking to utilise the land for agricultural purposes and is not expected to generate any associated land use conflicts.</li> </ul>
<p>Negative impacts on surrounding land uses.</p> <p><b>(Compatibility with surrounding land uses)</b></p>	<p>The predominant land uses in the vicinity of the proposed development include agricultural holdings that are used for grazing, natural wild life habitat, agricultural operations, with mixed commercial, agricultural and residential uses in the vicinity. There are no known schools, places of worship, public parks, or tribal cultural resources within close proximity of the proposed development.</p> <p>A number of responses have concerns related to the proposed development impacting the landscape view.</p> <p>Better Green feels there is negligible impact on any views from any of the neighbouring properties or any adjacent land. The development is hidden in a valley and cannot be seen from the road, nor can it be seen as direct line of site due to dense vegetation between direct neighbouring houses and the proposed development.</p> <p>Furthermore, we have used an earthy palette for the façade and will introduce vegetation around the boarder of the property, should there be any impact to the view, which is per our agreement with the land owner.</p> <p>The suggestion that the surrounding locality is rural-residential is not considered accurate (and is a considerable distance from Large Lot Residential zoned land).</p>
<p>The Macquarie River is not a secure water source for the proposal</p> <p><b>(Water use/source)</b></p>	<p>It is noted that water is currently being pumped from the river for stock and domestic purposes.</p> <p>The applicant is currently in the process of securing the necessary licences for the proposed development.</p> <p>The development will only require 4ML per annum which is considered relatively modest.</p>
<p>Location of the proposed development on the site close to boundaries.</p> <p><b>(Visual impacts)</b></p>	<p>Agricultural produce industry is a type of rural industry that requires a setback of 50m from any side or rear boundary.</p> <p>The proposed glasshouse as part of the development, is to be setback 18m off the southern boundary to meet BCA requirements. All buildings are considerably more than 50 metres from every other boundary to the site.</p>



	<p>Accordingly, a variation to this setback control is proposed.</p> <ul style="list-style-type: none"> <li>• The area within the 50m setback is glasshouse that is required as part of the crop growing (glasshouse).</li> <li>• The processing and office areas are setback a considerable distance from the southern boundary.</li> <li>• There is no identifiable development on the neighbouring land to the south that will be negatively impacted upon.</li> <li>• The house on the southern neighbouring lot is over 750m from the development site towards the east and does not have any direct line of site.</li> <li>• There is no surrounding land uses that require an increased building setback.</li> </ul>
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The Rowland submission also included specific questions pertaining to the supporting documents that were submitted with the DA. The applicant's response to these comments can be viewed in **attachment 11**.

#### Safety and traffic impacts on Freemantle Road

The submissions raised concerns about the use of Freemantle Road, its current state and the potential for the traffic generated by the proposed development to further degrade the quality of the road.

Council's Section 7.11 Plan for *Traffic Generating Development* applies to developments that:

- a) Require the use of road haulage vehicles to support the operation of that enterprise;
- b) or
- c) Generate additional traffic movements above levels of traditional agricultural or residential activities.

At full production, the applicant has proposed that the development will generate the following traffic movements:

- *Light vehicles (cars etc) – 70 vehicle movements per day*
- *Medium rigid vehicle – 1 truck per day (harvest periods)*
- *Small couriers – 4 vehicles per day (harvest periods)*

It is noted that 35 car parking spaces have been proposed. It would follow that a maximum of 35 light vehicles, such as cars, would travel to and from the site per day resulting in 70 light vehicle traffic movements. Medium rigid vehicles and small couriers would temporarily visit the site for delivery pickup, with the most frequent traffic movements occurring during harvest periods. The maximum production is expected to be 8000kg per year, therefore the use of heavy vehicles would not be required.

Given that heavy vehicles such as road haulage vehicles are not required and that the expected light and medium vehicle movements are minimal, Council's Section 7.11 Developer Contribution Plan for *Traffic Generating Development* would not require a specific monetary contribution towards Freemantle Road.

#### Odour impacts

The concerns raised in the submissions with regards to odour centre around whether the



medicinal cannabis plant would emit an odour and whether it would impact the amenity of the surrounding area.

The applicant has described that the odour emitted by the plant is 'minor' and would only be noticeable within the facility itself given that the plants are grown within the enclosed greenhouse. Further, the applicant has outlined the following steps that will be taken to mitigate potential odour impacts:

- *Airtight building envelope, per Goods Manufacturing Practices (GMP) certification requirements*
- *High-Efficiency Particulate Arrestance (HEPA) filtration on all mechanical plant and equipment*
- *Carbon filtration on all mechanical plant and equipment*
- *Building is lower than surrounding dwellings and located in a valley, which provides natural ventilation and odour attenuation*

The applicant further notes that odour impacts will be essentially eliminated given that in order to comply with the requirements of GMP certification, the introduction of external contaminants would be strictly mitigated.

More generally, odour from what are considered as agricultural activities (and this falls within that category) is often debated. In some instances, odours can emanate from horticultural crops such as cabbages, cauliflowers and other brassicas and broadacre crops such as canola, another brassica, all of which are commonly grown locally and are known to have odours which are noticeable. Whether or not this constitutes an offensive, nuisance or acceptable odour where it is occurring as a result of agricultural activities on agricultural land is often debated. This debate often surrounds the concept of the "right to farm". Currently the Right to Farm Act provisions limit claims of "nuisance" under certain circumstances (see below).

- 4 *Commercial agricultural activities do not constitute nuisance*  
*No action lies in respect of nuisance by reason only of the carrying out of any of the following activities if the activity is carried out lawfully and not negligently and that type of activity has been carried out on the land for at least 12 months—*
  - (a) *a commercial agricultural activity,*
  - (b) *an activity carried out for the purposes of any of the following—*
    - (i) *any business or undertaking in which cattle, poultry, pigs, goats, horses, sheep or other livestock are kept or bred for commercial purposes (for example, a dairy, saleyard or feedlot),*
    - (ii) *a business or undertaking for the commercial production of products derived from the slaughter of animals (including poultry) or the processing of skins or wool of animals, including abattoirs, knackeries, tanneries, woolscours and rendering plants,*
    - (iii) *a business or undertaking for forestry (including timber mills) or aquaculture,*
    - (iv) *a show or competition involving livestock (including a rodeo).*
- 5 **Courts to not order cessation of agricultural activity if other order available**
  - (1) *This section applies if in proceedings a court finds that a commercial agricultural activity carried out by a party to the proceedings constitutes a nuisance.*
  - (2) *The court must not order the complete cessation of the commercial agricultural activity if the court is satisfied that it could make an order that would permit the continuation of the activity in a manner—*
    - (a) *that is managed, modified or reduced, and*
    - (b) *consistent with an efficient and commercially viable agricultural operation, and*
    - (c) *unlikely to significantly disturb the other party to the proceedings.*



- (3) *Subsection (2) does not limit or otherwise prejudice the power of a court to make any other order it thinks fit in respect of the nuisance, including an order as to damages or costs.*

Under the circumstances the risk of offensive odour is considered minimal given it occurs within the controlled environment with appropriate controls.

### Noise impacts

Concerns raised in the submissions in relation to noise centred around what operational hours would be in place, what noise pollution could be expected and mitigated, and the potential impacts on the nearest noise receivers.

The applicant's advice is that proposed operating hours are as follows:

- Monday to Friday: 7:00am to 5:00pm
- Saturday to Sunday: 7:00am to 3:00pm

As the proposal is for and the purposes of an agricultural enterprise, limitations on hours of operation will be dictated by the need to undertake activities outside of what would be considered "normal" business hours. The reference to hours of operation is taken to relate to the hours associated with the office component of the use as opposed to the remainder of the proposal. This approach would not be inconsistent with expectations for agricultural activities in rural areas.

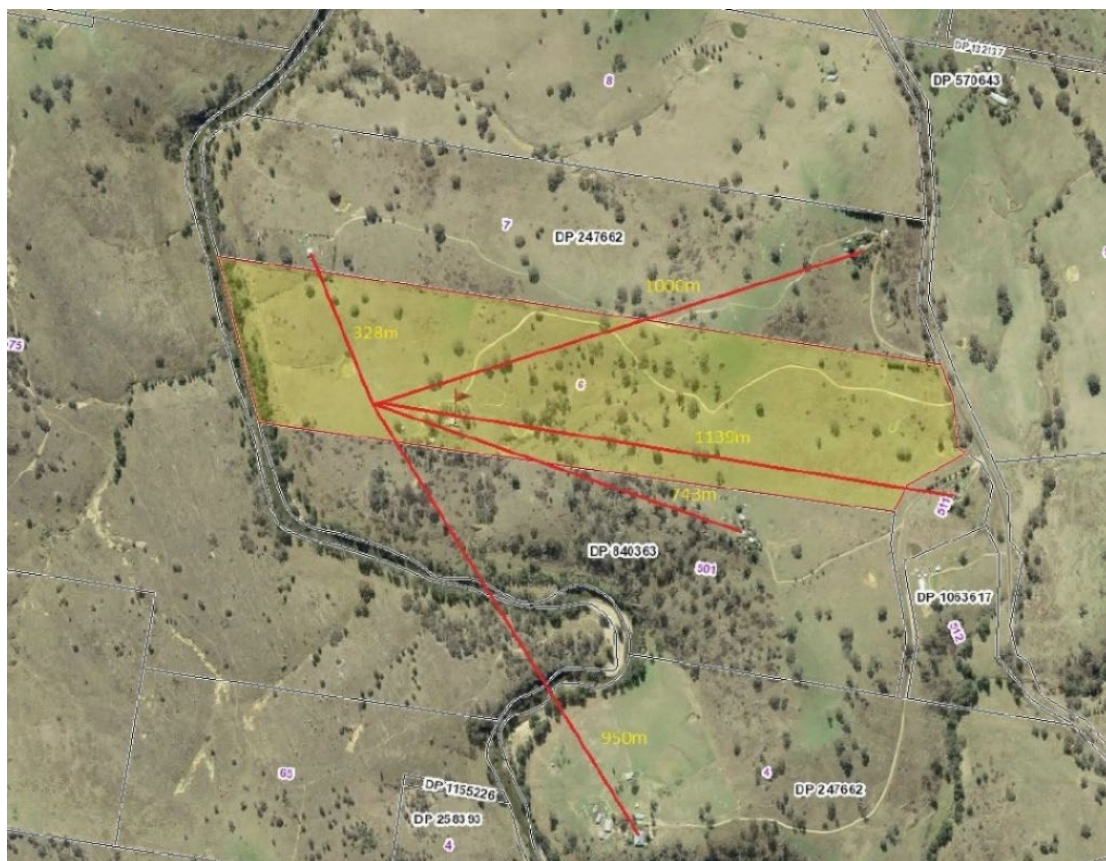
The applicant has acknowledged that the most significant source of noise will be the plant and equipment including air conditioning units, mechanical fans and potentially a backup generator. As is noted in the applicant's response to submissions, the specifics of noise pollution attenuation are not able to be fully designed pending the finalisation of the development consent, however the following methods will be put in place:

- *Acoustic barrier around mechanical plant and generator*
- *Silencer on fan units*
- *Reduced rigid connections to minimise vibration*

The applicant has provided a consideration of nearby noise receivers.

*The figure below indicates the location of nearby houses – as can be seen they are a considerable distance from the proposed development and due to the topography are also out of direct sight. There is a secondary dwelling approximately 328m north of the site that has its view of the site obscured by mature vegetation on the property.*





**Figure 3** – Nearby noise receivers (dwelling houses). (Source: Anthony Daintith Town Planning letter dated 24 March 2022).

The nearest dwelling house, i.e., the second rural dwelling located on 1683 Freemantle Road is approximately 328m north-west of the development site. The proposed development has been set back closer to the southern side boundary in order to be further set back from this noise receiver.

The applicant has proposed that a condition be imposed upon the consent requiring documentary evidence that the proposed plant machinery will comply with the appropriate noise guidelines. In this case that would those established in the Noise Policy for Industry (2017). This would include consideration of background noise levels, identification of intrusive, amenity and sleep disturbance levels and mitigation measures associated with the plant machinery. This is considered a reasonable approach given the nature of the project and that the likely noise sources are the result of plant and machinery operation as opposed to what would be typically considered as noises associated with industrial activities.

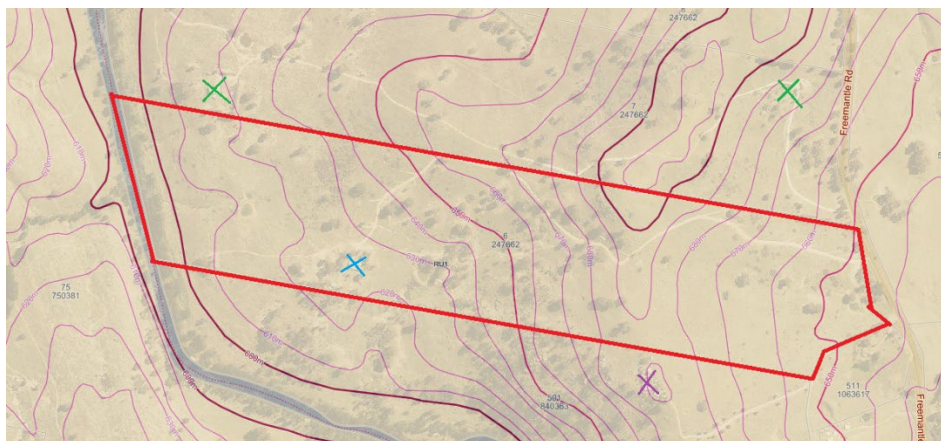
No heavy machinery and heavy vehicles are required to access the site once operational. Noise generated by traffic movements will generally be limited to usual operating hours and will comprise light vehicles. Accordingly, noise associated with vehicle movements is considered to have minimal impact.

Conditions of consent will be imposed to ensure that a Noise Management Plan is submitted prior to the issue of a construction certificate which relates to the management of noise during construction and during operational periods.

### Visual impacts



Concerns raised in the submission in relation to visual impacts questioned the proposed setback of the development and the potential privacy impacts on adjoining properties. The facility is setback approximately 1047m from the front boundary that adjoins Freemantle Road. Due to the setback and the fall of the land, the development will not be visible from the road.



**Figure 4** - Topography of the land.

The above figure 4 provides the location and contours of the land and surrounding land. The blue X locates the existing dwelling house on the subject land, noting that the proposed facility will be located to the west of this area. The two green X locates the existing dwelling and second rural dwelling on 1683 Freemantle Road. The purple X locates the existing dwelling to the south on 1663 Freemantle Road. There is no existing dwelling house on the adjoining lot to the west.

Whilst the building is large it is nonetheless a building that is to be used for agricultural purposes. It is located a sufficient distance from adjoining properties such that whilst it may be visible, would not be considered to have a significant adverse impact upon views to or from the land.

### Crime/security impacts

Due to the nature of the activity there have been concerns in relation to potential crime and security impacts. It is acknowledged that the application as originally submitted did not detail the specific methods of crime prevention.

In accordance with Chapter 15 of the DCP Council referred the application to the NSW Police for comment.

As noted previously there have been direct communications between the applicant and NSW Police in relation the matters governing the risk of crime associated with the proposal. This included a crime risk assessment carried out by the NSW Police based on crime prevention documents that are not available to the public due to the Office of Drug Control requirements.

In its broadest sense security around the facility will include the following measures:

- *A minimum (2) two barriers are maintained, with two fences employed as deterrents and a secure building with a vault for finished produce*
- *No blind spots for CCTV system*



- *Razor wire on fencing*
- *Early detection systems on fencing*
- *Back to base security system that is monitored 24/7*
- *Workers are given overalls with no pockets to avoid theft and illegal use of produce*
- *Track and trace system is in place to avoid theft and illegal use of produce*
- *Strict access control for authorized personnel*
- *Dual gate system to ensure no truck and trailer from unauthorized vehicles*
- *Manned security during operational hours*

Following the assessment, the NSW Police have determined that the proposed development has a low risk provided that the proposed methods are carried out and that the recommendations of the NSW Police are implemented as conditions of consent.

### Lighting impacts

It is recognised that the application, as originally submitted, did not specify operating hours nor provide details in relation to whether lighting would be involved in security and crime prevention.

In relation to potential light pollution, the Statement of Environmental Effects made the following comment:

*No adverse impact from the security lighting has been identified. All lighting will be baffled to ensure that there is no light spillage. It is noted that the facility is not lit at night (it needs to be as dark as possible).*

In response to submissions, the applicant has made the following comment:

*Lighting will only be applied during operating hours to the offices and the processing rooms. Therefore, there will be no impact to light pollution from these areas of the property.*

*Regarding the green house, this area is to only be lit by lights when there is not sufficient light from the sun. That being said, the growing method requires 12 hours of sunlight and 12 hours of light deprivation for the plants, which results in no light pollution impact over the course of the evening or night.*

*Lastly, there will be no lighting applied as part of security measures and will not be applied to any outdoor areas apart from entrance ways, when required.*

Given that the facility will not be lit at night and that the operating hours are reasonable and within normal business hours, it is expected that the proposed development will not result in any significant adverse lighting impacts.

Conditions of consent will be implemented to ensure that all exterior lighting associated with the development will be designed and installed so that no obtrusive light will be cast onto any adjoining property or in an upward manner.

### Boundary fence

Concerns were raised with regards to the state of the existing boundary fences and whether livestock and other wildlife would be prevented from accessing the proposed facility.

The applicant has stated that aside from the two proposed security fencing around the facility itself, there are no other fences proposed. With regards to the maintenance of the existing boundary fences, the applicant has made the following comment:



*Better Green has (2) two security fences around the 10 acre land plot that is leased to the company. Our bordering fences to neighbouring property will be maintained as necessary to keep them in good working order. Furthermore, as part of our agreement with the property owner, we are to maintain the adjacent property, which in turn minimizes foreign particles for our agricultural site.*

Given that the proposed facility will be highly secured by two security fences, it is highly unlikely that livestock and other wildlife could gain access to or be trapped within the facility. The applicant's agreement to maintain the adjacent property is considered satisfactory.

#### Impacts on property value

As the applicant discussed, impact on property value as a result of the proposed development is not a planning consideration.

#### Land use characterisation

As discussed earlier within the report, the growing of medicinal cannabis is considered to be 'intensive plant agriculture' while the proposed greenhouse, processing area and offices are considered to be an 'agricultural produce industry'. The proposed offices are considered to be ancillary to the proposed dominant uses and would therefore be a permissible land use.

#### Compatibility with surrounding land uses

The submissions raised concerns as to the suitability of the proposed development in relation to the RU1 Primary Production zone objectives and surrounding land uses. In relation to the objectives of the zone, the proposed development is expected to have a minimal impact on agricultural land, it is well setback from dwellings on adjoining land thereby reducing conflict between land uses. The development will provide diversity in the primary industry and will retain vast agricultural land available for use for other agricultural purposes.

Overall, the proposed development is not inconsistent with the objectives of the RU1 Primary Production zone and will not significantly conflict with adjoining land uses provided that conditions are imposed to mitigate potential impacts in relation to noise, air quality, odour, lighting, security and crime prevention and waste management.

#### Water use and source

A concern was raised in the submissions that the Macquarie/Wambuul is 'not a secure source for high water requirements' and that climate change should be considered in relation to having a high water requirement.

The Statement of Environmental Effects makes the following comment:

*It is proposed to retreat the water through reverse osmosis system or option to tank and reuse it. An application for an irrigation licence has been made to enable the irrigation of the crops with water from the Macquarie River. High yield requires high quality water.*

Specifically in response to the above concern, the applicant has made the following comment:



*It is noted that water is currently been pumped from the river for stock and domestic purposes.*

*The applicant is currently in the process of securing the necessary licences for the proposed development.*

*The development will only require 4ML per annum which is considered relatively modest.*

Clause 7.5 of the Bathurst Regional Local Environmental Plan 2014 requires that:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—

(a) the supply of water,

Given that the development proposes to draw water from the Macquarie River/Wambuul irrigation it would be subject to a water license issued by the Natural Resources Access Regulator (NRAR). The Bathurst Regional Development Control Plan 2014 does not specify requirements for water supply in relation to proposed business developments in the rural zones.

The development proposes to recycle the water and wastewater used throughout the growing and processing of the cannabis plant through a Reverse Osmosis system. The Statement of Environmental Effects makes the following comment:

*The water that is stored and re-used goes through Reverse Osmosis and then is re-dripped onto the cannabis plants.*

#### Waste management

A geotechnical report for effluent disposal has been submitted which was prepared by Mr S Johnson BE MIEAust of Calare Civil, dated 30 August 2021 (see **attachment 12**). The report focusses on the effluent generated by the office component of the development. The report recommended the use of a septic tank into a dual Ecomax Amended Soil Mound as an appropriate method of disposal, with a minimum septic tank capacity of 4000L and a disposal area of 369.52m<sup>2</sup>. The area is shown on the below figure 5.





**Figure 5** – Proposed effluent disposal area for non-plant related wastes. **Source:** Calare Civil Consulting Engineers – Effluent Disposal Investigation – 1673 Freemantle Road, Watton NSW 2795 dated 30 August 2021.

It is noted that the proposed system was designed based on wastes generated from water closets, urinals, basins, showers and kitchens in the factory and offices. The waste material and waste management of the cultivation and processing of the medicinal cannabis plant was not included in the submitted report.

Council requested a Waste Management Plan which details the methods of disposal of excess plant material and general cannabis production, odour management, and general industrial waste from the production of medical grade cannabis extract including dust, and wastewater. The following response was received:

*The nature of the proposal is that there is not a considerable amount of waste generated by the proposal. Following is an overview of the type of wastes generated and their proposed methods of disposal:*

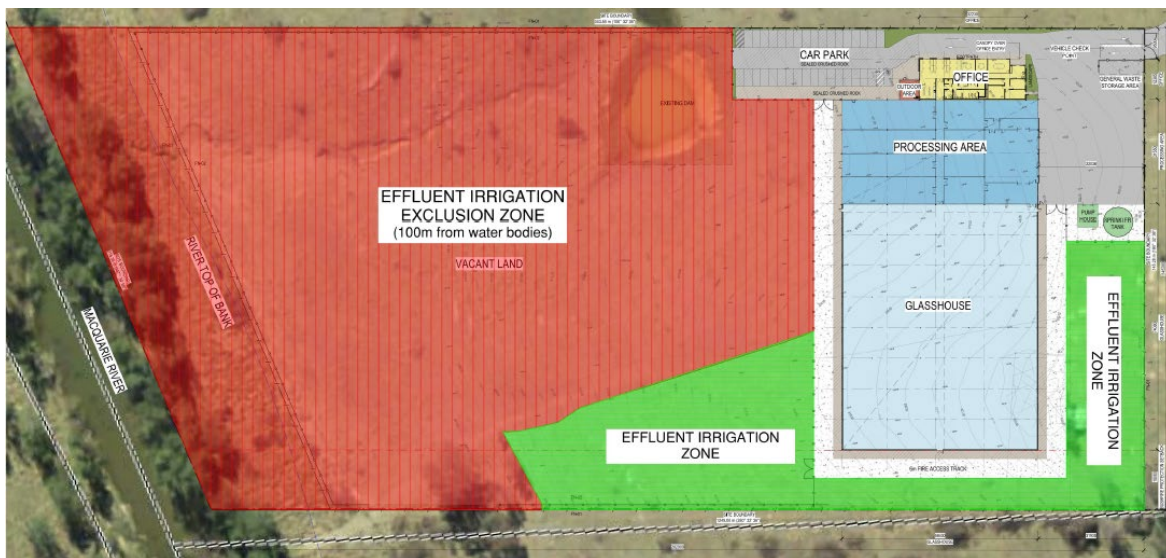
- *Effluent water that is generated from the growing of the plants (and not from the processing itself) gets irrigated on the surrounding pastures (water catchment area/reuse as shown on the plans) and is also used to fill the fire sprinkler tank without any further processing. There are no toxins, pesticides or additives to this effluent waste that require any special treatment. The process involves a neutral water balance.*
- *It is estimated that there will be approximately 3ML of effluent water generated per year (from the 4ML irrigated on the crop) that will be further irrigated onsite and to be used to fill the fire sprinkler tank.*
- *Off cuts from the cannabis plant are professionally trimmed and removed and then are*



disposed of offsite. A waste management company (Cleanway Environmental Services) have been engaged to undertake this process (a letter of intent has been executed). It is noted that the stem and leaves are the waste portion of the plant (similar to that of a tomato).

- It is noted that there is no waste generated from the drying process.
- Odour management – refer to later section.
- As there are no extracts – so no waste.
- The proposal will have a Good Manufacturing Practice certification (i.e., the building has been designed to ensure that dust, odours, contaminants cannot enter the building and accordingly cannot get out.

The applicant has submitted an Effluent Disposal Plan to demonstrate the location of irrigated areas that will receive wastewater from the cultivation and processing of the plant. See **attachment 12** and figure 5 below.



**Figure 5** – Proposed effluent disposal plan for wastewater from the cultivation and processing of the medicinal cannabis plant.

The flowchart provided illustrates the processes involved in growing and production. It is described that after the plant is dried, offcuts are put into a secured waste bin, weighed and taken off site by the waste management company for incineration.

A condition of consent will be implemented to ensure that a Waste Management Plan is submitted prior to the issue of a construction certificate which details waste management during construction and during operational stages.

### Social/economic benefit

The applicant did not directly respond to the submissions that raised concerns about the social and/or economic benefit of the proposed development. The submitted Statement of Environmental Effects makes the following comment:

*It is expected that the development will provide increased employment opportunities during construction and further operation of the facility (up to 50 operational jobs). The creation of jobs is expected to have a positive effect on the local economy.*

*The social impact of the proposed development in this locality are considered positive. The products developed at the facility are aimed at managing chronic pain, epilepsy, multiple sclerosis, as well as pain associated with palliative care.*

*It is noted that there is a significant separation distance between the facility and*



*neighbouring dwellings.*

While it is recognised that there have been a number of submissions made against the proposed development, these concerns have largely been addressed by way of the provision of additional information by the applicant, response to submissions and conditions of consent that can be imposed.

### **Aboriginal Due Diligence**

The applicant has commissioned an Aboriginal Due Diligence Assessment which is provided at **attachment 13**.

The Due Diligence draws the following conclusions:

- No known Aboriginal objects occur on the site.
- Due to the proximity to the Macquarie River/Wambuul a visual inspection was undertaken by Cultural Heritage Specialists.
- No aboriginal objects or potential subsurface deposits were identified.
- Aboriginal Heritage Impact Permits are not required.
- Works may proceed with caution. If any Aboriginal objects are found works should cease and notification made to Heritage NSW.

### **CONCLUSION:**

Council has received a Development Application lodged by Mr B O'Sullivan seeking consent to undertake the growing, cultivating and processing of medicinal cannabis and the construction of buildings to carry out the processing activity on Lot 6 DP 247662, being 1673 Freemantle Road, Watton. The finished product is aimed at managing chronic pain, epilepsy, multiple sclerosis as well as pain associated with palliative care.

The proposed use includes growing medicinal cannabis and, subject to an irrigation licence, would be considered to be *intensive plant agriculture* (permitted without consent). The structures associated with that use and the processing of that agricultural produce are most appropriately considered as an *agricultural produce industry*; i.e., it involves handling, treating (drying), processing and packaging of the product and prepared for distribution. The estimated production will be 8000kg per annum.

The proposal has generated a number of public submissions opposing the development from or on behalf of adjoining and neighbouring landowners. The submissions raised issues in relation to safety and traffic impacts on Freemantle Road, odour impacts, noise impacts, visual impacts, crime/security impacts, lighting impacts, boundary fences, impacts on property value, land use characterisation, compatibility with surrounding land uses, water use and source, waste management and the social and economic benefit of the proposed development.

Having regard to the planning controls that apply to the proposed development, the proposal warrants approval subject to recommended conditions.

### **FINANCIAL IMPLICATIONS:**

Nil

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**



**Objective 2: A smart and vibrant economy.**

Strategy 2.4 Support agriculture, local manufacturing, food production and education as significant contributors to the region's economy.

**Objective 3: Environmental stewardship.**

Strategy 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River and other waterways.

Strategy 3.3 Minimise the City's environmental footprint, live more sustainably and use resources more wisely.

**Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

**COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

**ATTACHMENTS:**

1. Aerial map of land and surrounding area [9.2.5.1 - 1 page]
2. Earthworks cross sectional plan [9.2.5.2 - 1 page]
3. Cultivation process flow chart [9.2.5.3 - 2 pages]
4. Plans of proposed development [9.2.5.4 - 10 pages]
5. Statement of Environmental Effects [9.2.5.5 - 37 pages]
6. Geotechnical report for effluent disposal report [9.2.5.6 - 6 pages]
7. Biodiversity Assessment Report [9.2.5.7 - 207 pages]
8. NSW Police Crime Risk Assessment [9.2.5.8 - 6 pages]
9. Public submissions received within notification period [9.2.5.9 - 28 pages]
10. Additional submission received outside of notification period [9.2.5.10 - 7 pages]
11. Applicants written response [9.2.5.11 - 31 pages]
12. Effluent disposal [9.2.5.12 - 1 page]
13. Aboriginal Due Diligence Assessment Report [9.2.5.13 - 27 pages]

**MINUTE**

**RESOLUTION NUMBER: ORD2022-119**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

**RESOLVED:**



That Council:

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/544, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following:
  - 1) A Noise Management Plan is required to be submitted prior to the issue of a construction certificate which relates to the management of noise during construction and during operational periods. The Plan must demonstrate that the proposed plant machinery will comply with the Noise Policy for Industry (2017) guidelines and should include consideration of background noise levels, identification of intrusive, amenity and sleep disturbance levels and mitigation measures associated with the plant machinery.
  - 2) All documentation must be reviewed at Construction Certificate stage to ensure all acoustic recommendations have been satisfactorily incorporated into the design of the site, prior to the issue of any Construction Certificate.
  - 3) A Waste Management Plan is required to be submitted prior to the issue of a construction certificate which details waste management during construction and during operational stages.
  - 4) The office shall only be conducted between 7:00am to 5:00pm Mondays to Fridays and 7:00am to 3:00pm Saturdays to Sundays.
  - 5) Compliance with any requirements of the NSW Police Force, including the following recommendations:
    - i. Lighting - If employees were to be on the premises during night hours, the following would be recommended:
      - Lighting in the car park and at the entrance to the premises.
      - Sensor lighting to all vestibule and walkways including parking bays and outdoor areas.
      - Develop a lighting plan to maintain safety and security.
    - ii. Surveillance/Technical Supervision
      - CCTV camera to be located at the front entrance Boom gates.
      - CCTV cameras must be maintained throughout the premises, including processing plant, storage areas and all general areas accessible by staff and the public.
      - CCTV cameras to cover the carpark.
      - Camera views should not be obstructed by temporary or permanent structures, signage or other impediments.
      - Recordings should be retained for a period of 30 days before being reused or destroyed. The Owner/operate shall ensure that no person is able to delete or alter any recordings within a 30-day period.
      - Immediate access to the CCTV systems and the ability to review recordings on the system is to be granted to members of the NSW



- Police Force. The system shall be able to reproduce a copy of the recordings on compact disk, DVD or USB memory stick.
- The CCTV system should be checked each day to ensure that it is fully operational and if not fully operational all reasonable steps must be taken to repair the system as soon as practical.
- The owner/operator to register (and supplies details) with the BIZKEYS program (after hours contacts register) at Bathurst Police Station.
- Install back to base security alarms around the perimeter of the complex and to the internal buildings.
- iii. Territorial reinforcement:
  - No signage denoting the business name be displayed at the entrance of Freemantle Road.
  - Internal signage be clearly displayed.
  - Premises monitored by CCTV at entry/exit point signage.
  - Speed limit signage in the driveway/carpark area. Max 10kph.
  - "Trespassers will be prosecuted" signage clearly visible around entrance/exit points.
  - Security patrol signage.
  - All Fire/emergency exits be clearly signed.
- iv. Space/activity management
  - Maintain existing farmland vegetation and develop a maintenance plan around the operational area of the business as well-maintained areas often exhibit strong territorial cues.
- v. Access control
  - Polycarbonates and impact resistant glass/glazing to all windows.
  - Ensure all entry/exit doors to all buildings be fitted with single cylinder locksets or keypad entry and comply with the Building Code of Australia.
  - Consider training given to staff on the use of security cameras and security in general.
  - Consider fire wardens trained in evacuation plans.
  - Consider WHS procedures/protocols implemented, and staff trained.
  -
- 6) All exterior lighting associated with the development shall be designed and installed so that no obtrusive light will be cast onto any adjoining property or in an upward manner.
- 7) The development is to be conducted in accordance with an approved Noise Management Plan, and in a manner that will not interfere with the amenity of the locality by reason of the emission of noise.
- 8) Prior to the issue of the Construction Certificate the developer is to submit to Council a Construction Management Plan which includes (but is not limited to) the following:
  - a) Traffic management, including:
    - i) Loading, unloading area and material storage areas;
    - ii) Access to adjoining properties; and
    - iii) Parking areas (for construction workers and surrounding properties).



- b) Noise
  - c) Soil and water management
  - d) Waste management
  - e) Stabilisation and monitoring of adjoining buildings.
  - f) Vibration.
  - g) Proposed methods of communication, including:
    - i) Communication with adjoining property owners;
    - ii) Communication with the general public; and
    - iii) Complaints management.
- 9) Erosion and sediment control measures are to be established prior to commencement of construction and maintained to prevent silt and sediment escaping the site or producing erosion. This work must be carried out and maintained in accordance with an approved Soil and Water Management Plan.
- 10) Effluent shall not be disposed within 100m of a waterbody (Macquarie River/Wambuul) or any other watercourse.
- 11) Internal road speeds should not exceed 20km/h to minimise vehicle strikes to wildlife, including koalas.
- 12) If any unidentified material not previously identified as part of an investigation are uncovered during the development, then all works shall stop immediately in that area and Council be contacted. Works are not to recommence until approval has been received from Council. Depending upon the nature and the significance of the material, further assessment may be required before further work can continue in that area. Unexpected finds include but are not limited to:
- i. Suspected contamination in the form of ash, staining, discolouration, odours, underground petroleum storage systems or suspected asbestos containing material; or
  - ii. Suspected Aboriginal relics in the form of tools, artwork, bones etc; or
  - iii. Suspected non-Aboriginal heritage relics not previously identified.
  - iv.
- b) notify those that made submissions of its decision; and
- c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

**The result of the division was:**

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

Against the Motion - Nil

Absent - Nil

Abstain - Nil



**9.2.6 DEVELOPMENT APPLICATION NO. 2021/588 -  
DEMOLISH SHEDS, CONSTRUCT 2 SINGLE STOREY  
DWELLINGS AND 3 TWO STOREY DWELLINGS WITH  
COMMUNITY TITLE SUBDIVISION, 221 PEEL STREET  
BATHURST. APPLICANT: GREGORY J COLEMAN P/L.  
OWNER: MCSWEENEY DEVELOPMENTS P/L**

**File No: 2021/588**

**RECOMMENDATION:**

That Council:

- (a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/544, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following:
- (b)
  - 1. The payment to Council of Section 7.11 Developer Contributions as follows:
    - a) Bathurst Regional Community Facilities - \$32,637.50
    - b) Jordan Creek Stormwater Drainage Management - \$19,765.50
  - 2. Prior to the issue of Construction Certificate, a schedule of colours and materials is to be submitted and approved by Council. The colour scheme is to be predominately warm autumn tones and all units are to incorporate greater use of face brickwork in warm autumn tones.
  - 3. During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.
  - 4. The cladding on the roof of the proposed dwellings is to be of traditional corrugated profile.
  - 5. Demolition of the concrete block building is to be carried out in coordination with the owners of 1/284A Piper Street & 2/284A Piper Street. An appropriate replacement fence is to be constructed.
  - 6. Each dwelling is to be provided with an outdoor area for the drying of laundry.
  - 7. Landscaping is to be carried out and maintained in perpetuity in accordance with the certified landscape plan. Modification to the certified landscape plan shall only be after receiving written approval from Council.



NOTE 1: The landscaping is to be completed prior to the occupation of the building and maintained in perpetuity.

8. Prior to the issue of the Construction Certificate the developer is to submit to Council a Construction Management Plan which includes (but is not limited to) the following:
  - a) Traffic management, including:
    - i) Loading, unloading area and material storage areas;
    - ii) Access to adjoining properties; and
    - iii) Parking areas (for construction workers and surrounding properties).
  - b) Noise.
  - c) Soil and water management
  - d) Waste management
  - e) Stabilisation and monitoring of adjoining buildings.
  - f) Vibration.
  - g) Proposed methods of communication, including:
    - i) Communication with adjoining property owners;
    - ii) Communication with the general public; and
    - iii) Complaints management.
9. Building work involving the use of electric or pneumatic tools or other noisy operations shall be carried out only between 7.00 am and 8.00 pm on weekdays and 8.00 am and 8.00 pm on weekends and public holidays.
10. The construction of a 6m layback in the existing kerb and gutter, adjacent to the proposed footway crossing(s) to comply with Bathurst Regional Council's Guidelines for Engineering Works.
11. All stormwater runoff from the proposed development is to be collected on site and conveyed to the legal point of discharge, in a manner consistent with AS 3500 and Bathurst Regional Council's Guidelines for Engineering Works.
12. Prior to the issue of a construction certificate, the plans should demonstrate that the rumpus room window for the dwelling proposed on Lot 5 includes appropriate glazing or privacy screening to reduce potential privacy impacts to neighbours.
13. The construction of a concrete footpath 1.5 metres wide and 100mm thick and for the full frontage of the subject land to the public road in accordance with Bathurst Regional Council's Guidelines for Engineering Works.
14. Compliance with any requirements of Essential Energy, including the following:
  - a) Essential Energy's records indicate that there is existing overhead powerlines located across the street frontage of the property:
  - b)
    - i) Minimum safety clearance requirements are to be maintained at all times for the proposed driveway access and/or exit (concrete



crossovers), as such driveway access will pass under Essential Energy's existing overhead powerlines located at the front of the property. The proposed driveway must comply with clearances for trafficable land, ground clearances must be maintained. Refer Essential Energy's policy CEOM7106.25 Minimum Clearance Requirements for NSW and the latest industry guideline currently known as ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure.

- ii) Any proposed driveway access and/or exit (concrete crossovers) must remain at least 1.0 metre away from any electricity infrastructure (power pole, streetlight) at all times, to prevent accidental damage.
  - iii) Any excavation works in this area or works on the proposed driveway must comply with ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure.
- c) Prior to any demolition works commencing, any service line/s to the property affected must be disconnected.
  - d)
  - e) The Applicant will need to engage the services of an Accredited Service Provider to ensure adequate provision of power is available to the dwelling(s) in accordance with NSW Service and Installation Rules. A Level 2 Electrician will be able to advise on these requirements and carry out the required work to ensure compliance.
  - f)
  - g) If the proposed development changes, there may be potential safety risks and it is recommended that Essential Energy is consulted for further comment.
  - h)
  - i) Any existing encumbrances in favour of Essential Energy (or its predecessors) noted on the title of the above property should be complied with.
  - j)
  - k) As part of the subdivision, easement/s are to be created for any existing electrical infrastructure, using Essential Energy's standard easement terms current at the time of registration of the plan of subdivision. Refer Essential Energy's Contestable Works Team for requirements via email [contestableworks@essentialenergy.com.au](mailto:contestableworks@essentialenergy.com.au).
  - l)
  - m) Council should ensure that a Notification of Arrangement (confirming satisfactory arrangements have been made for the provision of power) is issued by Essential Energy with respect to all proposed lots which will form part of the subdivision, prior to Council releasing the Subdivision Certificate. It is the Applicant's responsibility to make the appropriate application with Essential Energy for the supply of electricity to the subdivision, which may include the payment of fees and contributions. Despite Essential Energy not having any safety concerns, there may be



issues with respect to the subdivision layout, which will require Essential Energy's approval.

- n) In addition, Essential Energy's records indicate there is electricity infrastructure located within the property and within close proximity to the property. Any activities within these locations must be undertaken in accordance with ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure. Approval may be required from Essential Energy should activities within the property encroach on the electricity infrastructure.
- o) Prior to carrying out any works, a "Dial Before You Dig" enquiry should be undertaken in accordance with the requirements of Part 5E (Protection of Underground Electricity Power Lines) of the Electricity Supply Act 1995 (NSW).
- p) Given there is electricity infrastructure in the area, it is the responsibility of the person/s completing any works around powerlines to understand their safety responsibilities. SafeWork NSW ([www.safework.nsw.gov.au](http://www.safework.nsw.gov.au)) has publications that provide guidance when working close to electricity infrastructure. These include the Code of Practice – Work near Overhead Power Lines and Code of Practice – Work near Underground Assets.

15. If soil conditions require it:

- i. retaining walls associated with the erection/demolition of a building or other approved methods of preventing movement of soil must be provided, and
- ii. adequate provision must be made for drainage.

(c) notify those that made submissions of its decision; and

(d) call a division.

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## **SUMMARY:**

Council has received a Development Application lodged by Gregory J Coleman Pty Ltd seeking consent to demolish existing sheds and construct two x single-storey dwellings and three x two-storey dwellings and a seven (7) lot community title subdivision.

## **REPORT:**

### **The Site**

221 Peel Street (PLT 1 DP 1246998) is an L-shaped allotment located on the northern side of Peel Street and is within the Bathurst Heritage Conservation Area (HCA). The land is located approximately at the centre of the block that is bounded by Piper Street to the north-east and Lambert Street to the south-west.



The site is approximately 2413m<sup>2</sup> in area and currently contains an existing single-storey dwelling house with an attached carport and pergola, a detached metal shed and a large concrete block shed at the rear. The site contains a number of existing trees and vegetation, including indigenous species, introduced species and weeds.

An aerial map of the land and surrounding area is available in **attachment 1**.



**Figure 1** – Proposed development overlaid aerial imagery.

## Proposed development

The proposed development seeks consent to:

- Demolish existing buildings and structures including the attached carport and pergola to the original dwelling, detached metal shed and concrete block shed.
- Remove existing trees and vegetation.
- Construct 2 x single-storey dwellings.
- Construct 3 x two-storey dwellings.
- Seven (7) lot community title subdivision

The proposed allotments will consist of the following:

Proposed Lot	Proposed Lot Size	To Contain
1	718.41m <sup>2</sup>	Common property – circulation space, visitor car parking and access.
2	287m <sup>2</sup>	Containing the existing 3-bedroom dwelling house with street frontage
3	317.89m <sup>2</sup>	Proposed single storey 3-bedroom dwelling house to contain double garage, bathroom, laundry, master with ensuite and walk in wardrobe, open plan kitchen/dining/family and walk in pantry and pergola outdoor area.
4	265.76m <sup>2</sup>	Proposed two storey 4-bedroom dwelling house to contain, on the ground floor, a double garage, living, laundry with powder room, open plan kitchen/living/dining with walk in pantry and alfresco. On the first floor, the development application proposes a master bedroom with ensuite and walk in wardrobe, three bedrooms, bathroom, rumpus and media room.
5	262.03m <sup>2</sup>	Proposed two storey 4-bedroom dwelling house to contain, on the ground floor, a double garage, living, laundry, bathroom, open plan



		kitchen/dining/family with walk in pantry and alfresco. On the first floor, the development application proposes a master bedroom with ensuite and walk in wardrobe, study, rumpus, three bedrooms and bathroom.
6	224.07m <sup>2</sup>	Proposed two storey 4-bedroom dwelling house to contain, on the ground floor, a double garage, living, bathroom, laundry, open plan kitchen/family/dining with walk in pantry and alfresco. On the first floor, the development application proposes a master bedroom with walk in wardrobe and ensuite, media room, rumpus, three bedrooms and bathroom.
7	338.25m <sup>2</sup>	Proposed single storey 4 bedroom dwelling house with double garage, master bedroom with ensuite and walk in wardrobe, living, bathroom, laundry, three bedrooms, open plan kitchen/family/dining with walk in pantry and alfresco.
<b>Total Area:</b>		2413m <sup>2</sup>

Proposed plans for the development are provided in **attachment 2**.

Note that during assessment, additional information was requested to include amendments to the plans, an amended Statement of Environmental Effects and to provide stormwater engineering.

### Summary of Attachments

Attachment No.	Description
1	Aerial map of land and surrounding area.
2	Plans of the proposed development
3	Statement of Environmental Effects
4	Public submission received in relation to proposal within notification period
5	Public submissions received in relation to the proposal outside notification period
6	Newspaper articles regarding the proposed development
7	Applicant's written response to the public submissions
8	Shadow diagrams
9	Site visit photos of existing concrete block building
10	Stormwater drainage plan
11	Retaining wall plan

### Planning Context

The planning controls that govern the development of the land include:

- 1) State Environmental Planning Policy (Transport and Infrastructure) 2021
- 2) Bathurst Regional Local Environmental Plan 2014 (LEP 2014)
- 3) Bathurst Regional Development Control Plan 2014 (DCP 2014)
- 4) Bathurst Regional Council Community Participation Plan 2019 (CPP 2019)
- 5)

#### **State Environmental Planning Policy (Transport and Infrastructure) 2021**

Clause 2.48(1)(a)(iii) of the State Environmental Planning Policy (Transport and Infrastructure) 2021 states that for any development that is carried out within 5m of an exposed overhead electricity power line, the consent authority must give written notice to the electricity supply authority for the area in which the development is to be carried out.

Given that the existing driveway is proposed to be widened such that it will be approximately 2.3m from an existing electricity pole, the application was referred to



Essential Energy and the following comments were made:

1. *Essential Energy's records indicate that there is existing overhead powerlines located across the street frontage of the property:*
  - a. *Minimum safety clearance requirements are to be maintained at all times for the proposed driveway access and/or exit (concrete crossovers), as such driveway access will pass under Essential Energy's existing overhead powerlines located at the front of the property. The proposed driveway must comply with clearances for trafficable land, ground clearances must be maintained. Refer Essential Energy's policy CEOM7106.25 Minimum Clearance Requirements for NSW and the latest industry guideline currently known as ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure.*
  - b. *Any proposed driveway access and/or exit (concrete crossovers) must remain at least 1.0 metre away from any electricity infrastructure (power pole, streetlight) at all times, to prevent accidental damage.*
  - c. *Any excavation works in this area or works on the proposed driveway must comply with ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure.*
2. *Prior to any demolition works commencing, any service line/s to the property affected must be disconnected.*
3. *The Applicant will need to engage the services of an Accredited Service Provider to ensure adequate provision of power is available to the dwelling(s) in accordance with NSW Service and Installation Rules. A Level 2 Electrician will be able to advise on these requirements and carry out the required work to ensure compliance.*

Essential Energy also makes the following general comments:

1. *If the proposed development changes, there may be potential safety risks and it is recommended that Essential Energy is consulted for further comment.*
2. *Any existing encumbrances in favour of Essential Energy (or its predecessors) noted on the title of the above property should be complied with.*
3. *As part of the subdivision, easement/s are to be created for any existing electrical infrastructure, using Essential Energy's standard easement terms current at the time of registration of the plan of subdivision. Refer Essential Energy's Contestable Works Team for requirements via email [contestableworks@essentialenergy.com.au](mailto:contestableworks@essentialenergy.com.au).*
4. *Council should ensure that a Notification of Arrangement (confirming satisfactory arrangements have been made for the provision of power) is issued by Essential Energy with respect to all proposed lots which will form part of the subdivision, prior to Council releasing the Subdivision Certificate. It is the Applicant's responsibility to make the appropriate application with Essential Energy for the supply of electricity to the subdivision, which may include the payment of fees and contributions. Despite Essential Energy not having any safety concerns, there may be issues with respect to the subdivision layout, which will require Essential Energy's approval.*
5. *In addition, Essential Energy's records indicate there is electricity infrastructure located within the property and within close proximity to the property. Any activities within these locations must be undertaken in accordance with ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure. Approval may be required from Essential Energy should activities within the property encroach on the electricity infrastructure.*



6. *Prior to carrying out any works, a “Dial Before You Dig” enquiry should be undertaken in accordance with the requirements of Part 5E (Protection of Underground Electricity Power Lines) of the Electricity Supply Act 1995 (NSW).*
7. *Given there is electricity infrastructure in the area, it is the responsibility of the person/s completing any works around powerlines to understand their safety responsibilities. SafeWork NSW ([www.safework.nsw.gov.au](http://www.safework.nsw.gov.au)) has publications that provide guidance when working close to electricity infrastructure. These include the Code of Practice – Work near Overhead Power Lines and Code of Practice – Work near Underground Assets.*

The above will be imposed as conditions of consent.

## **Bathurst Regional Local Environmental Plan 2014**

### Zone

The subject site is located in the R1 General Residential zone. The objectives of the zone are as follows:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide housing choice and affordability by enabling opportunities for medium density forms of housing in locations and at densities that complement the surrounding residential environment.*
- *To protect and conserve the historic significance and scenic quality of the urban villages of Eglinton, Raglan and Perthville.*
- *To enable commercial development that is compatible with the amenity of the area and does not prejudice the status and viability of the Bathurst central business district as the retail, commercial and administrative centre of Bathurst.*

The proposal is consistent with the objectives of the R1 General Residential zone.

Multi dwelling housing is permissible with consent on the land.

### Clause 4.1B – Minimum subdivision lot size for dual occupancies, manor houses, multi dwelling houses and residential flat buildings

The minimum lot size requirement for multi dwelling housing on this lot is 900m<sup>2</sup>. The existing lot size is 2413m<sup>2</sup> therefore the requirement is achieved.

It is noted that Clause 4.1B provides that despite any other provision of the Plan, subdivision of multi dwelling housing may occur “*into lots of any size to enable the resulting individual dwellings on those lots to have separate titles*”. Accordingly, the individual dwellings may be subdivided into individual allotments as proposed.

### Clause 4.1AA – Minimum subdivision lot size for community title schemes

This clause relates to land that is located in the RU1, RU2, RU4 and R5 zones therefore the clause does not apply to the proposed development.

### Clause 4.3 – Height of buildings

The maximum height of buildings for the lot is 9m.



Table 1: Height of buildings compliance check		
Maximum building height	Proposed dwelling	Proposed Height
9m	Lot 2 – Existing single storey dwelling	Remains as existing
	Lot 3 – Proposed single storey dwelling	Approx. 4.86m
	Lot 4 – Proposed two storey dwelling	Approx. 7.29m
	Lot 5 – Proposed two storey dwelling	Approx. 7.35m
	Lot 6 – Proposed two storey dwelling	Approx. 7.29m
	Lot 7 – Proposed single storey dwelling	Approx. 5m

As demonstrated by the above table, the heights of the proposed dwellings comply with the 9m maximum requirement.

#### Clause 5.10 – Heritage conservation

The land is in the Heritage Conservation Area (HCA) but is not listed as an individual heritage item.

Clause 5.10(4) applies to the proposal and requires consideration of the effect on the heritage significance of the HCA.

The subject site is located within the Bathurst Heritage Conservation Area and the existing dwelling has a BCAMS rating of Contributory and Interwar 1930s. It is not listed on the State Heritage Inventory Database.

The application proposes the retention of the existing dwelling on the site and construction of 5 new units at the rear. The structures to be removed at the rear of the site are modern.

The proposed units will have minimal impact on the streetscape as they are set back considerably from the street and are mostly screened from view by the existing dwelling fronting Peel Street. The garage door and parapet wall of Unit 7 will be partially visible down the driveway. However, it is considered to be set back sufficiently to be acceptable. The roof section of Unit 3 may be visible along the driveway given the site adjoins an access handle for 225 Peel Street. Visibility will be limited given the lowest section of the roofline is closest to the street frontage and the existing timber boundary fence will mostly screen this unit.

A variety of materials are to be used and are supported given their impact to the streetscape is limited. It is recommended by way of condition that any brickwork is of warm autumn tones.

Overall, the proposed units will have minimal impact on the heritage conservation area. The reduction in landscaping along the front of the site (for the driveway) as well as the loss of the substantial tree in the yard may have an impact on the HCA but this impact should be considered in the context of the whole development.

#### Clause 7.5 – Essential Services

Conditions of consent will be imposed to ensure that sufficient connections to Council's reticulated water, sewer and stormwater drainage systems are made. The applicant will be required to provide to Council sufficient evidence that arrangements for electricity will be made, and that vehicular access is constructed to Council's engineering requirements.



## Bathurst Regional Development Control Plan 2014 (DCP 2014)

The applicant has submitted an amended Statement of Environmental Effects (see [attachment 3](#)) which demonstrates compliance with the LEP 2014 and the DCP 2014. The proposed development complies with the requirements of chapters 3, 4, 9, 10, 11, 13, 14 & 16 of the DCP 2014, subject to relevant conditions. Further details as to compliance are provided below.

## Bathurst Regional Council Community Participation Plan 2019 (CPP 2019)

In accordance with the *Community Participation Plan 2019*, the Development Application was notified to adjoining property owners and advertised in the Western Advocate between 11 January 2022 to 24 January 2022.

Following the notification period, a total of (8) submissions were received (see [attachment 4](#)). An additional submission was received on the 25<sup>th</sup> of January 2022 which deals with this development and the adjoining development being assessed at 225A-225C Peel Street (DA 2021/358) (see [attachment 5](#)). Two (2) newspaper articles were also run in the Western Advocate on 24 January 2022 and 28 January 2022 in relation to the proposed development (see [attachment 6](#)).

The principle matters raised by the submissions received during the notification period are summarized as follows:

Table 2: Summary of submissions received within notification period.	
Submission author	Summary of concerns raised
Ms F Campbell 19 January 2022	<ul style="list-style-type: none"><li>- Privacy impacts</li><li>- Impacts to views to key scenic sites including Mount Panorama</li><li>- Removal of existing trees, including willow tree</li><li>- Overshadowing</li><li>- Light and dust impacts</li><li>- Impact on the HCA</li><li>- Revegetation</li><li>- Traffic and safety impacts in relation to nearby school</li><li>- Property value impacts</li></ul>
Ms B Ireland (Bathurst Strata Management) 24 January 2022	<ul style="list-style-type: none"><li>- Privacy impacts</li><li>- Impacts to views by 2 storey development</li><li>- Property value impacts</li><li>- Fencing required to replace concrete block building</li></ul>
Mr M McCormick 19 January 2022	<ul style="list-style-type: none"><li>- Density</li><li>- Privacy impacts</li><li>- Impact on the HCA</li><li>- Removal of existing trees, including willow tree</li><li>- Allocation of POS</li><li>- Stormwater drainage</li><li>- Sewerage management</li><li>- Traffic and safety impacts in relation to nearby school</li><li>- Clothesline space</li><li>- Garbage bin storage and collection</li></ul>
Mr R Mottram 24 January 2022	<ul style="list-style-type: none"><li>- Privacy impacts</li><li>- Removal of concrete block wall onto which amenities are attached (such as clothesline)</li><li>- View impacts</li><li>- Noise impacts</li><li>- Extent of earthworks</li><li>- Removal of existing trees, including willow tree</li><li>- Revegetation</li></ul>



Ms C Newlyn 24 January 2022	<ul style="list-style-type: none"> <li>- Light impacts from traffic accessing the site at night</li> <li>- Density</li> <li>- Removal of existing trees, including willow tree</li> <li>- Impacts on the HCA</li> <li>- Density in relation to proposed development at 225A-225C</li> </ul>
Ms V Seymour 23 January 2022	<ul style="list-style-type: none"> <li>- Privacy impacts</li> <li>- Traffic and safety impacts in relation to nearby school</li> <li>- Perceived exacerbation of potential impacts by proposed development at 225A-225C</li> <li>- Removal of existing trees, including willow tree</li> <li>- Revegetation and POS</li> <li>- Impact on the HCA</li> <li>- Garbage bin storage and collection</li> <li>- Stormwater drainage</li> <li>- Sewerage management</li> <li>- Perceived inconsistencies with 'Sustainable Bathurst' initiative (i.e. Chapter 9 of DCP 2014)</li> </ul>
Mr T Shepherd & Ms J Ryan 15 January 2022	<ul style="list-style-type: none"> <li>- Setbacks</li> <li>- Overshadowing</li> <li>- Privacy</li> <li>- Removal of existing trees, including willow tree</li> <li>- Height of proposed dwellings</li> </ul>
Mr L Stonestreet 18 January 2022	<ul style="list-style-type: none"> <li>- Height of proposed dwellings</li> <li>- Hotondo Homes as developer and architectural designer</li> <li>- Privacy impacts</li> <li>- Removal of existing trees, including willow tree</li> </ul>

The submission received outside of the notification period largely raised identical issues as those summarised above.

<b>Table 3: Summary of submission made <u>after</u> notification period</b>	
<b>Submission author</b>	<b>Summary of concerns raised</b>
Mr J Tayler 25 January 2022	<ul style="list-style-type: none"> <li>- Density in relation to proposed development at 225A-225C</li> <li>- Removal of existing trees, including willow tree</li> </ul>

Due to Council's COVID-19 policy, it was requested that the applicant make a written response to the submissions raised. The response can be viewed in **attachment 7** and is transcribed below:

*28 March 2022*

*Reference is made to the number of submissions received following notification of the development application to neighbours. It is noted that a comprehensive Statement of Environmental Effects has been prepared and submitted to Council (along with a number of revised plans and documents) that have addressed Councils LEP and DCP requirements to ensure that it is a compliant development.*

*Regardless, the following comments are made with respect to the points made in the submissions. It is noted that any development on the site has the potential to change the amenity and aesthetics of the site. Accordingly, the development has been adjusted from what was originally submitted to address the concerns raised by the objectors. Whilst at the same time, the applicant has the ability to lodge an application for the permitted land use and associated subdivision.*

#### **Privacy**

*It is noted that the visual appearance of the site will be altered as a result (new buildings and initial loss of vegetation), but the proposed development has been designed in line with Councils DCP requirements with respect to privacy.*



*There are no windows located on the proposed development that will create an unacceptable visual privacy issue. Units 4 and 5 have been setback further than originally submitted with the DA to reduce the potential of overshadowing and privacy impacts.*

*It is noted that there is the ability for the new planting of vegetation to further ameliorate any visual impacts from a neighbouring property.*

### **Overshadowing**

*Shadow diagrams (1 hour intervals) have been prepared for the proposed development and demonstrates compliance with the DCP. It is noted that the existing dwellings located on Peel Street adjoining the development site are located close to the street and will not be impacted upon by the proposed development. The open space areas of the rear yards of these properties will be overshadowed – but not significantly. The neighbouring pool will not be impacted upon until after 2pm on the 21 June (middle of winter when it is less likely to be used). It is noted that there is already trees in these backyards that provide shading and screening*

### **Setbacks**

*The front building line for the development has already been set by the location of the existing dwelling.*

*There are no garage doors facing the street.*

*Side and rear setbacks – compliant with the National Construction Code. Each dwelling has been designed to ensure that there are no walls with a continuous wall of greater than 10m. All the proposed two storey dwellings are greater than 1.5m off the boundary. Refer to the plans for greater detail.*

*The proposed development is compliant to the DCP provisions.*

### **Density**

*The subject land is within Precinct 1 (Medium Density).*



### **Precinct 1 – Medium Density**

- a) To provide for a mixed residential character, with an emphasis on medium density housing.*
- b) To enable a greater proportion of the population to live closer to the Bathurst CBD and the services and facilities located in the central area of the City.*

*Multi dwelling housing is permissible in Precinct 1.*



*The residential density is to be no greater than 88 persons per site hectare on lots less than 4000 square metres.*

*Based on the above, the maximum number of persons shall be 21.2344 persons.*

*It is proposed to provide for 20.7 people (allowed 21.23 people):*

*2 x 3 beds (3.3 persons) = 6.6 people*

*3 x 4 beds (3.6 persons) = 10.8 people*

*1 x 3 beds – existing house (3.3 persons)= 3.3 people*

*TOTAL = 20.7 people*

**Impacts on the existing trees and landscaping**

*Vegetation removal (willow tree and 2 gum trees in poor health) is required to facilitate the construction of the proposed development.*

*The site does not contain any threatened species or critical habitat.*

*There is the ability for future owners to plant trees over time to compensate for any removal.*

*It is noted that the development complies with Private Open Space and Landscape requirements as per the DCP.*

*Landscaping is proposed as per the site plan.*

**Heritage and visual impacts**

*The subject land is located within the Heritage Conservation area – however the site does not contain a heritage item. It is noted that there are no adjacent or adjoining heritage items. As the development is at the rear of the site, the impact on the heritage conservation area is minor.*

*It is noted that two storey developments are permitted on site and is within the 9m height restriction under the LEP. If Council didn't want two storey development on the subject land (or surrounding lands, they would have placed a lower height restriction.*

**Obstruction of views**

*The proposal is considered compatible with the surrounding area and will have minimal impact in regards to:*

- Impacts on adjacent properties and land uses; and*
- Interruptions of important views and vistas.*

*Whilst it is noted that the view from certain properties may change, this is not a reason as to why the proposed development should not proceed.*

*The expectation has always been that this lot would be developed with a dwelling and due to the sloping lot, a dwelling is sited in this location as it is the most appropriate and cost effective.*

**Traffic and safety impacts**

*It is proposed to use the existing access off Peel Street to service all the dwellings on site. It is proposed to provide a 6m wide driveway (and reducing on site in part past Lot 3) to the rear dwellings. No new accesses are proposed to be created.*

*It is considered that the proposal will generate on average an additional 30 vehicle movements per day. This additional loading is considered acceptable and can be*



accommodated by the existing street system without the need for any further upgrading. Councils DCP allows for this density on the subject land within Precinct 1.

It is noted that the driveway has been widened from the original proposal.

Vehicle turning paths have been provided on the plans to demonstrate the vehicles and enter and leave the site in a forward direction and manoeuvre comfortably around the site.

It is noted that the proposed development meets the person density limits set for the site and associated traffic generation.

#### **Garbage bin storage and collection**

There is space available on each dwelling site for the storage of garbage bins (refer to the revised site plans for the location on each dwelling site).

#### **Stormwater Drainage**

Stormwater (roof and site) will be directed to the street. Detailed engineering plans to be provided at the Construction Certificate stage.

In respect of the above, the following further comments from Council staff are made in relation to the submissions and concerns raised about the proposed development.

### **Privacy and setbacks**

Chapter 4.4 of the Bathurst Regional Development Control Plan 2014 (DCP 2014) outlines the requirements for setbacks.

For a lot located in the Heritage Conservation Area (HCA), the front setback is required to be consistent with the surrounding dwellings. Given that the proposed dwellings will be located behind an existing dwelling house, only side and rear setbacks are required to be assessed.

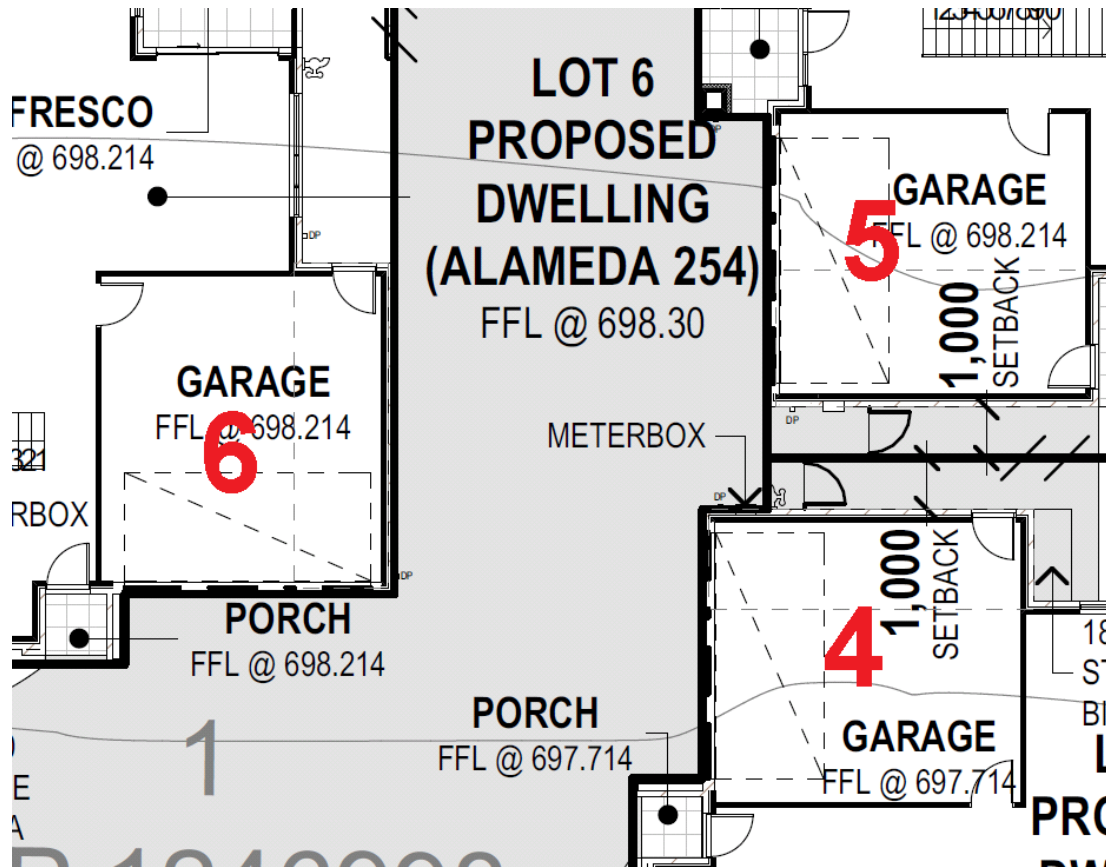
**Table 4: Side and rear setbacks**

Lot	Dwelling requirement	Side setbacks	Side setbacks Complies?	Rear setback	Rear setback Complies?
<b>2 (existing dwelling)</b>	To NCC	NE: 2.2m SW: 933mm	Yes.	7.4m	Yes.
<b>3</b>	To NCC	NW: 900mm SW: 900mm	Yes.	1.1m	Yes.
<b>4</b>	1.5m	SE: 2.5m NW: 1m (garage) 2.9m (dwelling)	Yes.	4m	Yes.
<b>5</b>	1.5m	SE: 1m (garage) 3.5m (dwelling) NW: 1.7m	Yes.	4.1m	Yes.
<b>6</b>	1.5m	NE: 0m (garage) 1.8m (dwelling) 1.5m SW	Yes.	4m	Yes.
<b>7</b>	To NCC	NE: 900mm SW: 2.1m	Yes.	4m	Yes.

With respect to the garage setbacks on proposed Lots 4, 5 and 6, the garages face the



proposed community lot (i.e. the shared driveway) and are not located close to any existing external boundaries. It is noted that the garages on proposed lots 5 and 6 are adjacent to each other with a setback between the two buildings of 2m. See figure 2 below.



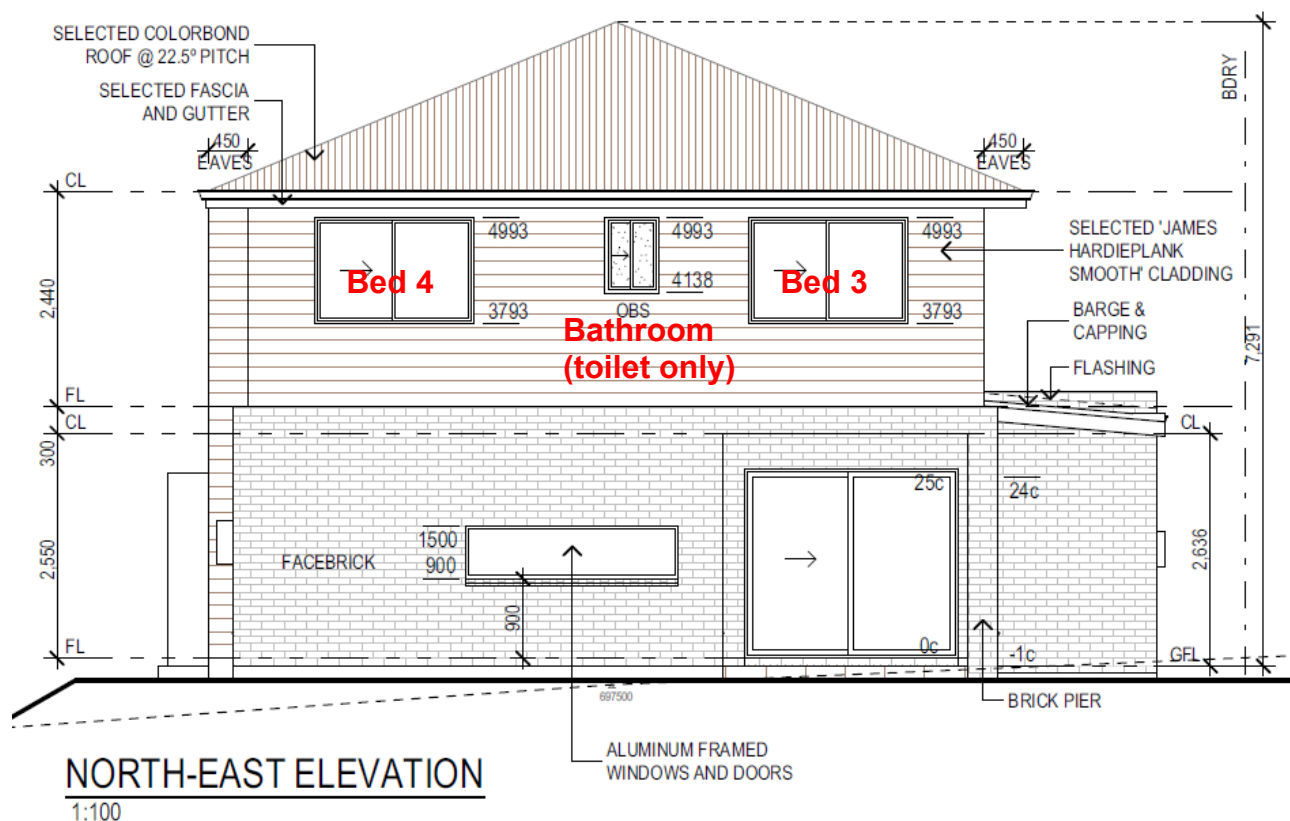
**Figure 2** – Location of proposed garages that do not comply with setback requirements.

It is not considered the proximity of garages to each other internally creates any significant privacy impact given that there are no windows proposed within the garages and they are to be non-habitable. Given this, the setbacks of the proposed garages being set back closer than 1.5m is considered acceptable.

In relation to privacy and setback concerns, further consideration is given to the siting of windows on the first floors of the proposed two storey dwellings individually.

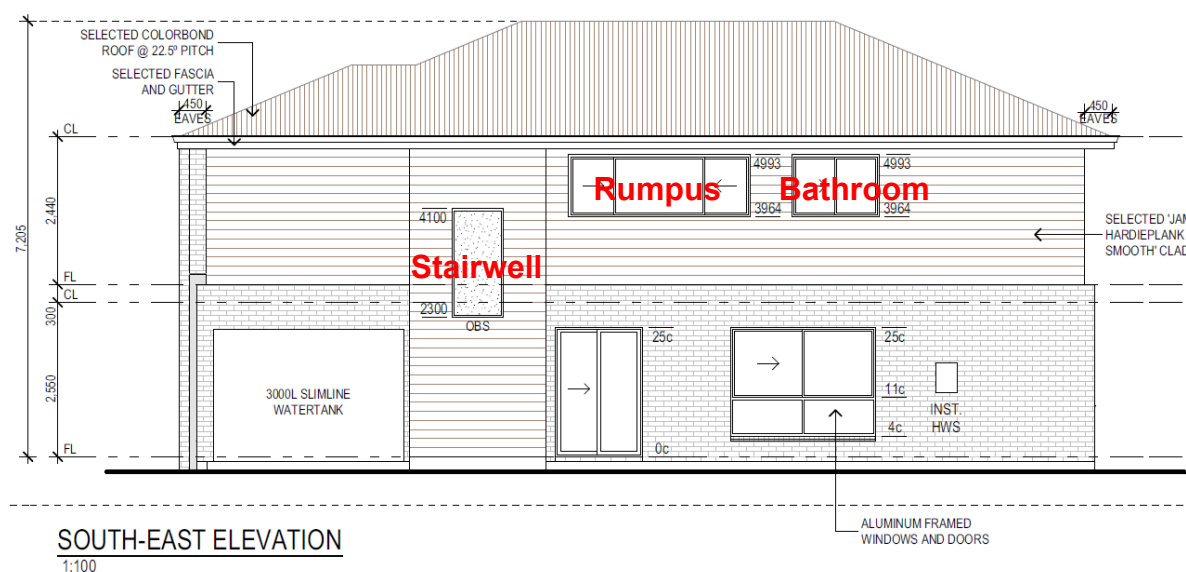
#### Lot 4





**Figure 3 – North-east elevation of proposed dwelling on Lot 4.**

Figure 3 above depicts the north-east elevation of the dwelling proposed on Lot 4, the elevation viewed by residents at 278 Piper Street. The proposed windows relate to bedrooms and bathroom and are sited closer to the ceiling than the floor level. It is noted that the existing dwelling house on 278 Piper Street is set back approximately 23m from the shared boundary with proposed Lot 4 and there is existing vegetation on the site that will aid in screening the development from view. In this regard it is expected that the privacy impacts to 278 Piper Street would be minimal.



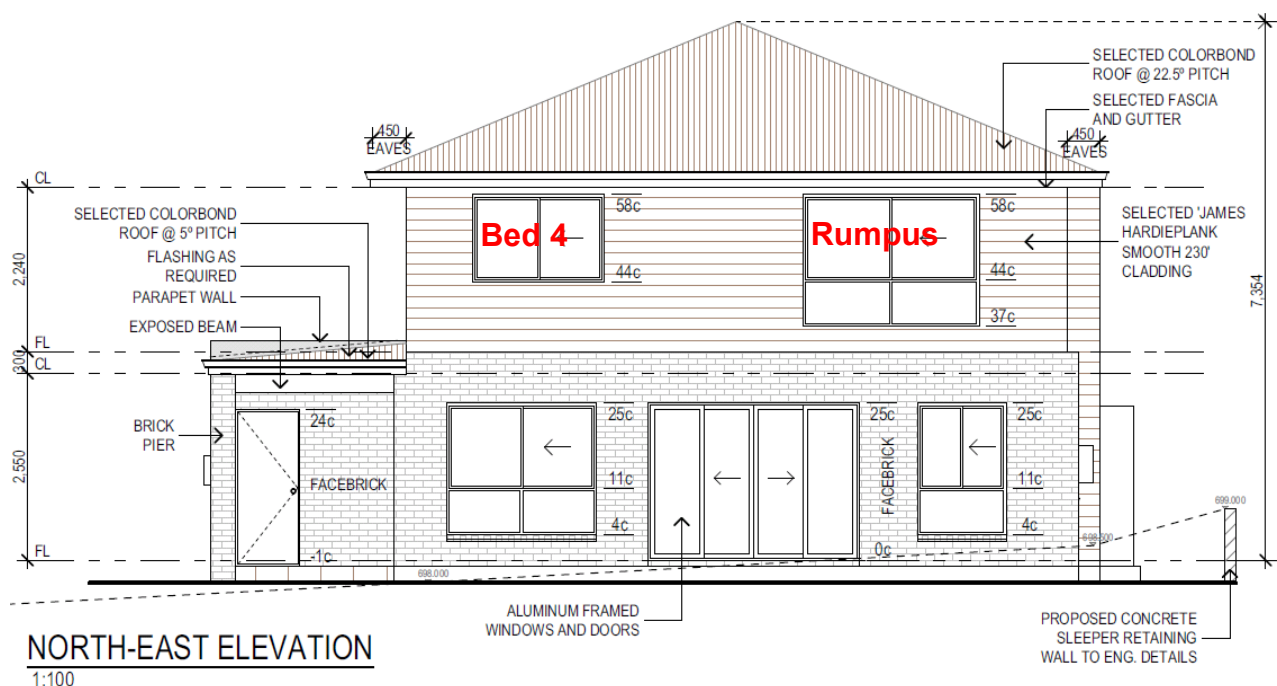
**Figure 4 – South-east elevation of proposed dwelling on Lot 4.**



Figure 4 above depicts the south-east elevation of the proposed dwelling on Lot 4. This is the view from 217 Peel Street.

The window that would most likely impact the residents of 217 Peel Street would be the stairwell window however its use would be unlikely to result in any significant adverse privacy impacts. The same can be said for the window in the proposed bathroom. With respect to the window in the proposed rumpus room, it is narrow and set closer to the ceiling such that it is expected the use of the room will not result in any significant adverse impacts on 217 Peel Street. It is noted that the dwelling on 217 Peel Street is set back approximately 17m from the shared boundary with Lot 4 and it currently contains vegetation that will help reduce potential privacy impacts. It is expected that the privacy impacts on 217 Peel Street would be minimal in this regard.

## Lot 5

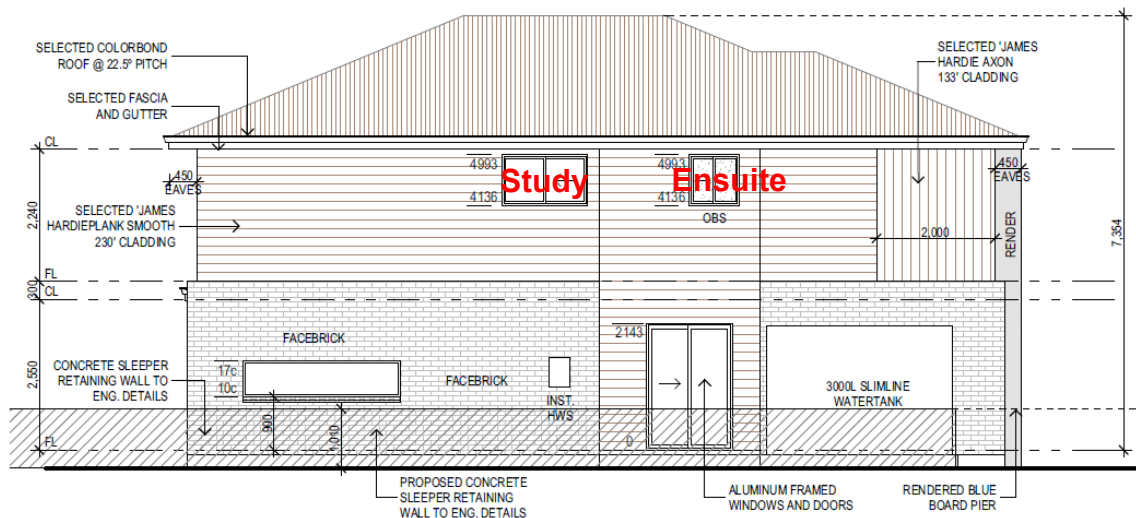


**Figure 5** – North-east elevation of proposed dwelling on Lot 5.

Figure 5 above depicts the north-west elevation of the proposed dwelling on Lot 5. This is the view from 282 Piper Street.

The window for proposed bedroom 4 is located closer to the ceiling than the floor level. As the bedrooms are not considered living areas, it will not impose significant privacy impacts. With respect to the window of the proposed rumpus room, it is clearly larger and occupies space closer to the first floor level. It is noted that the dwelling on 282 Piper Street is set back approximately 31m from the boundary that will be shared with proposed Lot 5. The back yard of 282 Piper Street also contains significantly large vegetation that will help screen the development from view. While the dwelling proposed lot 5 is approximately 4.1m to the shared boundary, well exceeding the 1.5m requirement, it is recognised that there may be a need to implement privacy screening or glazing on the window into the rumpus room. Accordingly it is proposed that a condition of consent be included that the rumpus room window for the dwelling proposed on Lot 5 implement appropriate glazing or privacy screening to reduce potential privacy impacts to neighbours.

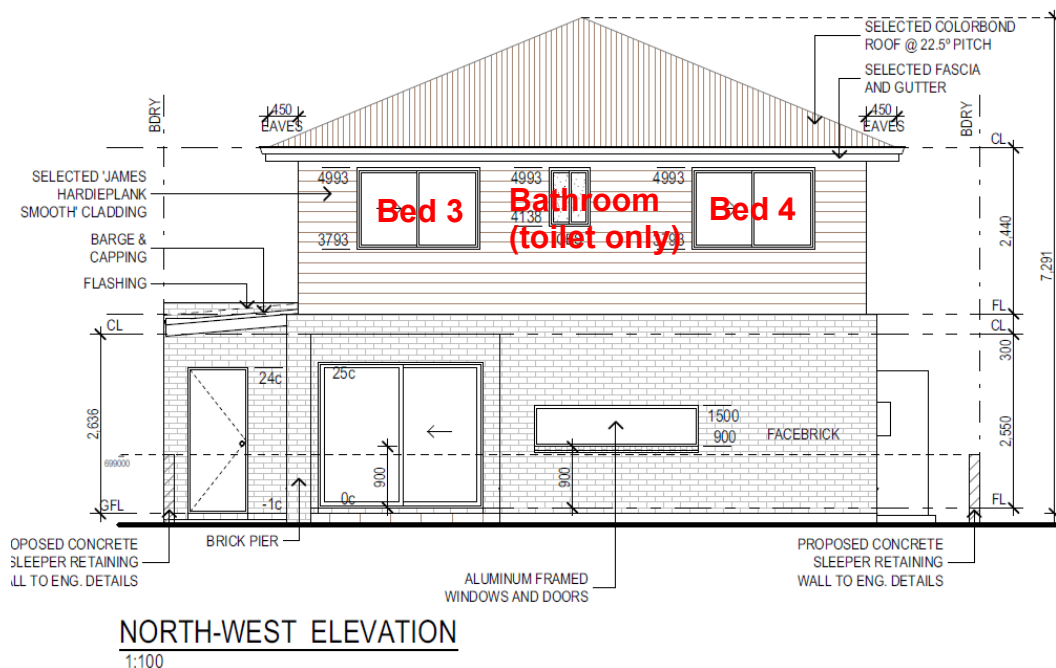




**Figure 6** – North-west elevation of proposed dwelling on Lot 5.

Figure 6 above depicts the north-west elevation of the proposed dwelling on Lot 5. It is noted that the submitted plans mistakenly label this elevation as ‘north-east elevation’. This is the view from 1/284A Piper Street & 2/284A Piper Street. It is recognised that the dwelling at 1/284A Piper Street & 2/284A Piper Street are set back approximately 3.5m from the shared boundary with Lot 5 however given the location of the windows and small sizes, it is expected that there will be minimal privacy impacts to residents of 1/284A Piper Street & 2/284A Piper Street.

## Lot 6



**Figure 7** – North-west elevation of proposed dwelling on Lot 6



Figure 7 above depicts the north-west elevation of the dwelling proposed on Lot 6. This is the view from 3/284A Piper Street.

The proposed windows relate to bedrooms and bathroom and are sited closer to the ceiling than the floor level. It is noted that 3/284A Piper Street is located between 900mm and 3.5m from the shared boundary with Lot 6. There is little existing vegetation within 3/284A Piper Street that would provide vegetation screening, however the dwelling on proposed Lot 6 is proposed to be set back 4m from the shared boundary consequently the privacy impacts are expected to be minimal.

#### Summary of privacy impacts

It is noted that in consideration of the received submissions, the applicant has set back the dwellings further away from the existing boundaries than originally proposed. Given this and the above assessment of all setbacks, window locations and overshadowing in relation to the proposed dwellings, it is not considered necessary to set the dwellings further back than proposed. Minor modification to the rumpus room window on Unit 5 would further reduce privacy impacts.

#### **Overshadowing**

Shadow diagrams for the proposal are provided at **attachment 8**. The properties affected by overshadowing are 217 Peel Street, 219 Peel Street and units 2 & 3 proposed in Development Application 2021/358 on 225A-225C Peel Street, Bathurst.

The DCP 2014 states that:

*Notwithstanding the setback requirements, where Council is of the opinion that such a setback will:*

- i) Significantly overshadow neighbouring properties and/or*
- ii) Adversely impact upon the privacy of neighbouring properties*
- iii)*

*Then such a setback must be increased to the extent necessary to reduce the overshadowing or maintain the privacy of adjoining owners.*

*New development should not significantly affect access to sunlight of existing or likely future development on other property between 9.00am and 3.00pm, particularly living areas and usable open space. At least two hours sunlight to indoor and outdoor living areas of adjoining properties is to be maintained between 9.00am and 3.00pm on June 21.*

#### 217 Peel Street

217 Peel Street contains an existing dwelling house. The lot will be most impacted by overshadowing at 3pm (refer Figure 10a).





**Figure 8 – Shadow diagram at 3pm 21 June**

At 3pm 21 June, shadows are cast over approximately half of the existing Private Open Space (POS) and an existing pool. It is noted that the existing pool is not greatly affected at any other time throughout the day. At 3pm, the remaining POS not impacted by shadows is approximately 80m<sup>2</sup>. Given that at least 80m<sup>2</sup> of POS is not impacted by the proposed development throughout the day, and that the yard as a whole retains at least 2 hours of solar access, overshadowing impacts to the existing dwelling at 219 Peel is compliant with Council's requirements.

### 219 Peel Street

219 Peel Street will be impacted by overshadowing minimally throughout the day by the shadow cast by the two-storey dwelling proposed on Lot 6 – see Figure 8 above. The greatest impact would be felt at 3pm on 21 June. It is noted that the 3pm shadow is cast over a studio at the rear of the site. The yard space and studio in 219 Peel Street has sufficient access to sunlight, retaining at least 2 hours throughout the day. Therefore, it is considered that overshadowing impacts to 219 Peel Street is compliant with Council's requirements.

### Units 2 & 3 of DA 2021/358

Units 2 & 3 proposed in Development Application no. 2021/358 are impacted by the single storey dwelling proposed on Lot 7 between 9am and 10am. For the remainder of the day, the dwellings will be able to retain more than 2 hours of solar access in the rear private open space.

Overall, the overshadowing impacts are minimal, allowing for all adjoining dwellings and potential future dwellings to retain at least 2 hours of solar access on 21 June.

### **Allocation of POS**

A concern raised in a submission was in relation to whether the Private Open Space (POS) allocated to each proposed dwelling was sufficient. Chapter 4.7 of the DCP 2014



requires the following:

Table 6: POS area requirements	
Dwelling size	Minimum Private Open Space Required
1 Bedroom	20m <sup>2</sup>
2 Bedrooms	30m <sup>2</sup>
3 Bedrooms	40m <sup>2</sup>
4 or more Bedrooms	50m <sup>2</sup>

Further, private open space is required to be vertically open to the sky and be at least 4m wide. At least 20m<sup>2</sup> of the POS required by the above table is to be located to adjoin a habitable living room at ground level and should generally be north facing.

All proposed POS adjoins a habitable living room at ground level and are all generally north facing. Table 7 below demonstrates compliance with the area requirements, whether the POS is open to the sky and if it is at least 4m wide.

Table 7: POS compliance check – approximate measurements				
Proposed Lot requirement	Proposed POS	Min 4m wide?	Open to sky? (i.e. alfresco was not included)	Overall POS complies?
<b>Lot 2:</b> 40m <sup>2</sup>	69m <sup>2</sup> (excluding carparking space)	Yes.	Yes.	<b>Yes.</b>
<b>Lot 3:</b> 40m <sup>2</sup>	48m <sup>2</sup>	Yes.	Yes – pergola open	<b>Yes.</b>
<b>Lot 4:</b> 50m <sup>2</sup>	73m <sup>2</sup>	Yes.	Yes.	<b>Yes.</b>
<b>Lot 5:</b> 50m <sup>2</sup>	60m <sup>2</sup>	Yes.	Yes.	<b>Yes.</b>
<b>Lot 6:</b> 50m <sup>2</sup>	47m <sup>2</sup>	Yes.	Yes.	<b>No, see below.</b>
<b>Lot 7:</b> 50m <sup>2</sup>	87m <sup>2</sup>	Yes.	Yes.	<b>Yes.</b>

With respect to the POS proposed for Lot 6, it is noted that the submitted Statement of Environmental Effects states that the POS is 48.62m<sup>2</sup>. A variation has been sought for the non-compliance on the basis that it is very minor and that the alfresco area will provide additional outdoor area for the use of the occupants. Given that the DCP 2014 requires that POS be open to the sky, the alfresco area cannot count toward POS. However, given that the area of non-compliance is minor (approximately 3m<sup>2</sup>), the variation can be accepted.

Given the above, the proposed POS reasonably complies with the requirements of the DCP 2014. Of further note, a landscaping plan has been submitted which demonstrates that at least 1 medium tree and 2 small trees will be provided in each POS.

A submission raised a concern that there is insufficient clothesline space. Given that the required POS is met, it is considered that there will be sufficient clothes drying space. A condition of consent will be implemented to ensure that an appropriate clothes drying area is provided.

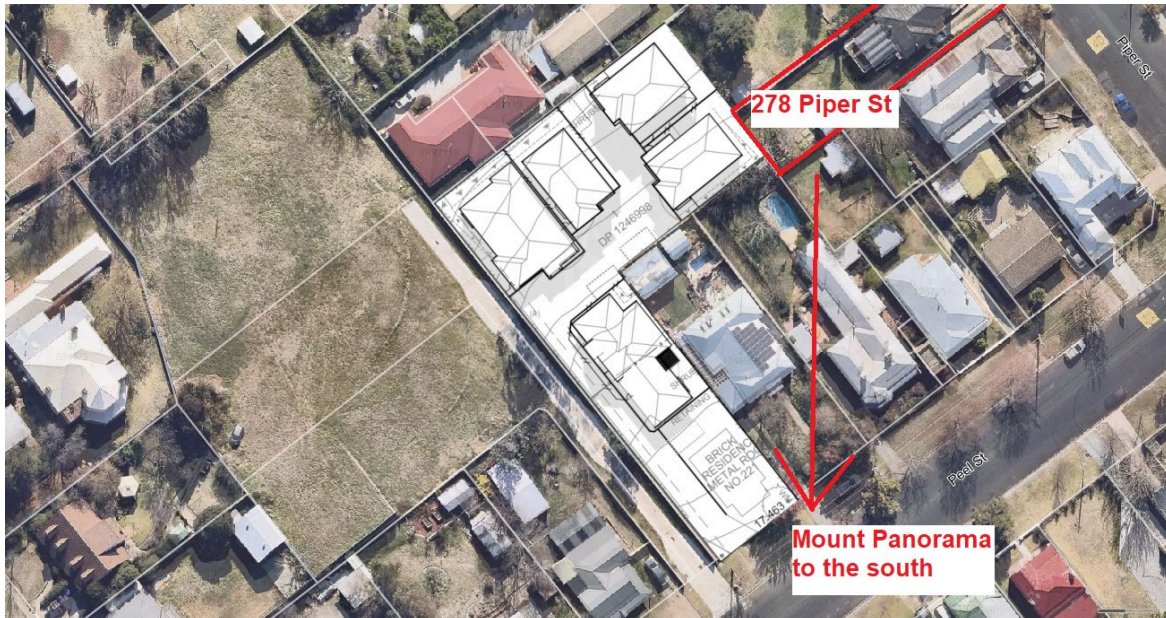
## Views

Submissions raised concerns that the proposed development would impact on views. In particular, the resident of 278 Piper Street raised concerns that the construction of two-storey dwellings would impact the residents ability to view Mount Panorama to the south, an iconic view in Bathurst.



The matter of developments impacting views has been reviewed in the Land and Environment Court which established Planning Principles in the *Tenacity Consulting v Warringah Council (2004) NSWLEC 140*. As is noted in *Tenacity*, protecting views across side boundaries is more difficult than the protection of views from front and rear boundaries.

278 Piper Street is located to the north-east of the development site. Mount Panorama can be seen to the south.



**Figure 9** – Location of 278 Piper Street in relation to proposed development and Mount Panorama

As demonstrated in the above figure 9, the proposed development is not located to the south of 278 Piper Street and consequently impacts to views of Mount Panorama is expected to be minimal.

The existing dwellings that are most likely have views impacted by the proposed development are units 1-4 of 284A Piper Street given that they are located to the north of the proposed development site.

It is noted that units 1-2 of 284A Piper Street currently do not access significant views to Mount Panorama given the existence of the large concrete block building located approximately 500mm from the boundary that will be shared with proposed Lot 5.

In relation to units 3-4 of 284A Piper Street, the views impacted would be views to the south from the rear of the existing dwellings. This view would be impacted by the two-storey dwelling proposed on Lot 6 and the single-storey dwelling on proposed Lot 7.

It is noted however that the proposed development complies with the objectives of the LEP 2014 and the development standards of the DCP 2014. The variation sought for POS in relation to the dwelling on proposed Lot 6 is considered minor and satisfactory. Given that the proposed development as a whole is a reasonable development, it is not appropriate to refuse the application purely on the basis of impacts to views.

### **Removal of existing trees**

Many of the submissions raised concern that the existing trees, including an establish Willow Tree, would be removed as a result of the proposed development. All trees are



proposed to be removed. The species and health of the existing trees and vegetation on site are described below:

Tree 1 - Upon entry through driveway on left. Unknown species approximately 3 metres in height in poor condition

Tree 2 - Upon entry through driveway on right at rear of existing residence. *Lagerstroemia indica* (Crepe Myrtle) in healthy condition, free of structural defects and around 3 metres in height. Overgrown with significant amount of other vegetation including Privet and Crataegus present.

Tree 3 - Continuing on towards North-Western corner of property, Eucalypt species around 7 metres in height in deceased condition.

Tree 4 - Just behind deceased Eucalypt is another large Eucalypt species, possibly *Viminalis* or *Scoparia*. Around 12-13 metres in height. Deadwood present in the crown and also a number of branches which have failed and are still connected to the tree. Thinning of crown foliage also evident. Structurally not ideal at present moment and would require work.

Tree 5 - Middle rear of the property. Appear to be a small row of deceased trees. Species unknown.

Tree 5 - *Salix* species. Around 5 metres in height with deadwood present in the crown and evidence of previous pruning which has contributed to the gnarled appearance and form of this tree.

The remaining vegetation on the site consists of weed species, Privet, Crataegus, Prunus, Wisteria and range of other insignificant plantings. All trees identified above appear to be located within the footprint of the proposed development and should the development proceed as proposed the trees and other vegetation would need to be removed. Additionally, the size and condition of the large Eucalypt if retained would not be compatible with the proposed construction.

It is further noted that the *salix* species (Willow Tree) is listed as an exempt tree in Council's Tree Preservation and Management Policy:

**Exempt tree** means a tree (excluding a tree within the curtilage of a Heritage Item) which is any of the following:

- a) The following table provides a list of trees which are exempt:
- b)

Table 8: Exempt Tree List	
Botanical name	Common name
<i>Eucalyptus nicholii</i>	Narrow Leaved Black Peppermint
<i>Acacia</i> Spp	Wattles
<i>xCupressocyparis leylandii</i>	Leylandii Pines (all varieties)
<b><u>Salix Spp</u></b>	<b><u>Willow</u></b>
<i>Ligustrum lucidum</i>	Privet
<i>Robinia pseudoacacia</i>	Robinia
<i>Gleditsia triacanthus</i>	Locust
<i>Populus</i> Spp	Poplars

- c) A noxious weed under the Noxious Weeds Act 1993.
- d) A dead tree.

While it is recognised that neighbours may place an intrinsic value on the tree, without the site being located in the curtilage of a Heritage Item, there are no protections against removing willow trees.



In relation to revegetating the land, the applicant has submitted a landscaping plan which proposes 1 medium tree and 2 small trees in the garden for each dwelling. The provided landscaping plan complies with the requirements of Chapter 13 of the DCP 2014. Conditions of consent will be implemented to ensure that landscaping is provided and maintained.

### **Light and dust impacts**

Conditions of consent will be implemented to ensure that a construction management plan is submitted prior to the issue of a construction certificate to ensure that light, dust and other impacts such as noise are managed during construction. Post-construction it is expected that there will be minimal to nil dust impacts.

In relation to lighting impacts, one submission raised concerns that the increased passage of vehicles through the site would result in light being cast onto neighbouring properties. It is considered that due to the setbacks of the proposed dwellings and that garages face inward (to the internal driveway), that lighting impacts would be minimal.

### **Impacts on the HCA**

Concerns in the submissions were raised around whether the proposed design of the dwellings were consistent with the HCA.

The proposed dwellings are located behind an existing single storey dwelling house. It is proposed that the existing carport that has been attached to the dwelling and pergola at the rear would be removed as part of the proposed development. The removal of these items can be supported as they are modern additions and in poor condition.

Given the above, it is expected that the proposed development will not result in any significant adverse impacts on the HCA.

### **Traffic and safety impacts**

The submissions raised concerns in relation to traffic and safety impacts in relation to passing foot traffic from the nearby school. Given that the driveway is proposed to be 6m wide, it is expected that there will be sufficient space to safely join/exit traffic on Peel Street. It is also noted that there is no existing footpath on this side of Peel Street. A condition of consent will be implemented to ensure that a 1.5m wide and 100mm thick concrete footpath is constructed for the full frontage of the subject land to the public road in accordance with Council's Guidelines for Engineering Works.

### **Property value impacts**

This is not a planning consideration.

### **Fencing to replace concrete block building**

A submission raised the concern that the existing concrete block building at the rear of the site would be demolished which is currently acting as a privacy wall and to attach amenities such as a clothesline.





**Figure 10** – Concrete block wall viewed from 2/284A Piper Street.

A site visit was carried out at 221 Peel Street and the concrete block building was inspected. It appeared to have been constructed to be partially habitable though it has since fallen into a state of significant disrepair and has been overgrown with vines. (See photos at [attachment 9](#)).

Aerial imagery suggests that the building is located approximately 500mm from the shared boundary with 1/284A Piper Street & 2/284A Piper Street. The building appears to not hold any heritage value and no objection is made to the demolition of the structure.

A condition of consent will be implemented to ensure that demolition of the concrete block building is carried out in coordination with the owners of 1/284A Piper Street & 2/284A Piper Street and that an appropriate replacement fence is constructed.

### **Density**

The submissions raised concerns about the number of proposed dwellings on the site and in particular in relation to the proposed development at 225A-225C Peel Street. Chapter 4.2.2 of the DCP 2014 requires that for sites in Precinct 1, the maximum permissible density be no greater than 88 persons per site hectare on lots that are less than 4000m<sup>2</sup>.

The site area is 2413m<sup>2</sup>.

$$(2413\text{m}^2 / 10,000\text{m}^2) \times 88 = 21.23$$

The maximum permissible density for the site is 21.23 persons.

The existing dwelling consists of three bedrooms which equals to 3.3 persons.



2 x 3-bedroom dwellings results in  $3.3 \times 2 = 6.6$  persons.

3 x 4-bedroom dwellings results in  $3.6 \times 4 = 10.8$  persons.

$3.3 + 6.6 + 10.8 = \underline{20.7 \text{ persons.}}$

Given the above calculations, the proposed density is permissible.

It is noted that for the dwelling on proposed Lot 3, the floor plans originally submitted represented a living room that was substantially the same size as the proposed master bedroom such that it feasibly could be used as a fourth bedroom. This would result in the permissible density on the site to be exceeded. An amended plan set demonstrated that the proposed entry to the living room would be wider such that it would be unlikely to be used as a bedroom.

Council has yet to consider the proposed development at 225A-225C Peel Street. Ultimately each site needs to be considered on its own merits and the fact that there is also a proposal on the adjoining allotment does not alter the approach taken to this proposal.

### **Stormwater and sewerage drainage**

A submission raised concerns with regard to how stormwater and sewerage drainage would be managed on site. In relation to sewerage, conditions of consent will be implemented to ensure that distinct sewer connections are made for each proposed allotment in accordance with Council's engineering requirements.

In relation to stormwater drainage, the DCP 2014 requires that for sites with more than 50% impervious area, that a stormwater drainage plan is submitted. The applicant has submitted a stormwater drainage plan which can be viewed in **attachment 10**. The Plan is generally in accordance with Council's Guidelines for Engineering Works.

Conditions of consent will be implemented to ensure that stormwater is drained to a legal point of discharge.

### **Garbage bin storage and collection**

Concerns were raised in the submission with respect to garbage bin storage and collection. The applicant has submitted an amended plan set which demonstrates that each dwelling house will have a paved area within the dwelling boundary allotment in which to store standard bins. A tap has been proposed adjacent to the bin storage area to allow for the bins to be washed in accordance with the requirements of the DCP 2014.

While no communal bin storage area has been proposed, it is considered that private bin storage is a better outcome for the HCA so as to avoid undesirable accumulation of rubbish closer to the public street.

While Council waste collection services would typically collect garbage bins that are located on the street Council does not have any planning controls or clauses in relation to controlling how bins and how many bins are located on the street for collection.

### **Noise impacts**



Conditions of consent will be implemented to ensure that construction is carried out during specified approved hours. It is expected that post construction there will be minimal noise impacts.

### **Extent of earthworks**

The elevations of the proposed development demonstrate the cut and fill proposed and that retaining walls will be constructed on Lots 3, 5, 6 and 7. A retaining wall site plan has been submitted which can be viewed in **attachment 11**.

#### **Lot 3**

The location of the dwelling on proposed Lot 3 slopes downward toward the street, requiring a concrete retaining wall to be constructed to support the south-eastern portion of the slab of the dwelling. The retaining wall is 850mm in height at the southern corner of the dwelling and 1160mm at the eastern corner. Along the north-eastern elevation, the retaining wall then makes several steps until the wall is 420mm at which point there is minimal fill. A separate concrete retaining wall is proposed at a height of 334mm north of the proposed dwelling, and a 650mm retaining wall is proposed along the north-western boundary.

#### **Lot 4**

The location of the dwelling proposed on Lot 4 is relatively flat, requiring a maximum of approximately 550mm of fill for the south-eastern faced of the dwelling.

#### **Lot 5**

Due to the land sloping toward the street, approximately 490mm of fill is required at the south-eastern elevation. The land rises to the north, requiring approximately 1m of cut at the northern corner. Over a distance of 1.8m to the south-east, the cut drops down to 460mm and over a distance of approximately 8.5m, the cut gradually lowers to natural ground level. Approximately 235mm of fill is proposed at the eastern corner.

A 1010mm concrete retaining wall is proposed on the north-western boundary of proposed Lot 5 which does not include a step across the elevation.

#### **Lot 6**

Given that the land slopes downward toward the street, approximately 465mm of fill is required to elevate the south-eastern portion of the dwelling on proposed Lot 6. Toward the rear of the dwelling, approximately 790mm of cut and a 1117mm retaining wall is proposed. The retaining wall steps down the north-eastern boundary to 810mm across a distance of 2.6m and steps down again to 510mm across a distance of 2.4m. Approximately 200mm of fill is proposed until natural ground level is met.

At the rear of the dwelling on proposed Lot 6, approximately 1037mm of cut and a retaining wall of approximately 1097mm in height is proposed. The retaining wall runs along the south-western boundary shared with proposed Lot 7 and steps down.

#### **Lot 7**

Approximately 735mm of cut is proposed on the north-eastern elevation shared with proposed Lot 6 and a retaining wall as discussed above. At the rear of the dwelling, approximately 950mm of cut is proposed which rises to approximately 1171mm at the



western corner of the site which gradually reduces to natural ground level. Approximately 550mm of fill is proposed at the southern corner of the dwelling.

#### Compliance with Chapter 16 of the DCP 2014 – Earthworks

Chapter 16.3.2 of the DCP 2014 requires that where cut and/or fill is in excess of 1m, any change in level (in excess of 1m) is to be stepped away from the boundary at a minimum of 45 degrees. Consideration will be given to greater cut and fill thresholds subject to the following:

<b>Table 9: Changing the level of land</b>	
<b>Considerations</b>	<b>Comment</b>
i) Justification of the proposal and design intent through a site analysis including consideration of the likely streetscape impacts and compatibility with existing streetscape character.	N/A - No earthworks are proposed that will be visible from the street.
ii) Demonstration of a structural system of the house appropriate to the site and slope.	The submitted plans demonstrate that the land slopes to varying levels requiring a range of cut, fill and retaining walls to ensure that the dwellings and private open space are on level, usable land.
iii) Justification and documentation of full site sections showing all existing and proposed levels and proposed retaining walls and batters.	Elevations have been provided which demonstrate how the proposed cut, fill and retaining walls will be situated around the proposed dwellings.
iv) Consideration of the likely amenity impacts including overlooking, overshadowing, drainage and structural issues.	<p>Given that cut is proposed for the two-storey dwellings on Lots 5 and 6, it is considered that overlooking and overshadowing impacts would be reduced.</p> <p>The retaining wall proposed to support the dwelling on Lot 3 is expected to not result in any significant overlooking or overshadowing impacts given that the dwelling house will be single-storey.</p> <p>Conditions of consent will be implemented to ensure that retaining walls are constructed to reduce soil movement and to allow for adequate drainage to be provided.</p>
v) Limiting multiple retaining walls to 1.0m encouraging terracing rather than one large wall.	With the exception of the retaining wall proposed on Lot 5, all retaining walls are stepped. The retaining wall on proposed Lot 5 is 1010mm and is proposed to run along the north-western boundary of Lot 5. Given that the height only exceeds 1m by 10mm, it is not considered necessary to terrace the wall.
vi) Suitable storm water and drainage management.	A stormwater drainage plan has been submitted. Council's engineer has made no objection to the proposed stormwater and drainage management plan.

Given the above assessment, the variation to cut/fill exceeding 1m can be accepted.

#### **Site developer and architectural designer**



Submissions raised concerns over the proposed site developer and architectural designer. These are not appropriate planning considerations.

### **Compliance with 'Sustainable Bathurst' initiative**

A submission raised whether the proposed development complies with the Sustainable Bathurst initiative which is available to view on Council's website. The initiative draws together events, information and projects that are working to build a better future. As it is not a development control, a development application is not required to "comply" with the Sustainable Bathurst initiative.

It is noted however that the proposed development has been submitted with BASIX Certificates for proposed dwellings 1-5 on Lots 3-7 (No. 1261413S\_02, No. 1261442S\_03, No. 1261504S\_02, No. 1261836S\_02 and No. 1261887S\_02 respectively), which demonstrates that the proposed dwellings will comply with minimum sustainability targets for energy and water efficiency, and thermal comfort. Further, the density of the proposed development is consistent with the need to manage urban sprawl.

### **CONCLUSION:**

Council has received a Development Application for the demolition of existing sheds and construct two single-storey dwellings and three two-storey dwellings with a total of seven (7) proposed lots under a community title subdivision at 221 Peel Street, Bathurst.

The Development Application was advertised and notified to adjoining property owners from 11 January 2022 to 24 January 2022. Eight (8) submissions were received within the notification period and one (1) outside of the notification period. The submissions raised numerous issues including impacts to privacy, overshadowing, density, impacts to existing trees, heritage and visual impacts, views, traffic and safety impacts, garbage bin storage and collection, landscaping and stormwater drainage.

Having regard to the planning controls that apply to the proposed development, the proposal warrants approval subject to recommended conditions.

### **FINANCIAL IMPLICATIONS:**

Nil

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

#### **Objective 1: Our sense of place and identity.**

Strategy 1.5 Promote good design in the built environment.

#### **Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

#### **Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.



## COMMUNITY ENGAGEMENT:

02 **Consult** - to obtain public feedback on alternatives and/or decisions

## ATTACHMENTS:

1. Aerial location plan [9.2.6.1 - 1 page]
2. Plans of the proposed development [9.2.6.2 - 84 pages]
3. Statement of Environmental Effects [9.2.6.3 - 34 pages]
4. Public submissions received within notification period [9.2.6.4 - 18 pages]
5. Public submissions received outside notification period [9.2.6.5 - 3 pages]
6. Newspaper articles regarding the proposed development [9.2.6.6 - 3 pages]
7. Applicant's written response to the public submissions [9.2.6.7 - 5 pages]
8. Shadow diagrams [9.2.6.8 - 1 page]
9. Site visit photos of existing concrete block building [9.2.6.9 - 11 pages]
10. Stormwater drainage plan [9.2.6.10 - 1 page]
11. Retaining wall plan [9.2.6.11 - 1 page]

## MINUTE

**RESOLUTION NUMBER: ORD2022-120**

**MOVED: Cr A Smith    SECONDED: Cr B Fry**

## RESOLVED:

That Council:

- (a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/544, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following:
  1. The payment to Council of Section 7.11 Developer Contributions as follows:
    - a) Bathurst Regional Community Facilities - \$32,637.50
    - b) Jordan Creek Stormwater Drainage Management - \$19,765.50
  2. Prior to the issue of Construction Certificate, a schedule of colours and materials is to be submitted and approved by Council. The colour scheme is to be predominately warm autumn tones and all units are to incorporate greater use of face brickwork in warm autumn tones.
  3. During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.



4. The cladding on the roof of the proposed dwellings is to be of traditional corrugated profile.
5. Demolition of the concrete block building is to be carried out in coordination with the owners of 1/284A Piper Street & 2/284A Piper Street. An appropriate replacement fence is to be constructed.
6. Each dwelling is to be provided with an outdoor area for the drying of laundry.
7. Landscaping is to be carried out and maintained in perpetuity in accordance with the certified landscape plan. Modification to the certified landscape plan shall only be after receiving written approval from Council.

NOTE 1: The landscaping is to be completed prior to the occupation of the building and maintained in perpetuity.

8. Prior to the issue of the Construction Certificate the developer is to submit to Council a Construction Management Plan which includes (but is not limited to) the following:
  - a) Traffic management, including:
    - i) Loading, unloading area and material storage areas;
    - ii) Access to adjoining properties; and
    - iii) Parking areas (for construction workers and surrounding properties).
  - b) Noise.
  - c) Soil and water management
  - d) Waste management
  - e) Stabilisation and monitoring of adjoining buildings.
  - f) Vibration.
  - g) Proposed methods of communication, including:
    - i) Communication with adjoining property owners;
    - ii) Communication with the general public; and
    - iii) Complaints management.
9. Building work involving the use of electric or pneumatic tools or other noisy operations shall be carried out only between 7.00 am and 8.00 pm on weekdays and 8.00 am and 8.00 pm on weekends and public holidays.
10. The construction of a 6m layback in the existing kerb and gutter, adjacent to the proposed footway crossing(s) to comply with Bathurst Regional Council's Guidelines for Engineering Works.
11. All stormwater runoff from the proposed development is to be collected on site and conveyed to the legal point of discharge, in a manner consistent with AS 3500 and Bathurst Regional Council's Guidelines for Engineering Works.
12. Prior to the issue of a construction certificate, the plans should demonstrate that the rumpus room window for the dwelling proposed on Lot 5 includes



appropriate glazing or privacy screening to reduce potential privacy impacts to neighbours.

13. The construction of a concrete footpath 1.5 metres wide and 100mm thick and for the full frontage of the subject land to the public road in accordance with Bathurst Regional Council's Guidelines for Engineering Works.
14. Compliance with any requirements of Essential Energy, including the following:
  - a) Essential Energy's records indicate that there is existing overhead powerlines located across the street frontage of the property:
    - i) Minimum safety clearance requirements are to be maintained at all times for the proposed driveway access and/or exit (concrete crossovers), as such driveway access will pass under Essential Energy's existing overhead powerlines located at the front of the property. The proposed driveway must comply with clearances for trafficable land, ground clearances must be maintained. Refer Essential Energy's policy CEOM7106.25 Minimum Clearance Requirements for NSW and the latest industry guideline currently known as ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure.
    - ii) Any proposed driveway access and/or exit (concrete crossovers) must remain at least 1.0 metre away from any electricity infrastructure (power pole, streetlight) at all times, to prevent accidental damage.
    - iii) Any excavation works in this area or works on the proposed driveway must comply with ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure.
  - b) Prior to any demolition works commencing, any service line/s to the property affected must be disconnected.
  - c) The Applicant will need to engage the services of an Accredited Service Provider to ensure adequate provision of power is available to the dwelling(s) in accordance with NSW Service and Installation Rules. A Level 2 Electrician will be able to advise on these requirements and carry out the required work to ensure compliance.
  - d) If the proposed development changes, there may be potential safety risks and it is recommended that Essential Energy is consulted for further comment.
  - e) Any existing encumbrances in favour of Essential Energy (or its predecessors) noted on the title of the above property should be complied with.



- f) As part of the subdivision, easement/s are to be created for any existing electrical infrastructure, using Essential Energy's standard easement terms current at the time of registration of the plan of subdivision. Refer Essential Energy's Contestable Works Team for requirements via email [contestableworks@essentialenergy.com.au](mailto:contestableworks@essentialenergy.com.au).
- g) Council should ensure that a Notification of Arrangement (confirming satisfactory arrangements have been made for the provision of power) is issued by Essential Energy with respect to all proposed lots which will form part of the subdivision, prior to Council releasing the Subdivision Certificate. It is the Applicant's responsibility to make the appropriate application with Essential Energy for the supply of electricity to the subdivision, which may include the payment of fees and contributions. Despite Essential Energy not having any safety concerns, there may be issues with respect to the subdivision layout, which will require Essential Energy's approval.
- h) In addition, Essential Energy's records indicate there is electricity infrastructure located within the property and within close proximity to the property. Any activities within these locations must be undertaken in accordance with ISSC 20 Guideline for the Management of Activities within Electricity Easements and Close to Infrastructure. Approval may be required from Essential Energy should activities within the property encroach on the electricity infrastructure.
- i) Prior to carrying out any works, a "Dial Before You Dig" enquiry should be undertaken in accordance with the requirements of Part 5E (Protection of Underground Electricity Power Lines) of the Electricity Supply Act 1995 (NSW).
- j) Given there is electricity infrastructure in the area, it is the responsibility of the person/s completing any works around powerlines to understand their safety responsibilities. SafeWork NSW ([www.safework.nsw.gov.au](http://www.safework.nsw.gov.au)) has publications that provide guidance when working close to electricity infrastructure. These include the Code of Practice – Work near Overhead Power Lines and Code of Practice – Work near Underground Assets.

15. If soil conditions require it:

- i. retaining walls associated with the erection/demolition of a building or other approved methods of preventing movement of soil must be provided, and
  - ii. adequate provision must be made for drainage.
- (b) notify those that made submissions of its decision; and
- (c) call a division.



On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

**The result of the division was:**

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger,  
Cr M Hogan, Cr A Smith and Cr R Taylor

Against the Motion - Cr I North

Absent - Nil

Abstain - Nil



**9.2.7                      DEVELOPMENT APPLICATION NO. 2021/506 –  
SHED AT 37 LOCKE STREET RAGLAN.  
APPLICANT: M RENSHAW. OWNER: M & F  
RENSHAW**

**File No:                      2021/506**

**RECOMMENDATION:**

That Council:

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to the Modification of Development Application No. 2021/506, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended;
  - b) notify those that made submissions of its decision; and
  - c) call a division.
- 

**REPORT:**

The Site

Council has received a Modification to Development Application (DA) 2021/506 for the construction of a shed with a bathroom at 37 Locke Street, Raglan, described as Lot 17, Sec 11, DP 758864.

The subject site contains a dwelling and garden shed. Adjoining and surrounding properties contain completed dwellings and sheds.

The site has an area of 2023m<sup>2</sup>.

Located on the northern boundary of the site is a partly formed Crown Road connecting Locke Street to Nile Street.

A location plan and aerial photo are provided at **attachment 1**.

The proposal

The proposal involves the construction of a 13 metres long, 12 metres wide and 4.358 metres high shed with a toilet, shower and hand basin. This creates a floor area of 156 square metres.

Plans of the proposed development are at **attachment 2**.

The proposal is to modify the location of the shed as previously approved under delegated authority. The shed was originally approved on the northern side of the



property adjoining the Crown Road. The modification seeks to relocate the shed to the southern side of the lot.

The proposed new location of the shed will be 50 millimeters from the common boundary with 35 Locke Street (to the south) and 44 Godfrey Street (to the east) and 6.5 metres from the boundary of the unformed Crown Lane on the northern side.

The application does not propose commercial or habitable use of the shed. Conditions to this effect have been imposed on the existing development consent and will remain unaltered by the modification.

#### Summary of attachments

Attachment No.	Descriptions
1	Aerial location plan
2	Plans
3	Submissions
4	Applicant's response to submissions

#### Planning Context

##### *Bathurst Regional Local Environmental Plan 2014*

The subject site is zoned R1 General Residential under the provisions of the Bathurst Regional Local Environmental Plan 2014. A shed, being ancillary to the dwelling on the land, is permissible with consent in the R1 General Residential zone. The proposal is consistent with the objectives of the zone.

#### **Clause 4.3 Height of buildings**

The Height of Buildings Map indicated that the maximum building height for the subject property is 9 metres. The proposed shed will have an overall height of 4.358 metres. The development therefore complies with Clause 4.3 Height of buildings.

##### *Bathurst Regional Development Control Plan 2014*

#### **Clause 4.4 – General Siting Considerations**

Section 4.4.1 of the DCP outlines the general siting considerations for all residential development. The objectives outlined in Section 4.4.1 include:

- To enhance and/or maintain residential streetscape and character and to provide for landscaping in front of buildings.
- To provide access and fire protection, to maximise solar access and privacy, to minimise possible adverse impacts on adjoining properties, and to facilitate flexible site planning.
- To reduce the visual dominance of garages, vehicle access, carports and parking spaces in streetscape.

The DCP does not contain any specific provisions in relation to the overall height (beyond the general height of buildings limitations, i.e. 9m) and size for residential sheds.

Setbacks from boundaries are in accordance with the provisions of Chapter 4 as noted below:



Development Standard	Permissible	Proposed	Complies
Front building line setback	Minimum distance of 6m,	N/A as behind existing dwelling	Yes
Side setback	As per National Construction Code (NCC)	50 millimeters	Yes
Rear setback	As per NCC	50 millimeters	Yes

There is currently a dwelling and garden shed and fencing on the site. The proposal will be most visible when viewed from 35 Locke Street. It will not be visible from the site access from Locke Street, but will be visible from the surrounding residential premises, noting it is ultimately a matter of opinion as to the significance of this visual prominence.

#### Public Notification

In accordance with the Community Participation Plan 2019 the original Development Application was notified to adjoining property owners from 20 October 2021 and 29 October 2021. Following the advertising and notification period no submissions were received and the application was approved on 23 November 2021.

In accordance with the Community Participation Plan 2019 the Modification Application was notified to adjoining property owners from 10 February 2022 and 21 February 2022. Following the advertising and notification period one submission and amendment submission was received (see submissions at **attachment 3**).

Issues raised in the submission included the following:

- Proximity to the common boundary.
- The need to removed boundary fences to facilitate construction.
- Difficulty associated with maintenance as a result of the proximity to the boundary.
- Overshadowing.
- Size of the shed
- Views
- Access from the laneway
- Damage caused to property during previous tree removal

The applicant was provided with a copy of the submission and has provided a response to the issues raised in the submission on 10 March 2022 (**attachment 4**).

The response includes the following:

- The applicant does not propose the removal of the boundary fence during construction.
- Any damage during construction will be replaced
- Maintenance of the area between the fence and the shed will ultimately be a matter for the landowners to address as part of the usual property maintenance obligations.
- The size of the shed is not dissimilar to other sheds in Raglan including that on 35 Locke Street.
- Primary access will be via Locke Street noting that there is an existing gate to the property from the Crown Road.
- The shed will be used for storage of materials associated with residential use of the property.



Of note to the issues raised and the response the following comments are also relevant:

- There is potential for overshadowing of 35 Locke Street to occur as it is located to the south of the shed. This rear of 35 Locke Street appears to be largely used for sheds and storage of goods associated with the property. It is not used for indoor or outdoor living areas.
- Matters that are related to damage to property are not necessarily within the Council's remit.

In the opinion of Council staff, the matters surrounding the use of the neighbors' land during construction, damage to boundary fencing, fire hazards, size and appearance of the shed are adequately dealt with in the response from the applicant. The shed as proposed otherwise complies with the standards adopted in the DCP in relation to setbacks.

## **CONCLUSION:**

Council has received a Modification Application to Development Application for the construction of a 13 metres long, 12 metres wide and 4.358 metres high shed with a toilet, shower and hand basin at 37 Locke Street, Raglan. The proposal was notified in accordance with Community Participation Plan 2019 given the shed is over 60 square metres on land within the R1 zone. The proposal is consistent with the objectives of the zone and the relevant development control standards. It is therefore recommended the Development Application be approved.

## **FINANCIAL IMPLICATIONS:**

Nil.

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 4: Enabling sustainable growth.**

Strategy 4.6 Plan for, assess and regulate development activity.

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

1. Aerial location plan [9.2.7.1 - 1 page]
2. Plans [9.2.7.2 - 10 pages]
3. Submissions [9.2.7.3 - 5 pages]
4. Applicants response to submissions [9.2.7.4 - 5 pages]



## MINUTE

**RESOLUTION NUMBER: ORD2022-121**

**MOVED: Cr I North SECONDED: Cr B Fry**

### **RESOLVED:**

That Council:

- a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to the Modification of Development Application No. 2021/506, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended;
- b) notify those that made submissions of its decision; and
- c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

### **The result of the division was:**

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

Against the Motion - Nil

Absent - Nil

Abstain - Nil



**9.2.8 DEVELOPMENT APPLICATION NO. 2021/604 –  
CARPORT AT LOT 224, DP1252050, 27 DOVEY  
DRIVE, KELSO APPLICANT: MRS D SLABBER,  
OWNER: MR A RICHARDSON & MRS S  
RICHARDSON**

**File No: 2021/604**

**RECOMMENDATION:**

That Council:

- a) as the consent authority, grant consent pursuant to section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/604, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, including conditions to the affect that:
  - (i) The sheet metal cladding proposed to be used on the external surfaces of the roof of the building is to be of factory prefinished, non glare materials. The roofing colour is to be the same as that used on the existing shed.
  - (ii) The development is to be conducted in a manner that will not interfere with the amenity of the locality by reason of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, oil, by causing interference to television or radio reception or otherwise.
- b) notify those that made submissions of its decision; and
- c) call a division.

---

**REPORT:**

The Site

Council has received a Development Application (DA) for a carport at Lot 224, DP 1252050, 27 Dovey Drive, Kelso.

The site is 852m<sup>2</sup> and currently contains a single storey dwelling and shed. The existing shed in the rear of the property is 6m x 6m. There is also consent for a swimming pool in the rear yard of the property.

The site is accessed off Dovey Drive. The site is surrounded by residential land to the north, south and west.

The site has been cut to create a relatively flat block and has an existing retaining wall located along the southern boundary with a height of 850mm at the front of the property



and tapering to 300mm in front of the existing shed.

An aerial map of the land is provided in **attachment 1**.

#### **The proposal**

The Development Application proposes the construction of a carport to the southern side of the existing dwelling.

The carport is to be approximately 9.2m long by 6m wide. The carport will adjoin the existing shed at the rear of the property.

The carport will be 3.5m high to the eave and an overall height to the ridge of 4.029 metres. The carport will be constructed of steel posts and framing and colorbond roofing.

The carport will have an eave height greater than the existing shed and dwelling ie it will sit above the eave of the adjoining shed and dwelling and will overhang the shed by 0.3 metres and the dwelling by 1.2 metres. It is understood that the additional height is required to accommodate a caravan.

See plans of proposed development at **attachment 2**.

The carport will be constructed 0.5 metres from the common side boundary to 25 Dovey Drive, Kelso.

No ground level changes are proposed as part of the development.

#### **Summary of attachments**

<b>Attachment No.</b>	<b>Description</b>
1	Aerial location plan
2	Plans of proposed development
3	Submission

#### **Planning Context**

##### ***Bathurst Regional Local Environmental Plan 2014***

The subject site is zoned R1 General Residential under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. The development, being a carport is permissible with consent in the zone. The proposal is consistent with the objectives of the zone.

#### **Clause 4.3 Height of buildings**

The Height of Buildings Map for this locality identifies a maximum overall building height of 9 metres. The proposed carport will have an overall height of 4.029 metres at the ridge of the roof and is therefore less than the prescribed maximum height.

##### ***Bathurst Regional Development Control Plan 2014***

#### **Clause 4.4.2 Development standards**

Council's principal development standards are contained in Chapter 4 of the DCP.



Clause 4.4.2 provides standards for residential development. In this case the DCP does not contain any specific standards in relation to carports. The carport is however in accordance with the usual side and rear boundary setbacks that applies to residential development. The carport will be in accordance with the setback provisions in the National Construction Code.

The DCP does not contain any specific provisions in relation to the overall size or height of carports and outbuildings.

#### Public Notification

The Development Application was notified to adjoining property owners from 25 January 2022 to 4 February 2022. During the notification period one (1) submission was received from the owners of 25 Dovey Drive. See submission at **attachment 3**.

A Discussion Forum for the Development Application was scheduled however the owners of the land declined to attend.

Issues raised in the submission are outlined below.

- **Visual impact**

**Comment:** The carport will be a separate structure from the existing shed and dwelling on the property. As seen from 25 Dovey it will be located next to the existing shed and together the 2 structures will extend for approximately 15.2m (6m for the shed and 9.2m for the carport). There is nothing specific in the Council's planning instruments that would suggest this is too "long". In some respects, the fact that this is an open structure mitigates this impact and the principal impact on views.

The carport is to be constructed from factory precoloured steel. For the sake of continuity, it should be in the same colour as the existing shed and dwelling. Should Council approve the application, a condition of consent will be placed on the Notice of Determination that requires the sheet metal cladding to be used on the external surface of the roof of the carport is to be of factory prefinished, non glare materials.

Whilst lowering of the carport such that it is of the same height as the existing shed so that it presents as a single unified structure would result in a reduced impact on views and visually provide a lesser impact when viewed from 25 Dovey Street, it would not achieve the applicants expressed intention to be high enough to accommodate a caravan.

The setbacks from the adjoining boundaries meet the requirements of the DCP development standards as discussed above.

- **Loss of privacy**

**Comment:** The construction of the carport will have minimal impact direct on privacy. The carport will not alter the existing ground. The submission raises concerns that the area may be used as an outdoor entertainment area when not being used. Whilst this remains a possibility it is difficult to ascribe any direct impact on privacy from the intermittent use of this part of the property for entertainment purposes.



- **Noise**

**Comment:** The proposed development is a residential use within land zoned residential.

- **Loss of views**

**Comment:** Council's DCP does not contain any numerical standards in relation to the protection or sharing of views. Notwithstanding this and considering the proposal will impact on the view from 25 Dovey Drive, the Land and Environment Court has established a number of principles for consent authorities in relation to view sharing which are considered in sequence in the following table as applied to this application.

Criteria	Comment
Assessment of views	The views affected are views of distant land with no icons although views to the distant hills in Bathurst would be considered to be valuable.
From what part of the property the views are obtained	The views are from an outdoor living area across the side boundary to the north-west. As noted in the LEC principles, <i>"views across side boundaries is more difficult than the protection of views from front and rear boundaries"</i> and <i>"sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic"</i> .
The extent of the impact	The view to the distant hills is currently through the "gap" between the existing dwelling and shed at 27 Dovey. Whilst it will obstruct the views to the north west other views from 25 Dovey are not affected.
Reasonableness of the proposal	The proposed carport is permissible and meets the requirements of the DCP. Whilst the proposal could be lowered to a similar height as that of the existing dwelling or shed it would have similar impact on the views to the north west.

## CONCLUSION:

The proposed development seeks consent for the construction of a carport. The proposal was notified to neighbours and Council has received one submission raising issues with the height of the carport, its size and its impact on the adjoining property at 27 Dovey Drive, Kelso. It is recommended the application be approved with conditions.

## FINANCIAL IMPLICATIONS:

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

**Objective 4: Enabling sustainable growth.**

Strategy 4.6 Plan for, assess and regulate development activity.

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.



## COMMUNITY ENGAGEMENT:

02 **Consult** - to obtain public feedback on alternatives and/or decisions

## ATTACHMENTS:

1. Aerial location plan [9.2.8.1 - 1 page]
2. Plans of proposed development [9.2.8.2 - 3 pages]
3. Submission [9.2.8.3 - 3 pages]

## MINUTE

**RESOLUTION NUMBER: ORD2022-122**

**MOVED: Cr K Burke SECONDED: Cr B Fry**

## RESOLVED:

That Council:

- a) as the consent authority, grant consent pursuant to section 80 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/604, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, including conditions to the affect that:
  - (i) The sheet metal cladding proposed to be used on the external surfaces of the roof of the building is to be of factory prefinished, non glare materials. The roofing colour is to be the same as that used on the existing shed.
  - (ii) The development is to be conducted in a manner that will not interfere with the amenity of the locality by reason of the emission of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit, oil, by causing interference to television or radio reception or otherwise.
- b) notify those that made submissions of its decision; and
- c) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

## The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

Against the Motion - Nil

Absent - Nil

Abstain - Nil



## 9.2.9

## NAMING OF PUBLIC ROADS - STAIT DRIVE

**File No: 20.00024**

### RECOMMENDATION:

That Council:

- (a) give notice of its intention to adopt the name Stait Drive for the new collector road created by the subdivision of Lot 364, DP 1272242 that will extend from Marsden Lane to Laffing Waters Lane; and
- (b) direct the General Manager to undertake procedures pursuant to the requirements of the Roads Act 1993, to have the name gazetted, should no objections be received.

---

### REPORT:

Council has received a request to name a new road at Kelso as Stait Drive after John Alexander Stait who was also known as "Jack" or "J A ".

Construction of the road has commenced as part of the the Marsden Heights Estate. The road commences at Marsden Lane and heads generally north west providing a connection through to Laffing Waters Lane and Sofala Road (refer to Bathurst Regional Development Control Plan 2014 Map No.4 Kelso).

See location plan and aerial photo at [attachment 1](#), DCP Map No. 4 at [attachment 2](#) and plan of initial stage of subdivision at [attachment 3](#).

It is noted that the new road from Marsden Lane through to Laffing Waters Lane is being developed by Hynash Constructions on behalf of the Stait family. The land between Laffing Waters and Sofala Road is owned by Council. The Council owned land is subject to a Masterplan but detailed planning for the area has not been undertaken. For the purposes of naming the road Stait Drive, it is recommended it apply up to Laffing Waters Lane only at this stage. The Council owned land section will be named at the appropriate time. Whether that includes a continuation of the name Stait or some other name can be determined at a later date.

The following is the historical background to Mr Stait provided by the developer:

*Born: 29-08-1926 Portland NSW Australia*

*Died: 09-03-2016*

*Husband of Clare Pauline Stait (Shumack) and father of 6 children.*

*Moved his family to Bathurst from Portland in 1967 to the property they named "Clairvaux" at Kelso.*

*Prominent Earth Moving Contractor and Grazier.*



*Bathurst Rotarian for many years and during this time he helped raise significant funds. In early 1982 he hosted at the family property "Clairvaux" two highly successful events referred to as "The Dogs Night Out". Each night raised sufficient funds to buy and train two guide dogs.*

*Successfully stood for Bathurst City Council in 1980. While a Councillor he was very instrumental in:*

- *Council buying land opposite the Scott's School Bathurst on the Oberon Road to establish an Industrial precinct away from the flood plain.*
- *Persuaded Council to grant the Catholic Church proper access off Gilmour Street – Sofala Road to what is now known as Paddy's Hotel.*
- *Bathurst Council upgrading the standard of their machinery, especially trucks.*
- *Raising of the Ben Chifley Wall.*
- *Building of what was the Southern Mitchell County Council building in Russell Street Bathurst.*

*Jack was a major contributor to St Stanislaus College Bathurst via donated Earthworks for their new Olympic pool and numerous new sporting ovals (in today's value in excess of \$250,000.00)*

*Jack was a major employer in Bathurst for that time. (50 employees at one stage)  
Jack was a well-known and highly respected businessman, Grazier, friend and Bathurstian.*

The above information has been supplied by Moria Stait being the daughter of Jack Stait.

Jim Inwood comments as follows via the Glanmire - Walang Bush Fire Brigade website:

*"Our first dedicated full time tanker was a 4 x 4 International truck which we bought second hand. It had been used by the Electricity Commission and suited our purpose. To fund this truck and equipment several of us put in \$100 each and Jack Stait who was a Bathurst City Councillor at the time put it to Council that as we were a back-up brigade for the Bathurst Airport it would be helpful if they contributed. Bathurst Council was agreeable and contributed \$2500."*

The name complies with Bathurst Regional Council's *Guidelines for the Naming of Roads*.

## **FINANCIAL IMPLICATIONS:**

Funded from existing budget allocations.

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 4: Enabling sustainable growth.**

Strategy 4.6 Plan for, assess and regulate development activity.

**Objective 6: Community leadership and collaboration.**



Strategy 6.4      Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

1. Aerial location plan [9.2.9.1 - 1 page]
2. DCP Map [9.2.9.2 - 1 page]
3. Plan of Subdivision [9.2.9.3 - 1 page]

## **MINUTE**

**MOVED: Cr I North    SECONDED: Cr K Burke**

**MOVED:**

That Council:

- a. give notice of its intention to adopt the name Stait Drive for the new collector road created by the subdivision of Lot 364, DP 1272242 that will extend from Marsden Lane to Laffing Waters Lane; and
- b. direct the General Manager to undertake procedures pursuant to the requirements of the Roads Act 1993, to have the name gazetted, should no objections be received.

**An AMENDMENT was MOVED**

**MOVED: Cr G Hanger    SECONDED: Cr B Fry**

That Council defer consideration of this item to allow further discussions.

**The AMENDMENT was PUT and CARRIED**

**The AMENDMENT became the MOTION**

**RESOLUTION NUMBER: ORD2022-123**

**MOVED: Cr G Hanger    SECONDED: Cr B Fry**

That Council defer consideration of this item to allow further discussions.



## 9.2.10

# CENTRAL WEST COUNCILS ENVIRONMENT AND WATERWAYS ALLIANCE - AN UPDATE ON MEMBER BENEFITS

**File No:** 13.00082

## RECOMMENDATION:

That the information be noted

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## SUMMARY:

Bathurst Regional Council has been a member of the Central West Councils Environment and Waterways Alliance since its inception in 2007. Council staff and the local environment continue to benefit from this membership through capacity building and mentoring programs and through funding of on-ground environmental projects.

## REPORT:

The Central West Councils Environment and Waterways Alliance (the Alliance) has a current membership base of 18 Councils across the Central West of NSW. The Alliance exists to improve environmental outcomes across the region. Bathurst Regional Council is a founding member (2007) of the Alliance and the previous entity, the Central West Salinity and Water Quality Alliance.

In 2015 the Alliance experienced a significant period of change and growth. The name of the Alliance was changed to the Environment and Waterways to better represent the priorities and outcomes of the partnership. This recognises that much of the focus of the group encompasses issues along waterways and rivers – Cocks, Fish, Macquarie/Wambuul, Castlereagh, Bogan, Lachlan, Cudgegong Rivers, their many tributaries and land catchments.

In 2021 the Alliance developed new Strategic and Operational Plans to guide works into the future. These plans were developed in consultation with member councils and considered priorities and objectives from Community Strategic Plans and Delivery and Operational Plans. These Plans feature a range of Strategies and Actions designed to deliver on the 7 Alliance Priorities being:

- Land
- Biodiversity
- Water and Waterways
- People and Communities
- Towards Sustainability
- Council Capacity
- Respecting Country and First Nations Knowledge

The first six strategies align with the existing Regional State of the Environment Reporting of which Bathurst Regional Council is also involved. The seventh Priority has been



included in 2021 to acknowledge and pay respect to the traditional custodians of the land and recognising the knowledge and history of land management that has continued across Australia for tens of thousands of years.

To facilitate the operation of the Alliance the Project Support Officer assists Councils with on-ground works, grant funding opportunities, project development and management and the organisation of Alliance meetings and capacity building events. This provides the Alliance with a critical resource, increasing its effectiveness in reaching the aims and objectives identified in forward planning documents which include the Alliance Strategic Plan and Council Community Strategic Plans. The Project Support Officer is not an employee of the Alliance or any of the member Councils, but rather an independent consultant engaged by Gilgandra Shire Council (who manage the Alliance finances) for the purposes of facilitating the management and operation of the Alliance. The consultant arrangements are reviewed annually at the conclusion of each financial year.

To facilitate communications within the Alliance as well as with external parties, the Alliance website and associated Facebook page were developed during 2015. The website in particular is an important resource for Council staff as it is a repository for many documents and materials, news, case studies and grant funding and award information. In more recent years the Alliance has expanded its social media platforms to include Instagram and Twitter. Both the website and social media pages are available to be utilised by Councils to promote relevant environmental events or achievements, news items and employment opportunities. The website can be viewed at:  
[www.cwcewa.com.au](http://www.cwcewa.com.au)

A major benefit of Alliance membership for Council is the capacity building events held across the year to upskill Council staff which may include online or face-to-face meetings, seminars, workshops and field trips. A flagship project for the Alliance is the Conservation in Action Conference. The first Conservation in Action Conference held in partnership with Central Tablelands Local Land Services and Central Tablelands Landcare in 2018 attracted 150 delegates with this number forecast to be exceeded by Conservation in Action 2022 to be held in May. These training and capacity building events are held by the Alliance as a means of investing in positive, long-term environmental outcomes for the region.

Grant funding specifically for Alliance member councils is awarded on a competitive basis by the Alliance. In 2021 a small grants program distributed \$40,000 to member councils in this manner. This funding is contributing towards various projects including habitat restoration, river restoration works, community engagement and events, litter capture projects and bush regeneration. Bathurst Regional Council successfully received \$5,500 for the Whacking Woody Weeds project in Blayney Road Common in 2021 and regularly receives grant support from the Alliance for local or regional environmental projects.

Additionally, the Alliance in partnership with Orana Joint Organisation received a \$100,000 grant from the NSW Environmental Trust to deliver the Creating Homes for Threatened Species project. This current project is creating chainsaw carved hollows in each LGA of the member Councils, targeting threatened hollow dependent species. Importantly, this work is supported by a university research student to contribute the findings from the project to scientific literature. There will also be an educational forum at the conclusion of the project to share the findings and successes with member councils, as well as more broadly to environmental practitioners.

In order to fund the operational costs of the Alliance, financial contributions are made by each member Council. The membership fees were reduced for the 2019-20 financial year when the project officer became an external consultant which greatly reduced operating



costs. The Alliance is strongly positioned to provide a range of resources to member councils into the future with the current structure of the Alliance allowing for an increased focus on environmental outcomes across our region.

## **FINANCIAL IMPLICATIONS:**

Funding for this item is contained within existing budgets.

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

### **Objective 1: Our sense of place and identity.**

- Strategy 1.1 Respect, protect and promote the region's Aboriginal heritage assets.
- Strategy 1.4 Protect and improve the region's landscapes, views, vistas and open space.

### **Objective 3: Environmental stewardship.**

- Strategy 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River and other waterways.
- Strategy 3.4 Protect and improve the region's biodiversity.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

Nil

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-124**

**MOVED: Cr G Hanger SECONDED: Cr M Hogan**

## **RESOLVED:**

That the information be noted



## 9.2.11

## BIZMONTH REPORT

**File No:** 20.00071

### RECOMMENDATION:

That the information be noted.

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### SUMMARY:

BizMonth commenced in 2015 as BizWeek and expanded to a month-long event in 2017 as interest in the event grew.

BizMonth is coordinated by Council's Economic Development team with assistance from the Bathurst Business Chamber.

BizMonth was due to be held in September 2021 but was postponed to February 2022 due to the Delta outbreak. With the NSW Government also postponing Small Business Month from October 2021 to March 2022, the opportunity was taken to spread events over two months. This provided a less congested calendar of events and enabled Economic Development to tap into funding offered by the NSW Government as part of Small Business Month.

### REPORT:

Due to the Delta outbreak, the 2021 BizMonth was held in February 2022, allowing the vast majority of events to be held with minimal COVID restrictions. A number of events were also held in March to coincide with the delayed NSW Government's Small Business Month, which is normally held annually in October.

This year included many different styles of events ranging from lectures, working groups, forums and the highlight, the BizMonth Business Lunch.

Events conducted throughout February and March 2022 included:

- BizMonth Launch Event – A discussion on the future of technology in Bathurst.
- Councillors Working Party Presentation – State of the Economy
- BizMonth Business Lunch with Shane Jacobson
- Backing Business Forum, run in conjunction with Regional Development Australia
- Business After 5 Event – Meet our New Council
- Cultivating and Nurturing Great Retailers Workshop
- Welcome Lunch

A full report is provided at **attachment 1**.

### CONCLUSION:

BizMonth provides the Bathurst community with the opportunity to celebrate and recognise the success of our local businesses in a collective campaign. A range of



successful events were run throughout February and March.

## **FINANCIAL IMPLICATIONS:**

There are no financial implications resulting from this report.

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

### **Objective 2: A smart and vibrant economy.**

- Strategy 2.1 Support local business and industry.
- Strategy 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development.
- Strategy 2.3 Develop Bathurst as a Smart City.

### **Objective 4: Enabling sustainable growth.**

- Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

### **Objective 5: Community health, safety and well being.**

- Strategy 5.1 Provide opportunities for our community to be healthy and active.

### **Objective 6: Community leadership and collaboration.**

- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. Post event report [9.2.11.1 - 12 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-125**

**MOVED: Cr B Fry SECONDED: Cr I North**

## **RESOLVED:**

That the information be noted.



## 9.2.12

## REVIEW OF SECTION 94 POLICY

**File No:** 20.00036 and 11.00006

### RECOMMENDATION:

That Council repeal the Environmental, Planning & Building Services 'Section 94' Policy.

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### REPORT:

As part of Council's process to review each of its Policies, the 'Section 94' Environmental, Planning & Building Services Policy ([attachment 1](#)) has been reviewed.

The Policy simply lists the Section 94 Plans Developer Contribution Plans (now Section 7.11 Plans) that Council has adopted that apply within the Bathurst Regional Local Government Area. The Section 7.11 Plans are adopted by Council under the provisions of the Environmental Planning and Assessment Act 1979. There is no legislative requirement for Council to maintain a Policy that lists the Plans in force. The Plans in force are available on Council's website.

As the Policy is redundant, it is recommended that Council repeal the Section 94 Policy.

### FINANCIAL IMPLICATIONS:

Nil

### BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

Strategy 6.6 Manage our money and our assets to be sustainable now and into the future.

### COMMUNITY ENGAGEMENT:

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### ATTACHMENTS:

1. Section 94 Policy [9.2.12.1 - 1 page]



**MINUTE**

**RESOLUTION NUMBER: ORD2022-126**

**MOVED: Cr I North SECONDED: Cr A Smith**

**RESOLVED:**

That Council repeal the Environmental, Planning & Building Services 'Section 94' Policy.



## 9.3 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

### 9.3.1 STATEMENT OF INVESTMENTS

**File No:** 16.00001

#### RECOMMENDATION:

That the information be noted.

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#### REPORT:

\$88,730,000 was invested at 31 March 2022 in accordance with Council's investment policies, the Minister's Investment Order dated 12 January 2011, the Local Government Act 1993 and associated regulations. All investments have been reconciled with Council's general ledger and are listed below:

**Short Term 1 - 365 Days** (Comprising Commercial Bills, Term Deposits, Debentures, and Certificates of Deposits):

			<b>Average Return</b>
<b><u>Ratings by S&amp;P</u></b>			
A-1+	National Australia Bank Limited	33,000,000.00	0.58%
A-1+	CBA	3,000,000.00	0.39%
A-1+	Suncorp	4,500,000.00	0.99%
A2	AMP	3,000,000.00	0.62%
A2	Bank of Queensland Limited	12,000,000.00	0.46%
A2	Bendigo & Adelaide	1,500,000.00	0.45%
A2	Members Equity Bank	7,500,000.00	0.48%
ADI	Maritime, Mining & Power Credit Union Limited	4,500,000.00	0.46%
		<b>69,000,000.00</b>	<b>0.56%</b>

**Long Term** (Comprising Commercial Bills, Term Deposits, Debentures, and Bonds):

#### **Floating Rate Term Deposits**

AA-	Westpac Coupon Select 2 (6/9/2022)	1,500,000.00	1.07%
AA-	Westpac Green Tailored Deposit (22/6/2022)	1,500,000.00	0.29%
AA-	Westpac Fixed Term deposit (9/6/2021)	1,500,000.00	1.25%
AA-	Westpac Green Tailored Deposit (15/11/2023)	1,500,000.00	1.20%
ADI	Maritime Mining & Power Credit Union Limited	1,230,000.00	0.25%
		<b>7,230,000.00</b>	<b>0.83%</b>



**Floating Rate Notes**

AA-	CBA Green (23/12/2026)	1,500,000.00	0.61%
AA-	Commonwealth Bank of Aust 2 (16/08/2023)	500,000.00	1.01%
AA-	National Australia Bank (19/6/2024)	700,000.00	0.95%
AA-	National Australia Bank 1 (24/8/2026)	1,200,000.00	0.49%
AA-	HSBC Sydney (27/9/2024)	1,500,000.00	1.05%
A+	Macquarie Bank (21/6/2022)	1,000,000.00	0.93%
A+	Macquarie Bank (9/12/2025)	1,500,000.00	0.63%
A+	UBS AG Australian (31/7/2025)	650,000.00	0.95%
A+	Suncorp Metway Ltd (24/02/2026)	500,000.00	0.53%
A+	Suncorp Metway Ltd (15/09/2026)	1,550,000.00	0.63%
A	Sumitomo Mitsui Banking Corp (5/06/2025)	1,000,000.00	1.29%
BBB+	Bendigo & Adelaide Ltd 4 (02/12/2025)	900,000.00	1.50%
		<b>12,500,000.00</b>	<b>0.85%</b>

<b>Total Investments</b>	<b>88,730,000.00</b>	<b>0.62%</b>
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<b>Total Interest Revenue to 31/03/2022</b>	<b>416,573.40</b>	<b>0.62%</b>
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**These funds were held as follows:**

<i>Reserves Total (includes unexpended loan funds)</i>	31,087,238
<i>Grants held for specific purpose</i>	1,425,106
<i>Section 7.11 Funds held for specific purpose</i>	56,217,656
<i>Unrestricted Investments</i>	0

<b>Total Investments</b>	<b>88,730,000.00</b>
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<b>Total Interest Revenue to 31/03/2022</b>	<b>416,573.40</b>	<b>0.62%</b>
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**A Jones**  
**Responsible Accounting Officer**

**FINANCIAL IMPLICATIONS:**

There are no financial implications resulting from this report.

**BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.



Strategy 6.6     Manage our money and our assets to be sustainable now and into the future.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1.     Investments 2022-03-31 pre-accrual - 1 [**9.3.1.1** - 2 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-127**

**MOVED: Cr I North   SECONDED: Cr A Smith**

## **RESOLVED:**

That the information be noted.



### 9.3.2

## QUARTERLY REVIEW - 2021/2025 DELIVERY PLAN AND OPERATIONAL PLAN 2021/2022

File No: 16.00182

### RECOMMENDATION:

That the information be noted and budget variations be approved.

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### REPORT:

Bathurst Regional Council has in place the Bathurst 2040 Community Strategic Plan which aims to inform the community about the major directions and programs Council is undertaking in shaping the future of the Bathurst Region. These directions are summarised as objectives and strategies in the Community Strategic Plan which was adopted by Council on 16 May 2018. The Plan is available for viewing at the council offices at 158 Russell Street or can be downloaded from the Public Documents section of Council's website, [www.bathurst.nsw.gov.au/council/general-information/public-documents](http://www.bathurst.nsw.gov.au/council/general-information/public-documents). A listing of the Objectives and Strategies from the Bathurst 2040 Community Strategic Plan can be found within the Plan commencing from page 22.

At **attachment 1** is an update of Council's progress towards achieving the Strategies and Objectives for the 2021-2025 Delivery Plan and the Annual Operational Plan 2021-2022.

Clause 203(1) of the Local Government (General) Regulation 2005 (the Regulation) requires a council's responsible accounting officer to prepare and submit a quarterly budget review statement to the governing body of Council. The quarterly budget review statement must show, by reference to the estimated income and expenditure that is set out in the operational plan adopted by council for the relevant year, a revised estimate of income and expenditure for that year. It also requires the budget review statement to include a report by the responsible accounting officer as to whether or not they consider the statement indicates council to be in a satisfactory financial position (with regard to its original budget) and if not, to include recommendations for remedial action.

The Division of Local Government has set a prescribed format for the Quarterly Budget Review Statement (QBRs). The statement is in the same format as the requirements for the new Annual Operational Plan that replaced the Management Plan from 1 July 2012. The QBRs Report shown at **attachment 2** is in the format of a commercial Income and Expenditure Statement as per the Office of Local Government Guidelines.

The Local Government (General) Regulation 2005 has been amended by inserting clause 413A to make it the duty of the General Manager to give timely information to Councillors about any fines or penalty notices from agencies such as the Australian Taxation Office, the Roads and Maritime Services or the Environment Protection Authority, or where a court or tribunal makes a costs order against a council.  
Fines or penalty notices this month - Refer to **attachment 1**.



## **FINANCIAL IMPLICATIONS:**

Nil

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 6: Community leadership and collaboration.**

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. Operating Plan Review - Mar 2022 [**9.3.2.1** - 61 pages]
2. QBRS Report Mar 22 [**9.3.2.2** - 15 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-128**

**MOVED: Cr M Hogan SECONDED: Cr A Smith**

## **RESOLVED:**

That the information be noted and budget variations be approved.



### **9.3.3            SUNDRY SECTION 356 DONATIONS, BATHURST MEMORIAL ENTERTAINMENT CENTRE COMMUNITY USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY**

**File No:        18.00004**

#### **RECOMMENDATION:**

That the information be noted and any additional expenditure be voted.

---

#### **REPORT:**

At **attachment 1** is a list of Sundry Section 356 Donations, Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies granted by Council for the period ending 31 March 2022 including a report on annual Rental Subsidies granted by Council.

#### **FINANCIAL IMPLICATIONS:**

Council's Sundry Section 356 Donations and Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies are included in the current budget, which currently have a balance as follows:

Section 356:	\$ 14,940.00 **
BMEC Community use:	\$ 9,256.00
Mount Panorama:	\$ 35,000.00

\*\* The above amount includes donations already committed but not yet paid. After allowing for the committed donations the remaining balance is \$14,905.

#### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 5:    Community health, safety and well being.**

Strategy 5.3        Help build resilient, inclusive communities.

**Objective 6:    Community leadership and collaboration.**

Strategy 6.5        Be open and fair in our decisions and our dealings with people.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.



**ATTACHMENTS:**

1. 356 Donations Council Report - March 2022 [**9.3.3.1** - 2 pages]

**MINUTE****RESOLUTION NUMBER: ORD2022-129****MOVED: Cr A Smith SECONDED: Cr M Hogan****RESOLVED:**

That the information be noted and any additional expenditure be voted.



### 9.3.4 POWER OF ATTORNEY

**File No:** 11.00007

#### **RECOMMENDATION:**

That the information be noted.

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#### **REPORT:**

That the General Manager's action in affixing the Power of Attorney to the following be noted.

- Bathurst Bushrangers ARFC Inc. – George Park, Mitchell, Part Lot 7324 DP1157012 – Licence Agreement
- Barry Morris – 71 Hereford Street, Kelso, Part Lot 1 DP1223252 – Licence Agreement
- Maria Ardis – 44 Freemantle Road, Eglinton, Lots 2 & 3 DP786760 – Licence Agreement
- Sandra Herbert – 519 Mitchell Highway, Robin Hill, Part Lot C DP158611 – Licence Agreement
- Bathurst Lapidary & Collectors Club – Alexander Street, Eglinton, Part Lot 72 DP1136842 – Licence Agreement
- David Taylor – 13 PJ Moodie Drive, Raglan, Lot 22 DP1108205 – Licence Agreement
- Bathurst Racing Pigeon Club Inc.– Mid Western Highway, Robin Hill, Part Lot 7310 DP 1139638 – Licence Agreement
- Central Tablelands Woodcraft Inc. – Dorman Place, Kelso, Part Lot 5 DP776928 – Licence Agreement

#### General Items

- NIL

#### Linen Plan Release

- Ms S Singh – two lot subdivision – Lot 10 DP158252 – 108 Samuel Way, The Lagoon
- Mr RC & Mrs DI McCarthy – 25 lot large residential subdivision (Stage 2 – release of 6 lots and 2 residual lots) - Lot 25 DP1250006 – 3991 O'Connell Road, Kelso
- Gateway Land Corporation Pty Ltd – 20 lot commercial subdivision (Stage 2 - 5 lot release) - Lot 21 DP1225826 – Sydney Road, Kelso



## **FINANCIAL IMPLICATIONS:**

Nil

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 4: Enabling sustainable growth.**

Strategy 4.6 Plan for, assess and regulate development activity.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

Nil

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-130**

**MOVED: Cr B Fry SECONDED: Cr I North**

## **RESOLVED:**

That the information be noted.



### 9.3.5 GOVERNANCE - PAYMENT OF EXPENSES & PROVISION OF FACILITIES FOR COUNCILLORS

**File No:** 11.00008, 41.00089

#### **RECOMMENDATION:**

That Council adopt the draft Policy on the Payment of Expenses and Provisions of Facilities.

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#### **REPORT:**

Council at the Extraordinary Meeting of Council held 19 January 2022, resolved to:

- a. place the draft Policy on the Payment of Expenses and Provisions of Facilities, on public exhibition for 28 days, and
- b. Receive a further report following the exhibition period.

The draft policy at **attachment 1**, was place on exhibition for 28 days. The exhibition period has now ended with no submissions received.

#### **FINANCIAL IMPLICATIONS:**

Funding for this item is contained within existing budgets

#### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 6: Community leadership and collaboration.**

- |              |   |
|--------------|---|
| Strategy 6.1 | Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region. |
| Strategy 6.4 | Meet legislative and compliance requirements.   |
| Strategy 6.5 | Be open and fair in our decisions and our dealings with people.   |

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

1. Governance - Payment of Expenses and Provision of Facilities for Councillors [9.3.5.1 - 16 pages]



**MINUTE**

**RESOLUTION NUMBER: ORD2022-131**

**MOVED: Cr A Smith SECONDED: Cr M Hogan**

**RESOLVED:**

That Council adopt the draft Policy on the Payment of Expenses and Provisions of Facilities.



### 9.3.6

## DELIVERY PROGRAM 2022/2026 AND OPERATIONAL PLAN 2022/2023

**File No:** 16.00187

### RECOMMENDATION:

That Council

- a. place the Draft Bathurst Delivery Program 2022-2026 and Operational Plan 2022/2023, the Revenue Policy including the Fees and Charges for 2022/2023 , on public exhibition and receive submissions until 20 May 2022,
- b. resolve to fix the annual fee paid to Councillors to the maximum determination made by the Remuneration Tribunal for the category Regional Centre,
- c. resolve that Councillors be paid superannuation at the prevailing rate, and
- d. note the organisation structure as detailed in the report.

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### REPORT:

Councils in NSW are required to plan and report in line with the Integrated Planning and Reporting Framework (IP&R). The overarching document is the Community Strategic Plan, which is to be reviewed and adopted within 9 months of the election of Council. Council adopted the draft "Our Region Our Heritage" Bathurst Regional Community Strategic Plan on 16 March 2022 with submissions from the public due 29 April 2022. The Community Strategic Plan, whilst reflecting the aspirations of the whole of the community, ultimately sets the priorities for Council projects and programs, which in turn provides direction for Council's long term financial planning and annual budgets.

The IP&R Guidelines require Council to develop a four year and one year subset of that plan, called the Delivery Program and Operational Plan respectively. The Draft Bathurst Delivery Program 2022-2026 and Operational Plan 2022/2023, shown at **attachment 1**, has been prepared to detail how Council will deliver the objectives identified through the community engagement process. That document includes the budget summary for the period under consideration and the detailed budget will be available on Council's website. The draft plan includes the Revenue Policy for 2022/2023 shown at **attachment 2** and has made provision for the continuation of existing services provided by Bathurst Regional Council.

The Local Government Act 1993 requires that the plans are exhibited for a period of at least 28 days during which submissions may be made by the public; the public submission period will run from 20 April 2022 to 20 May 2022. Adoption of the final plan will occur during June 2022 after consideration of all submissions received.

### Assumptions



The following assumptions have been incorporated in the plan:

Consumer Price Index Anticipated for 2022/2023	1.5%
Rate Increases General purpose rate increased by including a growth factor of 0.2%	2.5%
Water rates and charges increased by	4.0%
Sewerage rates and charges increased by	4.0%
Domestic waste charges at reasonable cost, all other waste	4.0%
Salaries and Wages Includes award increases, regrades, and wage increases	3.75%
Superannuation	10.5%
This increases to	11.0% from 1 July 2023, 11.5% from 1 July 2024, and 12.0% from 1 July 2025.

Council currently has 30 (2021/2022: 31) staff in the Local Government Superannuation Scheme Retirement Fund. Employees choose to contribute between 1 and 9 percent of their salary. The fund then requires Council to match the staff elected contributions multiplied by a factor of 1.9 times plus a “basic benefit” of 2.5% of salary. Council is also required to contribute \$166,167 (2021/2022: \$330,500) per annum surcharge due to losses incurred by the Superannuation Fund during the global financial crisis.

Note that the Rate Peg used in the budget is 2.5%. Council was originally only granted a 0.9% increase in rates for 2022/2023, comprising a rate peg of 0.7% plus a growth factor of 0.2%. In the 2021/2022 budget, IPART advised to use 2.5% increase for the year 2022/2023 and beyond for forecasting purposes. Council did this and was subsequently advised of the 0.9% rate peg awarded.

IPART have given all Councils the opportunity to apply for a Special Variation to bring the total rate peg to 2.5%, including a growth factor of 0.2%, which Council will be applying for. IPART’s determination will be released on 21 June 2022. If Council is unsuccessful in its application for a variation to a total of 2.5%, a review of some services and projects will have to be undertaken to keep Council in a balanced budget position.

The Revenue Policy contains two tables showing the proposed rates in the dollar using the 0.9% rate peg and the other using the 2.5% increase.

#### Revenue Policy

Council fees and charges have generally been increased by 4.0%. This reflects Council’s increased costs, particularly wage increases and utility costs. Some fees have been restructured to better meet market pricing and to recognise Council’s marginal return on investment. Statutory charges are set by the State Government and therefore increase only when advised by the Office of Local Government or other Government Departments.

#### GST

GST has been included in Council fees and charges (Revenue Policy) where Council has received legislative determination.

#### Best Practice Water and Sewerage Charges

Council complies with the NSW Government’s Best Practice Water and Sewerage Pricing Principles.

Best practice water supply pricing requires:

- Water usage charge per kilolitre based on the long-term cost of the supply
- Residential water usage charges set to recover at least 75% of residential revenue
- An access charge relative to a customer’s capacity requirements – based on the



size of the meter connected to Council's network.

Best practice sewerage pricing requires:

- A uniform annual sewerage bill for residential customers.
- For non-residential customers:
  - an appropriate sewer usage charge is required for the estimated volume discharged to the sewerage system; and
  - an access charge reflective of the customer's peak load on the system.

Council has the option to adopt either of two methods in relation to sewer access charges. The first method is the sewer discharge factor method based on the size of the water meter supplying the property, consistent with the water supply pricing system, which Council has adopted. Council has been charging its ratepayers using this method since 2004 as the preferred charge for access to the sewer system. The second method is the Equivalent Tenement method (ET method) which uses a nominal size of water meter to arrive at a charge for access to the sewer system. Council does not use this method.

### Functions and Services

Council has the following guiding principles established in the Local Government Act:

“8A Guiding principles for councils

(1) Exercise of functions generally

The following general principles apply to the exercise of functions by councils—

- (a) Councils should provide strong and effective representation, leadership, planning and decision-making.
- (b) Councils should carry out functions in a way that provides the best possible value for residents and ratepayers.
- (c) Councils should plan strategically, using the integrated planning and reporting framework, for the provision of effective and efficient services and regulation to meet the diverse needs of the local community.
- (d) Councils should apply the integrated planning and reporting framework in carrying out their functions so as to achieve desired outcomes and continuous improvements.
- (e) Councils should work co-operatively with other councils and the State government to achieve desired outcomes for the local community.
- (f) Councils should manage lands and other assets so that current and future local community needs can be met in an affordable way.
- (g) Councils should work with others to secure appropriate services for local community needs.
- (h) Councils should act fairly, ethically and without bias in the interests of the local community.
- (i) Councils should be responsible employers and provide a consultative and supportive working environment for staff.

(2) Decision-making

The following principles apply to decision-making by councils (subject to any other applicable law)—

- (a) Councils should recognise diverse local community needs and interests.
- (b) Councils should consider social justice principles.
- (c) Councils should consider the long term and cumulative effects of actions on future generations.
- (d) Councils should consider the principles of ecologically sustainable development.
- (e) Council decision-making should be transparent and decision-makers are to be accountable for decisions and omissions.

(3) Community participation

Councils should actively engage with their local communities, through the use of



the integrated planning and reporting framework and other measures.

#### Our Region Our Future Community Strategic Plan

The Vision and Objectives of Bathurst Regional Council are contained in Council 's CSP and are as follows:

#### Council's Vision

A vibrant and innovative region that values our heritage, culture, diversity and strong economy.

#### Objectives

The following objectives and strategies have been developed to help achieve Council 's vision:

#### **Objective 1. We value OUR SENSE OF PLACE AND IDENTITY**

- Strategy 1.1 Respect, protect and promote the region's Indigenous heritage assets
- Strategy 1.2 Protect, enhance and promote the region's Non-Indigenous assets and character
- Strategy 1.3 Enhance the cultural vitality of the region
- Strategy 1.4 Protect and improve the region's landscapes, views, vistas and open space
- Strategy 1.5 Promote good design in the built environment

#### **Objective 2. We aspire to have A SMART AND VIBRANT ECONOMY**

- Strategy 2.1 Support local business and industry
- Strategy 2.2 Grow local employment, investment and attract new businesses and skills by nurturing and supporting entrepreneurs, partnerships and local skill development
- Strategy 2.3 Develop Bathurst as a Smart City
- Strategy 2.4 Promote our City and Villages as an attractive place to live
- Strategy 2.5 Support Mount Panorama Wapitani as a premier motor sport and event precinct
- Strategy 2.6 Promote our City and Villages as a tourist destination

#### **Objective 3. Strengthen ENVIRONMENTAL STEWARDSHIP**

- Strategy 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River - Wapitani and other waterways
- Strategy 3.2 Improve water security
- Strategy 3.3 Minimise the City's environmental footprint, live more sustainably and use resources more wisely
- Strategy 3.4 Protect and improve the region's biodiversity
- Strategy 3.5 Increase resilience to natural hazards and climate change

#### **Objective 4. We encourage SUSTAINABLE AND BALANCED GROWTH**

- Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community
- Strategy 4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility
- Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region
- Strategy 4.4 Provide parking to meet the needs of the City
- Strategy 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region



Strategy 4.6 Plan for, assess and regulate development activity

**Objective 5. We foster COMMUNITY HEALTH, SAFETY AND WELL BEING**

Strategy 5.1 Provide opportunities for our community to be healthy and active

Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life

Strategy 5.3 Help build resilient, inclusive communities

Strategy 5.4 Make our public places safe and welcoming

Strategy 5.5 Plan and respond to demographic changes in the community

**Objective 6. We advocate for COMMUNITY LEADERSHIP AND COLLABORATION**

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region

Strategy 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently

Strategy 6.3 Advocate for our community

Strategy 6.4 Meet legislative and compliance requirements

Strategy 6.5 Be open and fair in our decisions and our dealings with people

Strategy 6.6 Manage our money and our assets to be sustainable now and into the future

Strategy 6.7 Invest in our people

Strategy 6.8 Implement opportunities for organisational improvement

Strategy 6.9 Progressive Local Leadership

These directions were developed through the community engagement process as detailed in the Our Region Our Future CSP.

Summary

As Councillors are aware, this budget has been prepared having regard to tight financial circumstances. Factors such as

- Rate pegging
- Cost shifting
- Take-up of additional services
- Imposition of tasks on councils with no corresponding revenue,

have continued to place extra pressures on the budget.

The budget has been prepared with known COVID-19 effects. Council has considered various Mayoral Minutes throughout the course of 2021 and 2022 on the current effects of COVID-19 on its operations. It is anticipated that the financial implications of the COVID-19 pandemic will continue to have a significant impact on the community and Council. The budget process is becoming more difficult every year as the effects of large cost increases outside Council's control are having a detrimental effect on Council's ability to operate within its confined income levels. The budget has a small surplus as follows:

<b>Income Statement – Consolidated Funds</b>		<b>2022/2023</b>
<b>Revenue:</b>		
Rates & Annual Charges		-\$52,556,511
User Charges & Fees		-\$29,246,035
Other Revenues		-\$2,706,755
Grants & Contributions provided for Operating Purposes		-\$12,272,175
Grants & Contributions provided for Capital Purposes		-\$21,707,040
Interest & Investment Revenue		-\$1,303,736
Other Income		-\$2,453,736
<b>Other income:</b>		
Net gains from the disposal of assets		-\$2,665,948
Fair value increment on investment properties		-\$245,280



<b>Total Income from Continuing Operations</b>	<b>-\$125,157,216</b>
<b>Expenses from Continuing Operations</b>	
Employee Benefits & On-Costs	\$33,009,643
Materials & Contracts	\$35,437,461
Borrowing Costs	\$997,596
Depreciation, Amortisation & Impairment	\$35,346,911
Other Expenses	\$12,600,457
<b>Total Expenses from Continuing Operations</b>	<b>\$117,392,068</b>
<b>Operating Result from Continuing Operations</b>	<b>-\$7,765,148</b>
<b>Operating Result before Capital Grants</b>	<b>\$13,941,892</b>
<b><u>Funding Statement</u></b>	
<b><u>Sources Of Funds</u></b>	
Transfers from Reserves	-\$28,292,215
Transfer from Section 7.11	-\$2,038,425
Loan Funds Received	-\$10,950,000
Plant & Equipment (Income from Disposal)	-\$715,500
Add Back Depreciation Budget	-\$35,152,726
Add Back Carrying Value of Real Estate Sold	-\$384,052
Add Back S7.11 & S64 Income Received	\$3,728,902
	<b>-\$73,804,016</b>
<b><u>Application of Funds</u></b>	
<b><u>Asset Purchases:</u></b>	
Capital Works	\$39,941,236
Real Estate	\$9,614,600
<b><u>Reserves:</u></b>	
Transfers to reserves	\$26,851,119
<b><u>Loans:</u></b>	
Principal Repayment	\$5,146,644
<b><u>Internal transactions:</u></b>	
Income	-\$20,978,860
Expenditure	\$20,978,860
	<b>\$81,553,599</b>
<b>Net Funding Result</b>	<b>\$7,749,583</b>
<b>Change in Council's Working Capital</b>	<b>-\$15,565</b>

The budget covers the directions of Council and the community as set in the Our Region Our Future CSP. As Council is every year required to provide additional services, provide and maintain additional infrastructure and is restricted in its ability to increase its income (due to ratepegging imposed by the NSW State Government) Council is constantly looking for potential savings across all areas. Some areas Council has considered include:

- Efficiency savings in energy and other areas (Council has installed several solar energy generating systems on Council owned facilities and LED street lighting)
- Different styles of service provision to reduce costs
- Options to increase revenue

#### Major Projects

	Budget 2023	Budget 2024	Budget 2025	Budget 2026
<b>Roads, Bridges &amp; Footpaths</b>				
<i>Funding Key: TfNSW = Transport for NSW, RTR = Roads to Recovery, FAG = Financial Assistance Grant</i>				
Urban Roads Sealed - maintenance	2,493,928	2,556,276	2,620,183	2,685,689



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
TfNSW Ordered Works	1,662,200	1,776,751	1,818,200	1,860,100
Rural Roads Sealed - maintenance	810,025	828,896	848,297	868,139
Rural Roads Unsealed - maintenance	806,669	826,829	847,500	868,682
TfNSW Road Maint RMCC - MR54 - Bathurst-Ilford Rd	409,236	424,412	440,174	456,424
Regional Road – Grant to be allocated	400,000	400,000	400,000	400,000
RTR - Sealed Prince St, Perthville – Rockley-Church St	400,000	-	-	-
TfNSW Road Maint RMCC - SH5 - Great Western Highway	350,501	363,990	378,088	392,715
Stormwater Drainage - Rivulet Road Causeway replacement w/box culverts	350,000	-	-	-
Cycleway Construction - Eglinton Bridge - Ranken Bridge-Bradwardine Road)	303,600	-	-	-
Urban Roads Sealed - Lagoon Road	300,000	-	-	-
RTR - Rural Sealed Freemantle Road (21 -22.5km)	300,000	-	-	-
Rural Unsealed Bathampton Road	300,000	-	-	-
Urban Roads Unsealed maintenance	295,870	303,264	310,847	318,620
FAG Rural Roads Unsealed - Gravel Resheeting	250,000	250,000	250,000	250,000
Paved Footpath / Cycleway maintenance	250,000	250,000	250,000	250,000
RTR - Unsealed Whalans Lane	248,559	-	-	-
Stormwater Drainage Maintenance	206,227	211,383	216,667	222,084
Rural Sealed - Lachlan Road	200,599	-	-	-
FAG Road Construction - Rural Sealed Turondale Road	200,000	-	-	-
Rural Roads - Unsealed - Lachlan Road	200,000	-	-	-
Rural Roads - Unsealed - Freemantle Road (22-23Km)	200,000	-	-	-
RTR - Sealed Westbourne Dve - Eglinton Road to Howarth Close	200,000	-	-	-
Kerb & Guttering (K&G) - Laffing Waters Lane	150,000	-	-	-
Rural Road Sealed - Minor Improvements	129,985	133,494	137,099	140,800
Regional Road MR390 maint (Blayney–Hobbys Yards Rd)	115,500	115,500	115,500	115,500
Flood Mitigation - Levee General Maintenance	111,709	114,500	117,362	120,297
FAG Rural Roads Sealed - Minor Improvements	100,000	100,000	250,000	250,000
Road Construction - AC Reconstruction	100,000	100,000	100,000	400,000
Major Pavement Rehab (Various locations)	100,000	100,000	100,000	100,000
Road Construction - Footway Renewals	100,000	100,000	100,000	100,000
Rural Roads Unsealed - Major Heavy Patching	100,000	100,000	-	100,000
RTR - Sealed Commonwealth Street (Howick-West St)	100,000	-	-	-
RTA Road Maint RMCC - MR253 - Oberon Rd	98,751	101,521	104,336	107,198
RTA Road Maint RMCC - SH7 - Mitchell Highway	74,800	77,800	80,900	84,100
Regional Road MR216 maint (Hill End-Sofala Rd)	72,500	72,500	72,500	72,500
K&G maintenance - as per Asset Mgt Plan	67,608	69,163	70,754	72,381
Urban Roads Sealed Traffic Facilities	56,900	56,900	56,900	56,900



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
Strategic Access Plan - Footpaths Brilliant St – Rankin-William	50,000	-	-	-
RTR - Unsealed Lagoon Road 24-26km	-	448,559	-	-
Rural Roads - Unsealed - Bathampton Road	-	400,000	-	-
RTR - Sealed Prince St, Perthville – Church-Queen St	-	400,000	-	-
RTR - Rural Sealed Rockley Rd (21 - 24km)	-	400,000	-	-
Stormwater Drainage - Pymonts Lane Causeway	-	358,750	-	-
FAG - Urban Sealed Lambert St – Havannah-Bant	-	350,000	-	-
Cycleway Construction - Hereford St-Ranken Bridge Stg 1	-	303,600	-	-
Urban Sealed Road - Wellington Street Eglinton	-	200,000	-	-
FAG Road Construction - Rural Sealed – Lagoon Lane	-	185,117	-	-
K&G - Gormans Hill Road	-	150,000	-	-
FAG - Urban Sealed Rose St - Vine to Prospect	-	100,000	-	-
FAG - Urban Sealed Mitre St - Lambert to Hill	-	100,000	-	-
Strategic Access Plan - Footpaths View St - No 29-GWH	-	50,000	-	-
Rural Roads - Unsealed - Limekilns Road (26 - 28km)	-	-	400,000	-
Urban Sealed Road Construction - Hereford Street Rehab	-	-	400,000	-
Stormwater Drainage - O'Regan's Rd Box Culvert	-	-	367,718	-
FAG Road Construction - Rural Sealed - Freemantle Rd	-	-	363,571	-
FAG Road Construction - Rural Unsealed Wambool Rd	-	-	350,000	-
RTR - Rural Unsealed	-	-	348,559	-
Eglinton Rd - Bradwardine to Westbourne Drive	-	-	303,600	-
RTR - Rural Sealed - O'Regan's Road	-	-	300,000	-
RTR - Rural Sealed - Limekilns Road	-	-	300,000	-
RTR - Rural Unsealed - Evans Plains	-	-	300,000	-
Strategic Access Plan - as per Asset Mgt Plan	-	-	150,000	150,000
K&G - Bradwardine Road	-	-	75,000	-
K&G - Lloyds Road	-	-	75,000	-
Rural Roads - Unsealed - Freemantle Road	-	-	-	400,000
Stormwater Drainage - Charleton Rd- Peppers Ck causeway	-	-	-	376,911
RTR - Rural Unsealed - Wambool Road	-	-	-	348,559
Sawpit Creek - Munro to Ophir Road	-	-	-	303,600
Carpark Construction - George Street Carpark Rehabilitation	-	-	-	300,000
RTR - Rural Sealed - Rockley Road	-	-	-	300,000
RTR - Rural Sealed - Tarana Road	-	-	-	300,000
RTR - Rural Unsealed - Whalan's Lane	-	-	-	300,000
FAG Road Construction - Rural Unsealed Wambool Rd	-	-	-	250,000
FAG Road Construction - Rural Sealed – Duramana Rd (1-2km)	-	-	-	200,000



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
FAG Road Construction - Rural Sealed – Bridle Track	-	-	-	196,337
K&G - Urban missing links - various	-	-	-	150,000
<b>Engineering - Technical Services</b>				
Aerodrome - Terminal Upgrade	4,000,000	4,000,000	-	-
Aerodrome - Apron reseal works	300,000	-	-	-
Aerodrome - as per Asset Mgt Plan	-	-	1,000,000	1,000,000
Flood Prone Properties	150,000	150,000	150,000	150,000
Mt Panorama - Debris Fencing	100,000	100,000	100,000	100,000
Mt Panorama - Fauna Fencing	50,000	50,000	50,000	50,000
<b>Water, Sewerage &amp; Waste</b>				
Sewer Treatment Works - Sludge Handling (Maint.)	821,262	843,435	866,209	889,595
Sewer Network - Public Amenities Block	594,977	617,289	640,437	664,453
Sewer Treatment Works Operating Expenses	494,774	507,646	520,853	534,404
Sewer - Treatment Works - Belt Presses	400,000	400,000	-	-
Sewer Mains - Rehabilitation Program	392,770	403,376	414,268	425,452
Sewer Treatment Works – Testing	241,935	249,315	256,900	264,797
Sewer Tyers Park Sewer Mains	200,000	-	-	-
Sewer Mains - Road Reinstatement	198,700	203,300	208,000	212,800
Sewer Treatment Works - Ground Works	184,145	189,117	194,221	199,467
Sewer Treatment Works - Aerator Replacement	178,521	182,627	186,828	191,125
Sewer Pump Stations - Replace Pumps	173,313	177,993	182,798	187,734
Sewer Pump Stations - Replace Aged Switchboards	173,313	177,993	182,798	187,734
Sewer Mains – Maintenance	173,000	179,000	185,100	191,400
Sewer Mains - Clear Block Etc	146,300	151,600	157,000	162,600
Sewer Network - IWCM Implementation - Sewer	129,985	133,494	137,099	140,800
Sewer Mains – Repairs	122,407	127,202	132,125	137,277
Sewer Treatment Works - Inlet works pump replacement	111,713	114,282	116,911	119,600
Sewer Pump Stations - Pump Station Odour Control	108,321	111,245	114,249	117,334
Sewer Mains - Replace Aged Switchboards	99,665	101,958	104,303	106,702
Sewer - Pump Stations Repairs	85,600	87,800	90,000	92,300
Sewer Treatment Works - Energy Metering / Monitoring	81,241	83,434	85,687	88,000
Sewer Treatment Works - UV Lamp replacement	74,475	76,188	77,940	79,733
Sewer Treatment Works - Odour Control	62,400	63,900	65,400	67,000
Sewer Treatment Works - Liquid Alum	60,200	61,700	63,200	64,800
Sewer Mains - Condition Monitoring	58,149	59,660	61,212	62,803
Sewer Treatment Works - Replace Switchboards	55,856	57,141	58,455	59,800
Waste - Sofala Transfer Station Operating	229,235	238,009	247,176	256,641



	<b>Budget 2023</b>	<b>Budget 2024</b>	<b>Budget 2025</b>	<b>Budget 2026</b>
Waste - Sunny Corner Transfer Station Operating	175,963	182,754	189,806	197,120
Waste - Trunkley Transfer Station Operating	129,344	133,600	138,082	142,792
Waste - Rockley Transfer Station Operating	128,212	133,417	138,844	144,503
Waste Collection - Projects	80,000	83,000	86,113	89,342
Waste Collection Purchase Mobile Bins	52,000	52,000	52,000	52,000
Waste Management documentation upgrade	50,500	-	52,900	-
Water Bathurst Stormwater Harvesting Water Mains	8,175,000	2,725,000	-	-
Water Winburndale Dam Flood Security Upgrading	6,000,000	-	-	-
Water Winburndale Pipeline Augmentation Water Mains/Pipes	-	4,100,000	-	-
Water - Reservoir Replacement McPhillamy Park	-	4,000,000	-	-
Water Treatment Works – Chemicals	756,121	775,804	796,076	816,747
Water Supply Mains Maintenance	732,500	752,500	773,200	794,500
Water - Drinking Water Management System	590,700	604,300	618,300	632,600
Water Supply Main Repairs	385,300	397,100	409,300	421,700
Water Supply Services Repairs	377,500	390,400	404,000	418,000
Water Main Roadworks	328,567	336,124	343,855	351,763
Water Mains – per Water Assets Management Plan	324,962	333,736	342,747	352,001
Water Chifley Dam Maintenance	207,500	212,700	218,000	223,400
Water Meter Services	202,289	208,874	215,684	222,723
Water - Best Practice Guidelines Maintenance	189,500	193,900	198,400	203,000
Water Aquatic Centre Special Maintenance	171,300	175,300	179,400	183,700
Water Filtration Plant - Staff Amenities	150,000	-	-	-
Water Replace Aged Mains	144,569	147,895	151,296	154,776
Water Winburndale Pipeline Renewal	137,998	141,172	144,419	147,740
Water Winburndale Dam Operating	123,981	127,972	132,058	136,244
Water Winburndale Dam Main Repairs	123,800	127,300	131,000	134,800
Water Chifley Dam Operating	114,820	117,920	121,104	124,373
Water Supply Water Hydrant Maintenance	106,600	109,800	113,300	116,800
Water – Integrated Water Cycle Management Implementation	105,200	107,700	110,200	112,800
Water Pontoons (mixer) Refurbish - Chifley Dam	100,000	-	-	-
Water Supply - Sewer Maintenance	89,400	92,800	96,300	99,900
Water - Implementation of Water Supply Management Plan	86,523	88,513	90,548	92,631
Water Mains - Mt Panorama Improvements	86,522	88,513	90,548	92,631
Water Chifley Dam Cabins Operating	124,444	77,600	79,500	81,500
Water Meters New Installations	73,310	76,059	78,911	81,870
Water Meters Services - 20mm	66,808	68,345	69,917	71,525
Water Filtration Plant - Switchboards	62,428	63,864	65,332	66,835
Water Mains - Pressure Reduction and Flow Monitoring	58,047	59,382	60,748	62,145



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
Water Winburndale Dam Cottage maintenance	56,500	57,900	59,300	60,800
Water Meters Services - 25mm	54,760	56,020	57,310	58,628
Water Long Term Security Plan - Raising Chifley Dam Wall	-	50,060	51,412	52,800
Water Chifley Pipeline Studies	48,744	50,060	51,412	52,800
<b>Recreation</b>				
Carrington Park - Grandstand extension	4,250,000	8,750,000	-	-
Proctor Park Soccer Fields x 3 - reconstruction works	2,300,000	-	-	-
Centennial Park Upgrade - Transfer to Reserve	250,000	250,000	250,000	250,000
Vegetation Management Plan (VMP)	153,750	157,594	161,534	165,572
Playground Equipment	109,778	112,522	115,335	118,218
Sydney Road Highway Maintenance	87,126	89,303	91,535	93,825
John Matthews Complex - Synthetic Tennis Court resurface	75,000	68,282	70,126	72,019
Street Tree watering	64,864	66,487	68,150	69,852
VMP Community Environment Engagement Officer	51,250	52,531	53,845	55,191
Ralph Cameron Oval Raglan Sporting Facility/Court	50,000	-	-	-
Adventure Playground - Stage 2	-	3,000,000	-	-
Ralph Cameron Oval Raglan Playground Embellishment	-	400,000	-	-
Basalt Park (Ashworth Estate) Playground Embellishment	-	-	400,000	-
<b>Administration</b>				
Other Land & Building - Former TAFE Building maint.	59,663	59,927	60,192	60,460
<b>Cultural &amp; Community</b>				
Library Book Purchases	164,284	167,571	170,922	174,343
Library Software Licences	66,300	67,626	68,979	70,358
Tourism Building - Internal Fit-out	-	50,000	-	50,000
<b>Environmental, Planning &amp; Building</b>				
Hereford St / Gilmour St Intersection study	250,000	-	-	-
Bathurst Bypass Study	100,000	-	-	-
Local Heritage Fund Grant	60,500	60,500	60,500	60,500
Bathurst CBD Main Street Improvement Fund	50,000	50,000	50,000	50,000
Evo Cities	50,000	51,250	52,531	53,845
iD Profile Subscription	61,500	63,038	64,613	66,229

### Assets

Council has Asset Management Plans for all of its asset types. These Plans have several aims including reducing the asset backlog (the difference between the current estimated condition of the asset and the preferred condition level), identifying short term maintenance with a view to minimising long term maintenance costs and identifying potential for assets to be improved.

Council is also looking, where possible, to gain increased returns from its assets e.g. hire fees.



### Asset Maintenance Backlog

The current infrastructure asset maintenance backlog identified by Council 's asset plans includes:

<u>Asset Class</u>	<u>Current Backlog</u>
Aerodrome	\$1,023,704
Bridges	\$9,800,000
Buildings	\$3,349,850
Drainage	\$8,327
Footpaths	\$501,666
Parks and Recreation	\$1,771,382
Rural roads	\$6,815,929
Sewer	\$6,898,579
Solid waste	\$1,689,000
Urban roads	\$17,056,860
Water	\$1,673,270
Total	<u>\$50,588,567</u>

Asset Management Plans are available on Council's website. The magnitude of the backlog shown above remains a concern to Council, which may look to an increase in the rate peg in future years. A special rate variation needs to be considered in budget deliberations for the 2023/2024 year. Any such decision will be subject to future discussions with the community regarding service levels and a review of Council's operations over the ensuing future.

### Rate Pegging

As noted earlier, Council has prepared its estimates based on the rate pegging limit , subject to an application to IPART of 2.5%. Commercial organisations are not restricted by rate pegging legislation and are subject to market rate increases.

General Purpose Rates & Charges	2.5%
Water Rates & Charges	4.0%
Sewer Rate & Charges	4.0%
Waste Charges	4.0%
Domestic Waste Collection	Reasonable Cost Method

Council should be mindful of the continual squeeze on the Council in its ability to raise revenue through rates as compared to pricing policies of State Government and commercial organisations.

Consideration needs to be given to increasing general rates above the "pegged" limit or the reduction of current service levels into the future.

### Service Levels

Council's services to the community will generally remain constant through 2022/2023. However, Councillors will generally be mindful that as further work is taken on it will become increasingly difficult for the required service levels to be met.

Council's budget is framed around not increasing the general rate above the approved rate pegging limit and secondly, the requirement to have nil or limited impact on the service levels currently provided to the community.

Councillors should also be aware that Council is continually being requested to increase service levels in rural areas and at present there is no corresponding rate increase available to offset these increased costs.



## Section 356 Donations

ORGANISATION	\$
Bathurst AH & P Association	8,244
Monkey Hill UHF Repeater Association Inc	1,000
Bathurst Sports Awards (2BS)	5,000
Macquarie Philharmonia Inc.	2,000
Sofala & District A&HP	350
Sofala Progress Association	2,000
The Neighbourhood Centre (formerly BINC)	900
Bathurst City Colts Sporting Club Inc.	7,210
Bathurst City & RSL Band Association Inc.	5,000
Evans Art Council Inc.	3,000
Lions Club of Bathurst Inc	2,000
CSU Foundation - Gordon Bullock Scholarship	3,000
CSU Foundation - Other Scholarship	5,000
Bathurst District Sport & Recreation Council (BDSRC) Sporting Association Grants	20,000
Western Region Academy of Sport Inc. (WRAS)	2,647
Western Sydney University	10,000
Mt Panorama Fees Waived	30,000
BMEC - Mitchell Conservatorium	7,000
BMEC - Eisteddfod	30,000
BMEC Community Use Subsidy	9,000
BMEC Youth Council	2,000
BMEC Combined Pensioners & Superannuants	11,000
Russell Street road closures	10,000
Festival of Bells	1,000
Country Women's Association of NSW - Central Western Group (CWA)	300
Bathurst Men's Shed Incorporated	500
Bathurst Seymour Centre Inc.	1,500
Bathurst Filipino Australian Community Inc	300
Lifeline Central West	2,500
Bathurst Refugee Support Group Inc. (BRSG)	2,000
The Friends of the Bathurst War Memorial Carillon Inc	1,000
Sydney International Piano Competition	2,000
Bathurst Gardener's Club Inc.	500
Country Women's Association of NSW	1,000
Bathurst Remembers t/a Communications and Resources Project (CARP) Inc.	1,000
St Vincent de Paul - Assumption Conference	1,000
Carillon Theatrical Society	5,000
Quota Bathurst Inc	1,500
Edgell Jog Committee	3,000
Miscellaneous	20,355
Total	<u>220,806</u>

	<u>Budget</u>
<u>Other community support included in the Budget:</u>	<u>2023</u>
Boundary Road Nature Corridor	13,326
Main Street Improvement Fund	50,000



Local Heritage Fund	55,000
Village Improvement Program	20,000
Village Events Program	40,000
Disability Access Fund	15,000
Arts Out West contribution	28,038
CBD CCTV program	10,000
<b>Total</b>	<b>231,364</b>

#### Forecast Market Rental Subsidies

Note: These are forecast only as lease renewals are subject to market forces

NAME OF TENANT	LOCATION	Estimat ed Rent PA	Estimat ed Market Rent	Rental Subsidy \$
Mitchell Conservatorium	Machattie Park Cottage	575	17,569	16,994
Central Tablelands Woodcraft Inc	Learmonth Park	603	16,349	15,746
Community Opportunity Shop Inc	8 Lions Club Drive	1,150	21,798	20,648
Community Opportunity Shop Inc	Veggie Patch Church Lane	1	16,349	16,348
Air Services Australia	Aerodrome - Communication	1	19,617	19,616
Taxi Cabs of Bathurst Co-operative Society Ltd	Communication tower	1,341	19,617	18,276
Master Communications & Electronics Pty Ltd	Communication tower	4,661	19,617	14,956
Bathurst City & RSL Band Association	Walmer Park	239	21,798	21,559
Bathurst Lions Club Inc	Short St	1	16,349	16,348
Evans Arts Council Inc	Lee Street	500	5,450	4,950
Bathurst District Historical Society Inc	Mitre Street	1	10,900	10,899
Bathurst District Historical Society Inc	16 Stanley Street	1	10,900	10,899
Bathurst Meals on Wheels Inc	4 Watt Drive	1	54,483	54,482
Department of Defence (Air Cadets)	Aerodrome - Lot 25	91	13,989	13,898
Department of Defence (Air Cadets)	Aerodrome - Lot 36	91	40,402	40,311
				<b>295,930</b>

In total, Council will be providing more than \$748,000 to outside organisations beyond its own Operational requirements.

#### Mayor and Councillor Remuneration

The Local Government Remuneration Tribunal is required to make a determination by no later than 1 May each year and make a report to the Minister within 7 days of making that determination. The Report is to be published in the Government Gazette and also laid before each House of Parliament. The determination for this year has not yet been received but an increase based on the increase received last year has been allowed for.

Council has resolved that in accordance with Section 241 of the Act, Council will fix the annual fee paid to Councillors to the maximum determination made by the Remuneration Tribunal for the category Regional Centre.

#### Organisation Structure



The organisation structure is based on:

- Facilitating an organisation structure that will meet the current and future needs of Council and the community;
- Ensuring stability and certainty within the organisation;
- Delivering an efficient, sustainable ongoing structure;
- Providing improved outcomes for the citizens of the area ensuring properly delivered services.

The existing organisation structure has been reviewed during the planning process and consists of the General Manager and the following Department structure:

- Corporate Services & Finance
- Engineering Services
- Environmental, Planning & Building Services
- Cultural & Community Services

The organisation structure and associated functions are as follows:

Each of the Departments has a Director appointed who is "senior staff" in accordance with Section 332 of the Local Government Act.

#### Director Corporate Services & Finance

Payroll, Administration, Governance, Stores/Purchasing, Information Services, Geographic Information System, Records, Human Resources, Risk Management/Insurance, Rates, Creditors/debtors, Business Papers, Government Information (Public Access), Public Interest Disclosures, Work, Health & Safety, Internal Audit, Annual Report, Delivery & Operational Plan, Financial Management, Committee Secretariat, Switchboard, Customer Request Management System, Customer Service, State Emergency Service, Rural Fire Service, Emergency Management, Marketing, Property Development & Management, Mount Panorama Business/Conferencing & Events, Sister City, Corporate Communications.

#### Director Engineering Services

Water, Sewer, Waste & Recycling Collection, Waste Management Centre, Parks & Gardens, Manning Aquatic Centre, Depot, Plant (Workshop), Floodplain Management, Mount Panorama Operations, Maintenance (roads, bridges, kerb & guttering), Construction (roads, bridges), Contract Management, Design Works, Disaster Planning & Response, Aerodrome, Asset Management, Project Management, Forward Planning: Environment, Recreation & Infrastructure, Rural Works, Indoor Sports Stadium, Tennis Courts, Netball Courts, Bathurst Bike Park, Traffic Management, Buildings Maintenance, Subdivision Design & Construction, Vegetation Management Plan, Cemeteries, Drainage/Stormwater, Private Works.

#### Director Environmental, Planning & Building Services

Land Use Planning, Environmental Planning, Building Control, Health, Pollution Control, Development Control & Applications, Parking Rangers, Stock Impounding, Heritage & Conservation, Regulatory Functions, Animal Control, Companion Animals, Food/Health Inspections, State of Environment, Septic Tanks, Strategic Planning, Subdivision Planning, Section 94 Contributions, Plumbing & Drainage, Environmental Management, Contamination, Economic Development, Sustainability.

#### Director Cultural & Community Services

Art Gallery, Library, Chifley Home and Education Centre, Australian Fossil & Mineral Museum - home of the Somerville Collection, Bathurst Memorial Entertainment Centre, Scallywags Childcare, Family Day Care, Vacation Care, Community Services, Cultural Planning, Access and Inclusion, Community Social and Strategic Planning, Community Development, Historical Society, Youth Council, Community Safety, Community Facilities,



Community Halls / Groups: Eglinton, Raglan & Perthville, Community Organisations: Rockley, Hill End, Sofala, Eglinton, Wattle Flat, Trunkey Creek, The Neighbourhood Centre, Home & Community Care Centre & Kelso Community Hub, Club Grants, Community Interagencies, Senior Citizens Centre, National Motor Racing Museum, Bathurst Rail Museum, Tourism, Destination Management, Central Tablelands Collection Facility.

## **FINANCIAL IMPLICATIONS:**

Nil at this stage.

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

### **Objective 6: Community leadership and collaboration.**

- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.
- Strategy 6.4 Meet legislative and compliance requirements.
- Strategy 6.6 Manage our money and our assets to be sustainable now and into the future.
- Strategy 6.8 Implement opportunities for organisational improvement.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

02 **Consult** - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

1. Draft Delivery Program 2022-2026 and Operational Plan 2022-2023 [9.3.6.1 - 54 pages]
2. Draft Revenue Policy 2022-2023 [9.3.6.2 - 55 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-132**

**MOVED: Cr K Burke SECONDED: Cr A Smith**

### **RESOLVED:**

That Council

- a. place the Draft Bathurst Delivery Program 2022-2026 and Operational Plan 2022/2023, the Revenue Policy including the Fees and Charges for 2022/2023 , on public exhibition and receive submissions until 20 May 2022,
- b. resolve to fix the annual fee paid to Councillors to the maximum determination made by the Remuneration Tribunal for the category



Regional Centre,

- c. resolve that Councillors be paid superannuation at the prevailing rate, and
- d. note the organisation structure as detailed in the report.



## 9.4 DIRECTOR ENGINEERING SERVICES' REPORT

### 9.4.1 WATER SUPPLY UPDATE

**File No:** 32.00017

#### **RECOMMENDATION:**

That the information be noted.

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#### **REPORT:**

Council at its Ordinary Meeting held 16 March 2022 requested a monthly report regarding storage levels within Council's water supply dams.

As at Tuesday 5 April, Chifley Dam was at 99.6%, with 29,913ML in storage. Refer **attachment 1** Chifley Dam graph for the previous levels.

Water release from Chifley Dam is currently 4.35ML/day.

Winburndale Dam was at 55.2% on Tuesday 5 April. The level is down 3.75m from the crest level and there is 918ML in storage.

The Winburndale dam water level is held artificially low to enable the dam wall strengthening project to be carried out in a safe manner noting that work is taking place on the dam crest. This allows for a buffer should a rain event occur that would otherwise cause the dam to overtop, thus placing personnel and equipment at risk.

In Bathurst, the estimated residential water usage varies from week to week but remains around the target for Level 5 water restrictions. Over the last 4 week, the average estimated residential water usage is 12.3ML/d. Refer **attachment 2** for details of consumption.

Further data relating to Council's water storage and consumption is available on Council's website.

#### **FINANCIAL IMPLICATIONS:**

Nil

#### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 3: Environmental stewardship.**



Strategy 3.2     Protect the City's water supply.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1.     Chifley Dam monthly graph [9.4.1.1 - 1 page]
2.     Estimated residential water usage graph [9.4.1.2 - 1 page]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-133**

**MOVED: Cr I North   SECONDED: Cr A Smith**

## **RESOLVED:**

That the information be noted.



## **9.4.2**

## **CSU ENGINEERING CADET PROGRAM UPDATE**

**File No:** 18.00051

### **RECOMMENDATION:**

That the information be noted.

---

### **REPORT:**

Due to skills shortages across regional areas, Council had previously experienced difficulties attracting and retaining civil engineers with suitable qualifications and experience. To overcome this difficulty, Council implemented a successful engineering cadet program, whereby recent high school graduates were recruited and trained in-house.

The program included cadets obtaining qualifications relevant to the role via distance education, with Council agreeing to fund a three-year Bachelor of Engineering Technology degree. Council also offered the extension of this to complete a four-year Bachelor of Engineering degree. Given these studies were undertaken part-time as correspondence courses while cadets worked full-time, they resulted in six and eight year cadet programs respectively for the relevant studies to be completed. During this time, cadets would provide engineering survey, design and project management services to Council.

From the commencement of this program in 2009 to 2016, seven cadets were enrolled in this program. A number of these later commenced in more senior roles within Council following graduation, in which they are still employed, while others used this experience to continue to work in engineering roles within Regional NSW. The overall approach taken at that time was regarded as successful in attracting and retaining engineering talent within the region.

A key issue with training engineers in house has been the means of ensuring educational requirements are met. At the time, the only feasible options for this were the University of New England and the University of Southern Queensland, both of which offered distance mode courses with intensive study periods. The requirements of long-distance study, including travel to and from campus locations as far away as Queensland for the intensive courses, made it difficult for cadets to balance work and study. For some time, Council held discussions with Charles Sturt University (CSU) regarding the establishment of an engineering faculty on campus in Bathurst, as Council regarded this as a preferable alternative to distance study.

In 2014, CSU announced that from 2016, a degree in engineering would be offered on campus. A key difference between the proposed CSU program and many engineering courses offered elsewhere was the focus on engineering industry practice for cadets during their studies. Starting from the middle of their second year of studies, cadets commence full-time employment in the industry with a number of industry partners, and continue working in the engineering field for the rest of their degree. Their employment



takes the form of a series of paid internships, whereby they commence as a junior cadet engineer, then progress as they grow in competency and undertake further placements over several years. Cadets can either work solely with the one organisation from beginning to end, enabling them to consolidate specific skill sets and knowledge areas, or they can rotate through different industry partners, so that they gain wider experience within the civil engineering discipline without a specific focus.

Bathurst Regional Council entered into a Memorandum Of Understanding (MOU) to support the program in its initial stages, including taking a junior cadet in the first year, and an additional cadet each year for the next two years. This had the necessary impact of halting any further intake of cadets into Council's pre-existing in-house cadet program.

In 2017, Council received its first CSU cadet. This cadet remained with Council for the duration of his studies, has since completed his degree, and is now employed as a permanent staff member within Technical Services. Council has since hosted an additional seven cadets under this program. While some are still working for Council while completing their degrees, others are now working for other Councils, Transport for NSW, or for local engineering consultants.

Council is currently in the process of finalising cadets to work with Council across the 2022-23 financial year, with roles ranging across four cadet levels to reflect their progress through their degree. The process within Council is tailored to assist cadets to learn the basics of civil engineering survey and design in their first year in the industry, and then develop additional skills across each subsequent year so that by the end of their final placement, they have a strong grasp of civil design and project management.

Given the success of this program to date, and the additional benefit to Council from the contributions of our current cadets, it is anticipated that ongoing involvement in this program will assist Council's engineering department to continue providing a high level of service to the community, and reduce the impact of skills shortages in the engineering sector.

## **FINANCIAL IMPLICATIONS:**

Nil

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

### **Objective 1: Our sense of place and identity.**

Strategy 1.5 Promote good design in the built environment.

### **Objective 2: A smart and vibrant economy.**

Strategy 2.1 Support local business and industry.

Strategy 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development.

### **Objective 4: Enabling sustainable growth.**



Strategy 4.3      Ensure services, facilities and infrastructure meet the changing needs of our region.

**Objective 5:    Community health, safety and well being.**

Strategy 5.5      Plan and respond to demographic changes in the community.

**Objective 6:    Community leadership and collaboration.**

Strategy 6.2      Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently.

Strategy 6.7      Invest in our people.

**COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

**ATTACHMENTS:**

Nil

**MINUTE**

**RESOLUTION NUMBER: ORD2022-134**

**MOVED: Cr I North    SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.



**9.4.3 EASEMENT FOR HV OVERHEAD POWERLINES  
OVER LOT 2 IN DP1238142 - TORONTO  
STREET, KELSO**

**File No: 22.09073**

**RECOMMENDATION:**

That Council

- a) Approve the creation of two 15m wide easements for HV Overhead Powerlines on Lot 2 in DP1238142 – Toronto Street, Kelso; and
- b) Authorise the General Manager to sign the necessary documentation as Council's representative.

---

**REPORT:**

Development approval has been granted for the construction of a machinery shed at 50 Whyalla Circuit, Kelso. A site plan of the proposed shed is shown in **attachment 1** and the general locality shown in **attachment 2**.

Proposed operations at the site necessitates the need for an electricity connection which will involve the installation of a new padmount substation on the proponent's land. In addition, it is proposed that an 11kV overhead powerline be constructed across Lot 2 in DP1238142 at two locations.

As Lot 2 in DP1238142 is Council owned operational land, the proponent has written to Council seeking its consent to the creation of two 15m wide easements for HV overhead powerlines. The length of each easement is 37m and 39m respectively and is in an area of the property that is considered to have no further development potential due to the land being impacted by a watercourse. A copy of the proposed electricity design and associated easements is shown in **attachment 3**.

A valuation report, prepared by a registered valuation firm has been provided by the proponent and an offer of \$1,900.00 compensation for the easement rights has been made. The offer has been assessed and is considered reasonable.

It is therefore recommended that Council:

- a) Approve the creation of two 15m wide easements for HV Overhead Powerlines on Lot 2 in DP1238142 – Toronto Street, Kelso; and
- b) Authorise the General Manager to sign the necessary documentation as Council's representative.



## **FINANCIAL IMPLICATIONS:**

If the recommendation is adopted then Council will receive \$1,900.00 compensation for the easement rights.

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

**Objective 2: A smart and vibrant economy.**

Strategy 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development.

**Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. Council report - attachment 1 [9.4.3.1 - 1 page]
2. Council report - attachment 2 [9.4.3.2 - 1 page]
3. Council report - attachment 3 [9.4.3.3 - 1 page]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-135**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

## **RESOLVED:**

That Council

- a) Approve the creation of two 15m wide easements for HV Overhead Powerlines on Lot 2 in DP1238142 – Toronto Street, Kelso; and
- b) Authorise the General Manager to sign the necessary documentation as Council's representative.



## 9.4.4 COUNCIL SPORTING ASSOCIATION GRANTS PROGRAM ROUND 2

**File No: 18.00279-05**

### RECOMMENDATION:

That Council:-

Approve the following sporting grant applications totaling \$4,980.60 for the 2021/2022 financial year, in accordance with the recommendations contained within the Director Engineering Services' report;

ORGANISATION	PROPOSED GRANT
Bathurst City Colts Sporting Club	\$1,597.00
Bathurst City Croquet Club	\$3,383.60

---

### REPORT:

Council would be aware that after this year's round of the Council's Sporting Grants scheme a request was made from the Bathurst District Sport and Recreation Council for a second round of grants to be made available to the sporting community utilising the remaining funding available. The request was made due to ongoing financial difficulties still being experienced by COVID.

Notices for Council's second round of 2021/22 Sporting grant program were advertised in the Western Advocate in January and February 2022, as well as on Council's Website. In addition, the Bathurst Sport and Recreation Council were also advised during the advertising period.

At the close of advertising, a total of two (2) applications from local sporting groups were received with a total combined amount requested of \$4,980.60. Applications received were submitted by the following organisations:

Bathurst City Colts Sporting Club  
Bathurst Croquet Club

The applications from the above organisations were forwarded to the Bathurst District Sport & Recreation Council (BDSRC) for their comment. The BDSRC have reviewed the applications and have endorsed the funding for the two applicants. A copy of their email is shown at **attachment 1**.

### Recommendation

It is therefore recommended that Council approve the following round 2 sporting grants for the 2021/2022 financial year to date totaling \$4,980.60: -

Table 1 (below) highlights the sporting groups that have applied, the proposed projects, the grant amounts sought, the funding amount recommended by BDSRC and staff recommendations to Council in respect to grant funding.



**TABLE 1.**

<b>Sporting group</b>	<b>Project description</b>	<b>Amount requested from applicants</b>	<b>BDSRC proposed grant amount</b>	<b>RECOMMENDED GRANT AMOUNT</b>
Bathurst City Colts Sporting Club	Grounds maintenance equipment	\$1,597.00	\$1,597.00	\$1,597.00
Bathurst City Croquet Club	Reverse cycle air conditioner	\$3,383.60	\$3,383.60	\$3,383.60
<b>TOTALS</b>		<b>\$4,980.60</b>	<b>\$4,980.60</b>	<b>\$4,980.60</b>

**FINANCIAL IMPLICATIONS:**

Council has included sufficient funds available within its 2021/2022 Management Plan for round 2 of the Sporting Grants Program. A total of \$12,918.00 was approved within the round 1 grants leaving \$7,082.00 remaining.

**BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:****Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

**Objective 5: Community health, safety and well being.**

Strategy 5.1 Provide opportunities for our community to be healthy and active.

Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.

**Objective 6: Community leadership and collaboration.**

Strategy 6.7 Invest in our people.

**COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

**ATTACHMENTS:**

1. Attachment [9.4.4.1 - 1 page]



## **MINUTE**

**RESOLUTION NUMBER: ORD2022-136**

**MOVED: Cr I North SECONDED: Cr K Burke**

### **RESOLVED:**

That Council:

Approve the following sporting grant applications totalling \$4,980.60 for the 2021/2022 financial year, in accordance with the recommendations contained within the Director Engineering Services' report:

<b>Organisation</b>	<b>Proposed Grant</b>
Bathurst City Colts Sporting Club	\$1,597.00
Bathurst City Croquet Club	\$3,383.60



## **9.5 DIRECTOR CULTURAL AND COMMUNITY SERVICES' REPORT**

### **9.5.1 DRAFT BATHURST REGIONAL COUNCIL DISABILITY INCLUSION ACTION PLAN 2022- 2027**

**File No: 09.00051**

#### **RECOMMENDATION:**

That Council:

- (a) Endorse the placement of the draft Bathurst Regional Council Disability Inclusion Action Plan 2022–2027 on public exhibition for the statutory 28-day period and receive submissions from 22 April 2022 to 23 May 2022.
- (b) Prepare a further report following the conclusion of the public exhibition period, in preparation to adopt the Bathurst Regional Council Disability Inclusion Action Plan 2022–2027.

---

#### **REPORT:**

The Bathurst Regional Council Disability Inclusion Action Plan (DIAP) 2022 – 2027 aims to enable people living with disability to have greater access to the built environment and Council information, services, facilities and events.

The DIAP has been developed in line with the NSW Disability Inclusion Act 2014 and is underpinned by the principles which support the United Nations Convention on the Rights of Persons with Disabilities (2006).

The Plan outlines the strategies and actions Council will undertake over the next five years, building on the work undertaken during the inaugural DIAP 2017 – 2021.

Councillors should note that the draft DIAP references the existing CSP. The new CSP is currently on public exhibition. Following the public exhibition period for the draft DIAP, the document will go back to Council for adoption and at this time will align with the strategies in the new CSP (to be adopted in June).

The Plan encompasses the priority areas;

- Developing positive attitudes and behaviours
- Supporting access to meaningful employment
- Creating livable communities
- Improving access to mainstream services through improved systems and processes.

The Plan has been developed through consultation with stakeholders and community members. Consultation involved a number of methods in order to engage key target groups, including:



- Online survey – Your Say Bathurst
- Easy Read version of the Survey
- Stakeholder Focus Group
- Engagement with Council Managers

A Community Focus Group was postponed due to COVID-19.

A copy of the draft Disability Inclusion Action Plan 2022–2027 is provided at **attachment 1.**

An Easy English version of the draft Disability Inclusion Action Plan 2022–2027 will also be made available during the public exhibition period and once the Plan is adopted.

## **CONCLUSION:**

Council will place the draft document on public exhibition for 28 days during which public submissions may be lodged.

At the conclusion of the public exhibition period any community feedback will be considered prior to submitting to the Disability Inclusion Action Plan for Council adoption.

## **FINANCIAL IMPLICATIONS:**

Funding for this item is contained within existing budgets

## **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

### **Objective 1: Our sense of place and identity.**

- Strategy 1.3 Enhance the cultural vitality of the region.
- Strategy 1.5 Promote good design in the built environment.

### **Objective 5: Community health, safety and well being.**

- Strategy 5.1 Provide opportunities for our community to be healthy and active.
- Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.
- Strategy 5.3 Help build resilient, inclusive communities.
- Strategy 5.4 Make our public places safe and welcoming.
- Strategy 5.5 Plan and respond to demographic changes in the community.

### **Objective 6: Community leadership and collaboration.**

- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.
- Strategy 6.3 Advocate for our community.
- Strategy 6.4 Meet legislative and compliance requirements.
- Strategy 6.5 Be open and fair in our decisions and our dealings with people.
- Strategy 6.6 Manage our money and our assets to be sustainable now and into the future.
- Strategy 6.7 Invest in our people.



Strategy 6.8     Implement opportunities for organisational improvement.

## **COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

1.     BRC DRAFT DIAP Booklet 2022-2027 [**9.5.1.1** - 30 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-137**

**MOVED: Cr J Jennings   SECONDED: Cr M Hogan**

## **RESOLVED:**

That Council:

- (a)     Endorse the placement of the draft Bathurst Regional Council Disability Inclusion Action Plan 2022–2027 on public exhibition for the statutory 28-day period and receive submissions from 22 April 2022 to 23 May 2022.
- (b)     Prepare a further report following the conclusion of the public exhibition period, in preparation to adopt the Bathurst Regional Council Disability Inclusion Action Plan 2022–2027.



## 9.5.2

## BATHURST COMMUNITY SAFETY PLAN 2019-2023 - PROGRESS REPORT, APRIL 2022

**File No:** 20.00179

### RECOMMENDATION:

That the information be noted.

---

### REPORT:

#### Bathurst Community Safety Plan 2019-2023

A number of campaigns have been delivered by the Bathurst Regional Community Safety Committee to address the actions within the Bathurst Community Safety Plan 2019-2023.

Key initiatives of the Plan to date include;

- Installation of six Red Benches as part of the Red Bench Campaign, an initiative of the Red Rose Foundation to create a permanent reminder that domestic violence occurs in all communities. Red Benches have been installed in Kings Parade, Machattie Park, Haymarket Reserve, Kelso Community Hub, Bathurst Adventure Playground and the corner of Bentinck and Keppel Streets.
- The Avoid Being Scammed – Tips for Seniors campaign included development and distribution of tip sheets and notepads throughout the community.
- Material was distributed to mark Scams Awareness Week to raise awareness of different types of scams.
- To address steal from motor vehicle offences, the Don't Be Next campaign was developed to remind residents to Lock It, Secure It, Hide It and Report It. The project included a comprehensive social media campaign and advertising in shopping centres.
- Council received a NSW Crime Prevention Grant valued at \$39,544 to address residential break and enter. The campaign included TV, cinema and radio advertising, development of printed material, home security workshops and a social media campaign.
- To mark Neighbourhood Day, a tri fold brochure was distributed to all households in the Bathurst region encouraging neighbours to connect with each other to increase the safety of their neighbourhood. The Bathurst Regional Youth Council also attended Children's Services to create artwork for the children to gift to their neighbours.
- A fraud presentation was hosted as part of Seniors Festival 2022 in conjunction with the NSW Police Fraud Squad.

The Bathurst Regional Community Safety Committee will continue to prioritise actions within the Plan. Projects to be undertaken will address the focus crimes outlined in the Bathurst Community Safety Plan 2019–2023:



- Malicious damage to property
- Steal from motor vehicle
- Non-domestic violence related assault
- Break and enter dwelling
- Fraud
- Drug related offences

#### Draft Bathurst Community Safety Plan 2023–2027

A project plan has been drafted which will see the Bathurst Community Safety Plan 2023–2027 developed from July 2022 through until June 2023.

It is anticipated that public consultation will occur in September 2022 with a draft plan available for public exhibition in April 2023.

### **FINANCIAL IMPLICATIONS:**

Funding for this item is contained within existing budgets

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

#### **Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

#### **Objective 5: Community health, safety and well being.**

Strategy 5.1 Provide opportunities for our community to be healthy and active.

Strategy 5.4 Make our public places safe and welcoming.

#### **Objective 6: Community leadership and collaboration.**

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

Nil

### **MINUTE**



**RESOLUTION NUMBER: ORD2022-138**

**MOVED: Cr B Fry SECONDED: Cr A Smith**

**RESOLVED:**

That the information be noted.



## **10 REPORTS OF OTHER COMMITTEES**

### **10.1 TRAFFIC COMMITTEE REPORT - 5 APRIL 2022**

**File No: 07.00006**

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-139**

**MOVED: Cr W Aubin SECONDED: Cr K Burke**

#### **RESOLVED:**

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 5 April 2022 be adopted.

## **11 NOTICES OF MOTION**

### **11.1 COUNCILLOR JENNINGS - SUPPORT FOR THE ALGA & BYPASS**

**File No: 11.00004-06**

#### **RECOMMENDATION:**

Given the next federal election is to be held in May 2022, Bathurst Regional Council supports the Australian Local Government Association (ALGA) in calling for the next Australian Government “not to leave local communities behind” especially financially.

Bathurst Regional Council supports ALGA’s seventeen national funding priorities (ref1), with emphasis on items #1, #2, #3, #4, and #5 which pertain to re-instating and improving federal funding of local roads and critical infrastructure.

Council will support ALGA’s priorities by writing to federal member (Mr Gee) and all Calare candidates prior to the federal election, with copy to shadow and federal minister for local government, stating the following:

- a) Identify priority Bathurst Regional Council road and infrastructure projects that could and would be progressed with the additional financial assistance sought by ALGA (items #1-5) and including a Bathurst Bypass;
- b) Seek funding commitments from all Calare candidates for these priority Bathurst Regional Council projects through their support for ALGA’s funding priorities.



In addition, regarding a Bathurst Bypass, Bathurst Regional Council is to:

- c. Apply to Infrastructure Australia for the Bathurst Bypass as a new national priority list item given the major transport productivity gains and local congestion improvements it can deliver;
- d. Contact relevant stakeholders of a Bathurst Bypass, including freight and trucking sectors, and inviting them to support Bathurst Regional Council's application to Infrastructure Australia for a Bathurst Bypass.

---

## REPORT:

Councillor Jennings has submitted the following Notice of Motion in relation to support for the Australia Local Government Association and Bypass.

*Given the next federal election is to be held in May 2022, Bathurst Regional Council supports the Australian Local Government Association (ALGA) in calling for the next Australian Government "not to leave local communities behind" especially financially.*

*Bathurst Regional Council supports ALGA's seventeen national funding priorities (ref1), with emphasis on items #1, #2, #3, #4, and #5 which pertain to re-instating and improving federal funding of local roads and critical infrastructure.*

*Council will support ALGA's priorities by writing to federal member (Mr Gee) and all Calare candidates prior to the federal election, with copy to shadow and federal minister for local government, stating the following:*

- a. *Identify priority Bathurst Regional Council road and infrastructure projects that could and would be progressed with the additional financial assistance sought by ALGA (items #1-5) and including a Bathurst Bypass;*
- b. *Seek funding commitments from all Calare candidates for these priority Bathurst Regional Council projects through their support for ALGA's funding priorities.*

*In addition, regarding a Bathurst Bypass, Bathurst Regional Council is to:*

- c. *Applying to Infrastructure Australia for the Bathurst Bypass as a new national priority list item given the major transport productivity gains and local congestion improvements it can deliver;*
- d. *Contact relevant stakeholders of a Bathurst Bypass, including freight and trucking sectors, and inviting them to support Bathurst Regional Council's application to Infrastructure Australia for a Bathurst Bypass.*

## MINUTE

**RESOLUTION NUMBER: ORD2022-140**

**MOVED: Cr J Jennings    SECONDED: Cr K Burke**



**RESOLVED:**

1. That Council supports ALGA's seventeen national funding priorities, with emphasis on items #1, #2, #3, #4, and #5 which pertain to re-instating and improving federal funding of local roads and critical infrastructure.
2. That Council support ALGA's priorities by writing to federal member (Mr Gee) and all Calare candidates prior to the federal election, with copy to shadow and federal minister for local government, stating the following:
  - a) Identify priority road and infrastructure projects that could and would be progressed with the additional financial assistance sought by ALGA (items #1-5) and including a Bathurst Bypass;
  - b) Seek funding commitments from all Calare candidates for these priority Council projects through their support for ALGA's funding priorities.
  - c) Apply to Infrastructure Australia for the Bathurst Bypass as a new national priority list item given the major transport productivity gains and local congestion improvements it can deliver; and
  - d) Contact relevant stakeholders of a Bathurst Bypass, including freight and trucking sectors, and inviting them to support Bathurst Regional Council's application to Infrastructure Australia for a Bathurst Bypass.



## 11.2

## COUNCILLOR JENNINGS - MOUNT PANORAMA 2ND CIRCUIT

**File No:** 11.00004

### RECOMMENDATION:

That Council:

1. Take urgent action to save the Second Circuit project by making it a two-staged development, beginning with the construction of a world class kart track with access road on Council land currently marked "4WD Experience Centre & Skidpan" on APEX design.

Specifically, this requires:

- a. Council to direct the General Manager to investigate the viability of constructing the kart track with access road as part of Stage 1 of the Second Circuit project, including state and federal government agreement to utilise \$22.5m of already won grant monies that are currently at "high" risk of being lost.
- b. If item a. is deemed viable, Council is to allocate full funding for the kart track with access road as Stage 1 of the Second Circuit facility utilising \$22.5m grants within 2 years or as soon as possible.

---

### REPORT:

Councillor Jennings has submitted the following Notice of Motion in relation to the Second Circuit.

*That Council:*

1. *Take urgent action to save the Second Circuit project by making it a two-staged development, beginning with the construction of a world class kart track with access road on Council land currently marked "4WD Experience Centre & Skidpan" on APEX design.*

*Specifically this requires:*

- a. *Council to direct the General Manager to investigate the viability of constructing the kart track with access road as part of Stage 1 of the Second Circuit project, including state and federal government agreement to utilise \$22.5m of already won grant monies that are currently at 'high' risk of being lost.*
- b. *If item a. is deemed viable, Council is to allocate full funding for the kart track with access road as Stage 1 of the Second Circuit facility utilising \$22.5m grants within 2 years or as soon as possible.*

### MINUTE

**RESOLUTION NUMBER: ORD2022-141**



**MOVED: Cr J Jennings   SECONDED: Cr K Burke**

**MOVED:**

That Council:

1. Take urgent action to save the Second Circuit project by making it a two-staged development, beginning with the construction of a world class kart track with access road on Council land currently marked “4WD Experience Centre & Skidpan” on APEX design.

Specifically, this requires:

- a. Council to direct the General Manager to investigate the viability of constructing the kart track with access road as part of Stage 1 of the Second Circuit project, including state and federal government agreement to utilise \$22.5m of already won grant monies that are currently at “high” risk of being lost.
- b. If item a. is deemed viable, Council is to allocate full funding for the kart track with access road as Stage 1 of the Second Circuit facility utilising \$22.5m grants within 2 years or as soon as possible.

**The MOTION was PUT and LOST**



## 11.3

## COUNCILLOR JENNINGS - EXISTING GO-KART LOAN

**File No:** 11.00004

### RECOMMENDATION:

That Council:

Transfer the existing kart loan of \$2.25m to a wider variety of projects that benefit the Bathurst economy and community more broadly.

This wider variety of projects is to be determined by Council Working Party to meet the Annual Operating Plan 2022-23 timeframe, preferably in May 2022.

The Council Working Party is to call for project suggestions from all councillors and then meet to allocate the available funding (up to \$2.25m).

By way of example, alternative projects could include (but not limited to or in any order):

- Reducing local traffic congestion, e.g. Hereford Street & roundabout upgrades,
- Support healthy and active city for kids, e.g. design of new pump track,
- Increasing car parking in Bathurst, e.g. double lower Keppel Street parking,
- Progress new infrastructure e.g. new river crossing and Bathurst Bypass studies,
- Supporting local communities, e.g. expand Raglan's recreational infrastructure, Support Tyres Park upgrade for the future of thoroughbred racing,
- Activating village precincts, e.g. Perthville Old Church upgrade to catering lease,
- Improve parks and gardens, e.g. McPhillamy Park Masterplan in Annual Operating Plan 2022-23,
- Improve accessibility issues, e.g. new adult change-table facility in Bathurst,
- Support local & CBD heritage, e.g. complete Old School Masters House,
- Support local businesses, e.g. boost the Buy Local program,
- Better fund many Section 356 applications; and notably
- Fund establishment costs for relocating the kart track DA to the Second Circuit and consider compensation for Bathurst Kart Club for sunk DA costs.

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### REPORT:

Councillor Jennings has submitted the following Notice of Motion in relation to the existing kart loan.

*That Council:*

*Transfer the existing kart loan of \$2.25m to the wider variety of projects that benefit the Bathurst economy and community more broadly.*

*This wider variety of projects to be determined by Council working party to meet the Annual Operating Plan 2022-23 timeframe, preferably in May 2022.*

*The Council Working Party is to call for project suggestions from all councillors and then meet to allocate the available funding (up to \$2.25m).*



*By way of example, alternative projects could include (but not limited to or in any order):*

- *Reducing local traffic congestion, e.g. Hereford Street & roundabout upgrades,*
- *Support healthy and active city for kids, e.g. design of new pump track,*
- *Increasing car parking in Bathurst, e.g. double lower Keppel Street parking,*
- *Progress new infrastructure e.g. new river crossing and Bathurst Bypass studies,*
- *Supporting local communities, e.g. expand Raglan's recreational infrastructure,*
- *Support Tyres Park upgrade for the future of thoroughbred racing,*
- *Activating village precincts, e.g. Perthville Old Church upgrade to catering lease,*
- *Improve parks and gardens, e.g. McPhillamy Park Masterplan in Annual Operating Plan 2022-23,*
- *Improve accessibility issues, e.g. new adult change-table facility in Bathurst,*
- *Support local & CBD heritage, e.g. complete Old School Masters House,*
- *Support local businesses, e.g. boost the Buy Local program,*
- *Better fund many Section 356 applications; and notably*
- *Fund establishment costs for relocating the kart track DA to the Second Circuit and consider compensation for Bathurst Kart Club for sunk DA costs.*

## **MINUTE**

### **RESOLUTION NUMBER: ORD2022-146**

**MOVED: Cr J Jennings    SECONDED: Cr K Burke**

#### **MOVED:**

That Council:

Transfer the existing kart loan of \$2.25m to a wider variety of projects that benefit the Bathurst economy and community more broadly.

This wider variety of projects is to be determined by Council Working Party to meet the Annual Operating Plan 2022-23 timeframe, preferably in May 2022.

The Council Working Party is to call for project suggestions from all councillors and then meet to allocate the available funding (up to \$2.25m).

By way of example, alternative projects could include (but not limited to or in any order):

- Reducing local traffic congestion, e.g. Hereford Street & roundabout upgrades,
- Support healthy and active city for kids, e.g. design of new pump track,
- Increasing car parking in Bathurst, e.g. double lower Keppel Street parking,
- Progress new infrastructure e.g. new river crossing and Bathurst Bypass studies,
- Supporting local communities, e.g. expand Raglan's recreational infrastructure,
- Support Tyres Park upgrade for the future of thoroughbred racing,
- Activating village precincts, e.g. Perthville Old Church upgrade to catering lease,
- Improve parks and gardens, e.g. McPhillamy Park Masterplan in Annual Operating



Plan 2022-23,

- Improve accessibility issues, e.g. new adult change-table facility in Bathurst,
- Support local & CBD heritage, e.g. complete Old School Masters House,
- Support local businesses, e.g. boost the Buy Local program,
- Better fund many Section 356 applications; and notably
- Fund establishment costs for relocating the kart track DA to the Second Circuit and consider compensation for Bathurst Kart Club for sunk DA costs.

**The MOTION was PUT and LOST**



## 12 RESCISSION MOTIONS

Nil

## 13 COUNCILLORS / DELEGATES REPORTS

### 13.1 MINUTES - COUNCILLORS MEETING WITH COMMUNITY GROUPS/ REPRESENTATIVES - 9 MARCH 2022

**File No:** 11.00019

#### RECOMMENDATION:

That the information be noted.

---

#### REPORT:

**Present:** Mayor Taylor, Cr Aubin, Cr Burke, Cr Fry (teams), Cr Hanger, Cr Hogan, Cr Jennings, Cr North, Cr Smith

**Apologies:** Nil

#### 1. Bathurst Thoroughbred Racing

**Michelle Tarpenning, Bernard Ryan, Don Pearce and Andrew Small**

- Gave presentation on proposed redevelopment of Tyers Park.
- Spoke to funding sought from Council.
- Holds 12 events p.a, this will likely increase with additional horses stabled.
- Funding has been received from State Government and RNSW
- Will put Bathurst into top tier of regional clubs.
- Noted prior commitments of Council to the project.
- DA nearly finalised for the project.
- Additional stables going into the facility.
- Return to the community on investment into the facility was discussed.

#### 2. Rex Airlines

**Warrick Lodge (Rex)**

- Presentation to Council on current and future operations
- REX operates across all States of Australia
- NSW operates to 18 communities including Bathurst, out of Sydney.
- Impact of Qantas operations notes.
- COVID impacts on passenger numbers noted, Bathurst Financial Year 19- 20,108: 1160 Financial year 2021
- Financial Year loss \$53 million 1<sup>st</sup> half of 2022 financial year.
- REX service out of Bathurst is not sustainable, in the current network climate.
- RANS has been extended to 30 June 2022, but is subject to funding continuing to be available.
- Sydney to Bathurst route has been extended to end of May 2022



- The landscape is changing in NSW. REX is talking to NSW Transport about need to look at structures regulations for regional air routes, to guarantee certainty.
- Bathurst service was loss making prior to COVID, average load factor is around 40% (just before COVID)

### **3. Bathurst Integrated Medical Centre Frank O'Halloran, Gary Zaurer, Bill Mackie, Peter Sargent, Matt Howard**

- Presentation on Proposal by BMIC
- Services are being locked in for the development, with leases being finalised.
- Project is nearly ready to go, gateway proposal has been lodged, and with Council to action.
- Noted group has been involved facilities – Albury & Orange.
- Bathurst Regional Council has been very thorough.
- Community consultation was commenced early on, in the process, has been positive.
- Looked outside CBD, but medical providers/ services didn't want to be located outside CBD.
- Carpark infrastructure noted up to 930 vehicles.
- Medical need 70 exclusive spaces in the car park.
- BMIC and RSL will be contributing to the car park.
- RSL noted car parking issues the club has.
- Current Bathurst Private hospital site future discussed.
- The BMIC will work in the CBD, not outside it. Also it will keep people in the CBD.
- Designing to 5 star rating (as need to meet medical standards)

### **FINANCIAL IMPLICATIONS:**

Nil

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

#### **Objective 2: A smart and vibrant economy.**

Strategy 2.1 Support local business and industry.

Strategy 2.3 Develop Bathurst as a Smart City.

#### **Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.



**ATTACHMENTS:**

Nil

**MINUTE**

**RESOLUTION NUMBER: ORD2022-143**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

**RESOLVED:**

That the information be noted.



## **13.2 MINUTES - BATHURST REGIONAL YOUTH COUNCIL - 22 MARCH 2022**

**File No: 11.00020**

### **RECOMMENDATION:**

That the information be noted.

---

### **REPORT:**

The Bathurst Regional Youth Council considered a number of items at their meeting held on Tuesday 22 March 2022, including the following:

- 2022 NSW Youth Conference feedback.
- Planning for Youth Week 2022 – Chase the Rainbow event to be held on Sunday 10 April 2022 at Morse Park.

The Minutes of the Youth Council Meeting held on Tuesday 22 March 2022 are **attached**.

### **FINANCIAL IMPLICATIONS:**

There are no financial implications resulting from this report.

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

#### **Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

#### **Objective 5: Community health, safety and well being.**

Strategy 5.1 Provide opportunities for our community to be healthy and active.

Strategy 5.4 Make our public places safe and welcoming.

#### **Objective 6: Community leadership and collaboration.**

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

1. Minutes 22 March 2022 [**13.2.1** - 4 pages]



**MINUTE**

**RESOLUTION NUMBER: ORD2022-144**

**MOVED: Cr I North SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.



### 13.3 MINUTES - COUNCLLORS MEETING WITH COMMUNITY GROUPS/ REPRESENTATIVES- 23 MARCH 2022

File No: 11.00019

#### RECOMMENDATION:

That the information be noted.

---

#### REPORT:

**Present:** Mayor, Cr Aubin (6.15pm), Cr Burke, Cr Fry, Cr J Jennings, Cr Hanger, Cr Hogan, Cr North, Cr Smith

##### 1. Lateral Events (5:30pm)

Mark Renshaw, Harrison (Harry) Carter – Event Manager, Florent Malezieux – Runs LeTape, Ryan Middleton

#### Cycling Event Proposal

- 6hrs around Mt Panorama
- Leveraging a Team Spirit
- Has been done before 1979 -100 laps of Mt Panorama
- 17 years old to mid 30's
- Provided an overview of the Cycling Economy in Australia
- Lateral Events operate in three different areas: Corporate Events, Theatre & Shows, and Sport Events.
- Bathurst Panorama Challenge 2023-2025 (March) – One day Sunday, race start 8:00am. Event Friday to Sunday.
- Track Closure – 8 to 10 hours.
- Spoke of economic return to the community.
- Support from Council
  1. Introductions
  2. Venue Hire (waiver and/or discount) – Corporate Suites & Race Control for ECC
  3. Waste Management
  4. Traffic Management
  5. Financial Support (Cash \$20- \$30k)
- Resident Escort Service available if a resident wishes to exist via the circuit.
- General Manager has requested copies of budgets for each year, noting Traffic Management is expensive
- Likely to be relying on Council long-term for support through the “in-kind” items.

##### 2. West Bathurst Pre School (6:10pm)

Vanessa Miller – Director, Kate Johnston – Teacher, Simon – Parent Representative

#### Community Parking in Wark Parade Windradyne



- Councillors to be provided with a copy of the slides
- Wark Parade is a narrow street, and experiences a high volume of thru traffic due to the retirement village
- Pre School onsite parking for staff and bus
- Offsite parking – up to 20
- Existing Church car park is being used as a “public carpark” but not just pre-school parents & staff
- Options for consideration/ discussion:
  - Car park opposite on BRC vacant land – will require a pedestrian crossing over Wark Parade;
  - Car park on reserve at rear.

### **3. Transport for NSW (6:35pm)**

Gary Estcourt – Project Manager TfNSW

#### **Renewal & Heritage Program**

- Spoke to challenges and opportunities for finding uses for disused heritage assets, and non-operational vacant land.
- Priority is to find uses that are sustainable
- Keen to find “Community Uses”
- TfNSW has a finite budget for this program
- Has a list of sites within Bathurst LGA
- Need to understand a site’s constraints when proposing future use(s)
- Spoke of positive projects progressing in other LGAs

#### **FINANCIAL IMPLICATIONS:**

Nil

#### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:**

##### **Objective 4: Enabling sustainable growth.**

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

Nil

#### **MINUTE**



**RESOLUTION NUMBER: ORD2022-145**

**MOVED: Cr I North SECONDED: Cr B Fry**

**RESOLVED:**

That the information be noted.



## **14 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS**

### **MINUTE**

**RESOLUTION NUMBER: ORD2022-146**

**MOVED: Cr A Smith SECONDED: Cr K Burke**

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

**There were no representation from the public.**

### **RESOLVED:**

That:

Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.

- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

1. In accordance with Section 9(2A) of the Local Government Act 1993, it is the opinion of the General Manager that the following business is of a kind as referred to in section 10A(2) of the Act and should be dealt with in a part of the meeting closed to the media and public.
2. In accordance with Section 10B(1) it is considered that discussion of the matter in open meeting, would on balance, be contrary to the public interest.
3. In accordance with Section 10A(4) members of the public are invited to make representations to the Council as to whether the matters should or should not be dealt with in Confidential Committee.

## **14.1 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT**

<b>14.1.1 PROPOSED TRANSFER OF AERODROME LEASE - LOT 29 DP1151799 - 15 WINDSOCK WAY, RAGLAN</b>
---



**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to transfer the aerodrome lease agreement for Lot 29 DP1151799, known as 15 Windsock Way, Raglan.

## **MINUTE**

**RESOLUTION NUMBER: CONF2022-31**

**MOVED: Cr K Burke    SECONDED: Cr M Hogan**

### **RESOLVED:**

That Council approve the transfer of the aerodrome lease agreement for Lot 29 DP1151799, known as 15 Windsock Way, Raglan, as per the report.

## **14.1.2 RURAL LICENCE AGREEMENT - LOT 6 DP1142438, KNOWN AS CHURCH LANE OPEN SPACE, GILMOUR STREET, KELSO**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to enter into a rural licence agreement for Lot 6 DP1142438, known as Church Lane Open Space, Gilmour Street, Kelso.

## **MINUTE**

**RESOLUTION NUMBER: CONF2022-32**

**MOVED: Cr W Aubin    SECONDED: Cr A Smith**

### **RESOLVED:**

That Council approves entering into a rural licence agreement for Lot 6 DP1142438, known as Church Lane Open Space, Gilmour Street, Kelso, for a period twelve (12) months as detailed in the report and subject to Council's Land Management Guidelines and insurance requirements.



### **14.1.3 REQUEST FOR WATER CHARGES ADJUSTMENT - BATHURST GOLF CLUB**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to water charges adjustment.

**Councillor Smith declared a non-pecuniary interest and left the Chamber.**

**Reason:** Bathurst Golf Club is a customer of his employer of which he conducts monthly visits to.

### **MINUTE**

**RESOLUTION NUMBER: CONF2022-33**

**MOVED: Cr K Burke    SECONDED: Cr B Fry**

### **RESOLVED:**

That Council act in accordance with the recommendations as detailed within this report.

**Councillor Smith returned to the Chamber**

## **14.2 DIRECTOR CULTURAL AND COMMUNITY SERVICES' REPORT**

### **14.2.1 TRANSFER OF COMMERCIAL SUBLEASE - REFRESHMENT ROOM CAFE, BATHURST RAIL MUSEUM**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to transfer the commercial sublease for Lot 301 in DP1194865, located at 126 Havannah Street, Bathurst known as the *Refreshment Room Café* at the Bathurst Rail Museum site.



## **MINUTE**

**RESOLUTION NUMBER: CONF2022-34**

**MOVED: Cr M Hogan SECONDED: Cr K Burke**

### **RESOLVED:**

That Council approves the transfer of the Commercial Sublease for part Lot 301 in DP1194865 located at 126 Havannah Street, Bathurst known as the *Refreshment Room Cafe* at the Bathurst Rail Museum site, as detailed in the report.

## **15 RESOLVE INTO OPEN COUNCIL**

### **RECOMMENDATION:**

That Council resume open Council.

## **MINUTE**

**RESOLUTION NUMBER: CONF2022-35**

**MOVED: Cr I North SECONDED: Cr M Hogan**

### **RESOLVED:**

That Council resume open Council.

## **16 ADOPT REPORT OF THE COMMITTEE OF THE WHOLE**

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-147**

**MOVED: Cr I North SECONDED: Cr W Aubin**

### **RESOLVED:**



That the Report of the Committee of the Whole, resolution numbers Conf2022-31 to Conf2022-34 not including Conf2022-33 be adopted.

**Councillor Smith declared a non-pecuniary interest in item 14.1.3 and left the Chamber.**

**MOVED: Cr I North    SECONDED: Cr M Hogan**

That the Report of the Committee of the Whole, resolution number Conf2022-33 be adopted.

## **17 MEETING CLOSE**

### **MINUTE**

The Meeting closed at 8.45pm.

**CHAIR:**

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# **Ordinary Meeting of Council - 20 April 2022** **Attachments**

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## **9.5.1 DRAFT BATHURST REGIONAL COUNCIL DISABILITY**

<b>INCLUSION ACTION PLAN 2022-2027.....</b>	<b>990</b>
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9.5.1.1 BRC DRAFT DIAP BOOKLET 2022-2027.....	990
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<b>10.1 TRAFFIC COMMITTEE REPORT - 5 APRIL 2022.....</b>	<b>1020</b>
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10.1.1 TRAFFIC COMMITTEE MEETING OF 5 APRIL 2022 - MINUTES.....	1020
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## **13.2 MINUTES - BATHURST REGIONAL YOUTH COUNCIL - 22**

<b>MARCH 2022.....</b>	<b>1023</b>
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13.2.1 MINUTES 22 MARCH 2022.....	1023
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**MINUTES OF THE ORDINARY MEETING OF  
BATHURST REGIONAL COUNCIL  
HELD ON Wednesday 16 March 2022**

**1 PUBLIC FORUM**

**MINUTE**

**Ms J. Quinn - 125 Havannah Street** - Spoke to concern with neighbour putting in a railway carriage onto their property. No DA has been submitted and the owner has refused to comply with cease and desist order. Requests Council take action in the Land and Environment Court. Spoke to impact of the development on the neighbourhood and construction concerns, rainfall matters and the potential dangers.

**M. Forrest** - Spoke to concerns about the carriage matter. Have asbestos concerns been examined? Where are the piers under the carriage? Queried where is the sewerage going to? Raised construction concerns, loss of sunlight, visual eyesore. The development is very dangerous and there are privacy concerns.

**Ian McPherson (Citizen) - NOM - Frontier Wars-** Spoke in support of the NOM and referred to truth telling. Bathurst has a unique opportunity and responsibility, referred to the history of the Frontier Wars. Bathurst needs to recognise this and engage in community based truth telling, this will bring the community forward and there is broad support for this in the community.

**J. Greg - BIMC** - Understands Council has met with BIMC and given approval in principle to the development. What community consultation is to occur?

**Director Environmental Planning & Building Services** - noted processes in place and that the planning proposal will be exhibited by the Dept of Planning, Eventually will go to a public hearing if approved by the state. The DA will also be exhibited for public consultation.

**C.O'Rourke-** Spoke to motor vehicle issues from USA - electrical vehicles, autonomous vehicles and work of Tony Seba. In the future car ownership will decline and so will not need as many car parks. Noted chronic disease issues and need for lifestyle changes. Then spoke to BIMC proposal and problems with the health system, including procedures not needed. Will these problems occur with BIMC? Spoke to concerns and whether it will bring people to the CBD, employment issues. Questioned whether project should go ahead.

**L.Sargent-** Spoke to unsafe, unhealthy, unproductive road system and concerns with heavy trucks on the road. Read letter to the editor from the Western Advocate about the need for a bypass. Noted suggestions made by various persons to address the problems. Bypass can be of benefit to communities. Who in Council should be strategically planning and developing solutions? Spoke to Orange Council's bypass development.

**G.Crisp** - Spoke to letters that never got a reply and Council's policy manual. Says Mayor must deal with complaints against the General Manager. Then spoke to arrangement with the Office of Local Government and that this can't be put in place as it contrary to Council



policy. Then referred to Strata Corporation matter of concern he has with Council, then made allegations about water fund - \$6.5 million, this was in the policy manual. Council has twice stolen money from him, each time around \$1,000, he is pursuing this vigorously.

**B.Triming - Disability Access Advocate** - Thanked Dept Planning ensuring he could attend Transport Seminar. The report tonight is excellent and hopes Council adopts the report. Thanked Council for addressing issues in Peel Street. In regard to CSP, noted refers to 500m of footpath, hasn't more been constructed and replaced? Are there measurements of what has been done?

**Director Engineering Services** - Always try to construct 500m of new footpaths each year. Noted process/procedures in place.

## **2 RECORDING OF MEETINGS**

## **3 MEETING COMMENCES**

### **MINUTE**

Meeting commenced at 6.37pm.

**Present:** Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr A Smith, Cr R Taylor

## **4 PRAYER AND ACKNOWLEDGEMENT OF COUNTRY**

## **5 APOLOGIES OR ATTENDANCE BY AUDIO-VISUAL LINK**

### **MINUTE**

**MOVED: Cr J Jennings SECONDED: Cr K Burke**

### **RESOLVED:**

That the apology of Cr North be accepted and leave of absence granted.



## 6 MINUTES

### 6.1 CONFIRMATION OF MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD 16 FEBRUARY 2022

**File No:** 11.00005

#### MINUTE

**RESOLUTION NUMBER:** ORD2022-73

**MOVED: Cr W Aubin SECONDED: Cr B Fry**

#### RESOLVED:

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 16 February 2022 be adopted.

## 7 DECLARATION OF INTEREST

### Declaration of Interest

#### MINUTE

**RESOLUTION NUMBER:** ORD2022-74

**MOVED: Cr A Smith SECONDED: Cr J Jennings**

**RESOLVED:** That the Declaration of Interest be noted.

Cr A Smith declared non-significant/ non-pecuniary interest in item 14.1.1 of the DES Confidential Report.

Reason: Sister in-law works for CNSWJO which is coordinating the tender process.

Cr M Hogan declared significant/non-pecuniary interest in item 14.2.6 of the DCSF Confidential Report.

Reason: The tenant, David Rankine, ran as the number 5 on her ticket in the December 2021 election.

Cr A Smith declared a non-pecuniary/non significant interest in item 9.2.9 of the DEPBS Ordinary Report.

Reason: Sister in-law works for CNSWJO which is coordinating the tender process.

Cr A Smith declared a significant/ non-pecuniary interest in item 14.2.8 of the DCSF Confidential Report.

Reason: Resident allowed electoral signage on their property in December 2021.

Cr R Taylor declared a non-pecuniary/significant interest in item 14.2.8 of the DCSF Confidential Report.

Reason: Resident allowed electoral signage on their property in December 2021



## 8 MAYORAL MINUTE

### 8.1 COVID-19 BUSINESS AND COMMUNITY - STIMULUS MEASURES

File No: 14.000764, 16.00179

#### MINUTE

RESOLUTION NUMBER: ORD2022-75

MOVED: Cr R Taylor

#### RESOLVED:

That Council provide up to \$2,000 to each Community Group that manages a Council owned Community Hall or Village Hall as a contribution towards their annual public liability insurance premium, with funding to be provided through the Cost of COVID report that is being considered later at this meeting.

## 9 RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

### 9.1 GENERAL MANAGER'S REPORT

#### 9.1.1 UPPER MACQUARIE COUNTY COUNCIL DELEGATES - CASUAL VACANCY IN OFFICE

File No: 11.00005, 18.00172

#### MINUTE

RESOLUTION NUMBER: ORD2022-76

One nomination for the position of Delegate to UMCC was received for Cr A Smith.

#### RESOLVED:

There being only one nomination, Cr A Smith was declared elected as delegate to the Upper Macquarie County Council.



**9.1.2 URGENT LATE REPORT - APPLICATION FOR  
ADDITIONAL SPECIAL VARIATION FOR  
2022/2023- GENERAL RATES**

**File No: 16.00187**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-77**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

**RESOLVED:**

That Council:

- i. In accordance with clause 9.3 (a) of Council's adopted Code of Meeting Practice, consider a report on the Additional Special Variation for 2022/2023 – General Rates; and
- ii. Note that the business to be considered has been ruled by the chairperson to be of great urgency on the grounds that the business requires a decision before the next scheduled ordinary meeting of the Council, in accordance with clause 9.3 (b) of Council's adopted Code of Meeting Practice.

**9.1.3 APPLICATION FOR ADDITIONAL SPECIAL  
VARIATION FOR 2022/2023 - GENERAL RATES**

**File No: 16.00187**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-78**

**MOVED: Cr B Fry SECONDED: Cr W Aubin**

**RESOLVED:**

That the Council resolve to apply for a permanent Additional Special Variation of 2.5% under section 508(2) of the Local Government Act 1993 which will amount to approximately \$737,108 to ensure Council's continued financial sustainability after consideration of the impact on ratepayers and the community in 2022/2023 and future years.



**9.2 DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING  
SERVICES REPORT**

**9.2.1 SECTION 4.15 OF THE ENVIRONMENTAL PLANNING  
AND ASSESSMENT ACT 1979**

**File No: 03.00053**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-79**

**MOVED: Cr A Smith SECONDED: Cr B Fry**

**RESOLVED:**

That the information be noted.

**9.2.2 GENERAL REPORT**

**File No: 03.00053**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-80**

**MOVED: Cr K Burke SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.



**9.2.3 DEVELOPMENT APPLICATION 2022/10 - PROPOSED  
TWO LOT RURAL RESIDENTIAL SUBDIVISION, 357  
MOUNT RANKIN ROAD, MOUNT RANKIN. APPLICANT:  
INTEGRATED CONSULTING**

**File No: 2022/10**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-81**

**MOVED: Cr G Hanger SECONDED: Cr M Hogan**

**RESOLVED:**

That Council:

- (a) support the variation to the 10 hectare minimum lot size development standard pursuant to clause 4.1 of the Bathurst Regional Local Environmental Plan 2014 and the associated Lot Size Map for the subject land for the creation of proposed Lot 133; and
- (b) call a division.

On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

**The result of the division was:**

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr A Smith and Cr R Taylor

Against the Motion - Nil

Absent - Cr I North

Abstain - Nil

**9.2.4 LAND - VARIATION COVENANTS**

**File No: 20.00002 & 41.00089**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-82**

**MOVED: Cr B Fry SECONDED: Cr J Jennings**

**RESOLVED:**

That Council repeal the Land – Variation Covenants Policy.



**9.2.5                    DRAFT OUR REGION OUR FUTURE, 2022  
BATHURST REGIONAL COMMUNITY  
STRATEGIC PLAN**

**File No:                03.00180-05**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-83**

**MOVED: Cr K Burke   SECONDED: Cr J Jennings**

**RESOLVED:**

That Council place the Draft Our Region Our Future, Bathurst Regional Community Strategic Plan 2022 on public exhibition for a period of at least 28 days and invite the public to make submissions.

**9.2.6                    BATHURST REGIONAL ACTIVE TRANSPORT  
STRATEGY CONSULTATION OUTCOMES  
REPORT**

**File No:                20.00357**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-84**

**MOVED: Cr G Hanger   SECONDED: Cr M Hogan**

**RESOLVED:**

That Council:

- 1)     note the report; and
- 2)     make the Active Transport Survey 2021 publicly available via the Bathurst Yoursay website.



**9.2.7**                      **PLANNING PROPOSAL – SCHEDULE 5  
HERITAGE CONSERVATION AREA REVIEW  
BATHURST REGIONAL LOCAL  
ENVIRONMENTAL PLAN 2014 AMENDMENT**

**File No:**                      **20.00346**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-85**

**MOVED: Cr M Hogan   SECONDED: Cr A Smith**

**RESOLVED:**

That it be noted the Planning Proposal updating Schedule 5 - Environmental Heritage of Bathurst Regional Local Environmental Plan 2014 following the Heritage Conservation Area Review has been gazetted.

**9.2.8**                      **UPDATE ON RENEWABLE ENERGY AND  
CLIMATE CHANGE RESPONSE**

**File No:**                      **13.00092**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-86**

**MOVED: Cr B Fry   SECONDED: Cr A Smith**

**RESOLVED:**

That the information be noted.



**9.2.9 ELECTRICITY PROCUREMENT - LARGE SITES  
AND STREETLIGHTING**

**File No: 16.00007**

**Cr Smith Declared a non-pecuniary/non significant interest and stayed in the room**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-87**

**MOVED: Cr J Jennings SECONDED: Cr A Smith**

**RESOLVED:**

That Council:

- a) note the report on electricity procurement; and
- b) endorse Council's involvement in the Aggregated Electricity Procurement project being coordinated through Central NSW Joint Organisation of Councils.

**9.3 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT**

**9.3.1 STATEMENT OF INVESTMENTS**

**File No: 16.00001**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-88**

**MOVED: Cr W Aubin SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.

**9.3.2 MONTHLY REVIEW - 2021/2025 DELIVERY  
PLAN AND OPERATIONAL PLAN 2021/2022**

**File No: 16.00187**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-89**

**MOVED: Cr A Smith SECONDED: Cr G Hanger**



**RESOLVED:**

That the information be noted.

**9.3.3            SUNDRY SECTION 356 DONATIONS, BATHURST  
MEMORIAL ENTERTAINMENT CENTRE COMMUNITY  
USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY**

**File No:        18.00004**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-90**

**MOVED: Cr B Fry   SECONDED: Cr K Burke**

**RESOLVED:**

That the information be noted and any additional expenditure be voted.

**9.3.4            POWER OF ATTORNEY**

**File No:            11.00007**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-91**

**MOVED: Cr K Burke   SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.

**9.3.5            COST OF COVID - 2021/2022 - MARCH  
QUARTER**

**File No:            14.00764, 16.00179**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-92**

**MOVED: Cr M Hogan   SECONDED: Cr B Fry**

**RESOLVED:**

That Council:

- (a) Note the report on the costs of the Covid pandemic incurred by Council for the March 2022 Quarter; and



(b) Adopt the budget variations as detailed within this report.

**9.3.6 REQUEST FOR FEE WAIVER - LIONS CLUB OF MOUNT PANORAMA INC**

**File No: 14.00065**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-93**

**MOVED: Cr A Smith SECONDED: Cr K Burke**

**RESOLVED:**

That Council provide a one-off donation of \$35.00 to the Lions Club of Mount Panorama Inc. for their Temporary Food Permit Application Fee.

**9.3.7 LGA BOUNDARY ALTERATION - 372 CALOOLA ROAD, CALOOLA**

**File No: 22.16620**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-94**

**MOVED: Cr J Jennings SECONDED: Cr K Burke**

**RESOLVED:**

That Council inform the Office of Local Government, the landowners, and Blayney Shire Council that it has no objection to the transfer of Lot 1 DP 1247053 to the Bathurst Regional Council Local Government Area from the Blayney Shire Council Local Government Area and that an application be made to the Minister for Local Government to have the boundaries altered to include this lot within Bathurst Regional Council Local Government Area.



## **9.4 DIRECTOR ENGINEERING SERVICES' REPORT**

### **9.4.1 WATER RESTRICTIONS**

**File No: 32.00017**

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-95**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

#### **MOTION:**

That :

- (a) Council introduce Level 2A restrictions effective immediately, and
- (b) should Chifley Dam level fall to 75%, revert to Level 3 High Water Restrictions.

**The following AMENDMENT was MOVED**

**MOVED: Cr G Hanger SECONDED: Cr M Hogan**

#### **RESOLVED:**

That :

- (a) Council introduce Level 2A restrictions effective immediately, and
- (b) should Chifley Dam level fall to 80%, revert to Level 3 High Water Restrictions.

**The AMENDMENT on being PUT was CARRIED.**

**The AMENDMENT then became the MOTION.**

**The MOTION on being PUT was CARRIED.**



**9.4.2 LGNSW WATER MANAGEMENT CONFERENCE**

**File No: 23.00007-18**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-96**

**MOVED: Cr M Hogan SECONDED: Cr B Fry**

**RESOLVED:**

That the information be noted.

**9.4.3 CHAIN OF RESPONSIBILITY POLICY**

**File No: 28.00012**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-97**

**MOVED: Cr W Aubin SECONDED: Cr M Hogan**

**RESOLVED:**

That Council adopt the Chain of Responsibility Policy.

**9.4.4 CLOSING THE GAP ON FOOD WASTE**

**File No: 14.00007**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-98**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

**RESOLVED:**

That the information be noted.



## 9.5 DIRECTOR CULTURAL AND COMMUNITY SERVICES' REPORT

### 9.5.1 KELSO COMMUNITY HUB - MARCH 2022 UPDATE

**File No:** 09.00026

#### MINUTE

**RESOLUTION NUMBER:** ORD2022-99

**MOVED: Cr G Hanger SECONDED: Cr A Smith**

#### RESOLVED:

That the information be noted.

### 9.5.2 LOCAL GOVERNMENT NSW - DESTINATION AND VISITOR ECONOMY CONFERENCE, 17-19 MAY 2022, ORANGE, BLAYNEY AND CABONNE

**File No:** 18.00074

#### MINUTE

**RESOLUTION NUMBER:** ORD2022-100

**MOVED: Cr K Burke SECONDED: Cr A Smith**

#### RESOLVED:

That Council:

- (a) Note the information contained in the report regarding the 2022 Destination and Visitor Economy Conference being co-hosted by Orange City Council, Blayney Shire Council and Cabonne Council.
- (b) Appoint Councillor's Hogan & Fry to attend the conference.
- (c) Approve registration and associated costs, incurred in attending the conference, to be met by Council.



**9.5.3            BATHURST REGIONAL ART GALLERY - BRETT  
WHITELY EXHIBITION, 20 NOVEMBER 2021 TO 6  
FEBRUARY 2022**

**File No:        21.00002**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-101**

**MOVED: Cr J Jennings   SECONDED: Cr M Hogan**

**RESOLVED:**

That the information be noted.

**9.5.4            DESTINATION BRAND IMPLEMENTATION,  
DESTINATION MANAGEMENT PLAN AND  
DESTINATION MARKETING PLAN -  
QUARTERLY REPORT, MARCH 2022**

**File No:                20.00299**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-102**

**MOVED: Cr B Fry   SECONDED: Cr J Jennings**

**RESOLVED:**

That the information be noted.



**9.5.5 BATHURST VISITOR INFORMATION CENTRE - 2022 NSW  
TOURISM AWARD**

**File No: 21.00041**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-103**

**MOVED: Cr J Jennings SECONDED: Cr A Smith**

**RESOLVED:**

That the information be noted.

**10 REPORTS OF OTHER COMMITTEES**

**10.1 TRAFFIC COMMITTEE REPORT - 1 MARCH 2022**

**File No: 07.00006**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-104**

**MOVED: Cr K Burke SECONDED: Cr M Hogan**

**RESOLVED:**

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 1 March 2022 be adopted.



## 11 NOTICES OF MOTION

11.1 COUNCILLOR JENNINGS - RECOGNISING  
FRONTIER WARS 2024

File No: 23.00166

## MINUTE

RESOLUTION NUMBER: ORD2022-105

MOVED: Cr J Jennings SECONDED: Cr B Fry

## RESOLVED:

That:

1. That Bathurst Regional Council ensure due recognition and commemoration of the bicentennial of the proclamation of martial law by the Colonial Government of NSW on 14 August 1824 against Aboriginal people of the Wiradjuri nation.

Given the local state and national importance of this bicentennial, Council is to form a dedicated *Frontier Wars Working Party* (FWWP) which runs up to the bicentennial event to scope, develop and deliver a lasting legacy that publicly recognises the fact of Australia's *Frontier Wars*.

The Frontier Wars Working Party will engage interested stakeholders and partners to consider, amongst other opportunities, the reality of Bathurst hosting *Recommendation 17* of the NSW Government's recent *Review of the Heritage Act 1977*, which reads:

- *That the NSW Government allocate specific funding for an Aboriginal War Memorial Museum and work with Aboriginal people across New South Wales, including traditional owners and the NSW Aboriginal Land Council, to progress this proposal.*

Other opportunities are to be pursued by the Frontier Wars Working Party to create, develop, assess, and source-fund legacy activities and items that respectfully commemorate the bicentennial of the proclamation of martial law against aboriginal Australians on the 14 August 2024.

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Source document attached for Councillors' consideration:

**Recommendation 17 of Attachment B**, NSW Government's response to the Report of the Social Issues Standing Committee Inquiry into the Heritage Act 1977, page 6.

2. Bathurst Regional Council forwarded the following notion of motion for consideration at the ALGA conference.



Bathurst Regional Council advocate for the Australian Government to recognise the fact of Frontier Wars which occurred between First Australians and British forces during the colonisation of Australia.

**12 RESCISSION MOTIONS**

**13 COUNCILLORS / DELEGATES REPORTS**

**13.1 MINUTES - BATHURST REGIONAL YOUTH COUNCIL - 8 FEBRUARY 2022**

**File No: 11.00020**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-106**

**MOVED: Cr M Hogan SECONDED: Cr A Smith**

**RESOLVED:**

That the information be noted.

**13.2 MINUTES - BATHURST REGIONAL COMMUNITY SAFETY COMMITTEE - 10 FEBRUARY 2022**

**File No: 07.00107**

**MINUTE**

**RESOLUTION NUMBER: ORD2022-107**

**MOVED: Cr M Hogan SECONDED: Cr K Burke**

**RESOLVED:**

That the information be noted.



**14 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO  
DEAL WITH CONFIDENTIAL REPORTS**

**14.0 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE**

**MINUTE**

**MOVED: Cr M Hogan SECONDED: Cr J Jennings**

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

**There were no representation from the public.**

**RESOLVED:**

That:

Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.

- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

1. In accordance with Section 9(2A) of the Local Government Act 1993, it is the opinion of the General Manager that the following business is of a kind as referred to in section 10A(2) of the Act and should be dealt with in a part of the meeting closed to the media and public.
2. In accordance with Section 10B(1) it is considered that discussion of the matter in open meeting, would on balance, be contrary to the public interest.
3. In accordance with Section 10A(4) members of the public are invited to make representations to the Council as to whether the matters should or should not be dealt with in Confidential Committee.



## 14.1 DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING SERVICE'S REPORT

### 14.1.1 ELECTRICITY PROCUREMENT - LARGE SITES AND STREETLIGHTING

**Reason:** 10A (2) (e) Contains information that would, if disclosed, prejudice the maintenance of the law.

This item relates to the proposal to obtain legal advice.

**Cr Smith declared non-pecuniary/non-significant interest and stayed in the room.**

#### MINUTE

**RESOLUTION NUMBER: CONF2022-16**

**MOVED: Cr G Hanger SECONDED: Cr K Burke**

#### RESOLVED:

That Council

- a) note the report on electricity procurement;
- b) note that a reduced tender period has been considered;
- c) resolve that because of the extenuating circumstances set out in the report a satisfactory result would not be achieved by inviting tenders for the aggregated procurement of electricity for large market sites and streetlighting which are due to commence on 1 January 2023;
- d) note that the reasons for the decision of the Council in resolution (c) are as follows:
  - 1) the services with respect to which the tender relates can only be provided by energy retailers.
  - 2) Council has received expert advice that due to the nature of the relevant market, offers from those retailers which will be made in response to the request for tender will only be open for acceptance for a period of 1-2 weeks.
  - 3) even if the tender period was shortened to 7 days as permitted under the Regulations, some if not all of the relevant tenders would expire prior to Council being able to undertake an assessment of tenders, report the matter to Council and resolve to accept or reject any tenders.
  - 4) this would result in Council either having no valid tenders which it is able to accept, or it would not be able to consider for acceptance all of the tenders lodged in response to the request for tender.
  - 5) this would not be a satisfactory result for Council.
- e) delegate the authority to execute the contracts for the supply of electricity for large market sites and streetlighting to the General Manager; and
- f) advise Central NSW Joint Organisation of Council's decision.



## 14.2 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

### 14.2.1 FINANCIAL STATEMENTS - 2021 CHALLENGE BATHURST

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the 2021 Challenge Bathurst event held November 2021.

#### MINUTE

**RESOLUTION NUMBER:** CONF2022-17

**MOVED:** Cr W Aubin **SECONDED:** Cr M Hogan

**RESOLVED:**

That the information be noted.

### 14.2.2 NEW SHORT-TERM CROWN LICENCE - PART LOT 7015 DP1114395, KNOWN AS HECTOR PARK, VITTORIA STREET, WEST BATHURST

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to enter into a new short-term Crown Licence Agreement for part Lot 7015 DP114395, known as Hector Park, Vittoria Street.

#### MINUTE

**RESOLUTION NUMBER:** CONF2022-18

**MOVED:** Cr J Jennings **SECONDED:** Cr B Fry

**RESOLVED:**

That Council approves entering into a new Short-Term Crown Licence Agreement for part Lot 7015 DP1114395, known as Hector Park, Vittoria Street, West Bathurst, for a period of twelve (12) months as detailed in the report.



**14.2.3 FINANCIAL STATEMENTS - 2021 MOUNT PANORAMA 500**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the financial statements for the 2021 Mount Panorama 500 event held in February 2021.

**MINUTE**

**RESOLUTION NUMBER: CONF2022-19**

**MOVED: Cr M Hogan SECONDED: Cr W Aubin**

**RESOLVED:**

That the information be noted.

**14.2.4 REQUEST FOR FINANCIAL ASSISTANCE - EGLINTON DISTRICT TENNIS CLUB INC**

**Reason:** 10A (2) (b) Contains advice concerning hardship of a resident or ratepayer, disclosure of which would not be in the public interest as it would prejudice the personal position of the individual concerned.

This item relates to the request from Eglinton District Tennis Club for financial assistance.

**MINUTE**

**RESOLUTION NUMBER: CONF2022-20**

**MOVED: Cr M Hogan SECONDED: Cr A Smith**

**RESOLVED:**

That Council not approve the request for financial assistance received from the Eglinton District Tennis Club.

**14.2.5 RENEWAL OF RESIDENTIAL LEASE - 200 COLLEGE ROAD**

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.



This item relates to the proposal to renew the residential lease agreement for part Lot 2 DP749758, 200 College Road, Mount Panorama.

**MINUTE**

**RESOLUTION NUMBER: CONF2022-21**

**MOVED: Cr M Hogan SECONDED: Cr A Smith**

**RESOLVED:**

That Council approve the renewal of the residential lease agreement for part Lot 2 DP749758, 200 College Road, Mount Panorama for a period of twelve (12) months with a twelve (12) month option period as detailed in the report.

**14.2.6 RENEWAL OF RESIDENTIAL LEASE - 162 MOUNTAIN STRAIGHT**

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposal to approve the renewal of the residential lease agreement for Lot 18 DP1011780, 162 Mountain Straight, Mount Panorama.

**Cr Hogan declared non-pecuniary/ significant interest and left the room.**

**MINUTE**

**RESOLUTION NUMBER: CONF2022-22**

**MOVED: Cr B Fry SECONDED: Cr K Burke**

**RESOLVED:**

That Council approve the renewal of the residential lease agreement for Lot 18 DP1011780, 162 Mountain Straight, Mount Panorama for a period of twelve (12) months with a twelve (12) month option period as detailed in the report.



**14.2.7 REQUEST FOR FINANCIAL ASSISTANCE - NSW GREYHOUND BREEDERS OWNERS AND TRAINERS ASSOCIATION LTD**

**Reason:** 10A (2) (b) Contains advice concerning hardship of a resident or ratepayer, disclosure of which would not be in the public interest as it would prejudice the personal position of the individual concerned.

This item relates to the proposal to partially write-off Sewer and Trade Waste charges for NSW Greyhound Breeders Owners & Trainers' Association.

**MINUTE**

**RESOLUTION NUMBER: CONF2022-23**

**MOVED: Cr A Smith SECONDED: Cr M Hogan**

**RESOLVED:**

That Council process a partial write-off to the Sewer and Trade Waste Charges as detailed within this report.

**14.2.8 REQUEST FOR REDUCTION IN WATER USAGE CHARGES**

**Reason:** 10A (2) (b) Contains advice concerning hardship of a resident or ratepayer, disclosure of which would not be in the public interest as it would prejudice the personal position of the individual concerned.

This item relates to the request for a reduction in water usage charges.

**Cr Taylor and Smith declared non-pecuniary/significant interest and left the room.**

**Cr Fry as Deputy Mayor took the chair for the item.**

**MINUTE**

**RESOLUTION NUMBER: CONF2022-24**

**MOVED: Cr J Jennings SECONDED: Cr K Burke**

**RESOLVED:**

That Council act in accordance with the recommendations of the report.



**14.2.9 RENEWAL OF TELECOMMUNICATIONS LICENCE  
AGREEMENT - PART LOT 1 DP634401 - MCPHILLAMY PARK,  
MOUNT PANORAMA**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to approve the renewal of Telecommunications Licence Agreement for part Lot 1 DP634401, McPhillamy Park, Mount Panorama.

**MINUTE**

**RESOLUTION NUMBER: CONF2022-25**

**MOVED: Cr J Jennings SECONDED: Cr M Hogan**

**RESOLVED:**

That Council approved the renewal of the Telecommunications Licence Agreement for part Lot 1 DP634401, McPhillamy Park, Mount Panorama, with Essential Energy for a period of five (5) years with a five (5) year option period at Council's discretion as detailed in the report.

**14.3 DIRECTOR ENGINEERING SERVICES' REPORT**

**14.3.1 CNSWJO TENDER FOR LINEMARKING SERVICES**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed tender for linemarking services.

**MINUTE**

**RESOLUTION NUMBER: CONF2022-26**

**MOVED: Cr M Hogan SECONDED: Cr A Smith**

**RESOLVED:**

That Council accepts tenders for linemarking services from the following contractors –

- Avante Linemarking
- Central West Linemarking
- Complete Linemarking
- Oz Linemarking Services



#### **14.3.2 PARTICIPATION IN CNSWJO CONTRACT FOR THE SUPPLY AND DELIVERY OF BULK FUEL**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed participation in a regional contract for the supply and delivery of bulk fuel.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-27**

**MOVED: Cr M Hogan SECONDED: Cr B Fry**

#### **RESOLVED:**

That Council participate in a regional contract for the supply and delivery of bulk fuel and advise Central NSW Joint Organisation accordingly.

#### **14.3.3 TENDER FOR HYDRANT MAINTENANCE 2022-2025**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed tender for hydrant maintenance for 2022-2025.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-28**

**MOVED: Cr M Hogan SECONDED: Cr G Hanger**

#### **RESOLVED:**

That Council accepts the tender of Central Fire and Electrical for the Maintenance of Fire Hydrants in Bathurst, Eglinton, Perthville and Raglan in the amount of \$346,277.25 (inclusive GST) for 3 years inclusive of GST, subject to adjustments and provisional items.



#### **14.3.4 12 MONTH EXTENSION - MANAGEMENT OF BATHURST AQUATIC CENTRE**

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed 12 month extension for the Management of Bathurst Aquatic Centre.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-29**

**MOVED: Cr M Hogan SECONDED: Cr W Aubin**

#### **RESOLVED:**

That Council extend Belgravia Leisure's contract for the Management of the Bathurst Aquatic Centre in accordance with the Director Engineering Services' report.

#### **15 RESOLVE INTO OPEN COUNCIL**

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-30**

**MOVED: Cr K Burke SECONDED: Cr B Fry**

**RESOLVED:** That Council resume open Council.

#### **16 ADOPT REPORT OF THE COMMITTEE OF THE WHOLE**

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-108**

**MOVED: Cr B Fry SECONDED: Cr G Hanger**

#### **RESOLVED:**

That the Report of the Committee of the Whole, resolution numbers Conf2022-16 to Conf2022-30 not including Conf2022-22 and Conf2022-24 be adopted.

**Councillors M Hogan, A Smith and R Taylor left the room and took no part in the resolution.**



**Councillor Fry took the chair.**

**MOVED: Cr K Burke    SECONDED: Cr J Jennings**

That the Report of the Committee of the Whole, resolution numbers Conf2022-22 and Conf2022-24 be adopted.

## **17 MEETING CLOSE**

### **MINUTE**

The Meeting closed at 8.02pm.

**CHAIR:**

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AUSTRALIAN  
LOCAL GOVERNMENT  
ASSOCIATION



**DON'T LEAVE LOCAL  
COMMUNITIES BEHIND!**

**Federal Election Priorities**



## Successfully delivering for Greater Sydney communities



### Rouse Road footbridge (\$22 million), Blacktown City Council, NSW

Blacktown City Council Mayor Tony Bleasdale said the opening of the Rouse Road Bridge in 2019 - partially funded through the Commonwealth's Bridges Renewal Programme - solved a number of significant problems and that the bridge was a major access point to the Tallawong Metro station and Rouse Hill Anglican College.

"This area is experiencing rapid growth and the old causeway was an enormous traffic bottleneck and a serious safety concern for pedestrians and motorists alike during times of heavy rain," Cr Bleasdale said.

"Blacktown City Council had the bridge planned for some time, but needed to wait for available funding. The Australian Government grant enabled the work to be fast-tracked."

Authorised by Matt Pinnegar Chief Executive Officer of ALGA.



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## Introduction: Linda Scott, ALGA President

**As our nation faces social and economic challenges unseen in peace-time Australia, Australians need their decision-makers working together.**

**They want, expect, and need pragmatic policy making that delivers a locally led recovery from COVID-19, and a focus on opportunity rather than austerity from this economic crisis.**

**In total (including direct and flow-on impacts), the funding priorities we've proposed in this document are estimated to contribute at least \$6.46 billion per annum on average to Australia's Gross Domestic Product (GDP), as well as support an average of 43,444 full time equivalent (FTE) jobs per annum across Australia over a four-year period.**

**By working with Australian councils – the level of government closest to its community – a future Federal Government can put steps in place to guarantee no local community is left behind as we recover from COVID-19.**

**DON'T LEAVE LOCAL COMMUNITIES BEHIND!**

The COVID-19 pandemic that shook Australia in March 2020 has imposed new physical, social, and economic realities in Australia.

Occurring almost simultaneously with the Black Summer fires, floods, and drought, the pandemic helped trigger Australia's first recession in nearly 30 years.

It has led to unprecedented Commonwealth, state and local government economic support for those most affected by the economic and social impacts, but the cumulative shocks to our system – exacerbated by the Delta variant and a mammoth vaccination task – have presented all governments with significant financial challenges, which local governments are unable to face without the support of the Commonwealth.



**Councillor Linda Scott**  
President of the Australian Local Government Association

Businesses closed their doors and laid off staff, families lost income, and individuals were left isolated from friends and loved ones.

Unwelcome as the pandemic was, it has also revealed the adaptability, innovation, and resilience of our nation and its citizens.

Through stay-at-home orders in place, our homes became our offices, schools, and lecture halls, and many have faced unemployment or uncertainty about how to pay the rent or support our families.

Within days of the announcement of lockdowns and health restrictions, we took difficult but necessary steps to protect our communities from the risks of infection – educating people about the need for social distancing and providing masks and food for communities.

We used our own limited funding to provide financial support to local small businesses directed to close because of COVID-19 restrictions, and organised vouchers for aged and other vulnerable locals to redeem at participating local cafes and restaurants struggling to stay in business.

We supported our communities to innovate, quickly adapting in a way only local governments can.



As communities and businesses "pivoted", we saw the adaptability that characterises local government.

Recognising that broad economic stimulus and job-creation programs were the keys to community recovery, local governments accelerated local employment-generating programs.

We partnered with other governments to roll out targeted capital works to improve road safety, rejuvenate or upgrade local community assets, and enhance our local parks, footpaths and community open spaces.

Forced to contemplate what the future might look like post-COVID, many Australians believe our communities should be restored not to what they were, but to what they could be.

A successful national recovery is a recovery that will be made up of thousands of smaller locally driven recoveries led by local governments in partnership with funding partners: private, philanthropic, state, territory and federal.

To sustain such a recovery and ensure it is felt across all communities regardless of size or location, we need a stronger, more equal partnership between governments. Our local communities need more investment, and they need to have a greater say in decision-making about their futures.

All spheres of government, elected and administrative, must work together to ensure that economic recovery post-COVID does not falter.

We have a once-in-a-lifetime opportunity to build a better future: one that bolsters community connection, wellbeing and resilience.

This document lays out a series of offers to the next incoming government, alongside a set of asks.

They build upon local government's strengths and its proven track record of working in partnership to deliver for Australian communities and national productivity.

The policies contained in these election priorities have been assessed by independent economists, who were engaged to model the contribution to the Australian economy from each priority investment as well as articulate the socio-economic benefits these programs can be expected to deliver.

They are exactly what is needed to ensure local communities of all sizes are in a strong position to drive the inclusive recovery all Australians want and that leaves no community behind.

### Local government can lead and deliver the strong community-focused recovery from COVID-19 by:

- leading local economic growth;
- delivering stimulus projects that generate local jobs, support local businesses and boost productivity;
- enabling economic growth through the development of a circular economy;
- building community resilience to disasters and climate change; and
- facilitating community wellbeing.



	<b>Local Government Offer to the Australian Government</b>	<b>Local Government Ask of the Australian Government</b>
<b>Economic Recovery</b>	To partner with the Federal Government to create more jobs, while addressing the nation's skills shortage through training and upskilling Australian workers.	To commit to a progressive increase in Financial Assistance Grants to at least one percent of Commonwealth taxation revenue (at least \$4.5 billion per year), and an initial injection of additional Financial Assistance Grants funding.
<b>Transport and Community Infrastructure</b>	To partner with the Federal Government to create infrastructure that will improve the safety, liveability and productivity of our communities, while contributing to Australia's economic recovery.	To invest \$500 million per year for four years extending the Local Roads and Community Infrastructure Program, while increasing roads funding and improving digital connectivity in our regions. To invest in an innovative housing partnerships of \$200m over four years to support affordable housing in communities.
<b>Building Resilience</b>	To partner with the Federal Government to grow the resilience in our communities, mitigate against the impacts of future disaster events, while focussing on local opportunities to reduce our carbon emissions and to Close the Gap between Indigenous Australians and the nation.	To provide \$200 million per year for four years for a targeted disaster mitigation program, while establishing a \$200 million Local Government Climate Partnership Program and supporting all councils to implement Closing the Gap targets with \$100 million per annum over four years.
<b>Circular Economy</b>	To identify and implement opportunities to reduce waste sent to landfill and support the development of a circular economy that will deliver environmental and economic benefits for all our communities.	To provide \$100 million per year for four years to fund local government circular innovation projects, and support our communities to reuse wherever possible.
<b>Inter-governmental Relations</b>	To provide a local, place based community perspective to intergovernmental deliberations to ensure that decisions are responsive to local needs and have regard to the great diversity between communities.	To reinstate local government representation to the primary intergovernmental forum in Australia, the National Cabinet, and ensure local government's ongoing voting membership of other Ministerial forums.



## Economic Recovery

Government responses to COVID-19 over the past two years have been overwhelmingly concentrated on averting a health and economic crisis. 2022 and the years beyond are set to be dominated by discussions and decisions around economic recovery.

New policies and strategies will be required to ensure all Australians can be employed in secure, meaningful, and sustainable jobs.

With our footprint across the nation and a workforce that encompasses 394 occupations, local governments provide an ideal catalyst for growing jobs.

We are also the ideal vehicle for co-investment in new job-creation initiatives.

Increased federal funding and investment will help councils roll out new local economic stimulus projects and give us the ability to cut the red tape that might potentially be slowing or blocking other investments planned for communities across Australia.

We would be able to create more jobs, including traineeships and apprenticeships, to address an emerging skills gaps in local government that threatens to slow decentralisation efforts aimed at rejuvenating regional and rural Australia.

Longer term certainty with Federal funding will enable Council's to invest in workforce planning and training.

In many communities, we are proud to be a major employer of Aboriginal and Torres Strait Islander peoples. Local governments are willing to support opportunities for skill training, new jobs, and business opportunities for indigenous people and their communities to help close the gap on indigenous disadvantage.

An added benefit of increased federal funding to local government is that it will help achieve equitable levels of services across all parts of Australia, build community resilience and wellbeing, and improve productivity-generating infrastructure.

### *Don't leave our regional communities behind*



**Commonwealth Financial Assistance Grants support equitable service levels for all Australians and ensure that no community is left behind.**

These grants are particularly vital in many regional communities, but over the past twenty years they have significantly declined as a share of total Commonwealth taxation revenue.

North Burnett Regional Council Mayor Rachel Chambers, pictured, said a number of factors including amalgamation, changes to Financial

Assistance Grants, and increasing depreciation expenses placed the region in a predicament, and could cost local jobs in her community.

"Our back is against the wall. We're running out of money, we're running out of options to save jobs, and we're running out of time," she said. "We have to use depreciation as an expense so our expenses have increased and that has been an issue. Then we have had budget cutbacks by the state and federal governments over the years."



## Economic Recovery

Failure to secure future federal funding creates the real risk of communities being disproportionately impacted in this period of economic recovery.

Councils are also grappling with the budget repair challenges that are facing state and federal treasuries.

Funding certainty is critical to the short and long-term planning of councils, particularly in rural and regional areas where there is a greater reliance on external funding.

### We are seeking:

**1: An initial injection of Financial Assistance Grants to local government worth \$1.3 billion to support communities and jobs and also resolve the current practice of bringing forward two quarterly Financial Assistance Grant payments each year.**

If funded:

**Jobs created: 13,213**

**Contribution to annual Gross Domestic Product (\$b): \$1.928**

**2: A commitment to return Financial Assistance Grants to at least one percent of Commonwealth taxation revenue - an additional (\$b) 1.598 per year - via a phased approach to be agreed with the Government.**

If funded:

**Jobs created: 16,242**

**Contribution to annual Gross Domestic Product (\$b): \$2.370**

#### Local Government Offer to the Australian Government

To partner with the Federal Government to create more jobs, while addressing the nation's skills shortage through training and upskilling Australian workers.

#### Local Government Ask of the Australian Government

To commit to a progressive increase in Financial Assistance Grants to at least one percent of Commonwealth taxation revenue (at least \$4.5 billion per year), and an initial injection of additional Financial Assistance Grants funding.



## Better Transport and Community Infrastructure

Well-targeted infrastructure investment generates lasting economic, social and environmental benefits.

It lowers costs for business and government and better connects workers to their jobs. It increases community resilience and ensures we as a nation are protected against the extreme weather events associated with global warming.

We are responsible for 33 percent of Australia's public infrastructure, including 75 percent of the country's roads by length. Much of this infrastructure is ageing and needs renewing or replacing so it meets community and industry needs.

Roads represent 39 percent of the total local government infrastructure with a total replacement cost of \$204 billion. Bridges represent four percent of the total infrastructure with a replacement cost of \$26 billion. Park and Recreation assets represent \$16 billion or 3 percent of the total infrastructure replacement cost.

However, we collect only 3.5 percent of all taxes raised in Australia, while faced with the mammoth task of maintaining a third of the nation's infrastructure.

Councils are committed to providing quality infrastructure and creating sustainable jobs.

We need additional funds to achieve this commitment and a longer-term funding assurance that allows councils to recruit trainees and apprentices, upskill workers, and attract skilled workers into rural, regional and remote areas.

Access to affordable housing underpins the economic and social fabric of local communities. We are calling for a national housing summit that can develop a national housing strategy to address the current housing challenges in our communities. Local governments must be involved with national housing governance arrangements.

### Successfully delivering for Perth suburban communities



**Thornlie Community and Sports Hub (\$5.6 million, partially funded through Community Development Grants Programme) City of Gosnells, WA**

"It's been very exciting to watch this building rise from the ground," Gosnells Mayor David Goode says.

"The hub will provide important facilities to keep local residents active, provide a welcoming meeting place, and support local community groups. I look forward to the day when we can welcome the whole community to enjoy it."



# Better Transport and Community Infrastructure

We are seeking:

**1: A \$500m per annum four year continuation of the Local Roads and Community Infrastructure program which allows councils to deliver projects that respond to local needs.**

If funded:

**Jobs created: 3,974**  
**Contribution to annual Gross Domestic Product (\$m): \$604**

**2: A strategic local roads investment program of \$300m per annum over four years to address road transport first and last mile issues and congestion on local roads.**

If funded:

**Jobs created: 2,332**  
**Contribution to annual Gross Domestic Product (\$m): \$366**

**3: An increase in Roads to Recovery to \$800m per annum (an additional \$300m per annum) and the Black Spot Program to \$200m per annum over four years, while addressing the South Australian road funding anomaly by making the additional \$20m per annum to SA in 2021-22 and 2022-23 permanent, to more sustainably manage local government's 75% share of the national road network and boost productivity and road safety.**

If funded:

**Jobs created: 3,214**  
**Contribution to annual Gross Domestic Product (\$m): \$502**

**4: Continuation of the Stronger Regional Digital Connectivity Package at \$55m over four years to improve community resilience and local economic recovery.**

If funded:

**Jobs created: 99**  
**Contribution to annual Gross Domestic Product (\$m): \$18**

**5: \$200m over four years to assist councils to develop and implement innovative housing partnerships.**

If funded:

**Jobs created: 469**  
**Contribution to annual Gross Domestic Product (\$m): \$68**

## Local Government Offer to the Australian Government

To partner with the Federal Government to create infrastructure that will improve the safety, liveability and productivity of our communities, while contributing to Australia's economic recovery.

## Local Government Ask of the Australian Government

To invest \$500 million per year for four years extending the Local Roads and Community Infrastructure Program, while increasing roads funding and improving digital connectivity in our regions. To invest in an innovative housing partnerships of \$200m over four years to support affordable housing in communities.



## Resilient Communities Building Back Better

Communities across Australia are doing it tough – their physical, financial and mental reserves depleted by years of drought swiftly followed by the Black Summer bushfires, the coronavirus pandemic and severe storms and flooding.

All levels of government have worked hard to address the challenges thrown up by these rolling disasters.

They have supported businesses, communities, and individuals –and they are now focused on engineering a national economic recovery.

Although mass vaccinations diminish the health threats posed by COVID-19, the swift succession of natural disasters has demonstrated that communities need to be better prepared.

The likelihood of more frequent severe weather events in future underlines this need.

Investing in programs to mitigate natural disasters is critical to building community resilience.

Communities derive substantial co-benefits from investments in mitigation and adaptation – including new employment opportunities, regional growth, lower insurance premiums, and faster reductions in greenhouse gas emissions.

Working in partnership with the Australian Government, we can deliver highly effective projects that greatly assist communities to be better prepared and better able to adapt to future climatic conditions.

### Successfully delivering for communities in rural Victoria



#### Rokewood Bridge upgrade (\$541,000) Golden Plains Shire, Victoria.

"It's terrific to see that works have now been completed to replace the old, single lane bridge over the Kuruc A Ruc Creek with a double lane and unrestricted structure, that is safer for all bridge-users", Golden Plains Shire Mayor Cr Helena Kirby, pictured, said.

"Golden Plains Shire is home to many older bridges, and thanks to the Australian Government's Local Roads and Community Infrastructure program, we've been able to get on and

upgrade the Reserve Road Bridge for the benefit of the surrounding community

"Reserve Road Bridge is the first of four bridge upgrade projects that Council will complete in 2021, with works underway or soon to begin on bridges in Meredith, Rokewood and Rokewood Junction."



## Resilient Communities Building Back Better

We are seeking:

**1: A targeted disaster mitigation program of \$200m per annum for four years which will reduce the costs of response and recovery and is a sound investment in strengthening community resilience.**

If funded:

**Jobs created: 1,833**

**Contribution to annual Gross Domestic Product (\$m): \$280**

**2: A commitment to ensuring betterment funding as a core element of disaster recovery funding arrangements.**

**3: A commitment to include community infrastructure that is publicly accessible and owned, and local government waste, water and wastewater assets under the Disaster Recovery Funding Arrangements.**

**4: A Local Government Climate Response Partnership Fund of \$200m over four years to enable planning and preparation to minimise the impacts of climate change in local communities and enable councils to achieve climate neutrality as soon as practicable.**

If funded:

**Jobs created: 467**

**Contribution to annual Gross Domestic Product (\$m): \$73**

**5: \$100 million per annum over four years provided directly to local governments to support the capabilities of indigenous councils and implementation of the Closing the Gap local/regional voice.**

If funded:

**Jobs created: 804**

**Contribution to annual Gross Domestic Product (\$m): \$117**

### Local Government Offer to the Australian Government

To partner with the Federal Government to grow the resilience in our communities, mitigate against the impacts of future disaster events, while focussing on local opportunities to reduce our carbon emissions and to Close the Gap between Indigenous Australians and the nation.

### Local Government Ask of the Australian Government

To provide \$200 million per year for four years for a targeted disaster mitigation program, while establishing a \$200 million Local Government Climate Partnership Program and supporting all councils to implement Closing the Gap targets with \$100 million per annum over four years.



## Creating a Circular Economy

Guided by the 2018 National Waste Strategy and the 2019 National Waste Policy Action Plan, building Australia's transition from a linear economy to a circular economy is gaining traction.

By embracing the principals of circularity – retaining the value of materials for as long as possible, designing out waste and pollution, and regenerating natural systems – Australia will develop new industries and jobs, reduce greenhouse gas emissions, and make more efficient use of our natural resources.

As modelled by the Centre for International Economics in 2017, a five percent improvement in the effectiveness of recycling and resource recovery could benefit Australia's GDP by as much as \$24 billion.

In addition, for every 10,000 tonnes of waste recycled, 9.2 jobs would be created, compared with only 2.8 jobs when the same amount of waste is sent to landfill.

As an example, the South Australian Government has estimated that 25,700 new full-time equivalent jobs could be created in South Australia by 2030 by adopting a more circular economy.

Councils are major players in the management of household and domestic waste.

Local governments co-invest in new materials recycling facilities, lead community education and awareness campaigns, and help to create a sustainable market for recycled materials through procurement policies.

Australia can realise the full potential of a circular economy sooner if local government's engagement and capabilities are effectively harnessed.

Local Government Offer to the Australian Government	Local Government Ask of the Australian Government
To identify and implement opportunities to reduce waste sent to landfill and support the development of a circular economy that will deliver environmental and economic benefits for all our communities.	To provide \$100 million per year for four years to fund local government circular innovation projects, and support our communities to reuse wherever possible.



## Creating a Circular Economy

We are seeking:

- 1: Support to provide guidance and advice to councils on how to unlock the circular economy locally, particularly in rural, regional, and remote areas.
- 2: Support to investigate and, if feasible, implement a national bin harmonisation program that will improve kerbside recycling, reduce contamination, and maximise opportunities for reuse.
- 3: Funding of \$100 million per annum over four years to fund local government circular waste innovation projects.

If funded:

**Jobs created: 797**

**Contribution to annual GDP (\$m): \$136**

### What sustainably funded councils could deliver for communities



Upgraded municipal resource recovery infrastructure for South Australia's Limestone Coast.

Naracoorte Lucindale Council Mayor Erika Vickery OAM (pictured centre) says additional financial support from the Federal Government is a catalyst for state and local government and commercial investment in waste management infrastructure.

'By working together, we can all participate in and promote the use of materials that circulate through our economy again and again, providing ongoing value, efficient use of resources and knowledge-based jobs for the future.'



## Intergovernmental Relations

The Australian Local Government Association was a foundation member of the Council of Australian Governments (COAG), and over 28 years made a substantial contribution to our federation.

When COAG was scrapped and replaced by the National Cabinet in mid-2020, local government was effectively sidelined from membership.

The result is that Australia's pre-eminent intergovernmental forum lacks a strong and effective advocate for local communities.

As the level of government closest to the community, we have a unique insight into how to create new jobs, drive economic growth, and build better lives for Australians.

Properly heard, our viewpoints would ensure that decisions are responsive to local needs and contribute to achieving the best outcomes at a local level and cumulatively at the national level.

Australians expect their governments to make decisions that reflect their unique circumstances and requirements.

At the same time, they want all three spheres of government to work together to achieve shared national objectives.

This can only be achieved through ALGA's participation in the National Cabinet or any subsequent structure.

Our place-based, community perspective should not be overlooked – nor our role as a voice for the concerns and aspirations of local communities.

ALGA's input would balance and complement the broader view of the First Ministers, helping to ensure that National Cabinet deliberations result in stronger and more resilient communities.

We are seeking:

- 1: Full membership of the National Cabinet.
- 2: A guaranteed seat at relevant Ministerial forums.

Local Government Offer to the Australian Government	Local Government Ask of the Australian Government
To provide a local, place based community perspective to intergovernmental deliberations to ensure that decisions are responsive to local needs and have regard to the great diversity between communities.	To reinstate local government representation to the primary intergovernmental forum in Australia, the National Cabinet, and ensure local government's ongoing voting membership of other Ministerial forums.





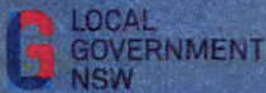
AUSTRALIAN  
LOCAL GOVERNMENT  
ASSOCIATION

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COMMUNITIES BEHIND!**

# Federal Election Priorities

The Australian Local Government Association (ALGA) is the national voice of local government, representing 537 councils across the country. In structure, we are a federation of state and territory local government associations.

**ALGA's members include:**



WALGA



Local  
Government  
Association  
Tasmania



Local Government Association  
of South Australia

## Local government key facts and figures

There are 537 councils Australia-wide. Of these, around 55 percent are regional, rural, or remote councils.

Local government employs 194,000 people.

The first local government established in Australia was in Adelaide in 1840.

Australia's largest council by population is Brisbane City Council, servicing a population of 1.25 million.

Australia's largest council by area is East Pilbara in Western Australia. It covers an area of 379,571 square km (larger than Victoria), has a population of 11,005 and 3,237km of roads.

Authorised by Matt Pinnegar Chief Executive Officer of ALGA.











10 November 2014

The General Manager  
Bathurst Regional Council  
Russell Street  
Bathurst NSW 2795

Dear Sir,

**Re. Application for a Street Name**

My name is Robyn Waddell and I am writing this letter with rather an unusual request.

This request is in regard to the new soon to be developed Icely Estate Stage 2 at Eglinton and the naming of a street in honour of my father Russell William Carrig.

**My request is to name a street within Stage 2 of the Icely Estate after my father - CARRIG PLACE or CARRIG STREET.**

To give you a bit of back ground regarding my wonderful father, his name was Russell William Carrig (passed away 2009), he and my mother Norma Jean Carrig (currently 91yrs old) were landowners of a property called "Toora" which was approximately 250 acres, this property was subdivided from an initial property called "Allowaybank" on the Eleven Mile Drive, Eglinton (around 1974). My parents purchased this property from Barney Tyers in 1975.

My father was very well known in the sheep and wool farming industry and the agricultural arena, winning The Farmer of the Year in 1976. At that stage my parents also owned a farm on the O'Connell Road, however sold this farm shortly after purchasing Toora off the Eleven Mile Drive.

Toora is now owned by Peter and Raquel Graham.

My father, in 1987 was instrumental in developing the East Saltram Creek Landcare group, which he later became chairman of. The enthusiasm and commitment dad showed along with other landowners to the project led to the formation of one of the first Landcare Groups in NSW (1990).

I have attached a clipping from the Western Advocate 1989 which shows an article supporting my claim. You will also note from the clipping that there were representatives from Evans Shire, Bathurst City Council and the Soil Conservation Service of NSW.

The project was to combat the serious gully erosion, tree decline and the potential for increasing land acidity on the surrounding properties. The flooding and sedimentation on the Eleven Mile Drive causeway at Saltram Creek near Eglinton was also addressed and corrected. He was very committed to the project running many information sessions on the erosion of land, running of field days with the planting of trees and educational sessions showing the benefits of landcare on his and other landowner's properties. I have attached some photos to support this.

Following on from this, my husband Laurie and I currently live on 6 acres at 455 Eleven Mile Drive Eglinton. We purchased and built our family home 30 years ago, where we brought up our 5 children and now have 10 grandchildren. Laurie and I are also in the process of purchasing lot 18 in the new Icely Estate Stage 1. We are hoping to build a new home there for our next stage in our lives .....retirement!



I hope my request will be considered as I was very proud of what my father stood for and I know my mother, sister Cheryl Brown and all our families would be very honoured. I feel it would be a small token to show that we all recognised the hard work and dedication my father showed to the area and in particular to the East Saltram Creek.

Kind regards

Robyn Waddell  
455 Eleven Mile Drive  
Eglington NSW 2795  
0437370775







## Lambs easier at Blayney market

Lightweight lambs were most affected when an easier trend struck the Blayney prime stock sales on Tuesday.

There were 2500 lambs yarded, quality being good.

With reduced inquiry the market suffered a cheaper trend in keeping with sales in other parts of the state, heavyweight lambs being to \$2.50 cheaper and lightweights to \$4 cheaper.

Quotes:

New season's suckers:

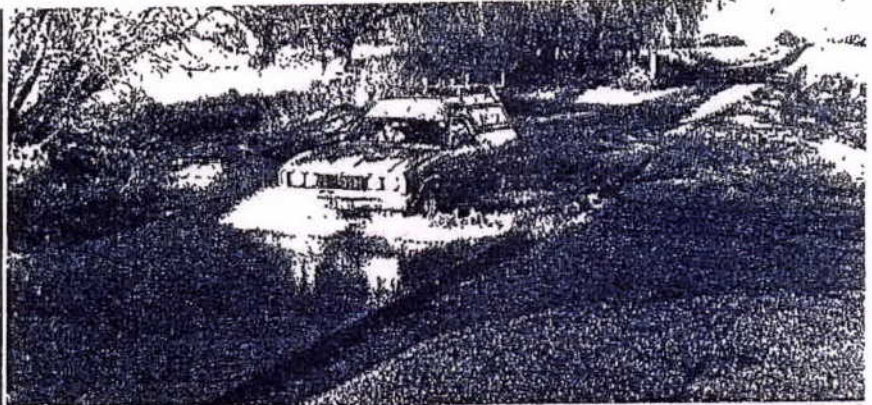
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16 to 18kg, \$27 to \$31; 18 to 20kg, to \$34.80.

Old lambs, 16 to 18kg: woolly, \$25 to \$30; storn \$20 to \$30.

Old lambs 18 to 20kg, woolly, \$30 to \$32.60.

There were insufficient mutton and cattle for a reliable quote.



Sediment washed down Saltram Creek is deposited on the 11 Mile Drive crossing, causing hazardous conditions for motorists.

# Landcare group to combat erosion in Eglinton area



Rus Carrig and Chris Marshall examine some active gully erosion in the East Saltram Creek catchment area.

Concern at serious gully erosion on their properties has prompted local landholders near Eglinton to form the districts first 'Landcare' group.

The groups chairman is Mr Rus Carrig who is well known as a grazier and past holder of the 2BS Farmer of the Year Award.

Mr Carrig announced the formation of the East Saltram Creek Catchment Landcare Group following a recent meeting on his property of landholders and representatives of Evans Shire Council, Bathurst City Council and the Soil Conservation Service of NSW.

He said that the group had consulted with the Soil Conservation Service who had in turn prepared an assessment of the land resources and land degradation within the East Saltram Creek catchment.

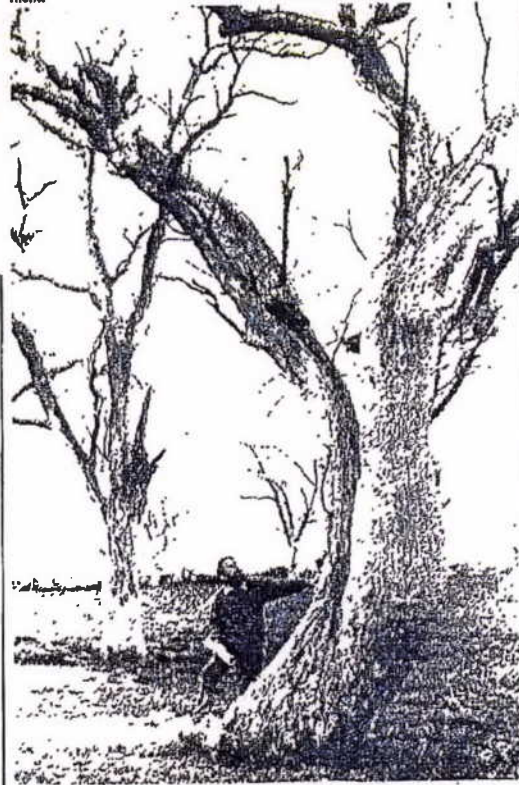
The report had confirmed the groups concern for serious gully erosion as well as highlighting the problems of flooding and sedimentation on the Eleven Mile Drive causeway at Saltram creek near Eglinton.

The report also drew the landholders attention to tree decline and the potential for increasing soil acidity on their lands.

The Soil Conservation Service report had shown that while great improvements had been made to the land since the nineteen fifties, serious problems still remained from earlier land developments.

It also showed that today's land management needed changing and improvement to prevent further erosion, soil acidification and tree decline.

TURN TO PAGE 8



Chris Marshall inspects severe tree decline on one of the properties in the Eglinton area.

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The Western Advocate, Friday, September 15, 1989—5



## LAND CENTRAL

### Footrot sheep sale success

ORANGE'S first stock sale for footrot sheep was so successful that Orange Saleyards manager, Dan Tooley, believed that if future sales are as successful, they will go a long way towards eradicating footrot in the district.

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He is also a leading breeder and judge of poultry, and author of a poultry raising publication.

In other local government elections in the Central Tablelands, Ald Ann Ashwood was elected Mayor of Bathurst for the second time, Ald Tim Sullivan, Mayor of Orange for the seventh time, and Ervin Johnson, president of Capatina Shire Council.

**LANDHOLDERS** in the Egmont area, near Bathurst, have banded together to form the district's first "Landcare" group, to handle gully erosion, flooding and tree decline.

Known as the East Sathorn Creek Catchment Landcare Group, it comprises landholders, representatives of Bathurst Shire Council, Bathurst City Council and the Soil Conservation Service.

President of the group is Russ Carrig, a former SBS "Farmer of the Year".

MR PETER BARRIS has been elected captain of Bathurst Bush Fire Brigade.

## Plan outlines erosion control works

FROM PAGE 5

Mr Carrig said that an important part of the Soil Conservation report was the plan for the catchment, showing where critical erosion control works were needed. He said that the plan allowed each farmer to see how bad the problems were on his farm and to see what type of work should be carried out.

The new Landcare Group is keen to solve the land degradation problems and recognised that much could be achieved using taxation deduction incentives and the resources of the people in the group. However, it is obvious that some of the problems are beyond the

capacity of individuals and some community support is needed.

as a team by the community and the individual landholders.

Mr Carrig said that the Landcare Group was not looking for a free handout but that approach would be a role model for better land loans in the form of Soil Conservation Advances would be sought to allow works to be carried out quickly and efficiently. He said that the group would be approaching local MLDs and councils to support them with their project. He felt sure that all parties would recognise how important it is for community problems like land degradation to be tackled and pollution.







77

BATHURST REGIONAL COUNCIL

Mr Daniel Dwyer  
Council's Environmental Planning & Development Services Dept.  
Russell Street  
Bathurst NSW 2795

- 9 SEP 2019

REF 20.00024-10.077

Dear Daniel,

**Council's Road Naming Database - Nomination of the name "CARRIG"**

I have attached for your information, my previous request and response I received from council, which I might add I appreciated Council's response.

Firstly, I have another request which I would like to put forward:

There is a long walkway that goes around the lower part of the Icely Estate (I have attached a photo for your information). From what I can see the walkway has not been gazetted a name.

Therefore, is there an avenue to seek approval to have that walkway named after my father?

**"CARRIG WALKWAY"**

The walkway named after my father would not only be a great honour in memory of the work he did for the area but also fitting as he was instrumental in developing the East Saltram Creek Landcare Group of which he was Chairman which focused on reducing the environmental improvement of the creek.

Please refer to my attached letter to Council Nov 2014 (previous supporting documentation was also provided with my first request and can be re-submitted if required).

Secondly, our family would also like to discuss an offer to donate the cost for a permanent seat to be placed at the end of Icely Street, beside the walkway for residences to take a rest and view the sites of Bathurst.

My husband Laurie and I have purchased a block of land (17 Icely Street) and are due to start building early next year with Marple Constructions. We chose this area because it is close to our hearts knowing the dedication dad had given to the area.

Thankyou for taking the time to consider my request and the family would be so honoured if it was approved. Please let me know if you require any further supporting documentation.

Look forward to hearing from you.

Kind regards

Robyn Waddell  
0437370775  
aberdeen455@outlook.com

**RECEIVED**

- 6 SEP 2019

BATHURST REGIONAL COUNCIL

DEPB



6 September 2021

The General Manager  
Bathurst Regional Council  
Russell Street  
Bathurst NSW 2795

**Appeal Council's decision to name Saltram circuit, walkway/cycleway after the late Russell Carrig**

This email refers to my previous application for a request to name, Saltram circuit walkway/cycleway after my father Russell Carrig.

As you are aware, Council denied my first request on the information I submitted, stating the following.

*" Council reviewed the supporting information that you provided in line with the Council's policy for the naming of Councils facilities. Unfortunately, on this occasion I must advise that your application has not been successful"*

While I acknowledge and appreciate Council adding his name to the data base for a future street naming within a new subdivision in this area (which will be many years away), I am concerned that it will not be in the area overlooking the East Saltram Creek, in which the walkway faces.

To support my appeal, I have provided additional documentation and support from people who knew dad and the commitment and dedication he had to the agricultural sector. I am hoping Council will review their decision. I am passionate about my request and know I feel that my request is very relevant.

While I acknowledge my father did not contribute directly to City of Bathurst as such, his commitment and dedication to the East Saltram Creek in the area in Eglinton was commendable.

Councillor John Fry can support the commitment dad had as he assisted dad with the planting of some trees.

Please find below a brief outline of Dad's achievements and supporting information.

- Purchased part of Alloway Bank on the Eleven Mile Drive, (1977-2003), where dad farmed crossbred sheep. This is where he became involved in the *East Saltram Creek Landcare* (Attachment 2)
- Taught Sheep and Wool classing Expertise at Bathurst Technical College and Oberon Technical College circa 1960's - early 1970's. This is supported by John Seaman (Attachment 3)
- Supporting documents of recognition
  - Won the farmer of the year 1976 on his property "Illawong" O'Connell Road
  - Won the 2BS, 2MG, 2LF Farmer of the year, Life Membership, Organising Committee
  - Highly Commended by Orange Agricultural College, The University of Sydney for Land Wise Farmer Quest 1994 (Attachment 4)



I have also attached (last attachment) a copy of the previous correspondence between Council and myself.

I hope my appeal will be upheld as I feel my request is reasonable given the work my father did for this particular area, being the East Saltram Creek. The formation of the group is outlined in attachment 2.

I also want to thank Council for the recent approval of a bench seat that will hopefully be installed by the end of the year 2021 (which the CARRIG family are fully funding) on the walkway in question in memory of my dad.

As we live near the walkway, I have observed a considerable number of residents from the surrounding area taking the opportunity to walk along the pathway with their families and children on their bikes and scooters. It is a wonderful area for residence to take time out and take in the beautiful views of the surrounding rural land, and the Kelso and Bathurst landscape.

Thank you for taking the time to review my application and I am looking forward to a positive outcome.

Commented [LW1]:

Regards

Robyn Waddell

0437370775



rep.

East Saltram Creek Landcare

This Group consisting of several immediate neighbouring landholders was formed in November 1987.

The aim of the group was to identify & seek assistance in the correction of land degradation & tree decline in the immediate area.

The major concerns as we saw it were

- 1/ Land Degradation (Soil - gully - rilling sheet erosion)
- 2/ Tree Decline - (Severe & on going)
- 3/ Soil Acidity
- 4/ Sediment flow onto district roads (Hick Drive) & into the Macquarie River.

A request was made to the Soil Con Service for assistance in identifying & assessing these problems & to suggest possible control measures.

Following the request the Soil Con Service made a very detailed & thorough survey of the area & the group has received a comprehensive analysis of their findings.

The co-operation afforded us by the "Soil Con" has been most praiseworthy & is greatly appreciated.

After Group discussion on their findings & recommendations it was decided to call a meeting & invite various bodies to attend & co-ordinate & approach to address these matters.

This meeting was held on the 31<sup>st</sup> Aug 1989 & was attended by

- 1/ Two Officers from Soil Con Headquarters Orange (Seniors)
- 2/ The Local Bathurst Conservationist
- 3/ An Engineer from Bathurst City Council
- 4/ An Engineer from Evans Shire
- 5/ 14 Group members.

To our mind this meeting was extremely successful & our aims were given total acceptance & a promise of full support from all in attendance.

At the suggestion of the Chief Soil conservationist from Orange Headquarters a committee of seven of the group was formed & an invitation extended to both Evans Shire & Bathurst Council to nominate a person

①

East Saltram Creek  
Landcare

Application written by Dad - Russell Carrig.

(late 80's)



24

to join this committee. - The committee would hopefully be then recognised & registered as an official Land Care group.

Following this meeting the local press gave our proposals a very good coverage & expressed support for any further media assistance.

Subsequent to this story appearing in the local press Prime Television contacted us & said they would like to do a segment as they thought the concept was worthy of community support, this segment was subsequently filmed & screened on CBN8.

As a group we feel someone has to take a lead in correcting the neglect of our soil & vegetation & the serious decline of our trees.

This is the first "Land Care" group to be formed in our area & if successful might well be a "Pilot Scheme" for this district as a whole if it is supported.

(2)



*Duplicate*  
*Original Retained*  
*30/7/87*

East Saltram Creek Catchment Group,  
21 Miller Street,  
BATHURST. 2795.

Mr. Tony McCarthy,  
Regional Director of Soil Conservation,  
Soil Conservation Service of N.S.W.,  
Govt. Office Block,  
ORANGE. 2800.

Dear Sir,

The above group has formed in response to a common concern for the erosion problem which exists in our valley. A recent meeting of the group resolved that we would like to undertake a whole catchment Soil Conservation Scheme.

The East Saltram Creek Catchment is located approximately 7 km north of Bathurst and is approximately 1500 ha in size. It involves eight (8) landholders. The catchment is suffering active gully erosion which is contributing to sedimentation and flash flooding at an open causeway on the Eleven Mile Drive at the village of Eglinton. We understand the Bathurst City Council is approaching your organisation over this same problem.

We believe that a whole catchment approach is the only effective way of solving our problems. We have observed the success of the nearby Evans Plains Creek Soil Conservation Project and one of our members has had first hand experience as a participant in that Project. We can see that a systematic and co-ordinated attack can solve the problem, leading to benefits to our group and the community as a whole.

To enable the group to get a clear idea of how the problem can best be tackled and to allow assessment of the financial requirements, it is requested that your Service assists the group. It would be appreciated if you could make staff available to carry out a co-ordinated plan of soil conservation works for the East Saltram Creek catchment. We believe that it is only through such a co-ordinated plan that a group's approach can be successful in tackling the erosion problem.

Having established a base plan for the catchment, our group will be in a position to consider the financial needs for carrying out the required works. As a group we are not asking for direct subsidies, but for help under the Soil Conservation Advances scheme with perhaps some State funds being made available for works with direct community benefit.

We hope you find this request for assistance practical and worthwhile. We look forward to your early reply.

Yours faithfully,

Rus Carrig,  
Chairman.

21st October, 1987.

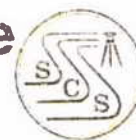
③



New South Wales Government



## Soil Conservation Service



Local Office:  
N.S.W. Government Offices,  
William Street, Bathurst.

P.O. Box 143, Bathurst. N.S.W. 2795.

Phone (063)334340

The Chairman,  
East Saltram Creek Catchment Group,  
21 Miller Street,  
BATHURST. 2795.

(Attention Rus Carrig)

Dear Rus,

In November, 1987 this Service undertook with your group to prepare an assessment of the land resources, erosion problems and required erosion control measures in the East Saltram Creek catchment area.

To this end a report has been prepared as has a separate works plan that shows the general style and location of works required to tackle the catchment's problems.

Recommendations are made in the report for action which the group and individuals can take towards solving the catchment and property problems.

I have included with this letter sufficient copies of the report to distribute to your members for their consideration.

o that there can be full discussion of the report, its recommendations and the works plan, I suggest that we get together at a meeting of your group. I would be happy to attend such a meeting to answer any questions that may arise.

Yours faithfully,

Chris Marshall,  
District Soil Conservationist,  
BATHURST.

10 August, 1989.

4



This is the first page of a 9 page  
 recommendation!  
 (available to read if required).

RECONNAISSANCE ASSESSMENT OF LAND DEGRADATION AND

SOIL CONSERVATION REQUIREMENT

EAST SALTRAM CREEK CATCHMENT, BATHURST. JUNE, 1988.

INTRODUCTION

In October, 1987 the East Saltram Creek Catchment Group representing eight landholders with ownership of approximately 1,500ha in the catchment contacted the Soil Conservation Service for assistance with an active gully erosion problem. At the same time, the Service was contacted by Bathurst City Council regarding sedimentation of the causeway across Saltram Creek on the Eleven Mile Drive beside the village of Eglinton.

In November, 1987 the Soil Conservation Service undertook to prepare an assessment of land resources, erosion and possible control measures in the East Saltram Creek catchment.

This report sets out the results of that assessment together with proposed actions.

SUMMARY OF FINDINGS

An assessment of the East Saltram Creek catchment land resources and land condition has:

- Established a gully erosion problem and its associated downstream community sedimentation problem.
- Identified the erodible and poorly structured nature of most of the areas' topsoil, and highlighted the need for changed cultivation practices as well as for conservative stocking rates.
- Identified a significant tree decline problem with its implications for seasonal waterlogging, gully control and loss of other on-farm benefits.
- Suggested the need for choosing deep rooted perennial pasture species for drought tolerance, protective groundcover, groundwater utilisation and nitrate use.
- Identified the need to investigate the present position and future trends of induced soil acidity.
- Identified the need to investigate the relationship of tree decline and pasture type to seasonal waterlogging.
- Proposed a package of land management changes and structural works to overcome the identified problems.



Advocate Clippings

Setting up of the first  
Landcare group for the  
District.

## Plan outlines erosion control works

FROM PAGE 5

Mr Carrig said that an important part of the Soil Conservation report was the plan for the catchment showing where critical erosion control works were needed. He said that the plan allowed each farmer to see how bad the problems were on his farm and to see what type of work should be carried out.

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as a team by the community and the individual landholders.

Mr Carrig said that the Landcare Group approach would be a role model for better land management in the whole Bathurst district. It was a way for today's landholders to overcome problems caused in the past and to set their properties up for long term sustainable production. Benefits would flow not only to the members of the group but to the downstream community through less flooding, sedimentation and pollution.

## LAND CENTRAL

### Footrot sheep sale success

ORANGE'S first stock sale for footrot sheep was so successful that Orange Saleyards manager, Dan Toohy, believed that if future sales are as successful, they will go a long way towards eradicating footrot in the district.

There was a yarding of 2500 sheep at the initial sale, and prices were on a par with those for footrot clean sheep at regular sales.

All sheep sold at the footrot sale were taken directly to the abattoirs.

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Cr Cox was also mayor five times during the life of the Mudgee municipality and has served for years on the local government executive, Mid Western Weeds County Council, and as president of Mudgee Show Society.

He is also a leading breeder and judge of poultry, and author of a poultry raising publication.

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LANDHOLDERS in the Eglinton area, near Bathurst, have banded together to form the district's first "Landcare" group, to handle gully erosion, flooding and tree decline.

Known as the East Sallarn Creek Catchment Landcare Group, it comprises landholders, representatives of Evans Shire Council, Bathurst City Council and the Soil Conservation Service.

President of the group is Russ Carrig, a former ZBS "Farmer of the Year".

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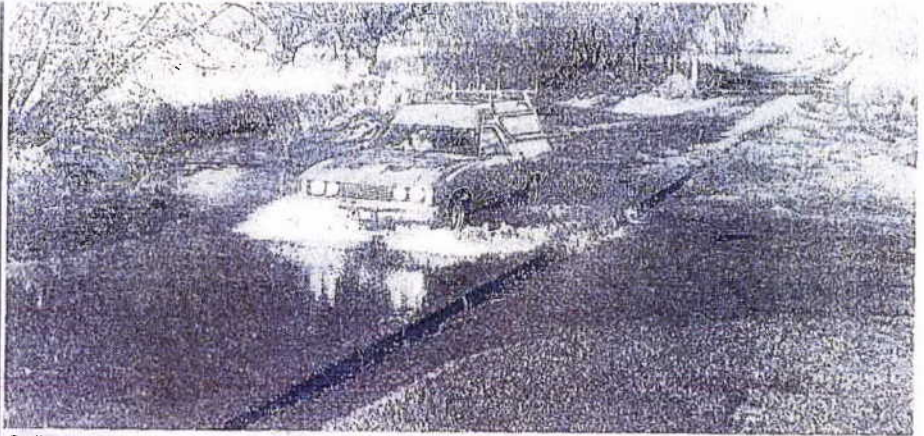
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## Landcare group to combat erosion in Eglinton area

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Bathurst 31 4344



Rus Carrig and Chris Marshall examine some active gully erosion in the East Saltram Creek catchment area.

Concern at serious gully erosion on their properties has prompted local landholders near Eglinton to form the district's first 'Landcare' group.

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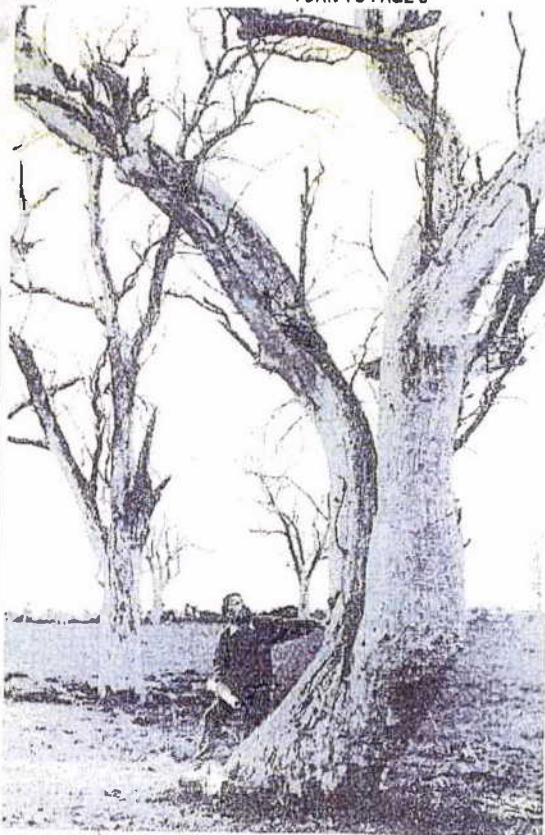
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The report also drew the landholders attention to tree decline and the potential for increasing soil acidity on their lands.

The Soil Conservation Service report had shown that while great improvements had been made to the land since the nineteen fifties, serious problems still remained from earlier land developments.

It also showed that today's land management needed changing and improvement to prevent further erosion, soil acidification and tree decline.

TURN TO PAGE 8



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or Phone (02) 905 0601



Name .....  
(Mr/Mrs/Miss/Ms)  
Address .....

(7)



# Tree awareness growing

**RUSSELL CARRIG** and **AUSTY STOCKS** (below), of the farmer-based East Saltram Land Care Group, are pictured planting trees as part of a species trial to determine the most suitable types of trees for widespread planting on farms.

The group received a grant from Greening

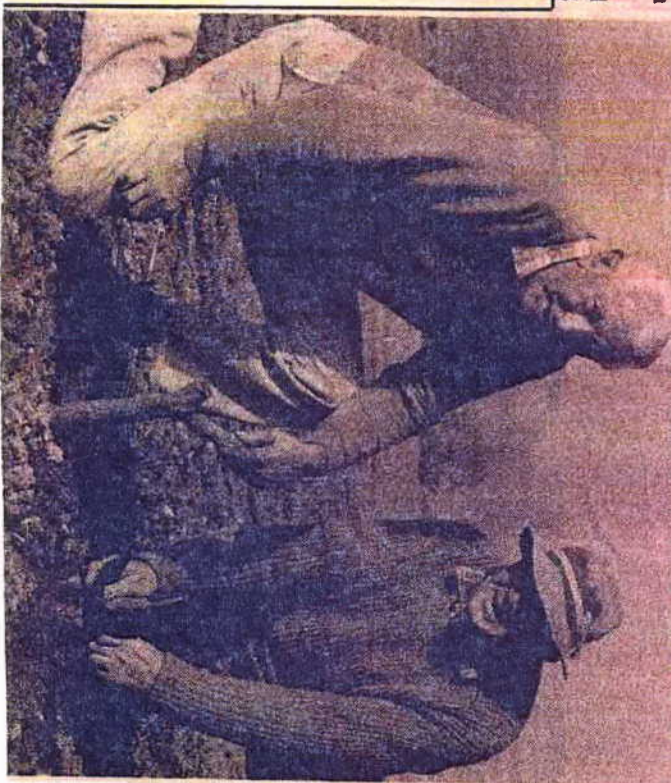
Australia and are implementing a program designed by district soil conservationist, Chris Marshall.

Farmers in the Bathurst region have been actively trying to

restore the environment for the last 30 years, but the limited funds and expertise have inhibited progress.

“What we are seeing now is heightened aware-

ness combining with a well funded, co-ordinated effort that is getting people of all ages and backgrounds out there planting trees,” Chris said.



Russell Carrig

Austy Stocks

(8)



30-8-1990 - The Land

## ANALYSIS

# to save Saltram Creek



But he realised that the overall problems of the catchment could only be solved if his neighbors became equally involved. A joint approach was needed.

So, dusting off the public relations and educational skills from his earlier career as a woolbroker and woolclassing teacher, Mr Carrig set about convincing his neighbors of the need for combined action.

Whether it was the force of his argument or just the sheer personal magnetism of this craggy conservation crusader, the end result was that Mr Carrig was able to enlist eight adherents to his cause.

Together, they approached the Bathurst district soil conservationist, Chris Marshall, to see what needed to be done.

This was about the time that the landcare movement was getting under way, and with the SCS keen to give impetus to the trend, Mr Marshall was able to win approval for the SCS to conduct a detailed survey of the problem area, as a no-cost service.

The survey revealed that while erosion and related sedimentation were indeed severe problems, they were only part of a much wider picture.

"We also identified rampant tree decline — we estimated about two per cent a year since the 1950s," Mr Marshall said. "Creek-bank and shelter-belt tree plantings were clearly needed."

"As well, the survey revealed that the whole area almost certainly has a problem of induced soil acidity; there is a problem of rising water tables and seasonal waterlogging; and on the lower flats there is evidence of soil structure decline reflecting the long history of traditional tillage practices."

With the problems identified, things started to move quickly.

The East Saltram Landcare Group was formed in 1987, with Mr Carrig as its chairman. A farm-by-farm catchment strategy plan was prepared by Mr Marshall and his

East Saltram Creek Landcare Group chairman, Russell Carrig, Bathurst, checks the progress of young native trees planted in autumn along the banks of a badly-eroded gully, watched by fellow group members Andrew Rendall (left) and Austin Stocks (right) and Bathurst district soil conservationist, Chris Marshall. The trees, consisting of eucalypts, acacias and casuarinas in equal proportions, have been planted on the property of group member, Len Barone, Bathurst, in an attempt to intercept water flowing off adjacent improved pasture country into the gully.

team, and the wheels of funding submissions started to turn.

Government funds for this and other landcare groups are available mainly to subsidise the cost of on-site demonstration projects aimed at showing landholders how they themselves can combat their problems.

Public-funded works undertaken so far for the East Saltram group range from creek-bank and shelter belt tree plantings to installation of silt interception structures and gully reforming.

A grant of \$7000 was obtained from Greening Australia and a further \$2500 from Trees on Farms, to fund the planting of 2000 native trees in nine separate demonstration sites.

This money covered the cost of supplying the trees and protective fencing; it was matched by an equivalent landholder contribution in the form of labor, involving site preparation, tree planting and follow-up weed control.

Mr Carrig said the actual task of preparing the sites and planting and tending the trees had been a model exercise of co-operative landholder involvement, and had done much to bind the group together.

In addition to the tree planting funds, the SCS has contributed \$2300 for demonstration

earthworks, while meeting the costs of producing a regular newsletter to keep members abreast of what is going on.

Mr Marshall is enthusiastic about the group's achievements this far, saying the East Saltram example is a classic case of what can be achieved by co-operation and relatively little public money.

He says in addition to the joint trial exercises, some \$40,000 of landholders' own money has been spent on conservation works since the group was formed — an investment he sees as being directly related to the landcare initiative.

And he says the scope is there for a further \$250,000 to be spent if, as expected, low interest loan funds are made available, on dams, banks, trees and in-stream works.

As well as anti-erosion measures, Mr Marshall says landholders will need to carry out more enlightened pasture improvement if the productive capacity of their land is to be restored.

In particular, deep-rooted perennial grasses like phalaris are needed instead of the shallow-rooted sub clover and ryegrass, to soak up water and acidity-inducing nitrates.

Mr Marshall sees the success of the East Saltram group also as an example of how a seemingly disparate collection of farmers can be moulded into a single-minded force.

He points out that the group's membership spans all age brackets and includes retirees, hobby farmers and 'Pitt Street' farmers — all now united by the problems of a catchment.

One of the group's most enthusiastic members is its youngest, Andrew Rendall, who manages his family's 134ha block, "Lladner", at the lower end of the creek where the valley levels out.

As such, his farm suffers from severe waterlogging as a result of a century of overclearing and erosion neglect further up the catchment — a problem he hopes to see solved by landcare group projects.



# Landcare group gains funding

**Bathurst Group receives National Soil Conservation Funds.**

The East Saltram Landcare Group has received a grant of \$9,000 from the National Soil Conservation Program.

Speaking at the official handing over of funds, Group Chairman Russ Carrig said the money would be used to carry out activities in the East Saltram Creek catchment area near Eglington to tackle serious land degradation problems that exist there.

Mr Carrig said the grant funds would be matched by group members in providing labor and other services to catchment repair works. He said the group aimed to show problems could be fixed using practical works on the ground.

In particular, the Landcare Group will be investigating the extent of area acid soils and will be implementing

demonstration tree plantings and other measures to control gully erosion.

Mr Carrig said the demonstrations would help group members identify ways to tackle problems and would develop a strong community spirit.

He expected other farmers outside the Group would benefit from the works to be carried out in the catchment.

In handing over the cheque, Director of Landcare with the Soil Conservation Service, Joe Cummins, said efforts already made towards improved land management by the Group would be greatly enhanced by new demonstrations.

He said community based actions of East

Saltram Group were part of a nation-wide effort to tackle Australia's land degradation problems.

**Chairman of East Saltram Creek Landcare Group, Russ Carrig, Chris Marshall of the Soil Conservation Service and Macquarie Landcare Director, Joe Cummins. New funding will allow East Saltram group to continue soil conservation works.**

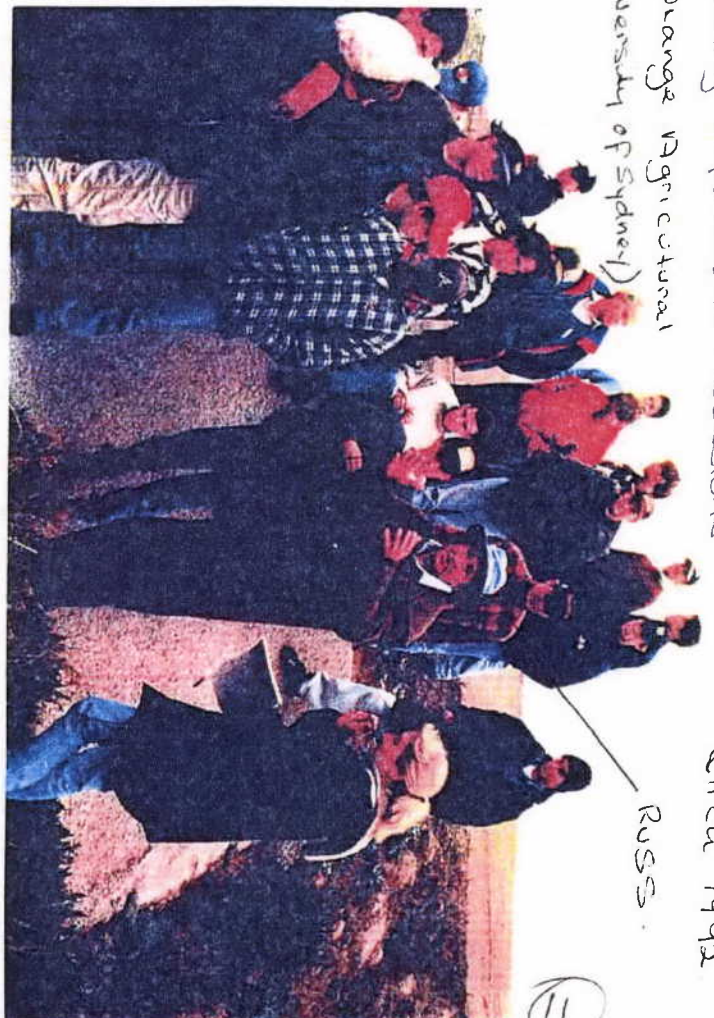


19-2-1991





Russell Lang providing information sessions to students from Orange Agricultural College (University of Sydney)

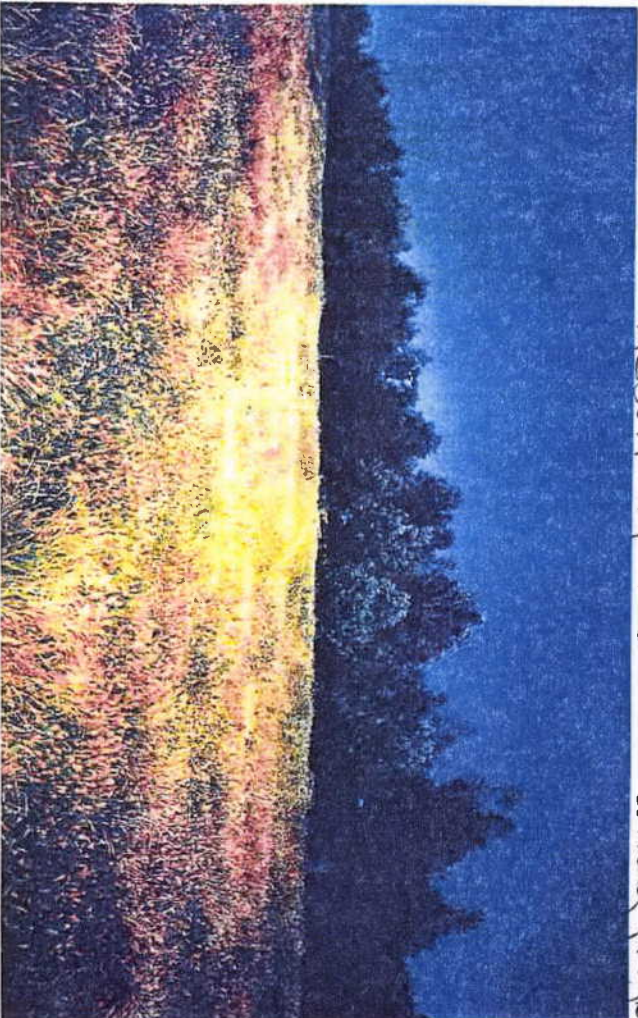


Circa 1992

Tree Planting circa 1992



Result of the tree planting program





African Donne is a similar type to our Merinos, but it does open a Pandora's Box for future competitions that may have to include SAMM's, Polworths and a brace of other offshoots.

It probably doesn't really matter if these breeds are included, but a policy decision needs to be clarified.

A similar decision needs to be made about how to include (or reject) ewes from registered Merino studs.

I PICKED up a flier for Sutton Breeding Services at a rural outlet recently and was impressed by the claims made for ultrasound pregnancy testing of cattle.

James Sutton conducts

breeding and rural testing at its advantages.

James has also recently acquired a local boom spraying business so he will be heavily involved in Tablelands agriculture.

His home phone is 6329 4889 and website [www.suttonbreedingservices.com.au](http://www.suttonbreedingservices.com.au).

THERE are still a few places left for the Bathurst Farming Systems evening with Tim Flannery, to be run by the Central West Catchment Management Authority at the Bathurst Memorial Entertainment Centre on Thursday, May 14.

All information and RSVP to Adam Hook on 6339 4915 or 1427 203 919.

Kelso. All members and non-members most welcome.

A CHEERIO call to former wool specialist Russ Carrig.

Russ came from a wool-broking background in Sydney to conduct the "Illawong" property at O'Connell and later a portion of "Alloway Bank" Eglinton.

Many local men of my vintage are grateful to Russ for teaching sheep and wool classing and shearing shed expertise to us in the early 1960s and for showing us commonsense and practicality in our industry.

He helped many of us find wool clips to class that enabled us to enter the wool workforce as young professionals.

We never forget the people who pointed us in the right direction as we grew up.

COULD YOUR  
QUALIFICATIONS  
DO WITH A TOP UP?

from John Seaman  
2009.

the advantages of the breed.

Several high profile cattle breeders have already made the switch from vealer production to the White Dorper lamb breeding strategy and their list of advantages reads:

■ Joining White Dorper rams to big-framed Merino ewes gives quite good wool shedding ability with the first cross.

■ Shearing, crutching, mulesing, drenching and lice and fly treatments will cost much less with each cross.

■ 150 per cent lambing is apparently quite achievable.

When so many are making changes, it may be a very good time to stick with big framed, heavy-cutting Merinos.



#### ENTER NOW

Entry Forms and Brochures from Bolly's Bikes or Winning Edge Cycles or Enter online at [www.nsw.cycling.org.au](http://www.nsw.cycling.org.au)

Long Course Starts 8.30am Blayney

Short Course Starts 10.00am Blayney

Family Fun Challenge Starts 8.30am

The Pits Mount Panorama

Note: Late entries received may not be timed

2405471

#### CSU has options to help you get ahead

Are you keen to build up your professional qualifications, develop your expertise and further your career potential – but you're not sure that you want to commit to a full course of study?

Discover the flexible study choices at CSU, one of Australia's leading universities. Choose from a wide range of undergraduate and postgraduate courses, or take advantage of our new single subject program. This lets you study just one subject, with the option of building your subjects up to a degree further down the track. Many subjects are Open Entry, which means there are no prerequisites. And our online supported distance education program lets you fit study around your other commitments. Many courses are available with a mid-year start, so see our website or call us now – and study your way.

Mid-year enrolments close 1 June 2009 | [www.csu.edu.au/nsw](http://www.csu.edu.au/nsw) | 1300 135 435

STUDYYOURWAY



CHARLES STURT  
UNIVERSITY



# Show's bell tolling for Col

## RURAL NOTEBOOK

FOR many years the grand parade at the Royal Bathurst Show was started by the ringing of a bell by the late Bunty Thompson of Goonamurrah, Duramana.

This year's bell ringing was ably performed by the mayor of Palmers Oakey, Col Ferguson OAM, and I'm told that he really enjoyed the task.

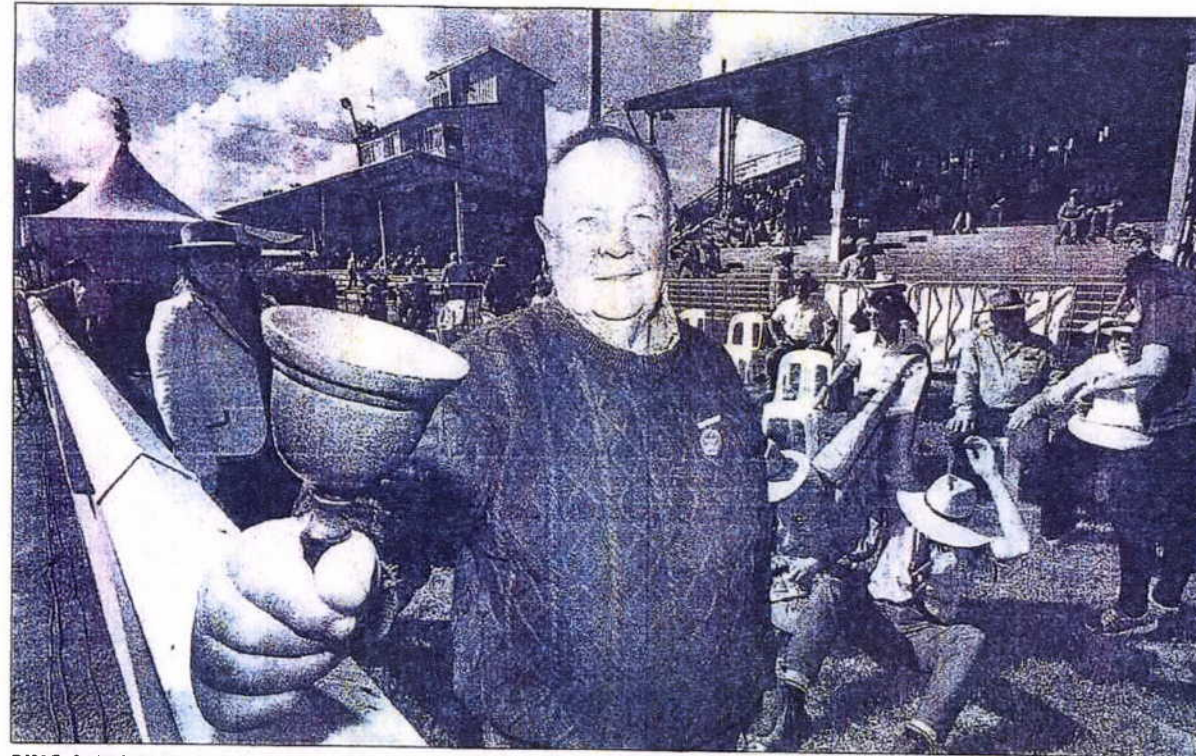
The Agricultural, Horticultural and Pastoral Association have a number of honorary life members and the idea of rotating the bell ringer on an annual basis may be a rewarding process.

I have heard the following comment so many times that it had to be put in print: "Have you been to a better Bathurst show in your lifetime?"

The local kids would agree that it was the best and most adults really appreciated a top class local event, arranged and controlled by locals. A real country show.

## Honour for Russell?

IT has been suggested a walkway that overlooks the East Saltram Creek Landcare project in the Icely Estate at Eglinton should be named



**RING OUT LOUD:** Col Ferguson rings the bell at the official opening of the Royal Bathurst Show grand parade earlier this month. 050121cshow6a

after the group's founder and initial chairman, the late Russell Carrig.

This naming of a pathway would be a fitting tribute to a highly respected Bathurstian who conducted the "Il-

lawong" property at O'Connell for many years before settling in the Eglinton area.

Russell was widely known by a generation of country people as a teacher of sheep and wool classing and ma-

chinery maintenance at the former Bathurst Technical College in the CBD.

## Hunter's poll positions

THE 13 starters for this weekend's Upper Hunter

by-election are at the barrier and the Nationals could hold it narrowly.

With an ICAC finding concerning the premier's activities soon becoming public and her government

currently sitting on a knife's edge, this Saturday's result is vitally important.

## Unbalanced budget

LAST week's Federal Budget was obviously framed with an eye on the upcoming federal election (possibly later this year) and there were lots of incentives for lots of voters.

To look back we remember that the Howard-Costello Government left around \$30 billion in cash that eased the shock of the Global Financial Crisis.

The Morrison-Frydenberg team presented a near balanced budget before Covid struck yet we now owe almost \$1 trillion, most of it borrowed from China.

With the US inflation rate jumping to 4.2 per cent our country can't afford to make any mistakes as someone will one day have to pay the fiddler.

## BMA meeting

BMA members are requested to attend their next meeting at the Bridge Hotel, Perthville next Monday, May 24 from 7.30pm.



# It's a feverish need for our sheep meat

## RURAL NOTEBOOK

SALE reports from weekly sheep and lamb sales show us that phenomenal amounts are being spent by processors and one Ballarat agent averaged \$157.95 per head for lambs and \$172.44 for sheep at last week's auction.

The best wethers at Bendigo sale brought \$240 and top price for heavy export lambs was \$220.

Much of the demand is apparently coming from China and its serious short-fall of red meat due to huge losses of pigs from the swine fever outbreak.

Mutton sheep returning record prices are extra heavy weights with the \$240 wethers dressing out at 52kg.

## NOT FORGOTTEN

TO add to my recent Landmark/Nutrien story, a friend

added some more agencies that have been amalgamated during the late 1990s.

They included Commonwealth Wool, Country Producers, Pitt Son and Badgery, Goldsbrough Mort and AML&F (all to Elders) while Australia Estates and New Zealand Loan went to Dalgety.

Each of these company names will revive memories and first on the list is the late Russell Carrig, Co-Wool, who came from the wool store to purchase the property "Il-lawong" at O'Connell where he ran a good merino flock.

Thanks to Alan for providing these details.

## KEEP 'EM COMING

FOR all the readers of this column who tell me that they notice less silly jokes each week, please be aware that

editorial staff at the *Western Advocate* often don't have the room for two harmless laughs each week.

If readers have rural news items they would like included, please SMS to 0429 372 471.

## LAUGH LINES

GEORGE told Mick: "There's not as much monkey business going on in Bathurst now as there was in the 1960s."

Mick thought a while and answered: "Oh yes there is, just a different mob doing it."

THEY were in mischief when the phone rang.

"Don't tell me your hubby's coming home," he said.

She breathed: "He won't be home for hours. He's playing cards with you and two blokes from the shop."



Melissa Gattrell

Thanks again,

information. Take care.

Appreciated your time and your

done by East Salem Co. I very much

for showing me the work that's been

I just wanted to thank you

Dear Mr. Camy,

09-10-96

Dad often had groups visiting  
his property, either to help with  
planting of trees or for insight  
information regarding erosion, rehabilitation  
and planting of trees for long term sustainable  
production of the land.

- One of many letters!



Property "Illawong"  
Farmer of the year.



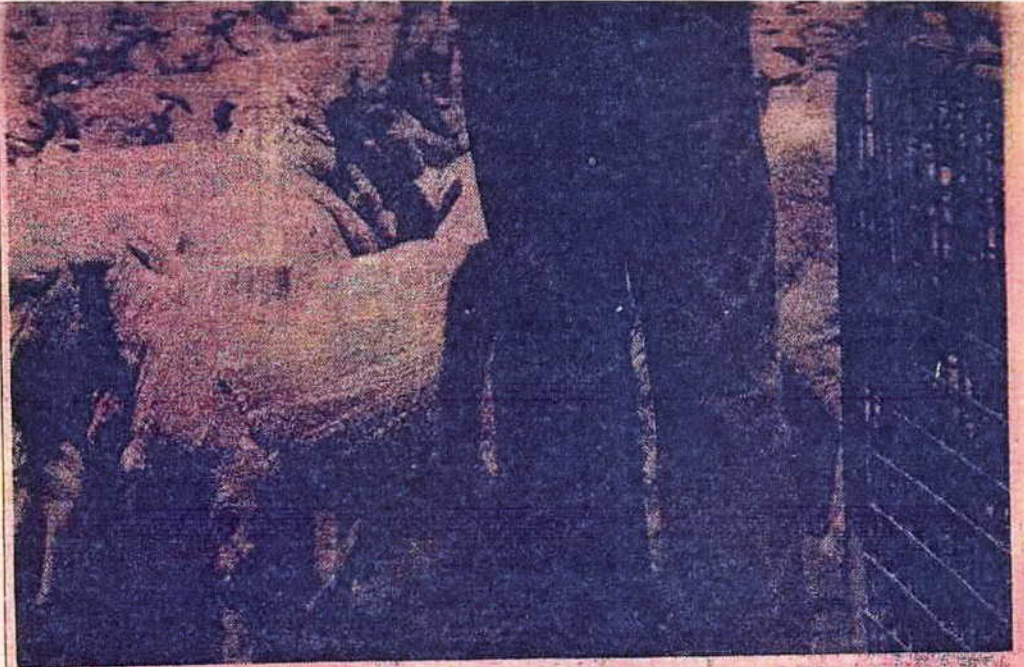
**"ILLAWONG"**

- 9 dry sheep equivalents per acre.
- Intensive, versatile high production property.
- Fish River frontage — irrigation.
- 12.5 km Bathurst.

**Elders**  
REAL ESTATE  
Sydney Bathurst & Branches

①





● Picture shows Mr Carrig preparing for dipping operations yesterday at Illawong.

## O'Connell man wins "Farmer of Year" award

A member of a partnership, operating a sheep holding on the O'Connell Rd, Mr Russ Carrig, has won the 2BS Farmer of the Year award.

The win entitles Mr Carrig to a six-weeks overseas study tour and \$500 spending money.

Mr Carrig conducts the Illawong and The Grange properties in conjunction with Mr Ern Jones.

Announcement of the win was made by the Prime Minister, Mr Malcolm Fraser, who congratulated Mr Carrig on his success.

In addition to the Farmer of the Year award, the Illawong - The Grange properties was awarded second prize in the improvement award.

The awards included:  
**BEEF CATTLE:** Thompson Brothers, Warrie, Sunny Corner, 1; Tarcoola Pastoral Company, Tarana, 2; Golden Valley, Duckmaloi, 3.

**OPEN SHEEP:** Messrs R. Carrig and E. Jones, Illawong, O'Connell Rd, 1; C. J. and N. J. Gardiner, Illoura, Vittoria, 2; C. E. and E. A. Case, Ilford, 3.

J. S. Indyck, Golden Valley, Duckmaloi, 1; H. McKinnon, Jonglora Pastoral Company, Porters Retreat, 2; R. T. and T. V. Young, Edith, 3.

**VEGETABLES:** Messrs K. R. and E. J. Hamer, Clearview, Perthville, 1; Allan Booth, White Rock, 2.

**APIARY:** D. Dibley, Bathurst, 1; E. Porter and Son, Yetholme, 2; Mackay Bros, Bathurst, 3.

**PIGS:** Gardiner Partnership, Gunnedah, 1.

**WHEAT:** R. L. Balcombe, Bugaldie, 1; R. Powell, Coolah, 2; Mandagera Pastoral Co, Manildra, 3.

**IMPROVEMENT:** Thompson Bros, Warrie, Sunny Corner, 1; R.

Carrig and E. Jones, O'Connell Rd, 2; Dr J. S. Indyck, Golden Valley, Duckmaloi, 3.

(2)



# Central West woolgrowers see pointers of hope



MR RUSS CARRIG, Illawong, O'Connell, near Bathurst, drenching Merino ewes on his property.

JAN. 1977.

Mainly because of the rise in wool prices, Central West woolgrowers have entered 1977 on the most encouraging note for years.

Nevertheless there is unlikely to be a dramatic and immediate swing to increased wool production.

Many former woolgrowers, who forsook wool for cattle the past few years, are too involved financially to effect a quick changeover.

Furthermore, there is a lack of good breeding stock available, the supply being depleted because of the reduced breeding pro-

## district farming report



gram evident during the past few years.

This shortage of stock has also been accentuated by losses following last year's blowy wave and floods in the outer Central West.

It is likely also that many of the established Merino woolgrowers in the Western Districts, who added first cross ewe breeding to their activities to participate in the stable prime lamb industry, will continue on this course.

If wool prices remain stable during the current year, many woolgrowers in the area consider that the industry will remain viable, despite the heavy cost of labor, drenches and insecticides.

One such grower is Mr Russ Carrig, Illawong, O'Connell, in the Bathurst district.

Mr Carrig, 1975 farmer of the year in the Central West, breeds his own Merino stock and is currently carrying 3400 sheep on 200 hectares (500 acres), the equivalent of 8.3 dry-sheep to the acre.

He arranges his breeding program for two lambings a year. At the last shearing of 1570 sheep of his flock, completed last Christmas, the average cut per head was 14lb 3oz.

He expects that the remainder of the flock will cut an even higher average, because of the predominance of wethers.

Mr Carrig, who breeds medium to strong Merinos based on Merryanbone blood, was a wool valuer for 10 years with Grazcos, Commonwealth Wool and Elder Smith before going on to his present property 16 years ago. He also taught technical college woolclassing for 10 years at Bathurst and Oberon.

## Confident

This competent, confident woolgrower gets his results by providing good management and selection plus adequate nutrition.

Though confident of prospects in the coming year, Mr Carrig intends to dispose of cattle he is carrying and join the east for age ewes in his flock to Border Leicesters as a saver.

Two other long-established Merino woolgrowers with equal confidence are Hugh and Cam Ross, who are carrying 9000 Merino wethers and 2000 cross-breds on 1377 ha (3435 ac) in two properties, The Springs and Willow Glen at Evans Plains near Bathurst.

③



• Top farmer of the Central Tablelands Feb. 1976.

# Wise management pays off for an enterprising grazier

Hard and thoughtful effort for 15 years has won for Russ Carrig, of "Illawong", O'Connell, near Bathurst, the title of "Farmer of the Year" of a large section of the Central Tablelands.

Russ gained the honor in an annual contest conducted by radio stations 2BS, (Bathurst), and 2MG, (Mudgee), open to farmers in the listening areas of those stations. There were 150 entries.

Russ runs "Illawong" and an adjoining property "The Grange", both with a combined area of 500 acres, in conjunction with Mr Edward Jones. He assumed management of the combined properties nine years ago.

City born Russ worked with Grazcos for seven years, then on Commonwealth Wool's wool valuing staff for five years and then, when he moved to O'Connell, became a part-time instructor in sheep and wool at Bathurst Technical College, a job he held for 12 years.

He has wrought vast improvements in both "Illawong" and "The Grange"; the latter is one of the first farms of the Bathurst district.

A mixture of perennial rye, cocksfoot, Marrar sub. clover and lucerne was sown on 170 acres of the higher country on "Illawong", and 57 acres of cutting lucerne on "The Grange" Macquarie River flats. A further 14 acres of lucerne was sown last year, and it is planned to

By  
**JOE McMENAMIN**

have a total area of 90 acres.

The river flat lucerne usually gives five or six cuts a year, and last year the total harvest was 12,000 bales.

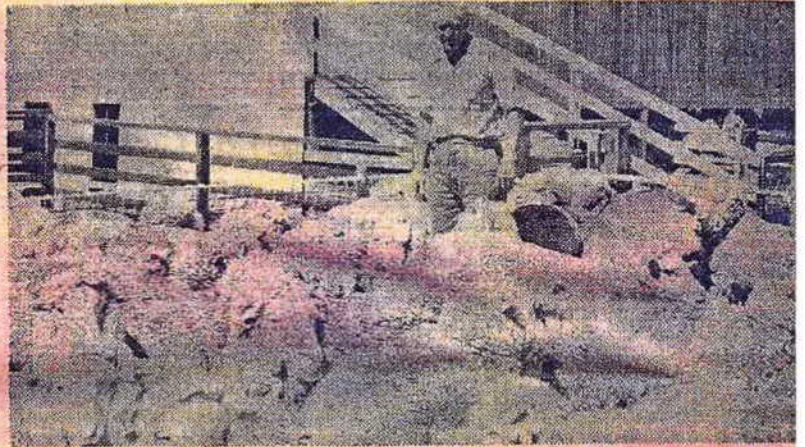
The running of the farm enterprise is a one-man job for Russ. He uses only part-time labor and the lucerne work is done by contract.

There is now a reserve of 8000 bales of lucerne hay in two sheds. Normally each winter about 1500 to 2000 bales are used in supplementary feeding of the stock, and a good deal of hay is marketed.

Russ says it costs 32 to 35 cents a bale to harvest the lucerne and a further 15 cents a bale to shed it. But he has been able to get \$1.30 a bale on the market.

"I usually grow about 60 to 80 acres of grazing oats a year, and generally manage to strip about 40 acres of the area", Russ says.

The oat grain is conserved in four silos with a total capacity of 2600 bushels, of which 700 bushels is used for supplementary feeding.



RUSS CARRIG, of "Illawong", O'Connell, near Bathurst, and portion of his Merino flock.

Using his own fertiliser spreader the champion farmer topdresses the entire farm area annually at the rate of 1½ cwt of super, to the acre.

"It has paid dividends", said Russ, who bought a good supply of super, before the bounty was removed.

One of the important improvement jobs was the subdivision of the properties into 30 paddocks.

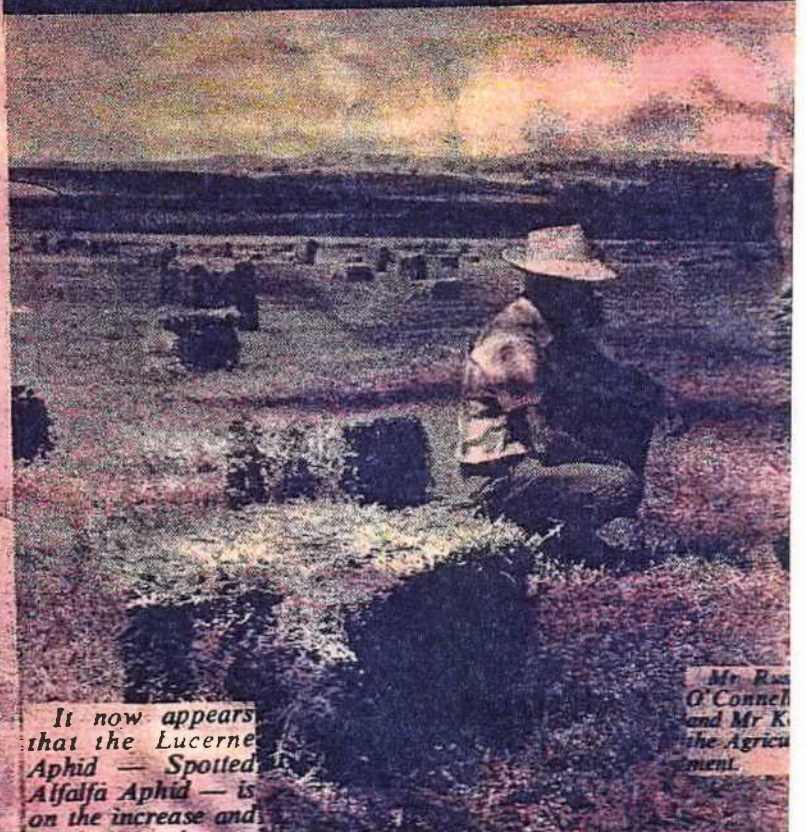
The result of subdividing, pasture improvement, supering and supplementary feeding has been a lift in the carrying capacity from 1½ sheep to the

acre to eight sheep to the acre in seven years.

Russ is running 700 bold medium Merino ewe of Merryanbone blood.

The past three seasons the entire flock, exclusive of lambs, has cut an average of 13 lb of wool a head, and last year the clip was 115 bales.

## APHIDS ARE BACK A



It now appears that the Lucerne Aphid — Spotted Alfalfa Aphid — is on the increase and

Mr Russ O'Connell and Mr K... the Agriculture





**ZBS**  
GOLDEN WEST

**"FARMER OF THE YEAR"  
COMPETITION**

***Merit Award***

*Mr. R. W. Carrig*

***awarded for Outstanding Agricultural Achievement***

**SECTION**

*Open Sheep Section*

***presented at Alloway Bank on the seventh day of  
October 1971***

⑤

*Bob Black*





**ZBS**

GOLDEN WEST

**"FARMER OF THE YEAR"  
COMPETITION**

*Merit Award*

*R. W. & M. J. Carrig.*

*warded for Outstanding Agricultural Achievement*

SECTION

*Open Sheep Section.*

*resented at Bathurst on the 18<sup>th</sup> day of*

*August 1971-2*

(6)

*Dennis R. R.*





## FARMER OF THE YEAR

### LIFE MEMBERSHIP

### -ORGANISING COMMITTEE-

**Life Membership is bestowed upon**

*Russell C Smith*  
.....

**28th October, 1983.**

*[Signature]*  
.....  
**Managing Director,  
Camplin Broadcasters Pty. Ltd.**

(7)





Orange Agricultural College  
The University of Sydney



# Landwise Farmer Quest

Highly Commended

(June Quarter 1994)

*Russell Carrig*

Signed: *Russell Carrig*

Chairman, Landwise Farm Quest

Date: *19.12.94*

*2*





# *Statement of Appreciation*

**Awarded to**

**RUSS CARRIG**

**For your assistance and support for  
young people and projects in the  
Landcare Environment Action Program**

*Angel Smith*  
PRINCIPAL

16 JANUARY 1997

⑨



3/11/19.

Mr Daniel Dwyer  
Council's Environmental Planning & Development Services Dept.  
Russell Street  
Bathurst NSW 2795

Dear Daniel,

**Council's Road Naming Database - Nomination of the name "CARRIG"**

I have attached for your information, my previous request and response I received from council, which I might add I appreciated Council's response.

Firstly, I have another request which I would like to put forward:

There is a long walkway that goes around the lower part of the Icely Estate (I have attached a photo for your information). From what I can see the walkway has not been gazetted a name.

Therefore, is there an avenue to seek approval to have that walkway named after my father?

**"CARRIG WALKWAY"**

The walkway named after my father would not only be a great honour in memory of the work he did for the area but also fitting as he was instrumental in developing the East Saltram Creek Landcare Group of which he was Chairman which focused on reducing the environmental improvement of the creek.

Please refer to my attached letter to Council Nov 2014 (previous supporting documentation was also provided with my first request and can be re-submitted if required).

Secondly, our family would also like to discuss an offer to donate the cost for a permanent seat to be placed at the end of Icely Street, beside the walkway for residences to take a rest and view the sites of Bathurst.

My husband Laurie and I have purchased a block of land (17 Icely Street) and are due to start building early next year with Marple Constructions. We chose this area because it is close to our hearts knowing the dedication dad had given to the area.

Thankyou for taking the time to consider my request and the family would be so honoured if it was approved. Please let me know if you require any further supporting documentation.

Look forward to hearing from you.

Kind regards

Robyn Waddell  
0437370775  
aberdeen455@outlook.com

Pg 1





Pg 2





Civic Centre  
158 Russell Street  
Private Mail Bag 17  
Bathurst NSW 2795

Telephone 02 6333 6111  
Facsimile 02 6331 7211  
council@bathurst.nsw.gov.au  
www.bathurst.nsw.gov.au

17 February 2020

Mrs R Waddell  
455 Eleven Mile Drive  
EGLINTON NSW 2795

*Reply*

Dear Mrs Waddell

**Request to name Saltram Circuit walkway/cycleway after the late Mr Russell Carrig**

Council refers to your application submitted in September 2019 to name the footpath/cycle way located along Saltram Circuit after your late father Mr William Carrig. Council *Russell* apologises for the length of time taken for this reply, however it has been deemed important to give due consideration and investigation into your request.

In relation to your application to have the footpath/cycle way named in honour of your father, Council has reviewed the supporting information that you have provided in line with Council's policy for the naming of Council facilities. Unfortunately, on this occasion, I must advise that your application has not been successful.

It is noted that your application in 2014 for adding the name "Carrig" to Council's road naming database was successful and this name is in Council's system for future use. I can advise that Council will escalate the name "Carrig" within its database to ensure that it is given opportunity to be utilised within acceptable subdivisions of Eglinton, when opportunity becomes available.

Council thanks you for your interest in this matter.

Yours faithfully.

Mark Kimbel  
MANAGER RECREATION

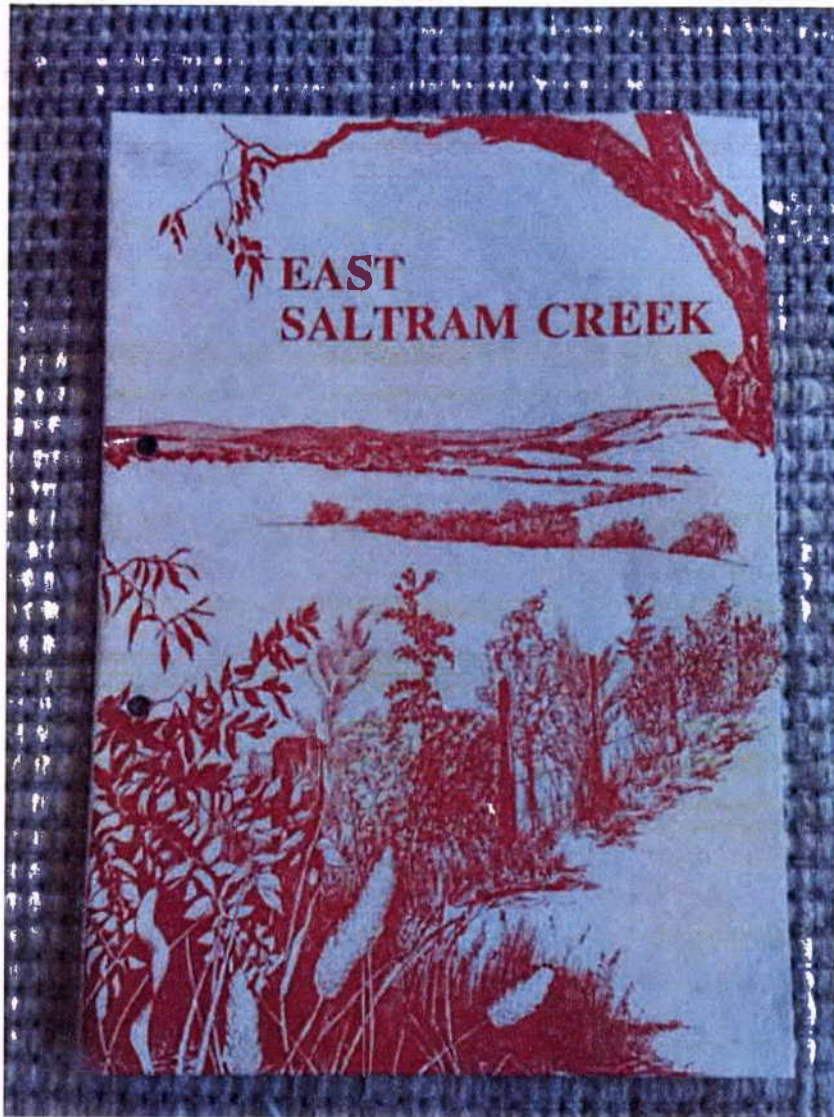
*Pg 3.*

Reference: MK:MB: 20.00024-10/077  
Enquiries: Mr Mark Kimbel - (02) 6333 6285

BATHURST REGION... FULL OF LIFE

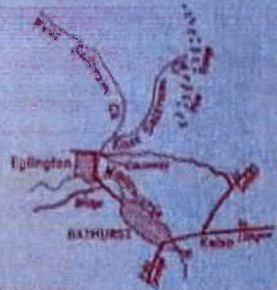
Proud to be an evocity







## A RECENT HISTORY OF HOW IT ALL BEGAN



The East and West arms of Saltram Creek rise in the hills located about 12 kilometres north of Eglinton. They flow down through undulating granite country until they reach the basin area just to the east of Eglinton where the two arms of Saltram Creek merge before joining the Macquarie River.

The catchment, covering an area of approximately 2440 hectares, was first settled in 1832 when three free settlers took up grants of roughly 2000 acres (810 hectares) each.

They were:

George Rankin	"Kallashiel"
Thomas Lacy	"Saltram"
Capitain Piper	"Allaway Park"

The properties were not extensively fenced and supported only deteriorating native pastures. In the 1940's the rabbit problem assumed disastrous proportions and gully and sheet erosion were severe, particularly on the higher, steeper, easily erodible granite country. Little or nothing was done for decades, leading to the sculpturing downslope of giant channels, some up to twelve metres deep.



In the late 1940's many of the larger properties were split into smaller holdings and the landholders in the steeper country did a lot of corrective soil conservation and development work. The advent of pasture improvement, internal paddock subdivision, and the application of superphosphate did much to halt the soil loss that had been so prevalent.



But the control of the major gullies at the head of the catchment was beyond the resources of the individuals. It became clear that a collective effort was needed to address the problem.

East Saltram Creek



### The First Meeting

In 1987 a combined meeting of landholders within the catchment of the East Salmon Creek was organised to discuss common problems within the area.

Sixteen people representing eight adjoining properties were in attendance. They were concerned about the extent of land degradation that had taken place in the catchment and were prepared to commit themselves to participate as a group to endeavour to overcome the problems. At subsequent meetings several other concerns were identified:

- Tree Decline
- Gully and Sheet Erosion
- Waterlogging
- Soil Acidity
- Soil Salinity

### Landcare Group Incorporated in 1987

The enthusiasm and concern exhibited by the landholders led to the formation of one of the first "Landcare Groups" in NSW (1980). In discussions among the members several landholders indicated that they had already completed extensive soil conservation work (dams, contour banks, gully control works). The fact that they had spent a substantial sum in excess of \$200,000, indicated the commitment of these members of the group.

### The First Steps Towards Rehabilitation

It was decided to request the assistance and guidance of the District Soil Conservationist Mr Chris Marshall. The cooperation and advice the group received from this source was outstanding.

He had a full aerial photo map developed of the catchment. He did an extensive and complete assessment of the area and was then able to suggest corrective strategies and their associated cost analyses for each property.

With the rural downturn and the high interest rates applying to soil conservation loans at the time, landholders were forced to "mark time" in committing themselves to ongoing work. However after constant lobbying of the government the Minister for Agriculture the Hon. Ian Armstrong announced by that more realistic interest rates on loans would be available after July 1 1993. This resulted in five group members committing themselves to ongoing land conservation works valued at more than \$60,000.

East Salmon Creek 3

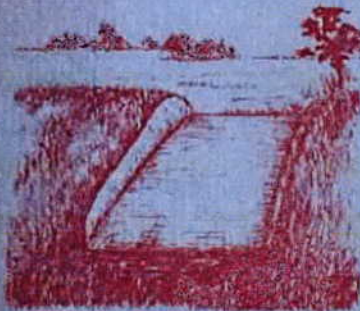


It was important that something be done with a degree of urgency. The major gullies at the head of the catchment were of the greatest concern (up to 12 metres deep) and unless they were controlled the success of the project would be greatly lessened. Much of the sediment being produced by the erosion of these gullies was being deposited at and below the causeway at Eglinton. This often caused the road to be flooded with access via the Soltram Creek crossing often not available. On occasion the bridge crossing the Macquarie River had also been cut by floodwaters at the same time, leaving the residents of Eglinton virtually stranded.



Some 2000 interested local people signed a petition requesting that something be done to alleviate this situation.

The group has worked with the Central West Catchment Management Committee in seeking Commonwealth government assistance to carry out remedial work like the construction of flumes, weirs and contour works.



In addition, applications made to Greening Australia and the National Soil Conservation Program (over three successive years) have enabled the planting of trees and the construction of fencing and experimental concrete flumes to be carried out. (A flume is a device for taking runoff water from one ground level down to a lower one without erosion taking place). The farmers were going to perform most of the work themselves but students from the Eglinton School did a great job with tree planting.

#### The Catchment Declared a Soil Conservation Project Area

In 1991 the catchment was declared a Section 10 Project area under the Soil Conservation Act of NSW. This meant that certain eligibility criteria for Advance funds would be waived and that the project would be coordinated at catchment level. The Soil Conservation Service allocated \$60,000 of state funding for construction of critical works, allowing the Project to proceed at an accelerated rate.

As a result of these actions, sedimentation of the Eglinton causeway would be reduced, thus helping to ensure safe passage to the residents should an emergency situation arise.

*East Soltram Creek, 2.*



On a number of occasions various influential people have visited the catchment and inspected the works. These include the former Minister for Conservation and Land Management, the Hon. Garry West, local Federal member, Mr David Simmons and a group of international visitors from African and Asian countries.

#### Local Government Lends its Support

The Bathurst City and the Evans Shire Councils have given their wholehearted support to the project because they can see that it will not only assist the landholders but will reduce road maintenance costs for the councils themselves.



Tree planting is continuing and up to the present time some 2000 trees have been planted. As well as Eglinton School, St Stanislaus College, All Saints College and Bathurst High School have taken part. Other schools in the Bathurst area have also offered help. Skillsshare workers have assisted with fencing and the construction of wire weirs.

The local media have been extremely helpful in getting the message to the community. ABC's 2CR, commercial radio 2HS, Prime Television, the Western Advocate and the Western Mailman have all lent their support.

East Suburbs Creek





Other benefits are beginning to show - many birds like finches, parrots and others are making their presence evident in the newly created wildlife corridors.

The progress made so far bears testimony to the sincerity of the landholders in their desire to restore the Saltram Creek environment to its former beauty and productivity.

### Some Facts at a Glance

#### Members of the East Saltram Creek Landcare Group

O & M STOCKS	"ACACIA GLEN"	EQUNTON
AUSTIN STOCKS	"ACACIA GLEN"	EQUNTON
L & E RENDALL	"LADNER FARM"	EQUNTON
ANDREW RENDALL	"LADNER FARM"	EQUNTON
R & N CARRIO	"TOORA"	EQUNTON
H & A ECCLESTON	"RESTDOWN"	EQUNTON
P & H HANSEMAN	"ALLOWAY BANK"	EQUNTON
J & D SUTTOR	"BRUCEDALE"	EQUNTON
C & M WARD	"CANDOLRA"	EQUNTON
G & M JONES	"GLEN OUTRAMP"	EQUNTON

Area of catchment - 2430 hectares

Average Annual Rainfall - 675 mm

Stocking rates -  
5 DSE (approx) on lower country  
35 DSE on the undulating granite country

#### Pasture and Fencing

Most of the properties have carried out extensive pasture sowing programs over recent years and regular lime and fertilizer applications have been made. In the main, fencing is very good, the practice of fencing off sensitive gully areas is being given ongoing priority, as well as fencing off riparian areas.

#### Agricultural activities within the catchment

Deer production  
Commercial acacia production  
Cattle for beef production  
Pine plant production  
Goat rearing (meat and mohair)  
Dairy (cattle and goats)

This brochure has been produced with the assistance of LANDCARE the Soil Conservation Service, a division of the Department of Conservation and Land Management and the Central West Catchment Management Committee.



Approved by Jenny van der Meer  
Designed by Don Stanger



East Saltram Creek - 6



David,

**Many thanks for the opportunity to reflect on the significant contributions of Russ Carrig to landcare and conservation in the Bathurst Region. I am completely confident in recommending that Council recognise Russ and his work by naming the new section of cycleway at Eglinton after him.**

Your request has challenged me to reflect on a significant part of my career as the District Soil Conservationist in Bathurst during the 1980's and 1990's. This all seems so long ago and while so much has been achieved before and since, much remains to be done to care for our landscape. Many people have contributed to this ongoing effort and Russ Carrig is one of those special people who took on the task with vigour, wisdom and diplomacy.

These were times of change with land use, and land management relationships involving land holders, the State and Federal governments and local councils. It was the beginning of the "landcare" movement. State organisations, including the Soil Conservation Service of NSW, began diversifying from providing one on one services to individual landholders to working with groups of landholders, including local councils and others to focus on wider catchment and regional issues. The Federal Government boosted funding opportunities with a National Soil Conservation initiative that developed into a broader Landcare support program.

Russ Carrig had been a long term individual client of the Soil Conservation Service when I first met him. He had implemented a soil conservation farm plan involving gully repair, tree planting and fencing according to land capability. Further to this, Russ was a community leader in that he championed soil conservation through his off farm work with rural service companies and with TAFE students. Russ was a perfect fit for the changes at hand. The community was primed to move to collective, self-directed action with landcare but needed leaders to emerge.

When the opportunity arose at Bathurst to develop the new model of whole of catchment management through organised community groups Russ was a natural and enthusiastic facilitator and leader. He intuitively understood what the land and his community needed and was prepared to do all the hard work to bring a diverse range of people and organisations together. He was a great communicator, an energetic advocate and a profoundly practical person who got the work done in the paddock. He set high standards.

The East Saltram Creek Landcare Group, of which Russ was the Chair, was one of the first landcare groups incorporated NSW and was certainly a leader at the time in the Bathurst Region. The group provided the inspiration and model that many other regional groups soon followed.

While much had been done by individuals in the group to improve land condition and repair historic erosion many large gullies remained active and beyond the resources of individuals to repair. It was common knowledge that these gullies were delivering huge sediment loads into the lower reaches of Saltram Creek and creating flooding issues that were regularly blocking the causeway on Eleven Mile Drive, restricting access for the people living in Eglinton.

Russ saw this problem as an opportunity to broaden the focus of the group and to engage with the then Bathurst City Council which was grappling with the causeway problem. With his usual confidence and character Russ facilitated Council support for his group and its work. Further to this Russ championed the declaration of East Saltram Creek Catchment as a Project under the Soil Conservation Act of NSW enabling the construction of large scale critical sediment trapping works that were well beyond the financial capacity of the group's members.

At the time East Saltram Creek Landcare Group delivered on its projects under the leadership of Russ there were concerns arising for the security of water quality at the regionally significant Chifley and Fish River water storages. Investigations had highlighted the link between algae problems and sediment yield across their respective catchments. Engineers with both the Fish River Water Scheme and Bathurst Regional Council looked to the community based catchment management model that was working so well with Russ and his neighbours at East Saltram Creek. It was a proven and practical model and its transfer at such an increased scale and scope in these important catchments is due in some measure to the model so well demonstrated by Russ and his group.

In short Russ was a hardworking leader of change, an inspiration to others, a great communicator and diplomat in the field of landcare. He certainly deserves a chapter in the book that someone may write one day chronicling the long history of conservation effort in the Bathurst Region.

Chris Marshall

20/1021



<b>POLICY:</b>	NAMING OF COUNCIL FACILITIES
<b>DATE ADOPTED:</b>	Director Corporate Services & Finance's Report #8.3.5.1 Council 16 June 2021 Resolution No. ORD2021-189 Council 21 July 2021 Resolution No. ORD2021-233  Director Corporate Services & Finance's Report #1 Policy 5 December 2018 Council 6 February 2019 Minute Book No. 12902
<b>ORIGINAL ADOPTION:</b>	Director Engineering Services & Report #1 Policy 1 September 2010. Council 15 September 2010 Minute Book No. 10985
<b>FILE REFERENCE:</b>	04.00008
<b>OBJECTIVE:</b>	To provide Council with a set of guidelines for the naming of Council owned and managed public open spaces, including reserves, parks, public gardens, sporting fields / facilities and recreational areas and to allow for the recognition of both the European and Indigenous cultural heritage of the Bathurst Region.

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The guidelines will ensure that the naming of all places is carried out in a consistent manner according to an established set of criteria.

This policy excludes the naming of geographical or topographical features which are covered by the Geographic Names Board and also excludes roads and streets which have their own set of guidelines.

Where existing Council owned public open space is not named, Council will apply this policy and associated guidelines. The policy will not be used to rename places already named, or names approved by Council, Committees or Community Boards by formal resolution.

It is intended that facilities would be named after individuals only in exceptional circumstances and that such naming would:



- Commemorate and recognize individuals, institutions or events that contributed significantly to the betterment of the Bathurst community.
- Demonstrated achievement at a high level.
- Portray the appropriate physical, historical or cultural character of the area/place concerned.
- Be consistent with the overall interest, values and expectation of the Bathurst community.
- Be consistent with the relevant legislation and Geographical Names Board Guidelines where applicable
- Be consistent with Council's guidelines for naming roads.
- Generally, the recommendation to name a Council facility after a person of good character will only be considered after the person is deceased. In exceptional circumstances a Council facility could be named after a person still living in recognition of past contributions, but generally only when the association or link has ceased or is completed.
- Where practicable, the deceased person's next of kin or appropriate relative will be consulted before a deceased person's name is recommended for naming.
- Facilities should not be named for members of Council staff, Councillors, appointees to Committees of the Council or those formally associated with Council, as long as that formal relationship exists.
- The names of existing facilities would only be changed if exceptional circumstances warrant the name to be changed.
- If a facility that has been named is removed or replaced for any reason, or the nature of the facility changes, Council is not obliged to retain the name.
- Council will require sufficient information regarding the request to name the specific area/facility and such information will need to be collaborated by an independent source.
- Council may forward any request to name a specific area/facility to any other party (e.g. Bathurst District Sport and Recreation Council, local sporting organization, Geographical Names board, Bathurst District Historical Society, Local Aboriginal Land Council etc) for comment.

### **Approval**

Approval will be based on the merits of each application and on the guidelines as set in this policy. Proposals for the naming of facilities may come from a variety of sources including individuals, groups, clubs, committees and societies etc.

An initial review of the proposal will be made by Council Officers and an assessment of the proposal for its conformance with the criteria and procedure herein.

If assessed as conforming, the proposal will be advertised in Council's column in the local newspaper for a minimum of 2 weeks to allow for the



community an opportunity to comment. Following this, the proposal will be put to Council for final consideration and approval.

Council will ensure the origin of the name will be clearly stated and recorded.

Once approved, the installation and type of signage will be coordinated by Bathurst Regional Council with the cost being borne by the applicant of the request or in exceptional circumstances by Council.



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Type	Year	No.	Value	Description	Address	Date Determine
10	2017	79	\$510,000	Dual occuppncy, two lot subdivision	10 Saltram Circuit EGLINTON	23/03/2022
10	2017	142	\$0	MOD -Internal and external alterations to existing commercial building	205 Howick Street BATHURST	2/03/2022
10	2021	11	\$148,000	Construction of farm shed	46 Lagoon Road ORTON PARK	31/03/2022
10	2021	343	\$20,000	Change of use from farm shed to cellar door and internal alterations	700 Rockley Road ROCKLEY MOUNT	17/03/2022
10	2021	366	\$1,011,765	Warehouse	5475 Great Western Highway RAGLAN	17/03/2022
10	2021	548	\$5,400,000	1. Partial Demolition, Additions and Alterations to Existing Education	31 Gormans Hill Road GORMANS HILL	28/03/2022
10	2021	580	\$680,000	Change of use to Medical Facility with ancillary accommodation cabins	747 Tarana Road BREWONGLE	18/03/2022
10	2021	593	\$323,730	Single storey dwelling with attached garage	891 Red Hill Road PALING YARDS	22/03/2022
10	2021	595	\$430,000	Second Rural Dwelling House	2314 Mitchell Highway VITTORIA	9/03/2022
10	2021	605	\$377,000	1. Two Lot Residential Subdivision (Stage 1) 2. Single-storey Dwelling	42 Godfrey Street RAGLAN	7/03/2022
10	2021	617	\$413,267	Dual occupancy, 2 lot subdivision and single storey dwelling	50 Miriyan Drive KELSO	22/03/2022
10	2021	621	\$406,800	Rural dwelling and associated earthworks	752 Rockley Road ROCKLEY MOUNT	11/03/2022
10	2021	631	\$247,500	additions & alterations to existing & dual occupancy(second dwelling)	69 Alexander Street EGLINTON	2/03/2022
10	2021	633	\$275,000	Change of use to office, interal fitout, advertising signage, painting	98 Keppel Street BATHURST	2/03/2022
10	2021	634	\$135,000	Installation of site generator	93 Stanley Street BATHURST	17/03/2022
10	2021	637	\$650,000	Dual occupancy, retaining wall and two lot subdivision	17 Darling Street EGLINTON	15/03/2022
10	2021	638	\$800,000	Two storey dwelling with attached garage	78 McManus Road MEADOW FLAT	2/03/2022
10	2022	1	\$90,000	Shed	171 Blue Ridge Drive WHITE ROCK	4/03/2022
10	2022	5	\$55,000	Demolition of existing dwelling and garage and construction of garage	79 Boundary Road ROBIN HILL	2/03/2022
10	2022	6	\$20,000	steel rainwater tank & demolition of existing concrete water tank	20 Dempsey Street PEEL	11/03/2022
10	2022	9	\$18,800	Construction of a garage and retaining wall	14 Darvall Drive KELSO	7/03/2022
10	2022	13	\$25,000	Earthworks, drainage & hardstand surface	14 Michigan Road KELSO	14/03/2022
10	2022	15	\$350,000	additions and alterations to existing dwelling	255 College Road ORTON PARK	15/03/2022
10	2022	16	\$0	Two lot industrial subdivision and earthworks	17 Michigan Road KELSO	21/03/2022
10	2022	17	\$12,000	shed	34 Roxburgh Drive KELSO	8/03/2022
10	2022	19	\$46,460	Alterations and additions to existing dwelling	242 Keppel Street BATHURST	17/03/2022
10	2022	20	\$2,500	Remove existing patio cover and construct new patio cover	3 Charles Place KELSO	3/03/2022
10	2022	26	\$102,000	Construction of a shed	247 Yetholme Drive YETHOLME	8/03/2022
10	2022	28	\$34,630	advertising signage and external painting/artwork	16 Ingersole Drive KELSO	21/03/2022
10	2022	30	\$50,000	Secondary Dwelling and Retaining Walls	31 George Thomas Close THE LAGOON	2/03/2022
10	2022	31	\$55,000	Construction of a shed	6 Colville Street WINDRADYNE	1/03/2022
10	2022	33	\$19,460	Shed	9 Lamont Place EGLINTON	1/03/2022
10	2022	39	\$212,469	Construction of secondary dwelling	7 Edgell Street WEST BATHURST	14/03/2022
10	2022	41	\$62,000	Transportable office building	19 Whyalla Circuit KELSO	2/03/2022
10	2022	42	\$1,500	Replacement of retaining wall	3 Edye Close KELSO	8/03/2022
10	2022	43	\$7,500	Retaining wall	7 Sunbright Road KELSO	9/03/2022
10	2022	44	\$48,645	Dwelling alteration and shed	31 Mendel Drive KELSO	9/03/2022
10	2022	49	\$560,000	Dual occupancy and two lot subdivision	29 Basalt Way KELSO	11/03/2022
10	2022	50	\$560,000	Dual occupancy and two lot subdivision	90 Emerald Drive KELSO	14/03/2022
10	2022	51	\$30,000	1. Shed 2. Earthworks and retaining walls	57 Basalt Way KELSO	23/03/2022
10	2022	54	\$9,500	earthworks and retaining walls	45 Basalt Way KELSO	14/03/2022
10	2022	61	\$19,000	Shed	7 McLennan Close ROBIN HILL	31/03/2022
10	2022	73	\$66,200	Construction of a shed with attached carport	9 Dougan Close WINDRADYNE	17/03/2022
10	2021	351	\$50,000	MOD - Shed	185 Peregrine Road BILLYWILLINGA	23/03/2022
18	2022	26	\$417,861	Single storey dwelling with attached garage	17 Keystone Rise KELSO	2/03/2022
10	2022	81	\$3,000	Earthworks and retaining walls	151 Marsden Lane KELSO	18/03/2022
10	2022	83	\$7,000	Conversion of garage into habitable rooms	5 Hobson Close EGLINTON	7/03/2022
10	2022	80	\$1,000	Use of existing habitable rooms	1 Rankens Bridge Road EGLINTON	29/03/2022
10	2022	85	\$26,000	Construction of a shed	111 Hughes Street KELSO	15/03/2022
10	2022	90	\$1,500	Earthworks and retaining wall	137 Marsden Lane KELSO	1/03/2022



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Type	Year	No.	Value	Description	Address	Date Determine
10	2022	92	\$32,000	Construction of a shed	31 Jagoe Drive KELSO	22/03/2022
10	2022	95	\$22,500	Shed	18 Cain Drive KELSO	23/03/2022
18	2022	35	\$405,000	single storey dwelling with attached garage	65 Basalt Way KELSO	9/03/2022
18	2022	36	\$35,000	Inground swimming pool with safety barrier	16 Colonial Circuit KELSO	1/03/2022
10	2022	103	\$40,000	Construction of a shed	2 Rankens Bridge Road EGLINTON	29/03/2022
10	2022	104	\$9,500	Earthworks and retaining walls	47 Basalt Way KELSO	7/03/2022
10	2022	107	\$75,000	The installation of temporary marquees/structures and scaffolding	48 Durham Street BATHURST	8/03/2022
10	2021	367	\$180,994	MOD - Proposed depot shed/garage	255 College Road ORTON PARK	21/03/2022
18	2022	39	\$200,000	Construction of an addition to existing single storey dwelling	47 Thomas Drive EGLINTON	8/03/2022
18	2022	40	\$335,235	Single storey dwelling with attached garage	22 Basalt Way KELSO	15/03/2022
18	2022	41	\$330,000	Construction of a single storey dwelling with attached garage	64 Mendel Drive KELSO	8/03/2022
18	2022	44	\$330,000	Single Storey Dwelling with attached Garage	73 Basalt Way KELSO	18/03/2022
10	2022	114	\$4,000	extension of existing shed	183 Blue Ridge Drive WHITE ROCK	23/03/2022
18	2022	46	\$404,000	Single storey dwelling with attached garage	137 Marsden Lane KELSO	11/03/2022
10	2020	495	\$0	MOD - Deck	93 Graham Drive KELSO	23/03/2022
18	2022	50	\$392,760	Single storey dwelling with attached garage	47 Basalt Way KELSO	17/03/2022
18	2022	51	\$65,000	Additions and alterations to existing dwelling	2 Banksia Place RAGLAN	21/03/2022
10	2022	132	\$2,675	Replace part of existing front fence	3 Cummings Street WEST BATHURST	29/03/2022
18	2022	52	\$320,000	Construction of a single storey dwelling with attached garage	24 Granite Rise KELSO	22/03/2022
18	2022	54	\$339,921	single storey dwelling with attached garage	45 Basalt Way KELSO	28/03/2022
18	2022	55	\$487,109	single storey dwelling with attached garage	52 Basalt Way KELSO	30/03/2022
18	2022	56	\$520,000	Single storey dwelling with attached garage	50 Basalt Way KELSO	28/03/2022



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Type	Year	No.	Value	Description	Address	Date Determine
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NIL



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Type	Year	No.	Value	Description	Address
10	2017	214	\$75,000	Internal office addition to existing hangar	PJ Moodie Drive RAGLAN
10	2020	146	\$49,900	Reclamation project - sunny corner mine	83 Dark Corner Road SUNNY CORNER
10	2020	199	\$8,500	Use of existing alterations to unit development	4 Keppel Street BATHURST
10	2020	200	\$7,000	Use of existing alterations - internal timber staircase	4 Keppel Street BATHURST
10	2020	201	\$9,500	use of existing alterations to unit development	4 Keppel Street BATHURST
10	2020	202	\$6,500	Use of existing masonry fence	2A Keppel Street BATHURST
10	2020	314	\$15,000	Change of use from garage to habitable rooms	1336 Limekilns Road CLEAR CREEK
10	2020	476	\$500	Earthworks	22 Burlington Rise KELSO
10	2020	502	\$20,000	Construction of a retaining wall	5 Irving Place ROBIN HILL
10	2021	72	\$303,537	Single storey dwelling	7 Bolton Street KELSO
10	2021	75	\$10,000	Intensification of mining facility	Trunkey Road CALOOLA
10	2021	21	\$320,000	Second storey extension to existing residential dwelling	208 Boundary Road ROBIN HILL
10	2021	262	\$4,500,000	Demolition, construction of mixed use development and subdivision	98 Corporation Avenue ROBIN HILL
10	2021	293	\$500,000	Demolition of existing dwelling and construction of 3 commercial units	124 Bentinck Street BATHURST
10	2021	302	\$276,000	commercial development - Retail	278 Lambert Street WEST BATHURST
10	2021	312	\$100,000	Proposed accessible amenities, shed refurbishment, primitive campground	1932 The Bridle Track BRUINBUN
10	2021	338	\$2,750,673	Eleven lot subdivision and associated works	Corporation Avenue ROBIN HILL
10	2021	358	\$3,000,000	Construction of a multi unit housing 12 x 3 bedroom units	225C Peel Street BATHURST
10	2021	394	\$0	Six industrial units, secondary dwelling and carports	21 Upfold Street GORMANS HILL
10	2021	416	\$424,600	Single storey dwelling with attached garage	92 McManus Road MEADOW FLAT
10	2021	420	\$280,000	Dual occupancy (second dwelling)	121 Stewart Street BATHURST
10	2021	429	\$1,155,000	Six two bedroom units & six lot community title subdivision	38A Stanley Street BATHURST
10	2021	440	\$549,670	Demolition and construction of new dwelling and shed	36 Stanley Street BATHURST
10	2021	456	\$281,000	Demolition and construction of showground pavilion	Kendall Avenue BATHURST
10	2021	490	\$2,270,000	Function centre, tourist-visitor accommodation and primitive camping	25 Hollis Lane PERTHVILLE
10	2021	497	\$30,000	Replace retaining wall and install new 7x3m swimming pool and barrier	30 Jarrah Court KELSO
10	2021	521	\$1,200	Use of existing carport	306 Havannah Street SOUTH BATHURST
10	2021	531	\$35,000	Partial demolition, additions and alterations to existing dwelling hou	176 Durham Street BATHURST
10	2021	534	\$1,200,000	Construction of 4 single storey dwellings and 2 lot consolidation	165 Keppel Street BATHURST
10	2021	552	\$25,000	Change of use from office to skin penetration business	49 William Street BATHURST
10	2021	557	\$0	4 lot large residential subdivision	229 Mount Rankin Road MOUNT RANKIN
10	2021	560	\$15,135,863	Intensive Plant Agriculture (medicinal cannabis)	1673 Freemantle Road WATTON
10	2021	561	\$400,000	Two storey dwelling with attached garage	6 Brennan Drive KELSO
10	2021	577	\$906,422	Demolition of Existing Dwelling House, Construction of Multi Dwelling	169 Stewart Street BATHURST
10	2021	587	\$15,000	Construction of a deck	359 Howick Street BATHURST
10	2021	588	\$2,200,000	Demolish sheds, construct 2 x single storey & 3 x two storey dwellings	221 Peel Street BATHURST
10	2021	596	\$446,500	6 Lot subdivision, Place of Public Worship and Demolition of existing	48 Hamilton Street EGLINTON
10	2021	601	\$395,000	Dual occupancy (2nd dwelling), detached habitable room & subdivision	212 Russell Street BATHURST
10	2021	604	\$9,910	Construction of a carport	27 Dovey Drive KELSO
10	2021	607	\$594,500	Single storey dwelling with attached garage	1593 Mitchell Highway THE ROCKS
10	2021	613	\$60,550	Extension of existing shed and new shed	10 Ophir Street BATHURST
10	2021	614	\$950,000	New storage shed and extension to an existing industrial workshop	29 Lyal Street GORMANS HILL
10	2021	619	\$0	Use of existing shed	Turondale Road TURONDALE
10	2021	620	\$44,000	Use of existing business identification signage	10 Stockland Drive KELSO
18	2021	277	\$350,000	Alterations and additions to existing dwelling	255 College Road ORTON PARK
10	2021	627	\$836,000	Alterations and additions to existing dwelling house, change of use	772 White Rock Road WHITE ROCK
10	2021	628	\$520,000	Dual occupancy and two lot subdivision	145 Marsden Lane KELSO
10	2021	506	\$45,000	Modification - Construction of shed	37 Locke Street RAGLAN
10	2021	639	\$80,000	Alterations and additions to existing dwelling and partial demolition	1446 Limekilns Road CLEAR CREEK



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Type	Year	No.	Value	Description	Address
10	2021	640	\$14,000	Alterations and additions to existing dwelling	930 Vale Road PERTHVILLE
10	2022	8	\$9,771	Carport	62 Ashworth Drive KELSO
18	2022	3	\$200,000	alterations and additions to existing dwelling	391 Laffing Waters Lane LAFFING WATERS
10	2022	10	\$6,000	two lot subdivision	357 Mount Rankin Road MOUNT RANKIN
10	2022	11	\$330,000	Two storey dwelling with attached garage	87 Bant Street SOUTH BATHURST
10	2022	24	\$44,000	1. Subdivision of Two (2) Lots into Two (2) (Boundary Adjustment) 2. R	14 Messenger Street WINDRADYNE
18	2022	7	\$431,000	Single storey dwelling with attached garage	8 Bolton Street KELSO
10	2022	29	\$406,000	Demolish dwelling and structures and construct new dwelling and shed	163 Sydney Road KELSO
10	2022	32	\$25,000	Shed	24 Keppel Street BATHURST
10	2022	34	\$20,000	Alterations and additions to dwelling	27 Tarella Road PEEL
10	2022	36	\$450,000	Single storey dwelling	1381 Rockley Road FOSTERS VALLEY
10	2022	38	\$10,000	Construction of shed	2 Johns Place WINDRADYNE
10	2022	40	\$0	Two lot subdivision	19 Brae Lane WATTLE FLAT
10	2022	45	\$18,000	Above ground swimming pool, safety barrier and deck	3444 Great Western Highway YETHOLME
10	2022	46	\$150,000	Internal alterations to dwelling, carport, garden wall	15 Bryant Street BATHURST
18	2022	17	\$0		3 Beavis Place LLANARTH
10	2022	58	\$0	Four lot industrial subdivision	39 Vale Road SOUTH BATHURST
10	2022	62	\$552,590	Demolition of existing & construction of a single storey dwelling	19 River Road KELSO
10	2022	63	\$4,000	Front fence	49 Colville Street WINDRADYNE
10	2022	64	\$625,351	two storey dwelling with attached garage	5 Meagher Street LLANARTH
10	2022	65	\$347,107	Dual occupancy (second dwelling), two lot subdivision & retaining wall	3 Wallace Way KELSO
10	2022	66	\$380,000	Partial demolition, alterations, two storey addition to dwelling	177 Stewart Street BATHURST
10	2022	68	\$507,400	Single storey dwelling	831 Rivulet Road DURAMANA
10	2022	69	\$0	10 lot strata subdivision	16 McPhillamy Avenue GORMANS HILL
10	2022	70	\$16,000	shed	9 Press Court KELSO
10	2022	71	\$250,000	Minor demolition & alterations and additions to existing dwelling	164 Durham Street BATHURST
10	2022	74	\$187,000	Silos and associated infrastructure at existing intermodal transport	95 Lee Street KELSO
10	2022	75	\$838,779	Two storey dwelling with attached garage	107 Blue Ridge Drive WHITE ROCK
10	2022	76	\$250,000	Workshop shed	390 Panorama Avenue MITCHELL
10	2022	77	\$30,000	Demolition of existing communication hut	44 Freemantle Road EGLINTON
10	2022	78	\$2,427,000	Twenty industrial units and retaining walls	10 Michigan Road KELSO
10	2021	442	\$18,500	MOD - Shed	157 Russell Street BATHURST
10	2022	79	\$8,909	1.Demolition of existing garage 2. Replacement garage	6 Kelly Place WEST BATHURST
10	2022	82	\$300,000	Dual occupancy (Second dwelling) and partial demolition	360 Stewart Street BATHURST
10	2022	84	\$860,000	Construction of a single story dwelling and shed	244 Boundary Road ROBIN HILL
10	2020	272	\$20,000	MOD - Construction of garage	5 Delaware Crescent ROBIN HILL
10	2022	88	\$560,000	Dual occupancy and two lot subdivision	75 Basalt Way KELSO
10	2022	89	\$665,000	Single storey dwelling with attached garage	343 Wells Access Road WATTLE FLAT
10	2022	91	\$450,000	Additions & alterations to existing dwelling, dual occupancy 2nd dwell	184 Seymour Street BATHURST
10	2022	93	\$40,000	Three lot subdivision	21 Samuel Way THE LAGOON
10	2022	94	\$130,000	Alterations and additions to existing commercial shed + Carport	62A Bant Street SOUTH BATHURST
10	2022	96	\$375,573	Construction of secondary dwelling	280 Hen & Chicken Lane EVANS PLAINS
10	2019	352	\$0	1. Seven (7) Group Homes within Five (5) Separate Buildings;2. Two (2)	10 Collins Close KELSO
10	2022	97	\$650,000	Two residential units, three lot residential subdivision & carport	22 Kefford Street BATHURST
10	2022	98	\$250,000	Alterations and additions to existing dwelling and partial demolition	17 Manilla Street BATHURST
10	2022	99	\$0	Four lot residential subdivision	14 Landseer Street RAGLAN
10	2019	145	\$320,000	MOD - Demolition of existing garage, construction of new garage	136 Hope Street BATHURST
18	2022	38	\$16,000	Pools / decks / fencing	55 Freeman Circuit LLANARTH
10	2022	102	\$560,000	Dual occupancy and two lot residential subdivision	46 Basalt Way KELSO
10	2022	106	\$462,000	Dual occupancy and two lot residential subdivision	19 Darvall Drive KELSO



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Type	Year	No.	Value	Description	Address
10	2022	108	\$308,000	single storey dwelling, retaining walls and shed	16 Hassall Grove KELSO
10	2022	109	\$555,000	3 Lot industrial subdivision and construction of 3 industrial sheds	33 Michigan Road KELSO
10	2022	110	\$9,000	Construction of a patio	16 Peacock Street EGLINTON
10	2022	111	\$31,000	Demolition of existing garage and construction of new garage	47 Alexander Street EGLINTON
10	2022	112	\$30,000	Shed	84 Samuel Way THE LAGOON
10	2022	115	\$380,500	New single dwelling with two lot subdivision (boundary adjustment)	266 Havannah Street SOUTH BATHURST
10	2022	116	\$27,500	Construction of a shed	8A Delaware Crescent ROBIN HILL
10	2014	6	\$0	MOD - 5 lot residential subdivision	8 Upfold Street GORMANS HILL
10	2014	4	\$0	MOD - 5 lot residential subdivision	12 Upfold Street GORMANS HILL
10	2022	119	\$45,000	Addition to existing dwelling	50 Gilmour Street KELSO
18	2022	49	\$120,000	inground swimming pool and spa with safety barrier	133 Mount Rankin Road MOUNT RANKIN
10	2022	120	\$30,000	External painting of commercial premises	110 William Street BATHURST
10	2022	121	\$700,000	Dual occupancy and two lot residential subdivision	58 Basalt Way KELSO
10	2022	122	\$31,000	Construction of a shed	16 Kite Place RAGLAN
10	2022	123	\$5,038,660	26 Lot Industrial Subdivision (Including One Open Space Lot, Construct	4040 O'Connell Road KELSO
10	2022	124	\$360,000	Demolition, two storey additions and construction of detached carport	54 Seymour Street BATHURST
10	2022	125	\$448,583	Single storey dwelling	1729 The Bridle Track BRUINBUN
10	2022	126	\$6,000	Installation of above ground plunge pool with pool fence	63 Brilliant Street BATHURST
10	2022	128	\$0	Subdivision for the purpose of Agriculture.	2261 Tarana Road GEMALLA
10	2022	129	\$30,000	Use of existing earthworks & proposed retaining wall on	8 Bolton Street KELSO
10	2022	130	\$0	Two lot rural subdivision	2261 Tarana Road GEMALLA
10	2022	131	\$0	Three lot residential subdivision (2 existing lots)	98 Piper Street BATHURST
10	2022	133	\$2,000	Demolition of demountable buildings	70 Eglinton Road LLANARTH
10	2022	134	\$13,921	Underpinning of dwelling unit	4/161 Seymour Street BATHURST
10	2022	135	\$35,200	Additions to dwelling	91 Bant Street SOUTH BATHURST
10	2022	136	\$1,460,000	8 lot strata subdivision	31 Corporation Avenue ROBIN HILL
10	2022	137	\$40,000	Construction of large colour bond shed.	96 Hereford Street KELSO
10	2020	167	\$82,500	MOD - Alterations and additions to commercial licenced premises	250 Stewart Street BATHURST
10	2022	138	\$149,000	Addition to shed and convert to secondary dwelling	21 Williams Lane PERTHVILLE
10	2022	139	\$18,500	Swimming pool and related landscaping	32 Meagher Street LLANARTH
18	2022	53	\$18,500	Swimming pool	7 Cain Drive KELSO
10	2022	140	\$330,000	Single storey dwelling	1116 Rockley Road FOSTERS VALLEY
10	2022	141	\$300,000	Warehouse and Service Station	57 Hampden Park Road KELSO
10	2022	142	\$30,000	Demolition of residence and sheds	489 Conrod Straight MOUNT PANORAMA
10	2022	143	\$15,700	Construction of a shed and installation of a swimming pool	17 Darvall Drive KELSO
10	2022	144	\$605,000	single storey dwelling & shed	291 Redbank Road TRIANGLE FLAT
10	2020	180	\$0	MODIFICATION 188 lot residential subdivision and new roads	Limekilns Road KELSO
10	2022	145	\$450,000	Two storey dwelling with attached garage	36 Newlands Crescent KELSO
10	2022	146	\$23,900	Construction of an amenities block and installation of new septic	Sofala Road SOFALA
10	2022	147	\$50,000	inground swimming pool with safety barrier and retaining walls	23 Icely Street EGLINTON
10	2022	148	\$60,000	Farm shed	156 Saint Johns Road GEORGES PLAINS
10	2022	149	\$300,000	Demolition, alterations and additions to existing dwelling	162 Piper Street BATHURST
10	2022	150	\$30,000	Alterations & additions to existing dwelling	36 Durham Street BATHURST
18	2022	58	\$500,000	Constructions of a single storey dwelling with attached garage	57 Basalt Way KELSO
18	2022	60	\$620,000	Single storey dwelling with attached garage and inground pool	140 Hughes Street KELSO
10	2022	151	\$3,000	Earthworks	233 Lawrence Drive KELSO
18	2022	61	\$10,000	Garages, carports and car parking spaces	20 Nelson Street RAGLAN
10	2022	152	\$554,326	Two storey addition, cabana and pool	7 John Norton Place BATHURST
10	2022	153	\$412,500	demolition of dwelling and new single storey dwelling	227 Peel Street BATHURST
10	2022	154	\$530,000	Single storey dwelling with attached garage	77 Mendel Drive KELSO
10	2022	155	\$80,000	Installation of in ground swimming pool and safety barrier	241 Keppel Street BATHURST
10	2022	156	\$121,000	Alterations & additions to existing dwelling	1 Blue Ridge Drive WHITE ROCK



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Type	Year	No.	Value	Description	Address
18	2022	62	\$55,000	swimming pool and safety barrier	268 Howards Drive MOUNT RANKIN
10	2022	157	\$800,000	Two storey dwelling with attached garage	121 Hughes Street KELSO
10	2022	158	\$7,800	Constrction of a carport	5 Church Street TRUNKEY CREEK
10	2022	159	\$3,850	Tree removal	255 Bentinck Street BATHURST
18	2022	64	\$74,823	Swimming pool and safety barrier	67 George Thomas Close THE LAGOON
10	2022	160	\$93,500	single storey secondary dwelling	227 Peel Street BATHURST
10	2022	161	\$170,000	secondary dwelling	247 Browning Street WEST BATHURST
10	2022	162	\$160,783	Alterations and additions to medical centre	154 Bentinck Street BATHURST
10	2022	163	\$500,500	Single storey dwelling with attached garage	74 George Thomas Close THE LAGOON
10	2022	164	\$19,146	Patio	59 Alexander Street EGLINTON
10	2021	467	\$148,200	Modifiction - Industrial shed	105 Sydney Road KELSO
18	2022	65	\$391,515	Single storey dwelling with attached garage	3 Samuel Way THE LAGOON
10	2022	165	\$410,000	Construction of a new dwelling	25 East Street ROCKLEY
10	2022	166	\$48,475	Two lot subdivision, demolition, tree removal and dividing fence	42 Lloyds Road SOUTH BATHURST
10	2022	167	\$136,761	Single storey dwelling with attached garage	1583 Mid Western Highway EVANS PLAINS
18	2022	66	\$304,000	Single storey dwelling with attached garage	30 Basalt Way KELSO
10	2021	449	\$30,000	Modification - Alterations and additions to existing dwelling	9 Lord Street BATHURST
10	2022	168	\$15,000	Use of existing retaining wall	63 Amber Close KELSO
10	2021	503	\$250,000	MODIFICATION - Construction of a single storey dwelling	2992 Turondale Road TURONDALE
18	2022	67	\$421,100	Singe storey dwelling with attached garage	29 Granite Rise KELSO
18	2022	68	\$518,351	Single storey dwelling with attcahed garage	249 Lawrence Drive KELSO
10	2022	169	\$242,000	Alterations & additions to existing dwelling	2171 Sofala Road PEEL



# Applications Over 40 Days

App Type	Year	No.	Description	Address	Application Date	Days Open	Stop Days	Reason
10	2017	214	Internal office addition to existing hangar	PJ Moodie Drive RAGLAN	16/06/2017	1,754	1,708	Additional information requested
10	2020	146	Reclamation project - sunny corner mine	83 Dark Corner Road SUNNY CORNER	13/05/2020	692	686	Owners consent (Crown land) required
10	2020	199	Use of existing alterations to unit development	4 Keppel Street BATHURST	24/06/2020	650	609	Additional information requested
10	2020	200	Use of existing alterations - internal timber staircase	4 Keppel Street BATHURST	24/06/2020	650	609	Additional information requested
10	2020	201	use of existing alterations to unit development	4 Keppel Street BATHURST	24/06/2020	650	609	Additional information requested
10	2020	202	Use of existing masonry fence	4 Keppel Street BATHURST	24/06/2020	650	609	Additional information requested
10	2020	272	MOD - Construction of garage	5 Delaware Crescent ROBIN HILL	22/02/2022	42	40	Waiting on referrals
10	2020	314	Change of use from garage to habitable rooms	1336 Limekilns Road CLEAR CREEK	8/09/2020	574	567	Additional information requested
10	2020	476	Earthworks	22 Burlington Rise KELSO	8/12/2020	483	473	Additional information requested
10	2020	502	Construction of a retaining wall	5 Irving Place ROBIN HILL	17/12/2020	474	472	Additional information requested
10	2021	75	Intensification of mining facility	Trunkay Road CALOOLA	24/02/2021	405	379	Waiting on comments from TfNSW
10	2021	262	Demolition, construction of mixed use development	98 Corporation Avenue ROBIN HILL	3/06/2021	306	45	Referrals waiting from TfNSW & EE
10	2021	293	Demolish existing dwelling and construct 3 units	124 Bentinck Street BATHURST	24/06/2021	285	244	Amended plans requested
10	2021	302	Commercial development - Retail	278 Lambert Street WEST BATHURST	29/06/2021	280		Additional information requested
10	2021	312	Proposed accessible amenities, shed	1932 The Bridle Track BRUINBUN	30/06/2021	279	238	Additional information requested
10	2021	338	Eleven lot subdivision and associated works	Corporation Avenue ROBIN HILL	14/07/2021	265	226	Additional information requested
10	2021	358	Construction of a multi unit housing 12 x 3 bedroom units	225B Peel Street BATHURST	23/07/2021	256		Awaiting owners consent
10	2021	394	Six industrial units, secondary dwelling and carports	21 Upfold Street GORMANS HILL	13/08/2021	235		Under Assessment
10	2021	416	Single storey dwelling with attached garage	92 McManus Road MEADOW FLAT	19/08/2021	229	200	Additional information requested
10	2021	420	Dual occupancy (second dwelling) and two lot residential	121 Stewart Street BATHURST	17/08/2021	231	192	Additional information requested
10	2021	429	Six two bedroom units & six lot community title subdivision	38A Stanley Street BATHURST	24/08/2021	224		Under Assessment
10	2021	440	Demolition and construction of new dwelling and shed	36 Stanley Street BATHURST	31/08/2021	217		Report to April Council meeting
10	2021	442	MOD - Shed	157 Russell Street BATHURST	21/02/2022	43		Under Assessment
10	2021	456	Demolition and construction of showground pavilion	Kendall Avenue BATHURST	16/09/2021	201	188	Awaiting details from Section 60
10	2021	462	Non-habitable - alterations and additions to dwelling	242 Eglinton Road ABERCROMBIE	21/10/2021	166	111	Under Assessment
10	2021	490	Function centre, tourist-visitor accommodation and camping	25 Hollis Lane PERTHVILLE	1/10/2021	186		Additional information requested
10	2021	497	Replace retaining wall and install new swimming pool	30 Jarrah Court KELSO	8/11/2021	148	136	Additional information requested
10	2021	506	Modification - Construction of shed	37 Locke Street RAGLAN	6/01/2021	454		Awaiting Council Decision (20 April)
10	2021	521	Use of existing carport	306 Havannah Street SOUTH BATHURST	20/10/2021	167		Withdrawn
10	2021	531	Partial demolition, additions and alterations to existing	176 Durham Street BATHURST	15/11/2021	141	122	Additional information requested
10	2021	534	Construction of 4 single storey residential dwellings	165 Keppel Street BATHURST	20/10/2021	167	150	Additional information requested
10	2021	552	Change of use from office to skin penetration business	49 William Street BATHURST	11/11/2021	145	143	Additional information requested
10	2021	557	4 lot large residential subdivision	229 Mount Rankin Road MOUNT RANKIN	18/11/2021	138	108	Additional information requested
10	2021	560	Intensive Plant Agriculture (medicinal cannabis)	1673 Freemantle Road WATTON	16/11/2021	140	104	Report to April Council meeting



10	2021	561	Two storey dwelling with attached garage	6 Brennan Drive KELSO	11/11/2021	145		Withdrawn
10	2021	577	Demolish house, construct 3 new dwellings and garages	169 Stewart Street BATHURST	24/11/2021	132	102	Additional information requested
10	2021	587	Construction of a deck	359 Howick Street BATHURST	29/11/2021	127		Additional information requested
10	2021	588	Demolish sheds, construct new single and two storey dwellings	221 Peel Street BATHURST	14/12/2021	112	73	Report to April Council meeting
10	2021	596	Demolish existing, new Place of Public Worship and subdivision	48 Hamilton Street EGLINTON	2/12/2021	124		Awaiting NRAR Response
10	2021	601	Dual occupancy, detached habitable room & subdivision	212 Russell Street BATHURST	14/12/2021	112		Under Assessment
10	2021	604	Construction of a carport	27 Dovey Drive KELSO	6/12/2021	120	80	Going to Council meeting
10	2021	607	Single storey dwelling with attached garage	1593 Mitchell Highway THE ROCKS	17/01/2022	78	28	Under assessment
10	2021	613	Extension of existing shed and new shed	10 Ophir Street BATHURST	10/12/2021	116		Report to April Council meeting
10	2021	614	New storage shed and extension to an existing	29 Lyal Street GORMANS HILL	15/12/2021	111	54	Additional information required
10	2021	619	Use of existing shed	Turondale Road TURONDALE	9/02/2022	55		Under Assessment
10	2021	620	Use of existing business identification signage	10 Stockland Drive KELSO	20/12/2021	106	12	Under Assessment
10	2021	627	Alterations and additions to existing dwelling house	772 White Rock Road WHITE ROCK	13/01/2022	82		Additional Information Requested
10	2021	628	Dual occupancy and two lot subdivision	145 Marsden Lane KELSO	23/12/2021	103		Under Assessment
10	2021	639	Alterations/additions to existing dwelling and partial demolition	1446 Limekilns Road CLEAR CREEK	14/01/2022	81	8	Under Assessment
10	2021	640	Alterations and additions to existing dwelling	930 Vale Road PERTHVILLE	7/01/2022	88	55	Additional informaiton requested
10	2022	8	Carport	62 Ashworth Drive KELSO	31/01/2022	64		To be refused
10	2022	10	Two lot subdivision	357 Mount Rankin Road MOUNT RANKIN	18/01/2022	77		Under Assessment
10	2022	11	Two storey dwelling with attached garage	87 Bant Street SOUTH BATHURST	4/02/2022	60	54	Requested earthworks plans for extent of
10	2022	24	Boundary adjustment and construction of a shed	14 Messenger Street WINDRADYNE	24/01/2022	71	20	Under Assessment
10	2022	29	Demolish dwelling/structures and construct new dwelling and shed	163 Sydney Road KELSO	7/02/2022	57	27	Additional information requested
10	2022	32	Shed	24 Keppel Street BATHURST	4/02/2022	60		Additional information requested
10	2022	40	Two lot subdivision	19 Brae Lane WATTLE FLAT	1/02/2022	63		Awaiting response from NSW RFS and EE
10	2022	45	Above ground swimming pool, safety barrier and deck	3444 Great Western Highway YETHOLME	9/02/2022	55		Additional information required
10	2022	46	Internal alterations to dwelling, carport, garden wall	15 Bryant Street BATHURST	4/02/2022	60		Amended plans requested
10	2022	58	Four lot industrial subdivision	39 Vale Road SOUTH BATHURST	8/02/2022	56	20	Waiting on referral from TfNSW
10	2022	62	Demolition of existing & construction of a single storey	19 River Road KELSO	14/02/2022	50		Additional Information requested
10	2022	63	Front fence	49 Colville Street WINDRADYNE	16/02/2022	48		Under Assessment
10	2022	66	Partial demolition, alterations, two storey addition to dwelling	177 Stewart Street BATHURST	14/02/2022	50		Amended plans requested
10	2022	69	10 lot strata subdivision	16 McPhillamy Avenue GORMANS HILL	16/02/2022	48		Under Assessment
10	2022	74	Silos and associated infrastructure at existing	95 Lee Street KELSO	16/02/2022	48	13	Additional information requested
10	2022	75	Two storey dwelling with attached garage	107 Blue Ridge Drive WHITE ROCK	16/02/2022	48		Under Assessment
10	2022	76	Workshop shed	390 Panorama Avenue MITCHELL	21/02/2022	43		Under Assessment
10	2022	77	Demolition of existing communication hut	44 Freemantle Road EGLINTON	17/02/2022	47		Under Assessment
10	2022	78	Twenty industrial units and retaining walls	10 Michigan Road KELSO	22/02/2022	42		Under Assessment
10	2022	82	Dual occupancy (Second dwelling) and partial demolition	360 Stewart Street BATHURST	18/02/2022	46		Under Assessment
10	2022	88	Dual occupancy and two lot subdivision	75 Basalt Way KELSO	22/02/2022	42		Under Assessment
10	2022	91	Additions & alterations to existing dwelling, dual	184 Seymour Street BATHURST	23/02/2022	41		Under Assessment
10	2022	93	Three lot subdivision	21 Samuel Way THE LAGOON	23/02/2022	41	12	Additional information requested



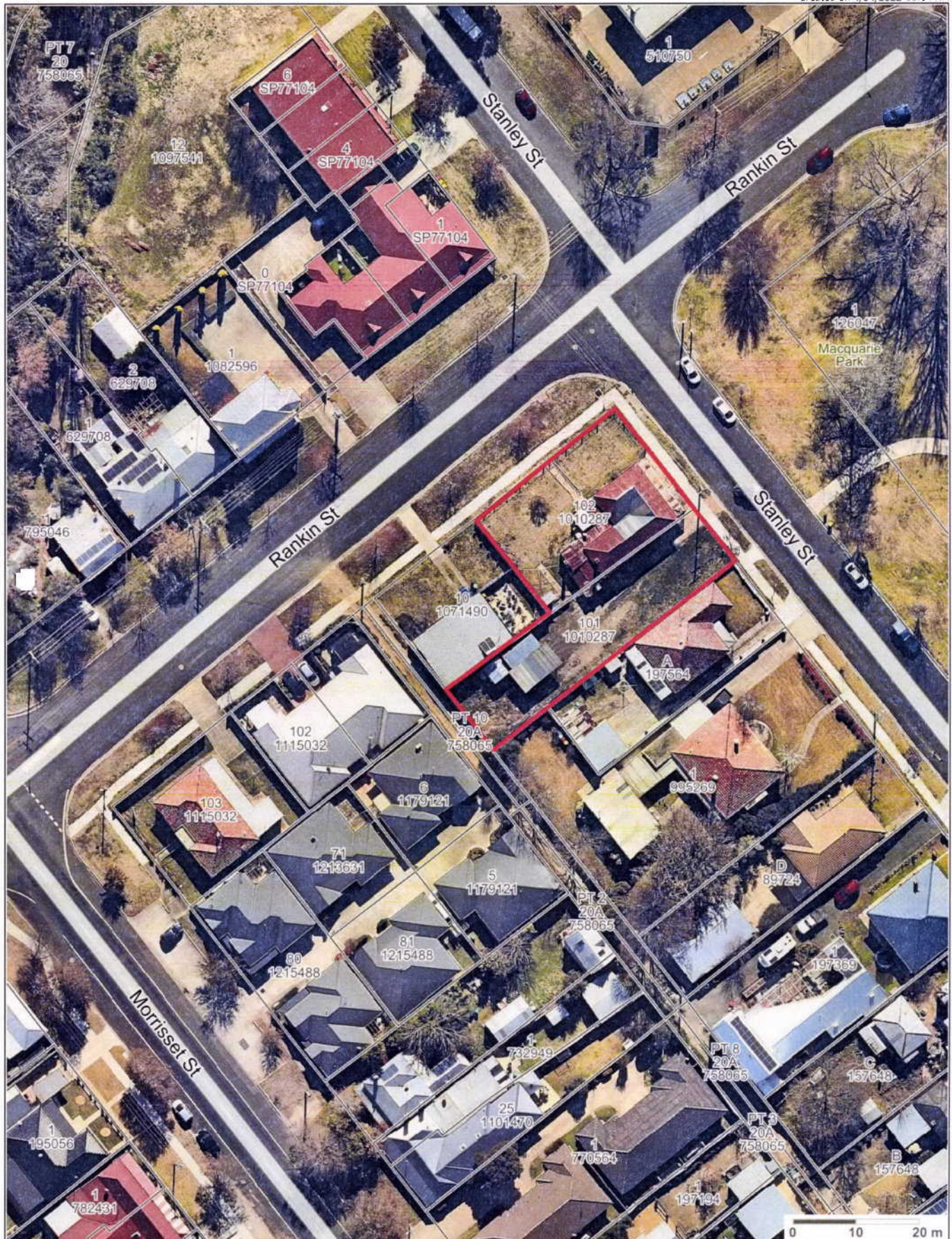
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Council DA	Lot	DP	Street No.	Street Name	Suburb	Postcode	Category	Environmental Planning Instrument	Zoning Of Land	Development Standard To Be Varied	Justification Of Variation	Extent Of Variation	Concurring Authority	Date Determined
2021/0605	13	758864	42	Godfrey St	RAGLAN	2795	Residential	Bathurst Regional Local Environmental Plan 2014	R1 General Residential	Clause 4.1 "Minimum subdivision lot size"	Complies with objectives of standard and zone under LEP. Complies with remaining standards and objectives of DCP. Non-compliant lot can support the proposed dwelling. Vacant lot complies with MLS. Variation will not be discernible from the streetscape.	8.9%	COUNCIL	7/03/2022





Bathurst Regional Council  
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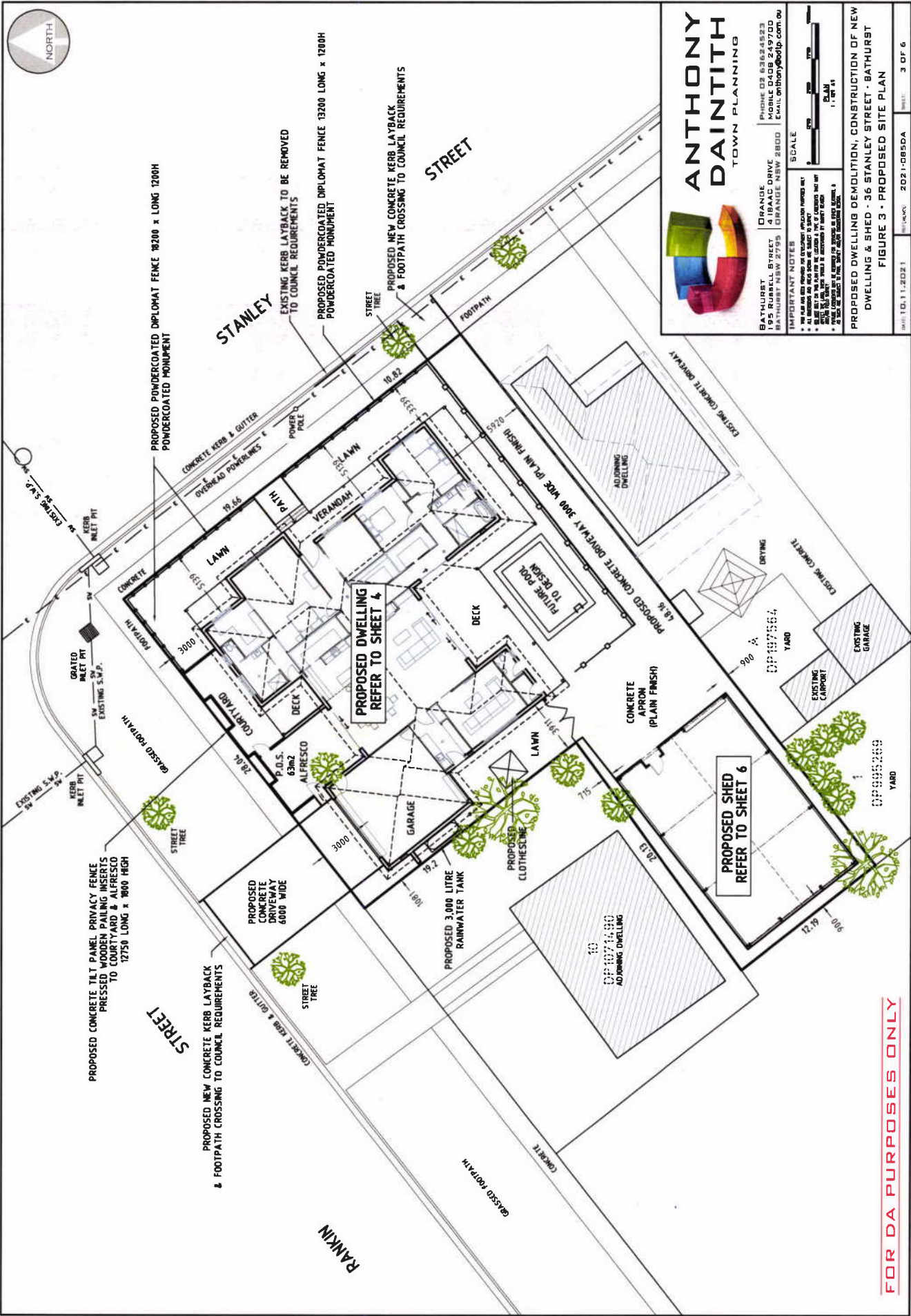
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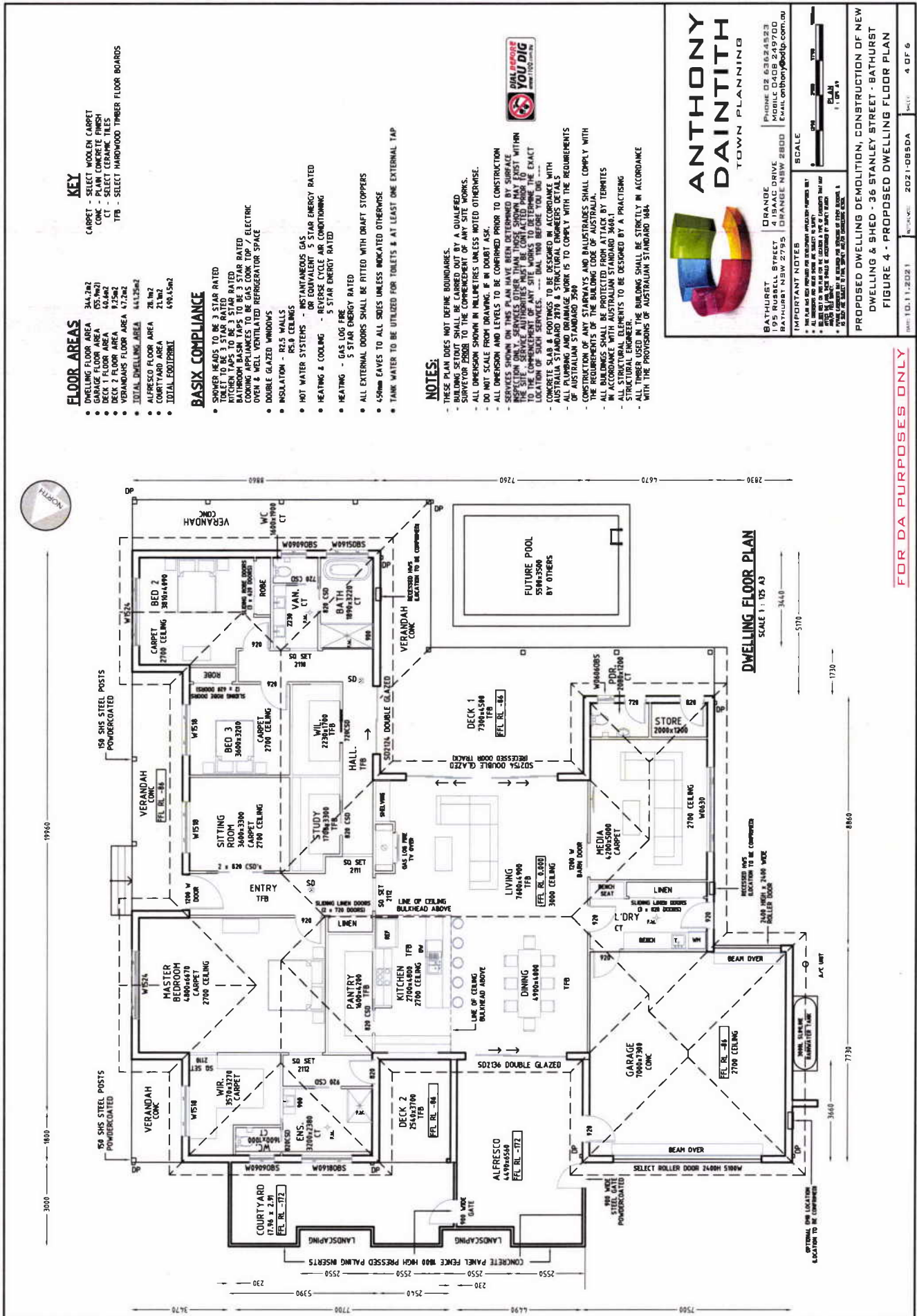
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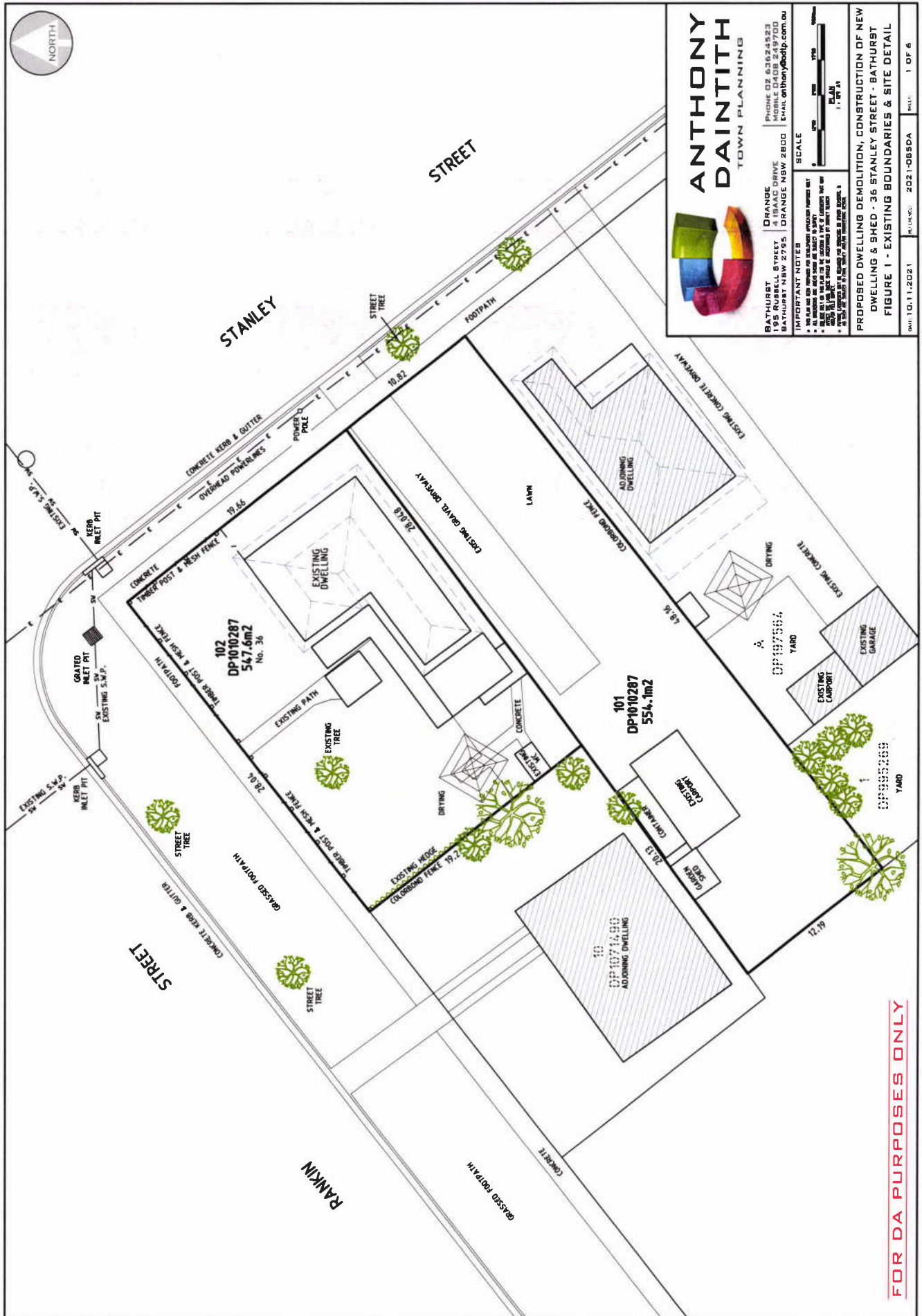








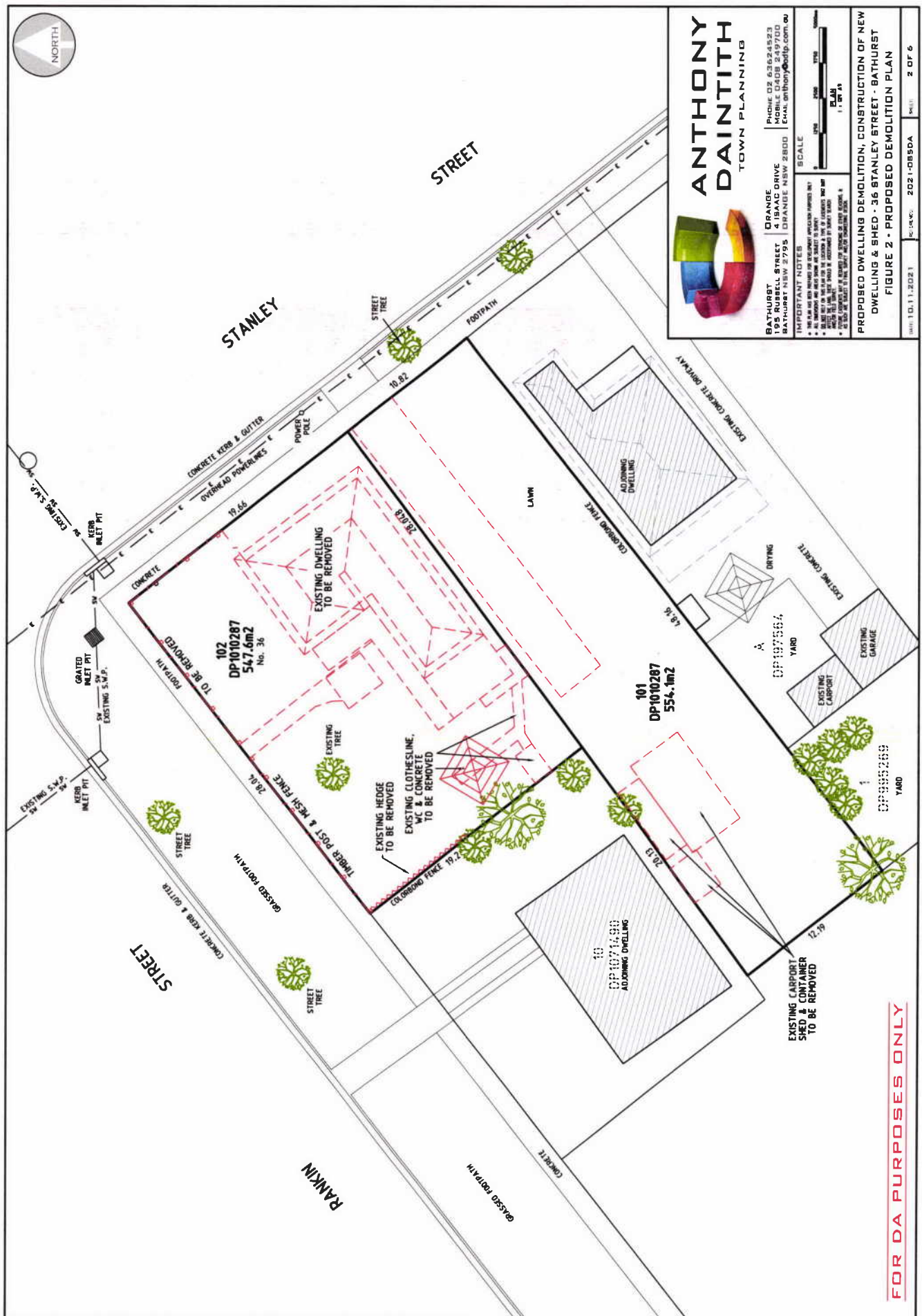








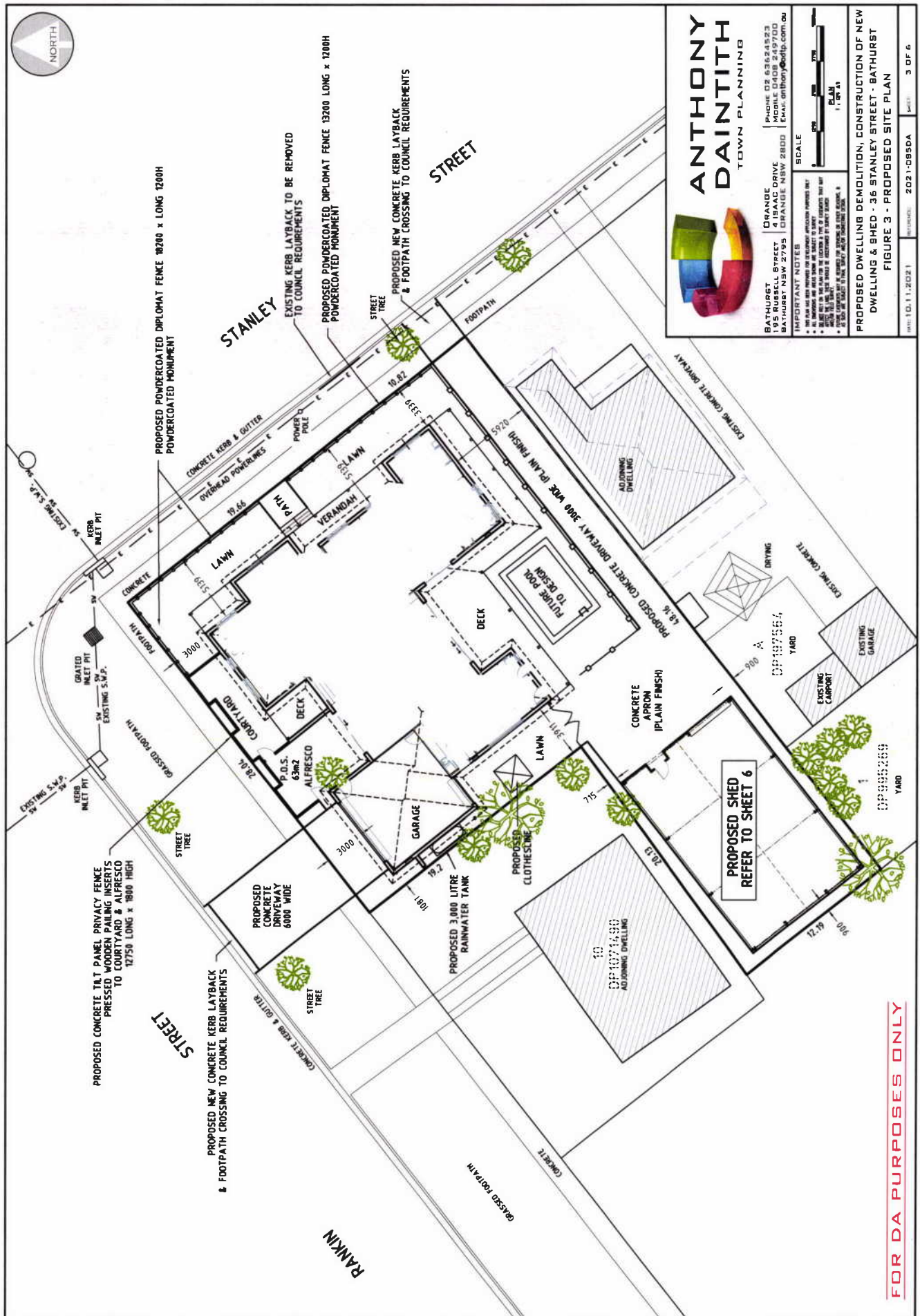




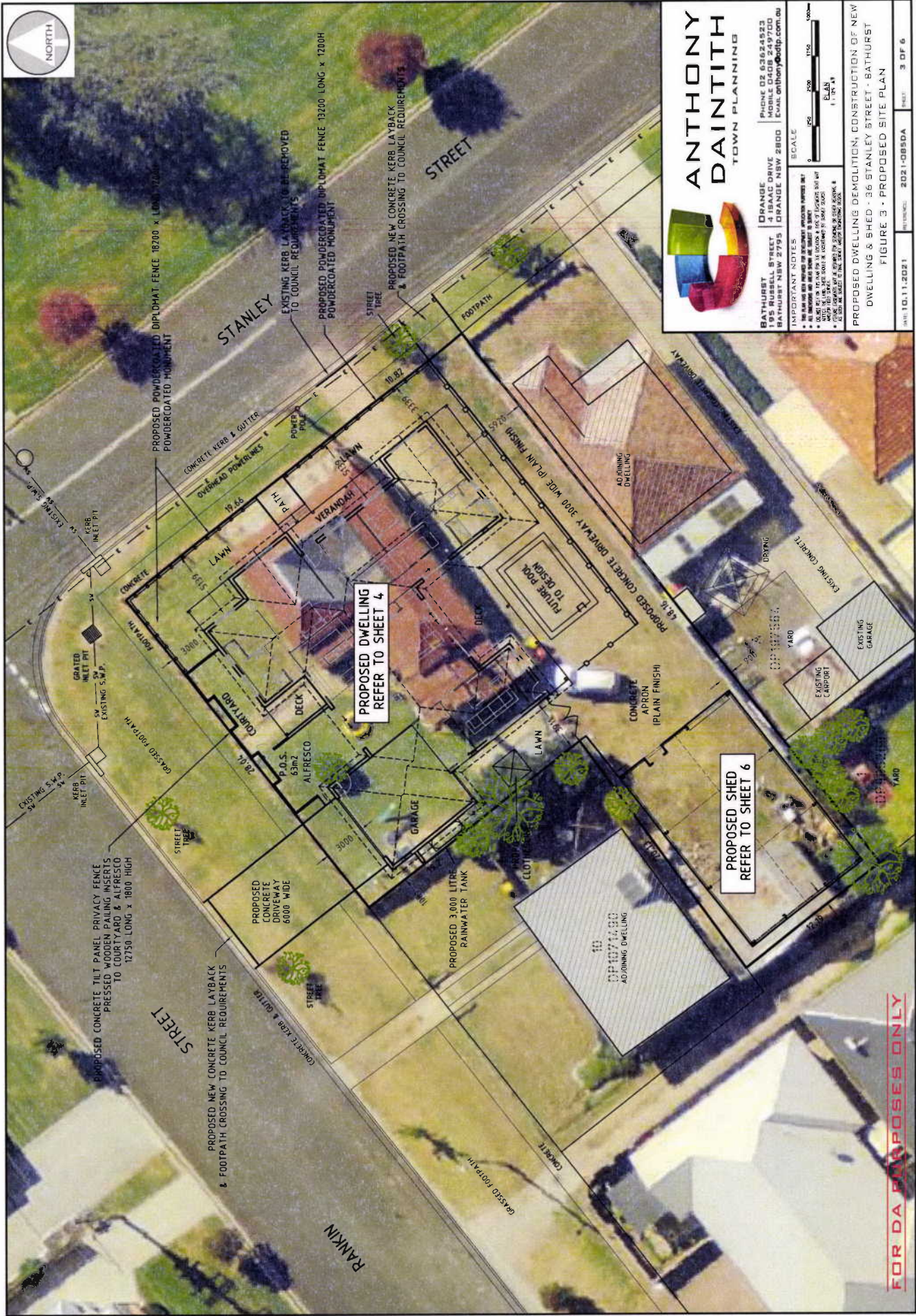




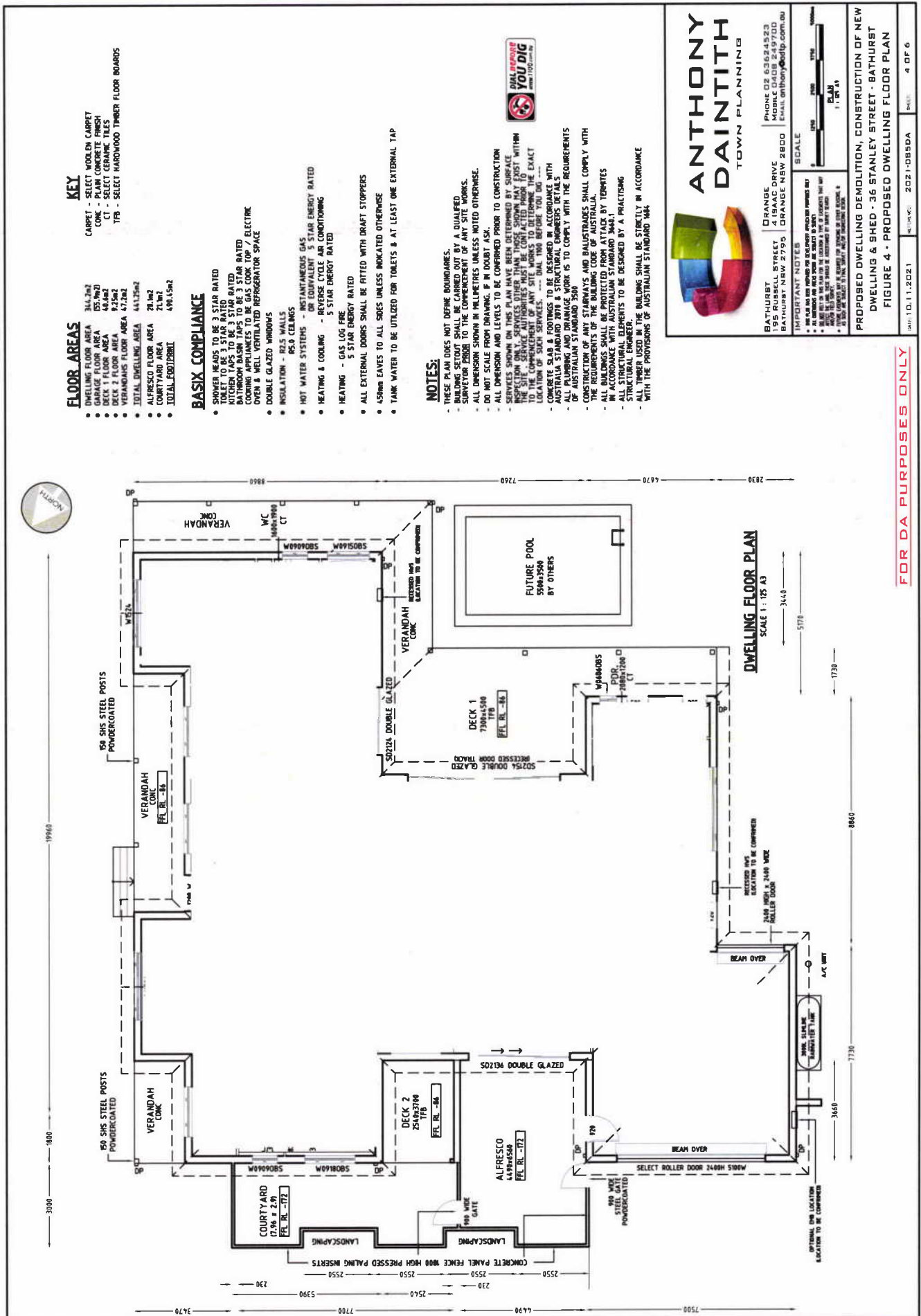




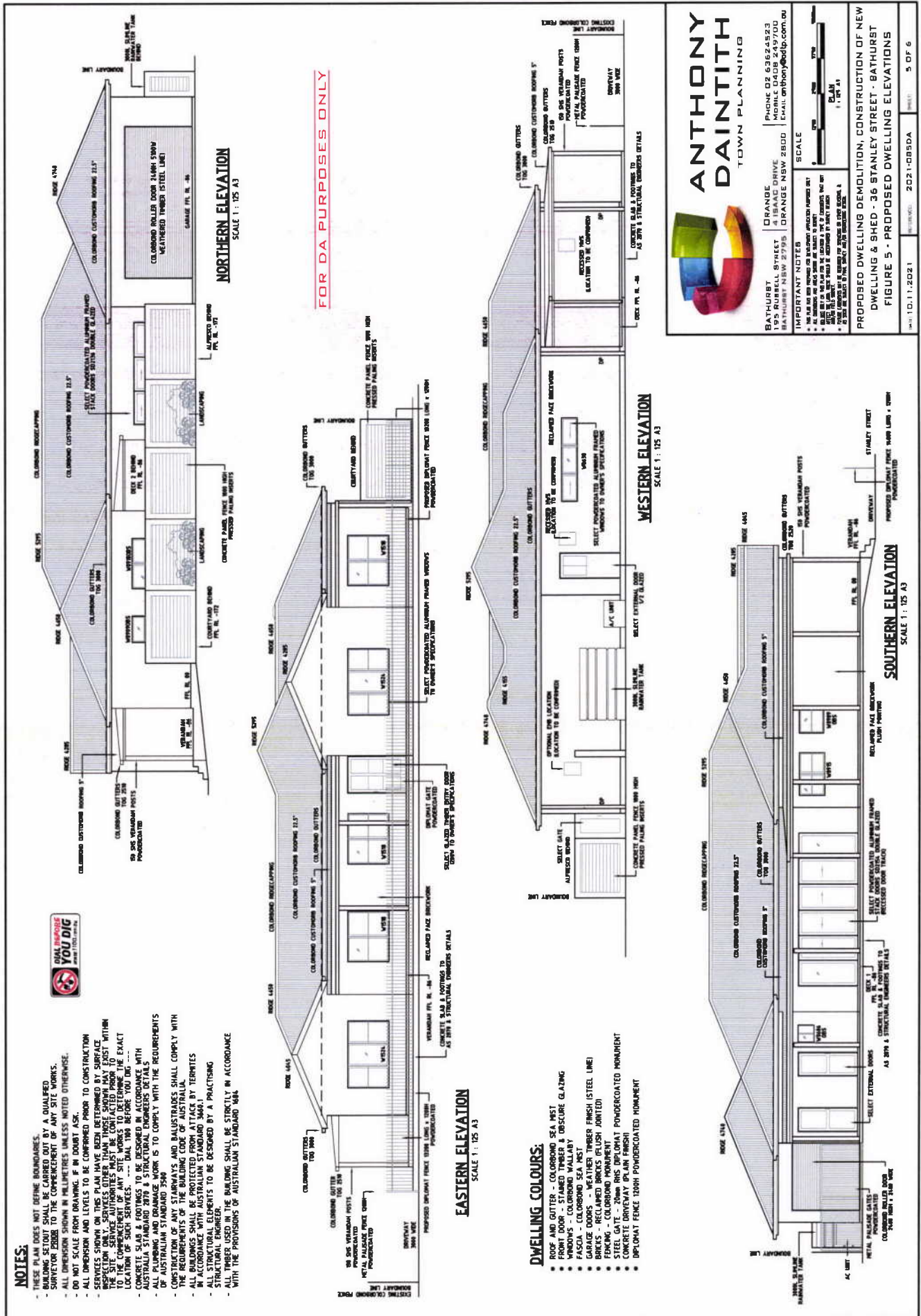




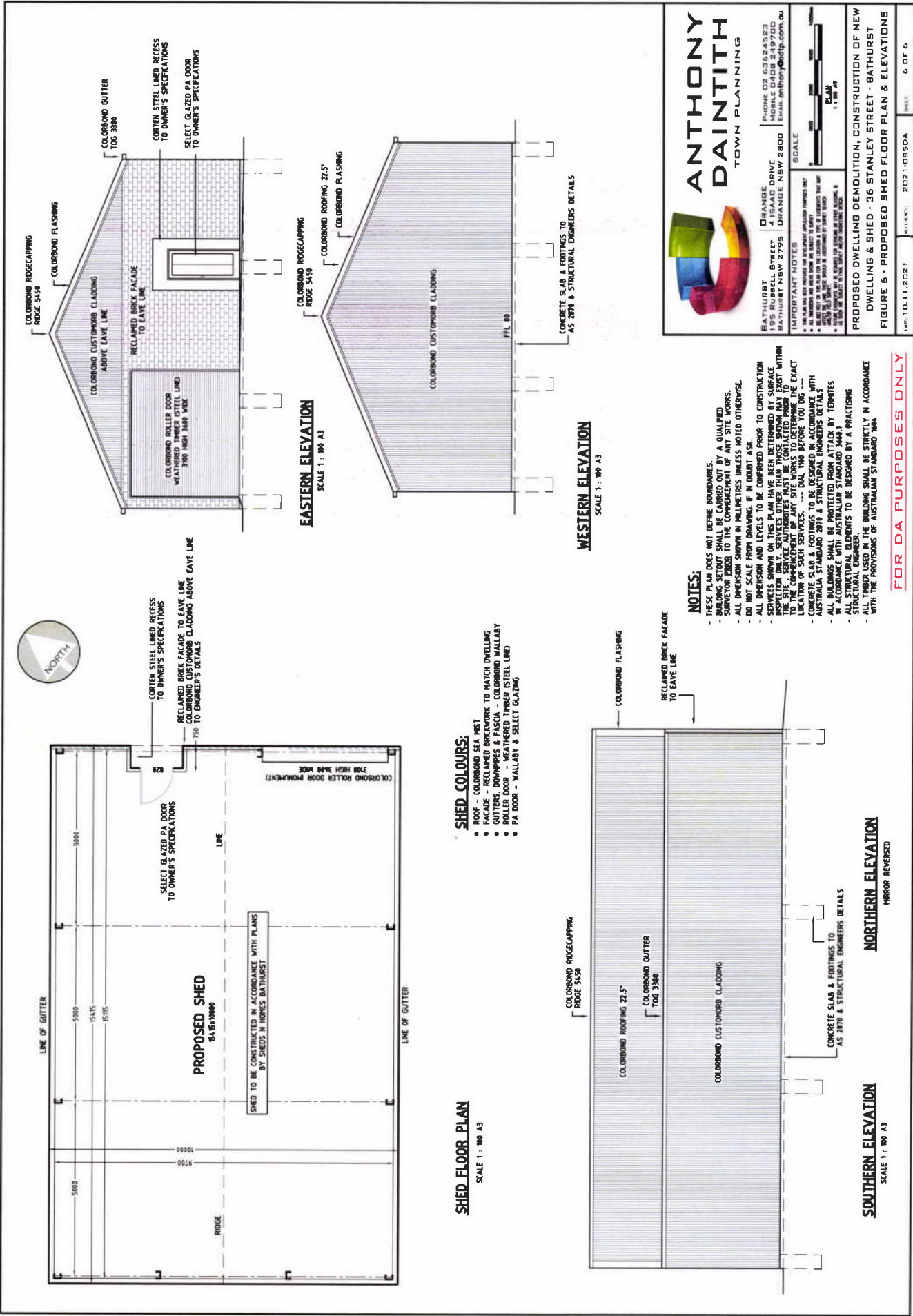














Sananton Pty Ltd  
Po Box 930  
Bathurst NSW 2795

Bathurst Regional Council  
Private Mail Bag 17  
Bathurst NSW 2795

**Development Application No 2021/440**

Dear sir/madam

I would like to take the opportunity to respond to the letter dated 6 September 2021 in regards to the above development application.

I am very excited to see this development as it will remove the eyesore of a building that is currently in place.

This development can only enhance the view around the river and park area and contribute to the beautification of the area.

Kind regards

Sylvia Morris

on behalf of Sananton Pty Ltd

16 September 2021



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Statement of Heritage Impact**

### **36 Stanley Street, Bathurst Demolition and new residential development**



**Applicant: D & K Reynolds**

***Date: August 2021***

**Patsy Moppett  
Town Planner and Heritage Consultant**

**ABN: 94 284 380 253**



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

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*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Executive summary**

This Statement of Heritage Impact (SHI) is prepared to address the significance and impact of works proposed, being a residential development within a heritage conservation area in Bathurst, in the northern sector of the town centre.

This Statement examines the available history of the property and the historical context and significance of the precinct. Significance is the meaning and importance of place and its context and is based on a number of established criteria. The impact of any development on or near the land is assessed through a process of analysis and research combined into a statement of values, meanings and importance, examining the heritage significance of the place where the works will take place having regard for the integrity of adjacent heritage items within their urban context.

Assistance would then be provided as to how to proceed in the most appropriate manner, having regard for architectural design and BASIX requirements.

This Statement of Heritage Impact is to be utilized by the developer, planners and other professionals in the assessment, development, redevelopment and management of the precinct.



## Statement of Heritage Impact – 36 Stanley Street, Bathurst

## 1.0 Introduction

### 1.1 Name of place

The address of the premises is 36 Stanley Street, Bathurst, on the corner of Rankin Street, being two allotments, one of which (Lot 102) contains a carport, storage container and concrete slab. The other allotment (Lot 101) contains an old dwelling with a small toilet outbuilding at the rear. They are within a residential precinct, with adjacent commercial premises diagonally across the intersection.

### 1.2 Location

The property lies in Bathurst within the Central West of NSW, some 200km west of Sydney. **See Figures 1 & 2.** The site fronts both Rankin and Stanley Streets, and is bounded by residential development to the south, west and north. **See Plates 1, 3 and 3A.** Diagonally opposite across the intersection is commercial development, **see Plate 2**, with the Macquarie River parklands directly to the east across Stanley Street. **See Plate 2A.**

The land is within a heritage conservation area, which also contains heritage items fronting Rankin Street adjacent to the development site to the north west.

Bathurst lies within the Parish of Bathurst, in the County of Bathurst.

### 1.3 Property description

The property is known as Lots 101 and 102 DP 1010287, being approximately 1,101.7sqm in area and addressed to Stanley Street. They are allotments of regular shape. **See Appendix E: sheet 1.** The land is almost flat with a slight slope to the street to the east. Fencing is on three sides with colorbond to the south and west, with post and wire fencing along the Rankin Street side of Lot 102. **See Plate 4.** A dwelling and associated outbuildings are located on the land. **See Plates 5, 8 & 10.**

All relevant services are available to the site. A power pole is located immediately in front of the dwelling in Stanley Street. The sewer drains to the northern corner of the land.

### 1.4 Zoning and heritage status

No. 36 Rankin Street is within the Parish of Bathurst and within the Bathurst Regional Council local government area. Under the Bathurst Local Environmental Plan 2014 (BMLEP 2014) it is zoned R1 General Residential. **See Figure 4.**

Under the provisions of the BMLEP 2014, the property is located within a Heritage Conservation Area and several adjacent properties at 25-31 Rankin Street are currently listed as a group heritage listed (No. 158) under Schedule 5 Environmental Heritage, being considered locally significant. **See Figure 5 and Plate 3.** The Macquarie River parklands across Stanley Street are also listed as a heritage item. (No. 167). **See Plate 2A.** The land is not within a flood prone area. **See Figure 6.**

## 2.0 Historical overview

### 2.1 Occupation and settlement of Bathurst and district

From early times Aboriginal people moved through this area, with more permanent occupation centred down along the Macquarie River. The European settlement of Bathurst took place in 1815 when the town was officially inaugurated on the bank of the river. Both the topography and the highland plateau area lent itself to establishment of a military base, along with the convenience of a fresh water supply for organised settlement and cultivation.



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

From the arrival of the white settlers in 1788, early European explorers found the mountain crossing attempts constantly thwarted by the terrain until Blaxland, Lawson & Wentworth crossed to Mt York and Mt Blaxland in 1813 by following the ridges. Assistant-Surveyor George Evans followed the same route later that year, proceeding on to the Bathurst plains. In a need to seek out increased grazing and farming lands for the growing colony, Governor Macquarie then commissioned William Cox to build the first road through the Blue Mountains in 1814.

From that time settlement crept across the mountains, although until the first land grants were issued by Macquarie, there were few permanent settlers. Crude huts were built along the road here and there to house the road gangs and their military guards, as the road was constantly in need of repair.

Macquarie issued ten men with a fifty-acre farm and a town allotment each in 1818, on the flats along the eastern side of the river. Even by 1820 there was little other development in the vicinity of what we know as Bathurst today, with Governor Macquarie not allowing anyone to go west without a government licence. By that time there were still only 114 adults plus 15 children, although there were a number of graziers who had moved beyond the government limits, setting up out stations to complement their smaller farms closer in to Sydney, such as George Suttor and The Bathurst settlement consisted of the commandant's brick house, a brick barrack for the military, barracks for the storekeeper, the chief constable and the superintendent of convicts, a provision store and granary, a brick barn, a barrack for the overseer of government stock and temporary log houses for the fifty convicts employed in the settlement.

In 1833 the Government Gazette notified that the township of Bathurst was determined, and that town allotments were available for selection. However, prior to this some industries were set up to serve the military establishment and the few rural settlers who had taken up larger grants for cultivation and grazing in 1829-30.

Eventually residential precincts were established, and housing developed around the Stanley Street area and back towards what is now known as Old Government Cottage. The subject land was originally purchased by James William Bligh in 1848.

## **2.2 James William Bligh**

James William Bligh was an English-born solicitor and politician. He was born in St Mabyn, Cornwall, in 1810 to John Martyn Bligh and Mary Edyvean Hocken (Hocking), and practised his profession at Bodmin.

His father was a conveyancer and steward to several large estates. James studied law and was admitted on 12 January 1833 as an attorney of the Court King's Bench, at 23 years of age. His father died the following year and his mother decided to move with her large family to Launceston, near the Devonshire border. James elected to continue in his legal practice in Bodmin. James seems to have assumed some responsibility for his younger brother, Henry Hocken whom he took with him to Paris in 1837 and later brought with him to Australia. James did not enjoy good health and was in need of a warmer climate. In 1839, on medical advice, he closed his practice and came to Australia, bringing with him two sisters, May and Anne, and his younger brother, Henry Hocken (who later became a pioneer landowner in Northbridge and Mayor of the Municipality of North Willoughby, serving several terms. He died in 1904). They all disembarked in Adelaide in November or December 1839. One sister, May, had married a passenger on the journey out and soon decided to return to England with her husband. The other sister, Anne, later went to Tasmania as a governess and married there.



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As Adelaide did not appear to hold the opportunities that James sought, he decided to travel on to Sydney and to leave Henry Hocken in Adelaide for the time being to further his schooling.

After arriving in Australia, he took a shipment of cattle to Port Nicholson (Wellington) New Zealand, and then went to Tasmania to attend his sister's wedding, together with Henry whom he had arranged should meet him there. After the wedding, it was decided that Henry should not return to Adelaide but should accompany James to Sydney and thence to Bathurst, where James commenced practice as a solicitor on 13 November 1841 and Henry continued his education and assisted with office and household duties, as James was a bachelor without servants.

In the mid-1840s, the pioneer solicitor in Bathurst, Gilbert Wright, ceased to practise. It was gazetted on 11 August 1843 that "*James William Bligh has been appointed Collector of Quit Rents for the Police District of Carcoar, Bathurst and Wellington in the room of Gilbert Wright*". James employed a partner, Willoughby Dowling, and when Henry returned from Sydney in 1844-45, after attending Sydney College for about two years, Willoughby was articled to James. Subsequently James Bligh lived in Bathurst from 1841 to 1851, being listed as a lawyer in Bathurst from 1841.

His legal work was quite varied. In October 1845 the Sydney Morning Herald reported on a highway robbery, when one John Shea, free by servitude, was indicted for an assault with intent to murder, and also charged with intent to do serious bodily injury. The prisoner being unable to employ counsel, J.W. Bligh volunteered to render such aid and assistance as he could to the defence.

Bligh was also a speculator and bought at least 20 blocks in the area. On 5th November 1847 Bligh purchased at auction the whole block known as section 20A in the Bathurst township on Stanley and Rankin Streets. **See Figure 3.** He bought a number of other lots in the vicinity.

Historian Theo Barker noted that the same names kept appearing on committees and public meetings in the town of Bathurst – they were from the respectable element of the community which made any important decisions. Bligh was invariably on the list:

- In 1846 he joined a meeting which was held at Mrs Black's inn at Bathurst, to establish a committee regarding the establishment of a railway from Sydney to Bathurst. Despite discussions in subsequent years, no railway for Bathurst eventuated for another thirty years!
- The Morning Chronicle reported in Sydney on 11 June 1847 that Bligh was the Crown Commissioner defending at a Court of Quarter Sessions hearing a variety of cases in Bathurst.
- In 1847 Bligh was one of the Market Commissioners, along with five others, responsible for the market sites in Bathurst. Elected in Dec 1847, their duty it was to control and regulate any market that might be officially established in the town. Bligh became secretary of the group, who resolved in Feb 1848 to create a market place in the Town Square, having considered a number of other options which divided the Committee.
- In 1849 Bligh was on a committee to determine the bounds of the town common.
- Bligh's legal career continued and in 1849 Bligh and W Purefoy, barrister, were defending a Mr John Davis in a libel case.



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- Bligh was appointed Bathurst Magistrate April 1852 and commissioned as a Justice of the Peace in the same year.
- When the Bathurst Circuit Court held in August 1859, Bligh was one of the solicitors defending various cases.

However, when the partner Willoughby Dowling died in 1849, the full burden of the practice fell on James whose health continued to be very precarious, so James decided not to stay in Bathurst. He relinquished his practice in 1851-52 because of ill-health and his brother's disinclination to make a career in the legal field. He turned his attention to politics and Henry went to Carcoar to try his hand at sheep-farming.

James Bligh became a Member of Parliament (Old Legislative Council) County of Bathurst and held the seat from 1851-1856. James was elected to represent Bathurst in the first Legislative Council of N.S.W. on 13 May 1856 and took his seat on 22 May 1856. He resigned on 23 May 1859. In that year, having lost his seat for the constituency of Bathurst, he then stood for the Electoral District of Orange without success.

While in Parliament he bought land at Cooks River, Sydney and lived there for a time. He later sold this land and bought large tracts of Crown land. He acquired land at Castle Cove/Middle Harbour in 1858, being one of the few who were willing to pay the exorbitant prices offered. Bligh owned two Crown grants in Middle Cove and many other grants in the Municipality and elsewhere, such as Castlecrag, Northbridge, Willoughby, Bantry Bay and Seaforth. In the latter area there is Bligh Crescent and Bligh Park, both of which are named after him. One remarkable sales transaction was of one of James Bligh's grants in Middle Cove (Portion 26, 29 ac 2 r) to a Chinaman, Chen Ah Teak (sometimes spelt Chen Ateak), in 1882. He and his team of Chinese market gardeners became the first inhabitants on the Middle Cove peninsula (1882-1908).

In October 1861 he went abroad to Europe with his married sister from Tasmania and a friend and it is thought he visited Europe as well as England. He later returned to Sydney. Although he had not been a resident landowner in the Borough of North Willoughby, he was elected Chairman to the first Council of the Municipality of North Willoughby in 1865 (after 1868 the title Chairman was changed to Mayor). He was re-elected Chairman in 1866 and 1867. He resigned from Council from the end of 1867 because his health had deteriorated further and he was not a resident of the Municipality. He never married and he died on 1 December 1869 at Macleay Street, Woolloomooloo, of spinal disease resulting in paralysis. He was buried at St Thomas' Cemetery. His brother Henry Hocken Bligh inherited his land.

As Leslie Charles Forsyth has said, "*James William Bligh could be given the title of 'Father of the Municipality' for, without doubt, he guided it through its formative years and laid a sound basis for its administration during three years he was its Chairman*". The infant Municipality of North Willoughby was most fortunate, indeed, in having as first Chairman of Council, a man with good administrative ability, sound legal knowledge, parliamentary experience and high integrity.

### **2.3 History of 36 Stanley Street**

Real estate information suggests the old dwelling was constructed about 1880. The Town Map for Bathurst of 1922 shows the allotment Lot 10 Sec 20A as being owned by JW Bligh. **See Figure 3.**

On 5th November 1847 James William Bligh purchased at auction the whole section known as 20A, which included Lot 6 on the corner on which Old Government Cottage and



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

Macquarie House sit for £10, whilst the less choice block of Lot 7 was only £7. Lot 8 was even less £4 13s 4d whilst his dearest block was £11 6s 8d. The cheapest were two lots at £4 each. Bligh then owned the whole block of land bounded by Stanley, Morriset, Rankin and George Sts, and also Lots in Sections 19 and 19A. His brother Henry Hocken Bligh owned Lots in Sections 24 and 25.

In 1853 an inn, the *Edinburgh Castle*, was built by Malcolm Paterson on land near the corner of Durham and George St, with Bligh originally owning land on the right of Durham St, Lot 10 in Section 19A. The hotel was taken over quickly by Edward Austin, whose name appears on the Bathurst Town map of 1922, and was demolished about 1877.

In about 1848 Bligh may have built a cottage on Lot 10 Sec 20A or added to an existing one. Bligh did erect a two storey residence in lower George St in 1848, on Lots 5/6 Sec 20A. This residence was next door to what is now known as No. 1 George St, *Macquarie House*.

In 1857 John Ford bought Lot 6 Sec 20A the land on which Old Government Cottage stands, for £75. Mr. Ford then began building his residence at No 1 George Street adjacent to the Cottage.

An 1877 sketch of the town showed a building on Lot 10 Sec 20A. An aerial view of this section of the town from 1933 shows the dwelling. **See below.**

Therefore, as Bligh left Bathurst around 1851, he had been developing his lots up until this time at least. Once leaving town he would have commenced disposal of his land. Historical evidence shows that the date of construction for 36 Stanley Street could be anywhere from 1848/9 through 1851, and there was certainly a building on the land in 1877.

Consultation with the family has not provided any convincing evidence of the date of construction and no old photos of the building appear to be available. The family suggests that the house may have been built by a Mr and Mrs Patsworth (year unknown) and was definitely occupied by them. Then Ronald Parkes and his wife Leonie (Patsworth) occupied the house. The current owner is a grandson, who wishes to erect a new dwelling on the land. Anecdotal information tells that the separate toilet was added about 30 years ago as there was none inside the house. The house remained with Ron and Leonie until the current owner purchased it from the family in 2011.



*Aerial View 1933*



### 3.0 Physical description and proposed works

#### 3.1 Physical description

The dwelling on Lot 102 is described as a single storey full masonry construction building with an L shaped footprint. **See Plate 1.** The building has most likely been constructed on masonry and stone footings with a suspended timber floor and an iron clad timber framed roof. **See Plate 6.** The rear of the building has two lean-to additions, one of brick and the other of weatherboard. Both of these additions have iron roofing. **See Plates 7 and 7A.** The brick addition has a rendered brick chimney. The main house has a brick chimney at the rear.

A free-standing fibro toilet building is located on the rear fence line behind the house. A rotary clothesline is located in the rear yard. **See Plate 8.** The front of the dwelling has a verandah across the façade which is open to the street with a lattice fence and screening to suggest a level of privacy. **See Plate 5.**

The carport on Lot 101 is located toward the northern boundary fence with an attached container between it and the fence. **See Plate 10.** To the forefront and along side of the house are an old concrete slab and path. **See Plate 9.** Behind the container is a small lawn locker type shed. **See Plate 11.**

The principle vehicular access is from Stanley Street, see Plate 9A, with a personal gate and pathway coming in off Rankin Street. **See Plate 12.**

The site has minimal landscaping, being grassed across Lot 102 with two small shrubs on the northern side of the house. **See Plate 4.**

#### 3.2 Condition assessment

A condition assessment (**See Appendix D**) was carried out on the site buildings, which found that the roofing iron on the dwelling and the rear additions was in poor condition at the time of the inspection with severely damaged/leaking roof guttering and downpipes. The rear additions were particularly bad.

The report also found that the internal roof timber is badly weather damaged and rotten. Photographic extracts from the assessment are as follows:



Verandah floor cracking



Internal ceiling damage



Internal floor damage

External walls of dwelling are badly cracked and damaged. External timber (structural and non-structural) and eaves displayed weather damage at the time of the inspection. There would be a strong likelihood of asbestos in the building, and this would need to be tested.



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Although the report suggests that the adjacent carport is timber weathered and rotting, that carport is actually constructed of steel and in good condition, similarly the adjoining container. The adjoining slab/path was badly damaged, and the timber, concrete floor and roof iron of the front verandah was in a similar condition.

Internally, the inspection revealed damage through every part of the building with old cracks being repaired. There was evidence of long-term movement patterns (eg. doors out of alignment, old cracks etc.). There is major damage to the floors in all areas, mostly from water. All floors in the main areas of the building were “bouncy” and would need replacing.

Overall, the building appears to have suffered major damage throughout due to reactive clay movement, unsuitable building techniques and general weathering/deterioration due to lack of maintenance over a long period of time. A cost estimate of remedial works is provided and appears to justify the proposed works on the site, ie. demolition.

### 3.3 Proposed works

The proposed development involves demolition of all structures onsite, following investigation of asbestos.

A new dwelling with attached garage and a separate colorbond shed would be erected on the property across Lots 101 and Lot 102, **See Appendix E**, necessitating the consolidation of the land into one allotment.

The shed would be located on Lot 101 towards the rear behind the rear building line and would be 15m x 10m. Vehicular access onto Stanley Street would be provided from the shed. **See Appendix E sheet 6.**

The dwelling would be three bedrooms, kitchen, laundry, dining and livings rooms, a media room, sitting room all with associated bathrooms. There would be an attached double garage fronting Rankin Street, with the main front façade and wrap around front verandah facing Stanley Street. Decks would be constructed at the northern and southern ends of the building, with one deck opening onto an enclosed courtyard to the north. **See Appendix E sheets 3-5.**

The dwelling would be constructed in reclaimed face brickwork with a colorbond roof, aluminium window frames and timber doors. Verandah posts would be constructed of steel colorbond *Monument*. The colour scheme for the dwelling and shed would be *Monument* for roof, gutters and rollers doors on the house, and the wall cladding would be reclaimed face brickwork. Fascias would be colorbond *Surfmist*. **See Appendix E sheet 5.**

Fencing would be brick piers with metal palisade insert panels, powder coated *Monument*.

The roof slope of the dwelling and shed is to be 22.5°, and both buildings are to be constructed on concrete slabs.

## 4.0 NSW Heritage Themes

The principal NSW Heritage Themes are considered as follows:

- **Commerce:** activities relating to buying, selling and exchanging goods and services. The dwelling does not hold any significance with regard to commercial activities.
- **Communication:** activities relating to the creation and conveyance of information.



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The dwelling does not hold any significance with regard to the creation and conveyance of information.

- **Cultural environment:** activities associated with the interactions between humans, human societies and the shaping of their physical surroundings.

The history of the dwelling does have association with James Bligh, the original owner of the property, and other land in the vicinity which he developed. Bligh was a solicitor and land speculator and if he was the builder, the subject dwelling demonstrate changes in attitude and fortune with regard to residential accommodation from the late 19<sup>th</sup> Century through to the early 20<sup>th</sup> Century, demonstrating typical construction techniques and style of the particular periods. Bligh built his own more elaborate house and then developed his other lots only as regards his ten year habitation in Bathurst. Most lots were sold off as investment properties once he left town in around 1851-52.

- **Forestry:** activities associated with identifying and managing land covered in trees for commercial timber purposes.

The dwelling does not associate with forestry activities.

- **Government:** activities associated with the governance of local areas, regions, the State and the nation, and the administration of public programs - includes both principled and corrupt activities.

The dwelling is not associated with government or governance activities.

- **Industry:** activities associated with the manufacture, production and distribution of goods.

The dwelling is not associated with any industrial activities.

- **Mining:** activities associated with the identification, extraction, processing and distribution of mineral ores, precious stones and other such inorganic substances.

The dwelling is not associated with any mining activities.

- **Towns, suburbs and villages:** activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages.

The dwelling is representative of domestic construction of the late 19<sup>th</sup> Century within the gazette town boundaries, the whole being now in poor condition with low integrity. The building represents the manner of provision of service buildings as later add-ons from the main house, to include kitchen, bathroom and laundry. It is also typical of secondary dwellings built by larger landowners perhaps to accommodate other family members or workers.

- **Transport:** activities associated with the moving of people and goods from one place to another, and systems for the provision of such movements.

The dwelling does not demonstrate any activities relating to transport of people or goods.

## 5.0 Significance criteria

### 5.1 Historical significance

The dwelling is significant in its possibly being one of the earlier dwellings constructed in Bathurst, after the opening up of land grants and following speculative buying and development by investors. It is located amongst other early dwellings adjacent to an original part of the town near many of the early government buildings. Its historical significance is low.



*Statement of Heritage Impact – 36 Stanley Street, Bathurst***5.2 Associative significance**

The dwelling has been associated with local solicitor James Bligh, an active member in the local community. Due to its more recent use as rental accommodation, it is also significant it is typical of older houses being let and their subsequent deterioration due to neglect and clay soil impact.

**5.3 Aesthetic significance**

The original dwelling is constructed on a timber frame with weatherboard cladding, an iron roof and a front verandah. It is regular in form and scale, maintained in poor condition, and presents a detracting aspect to Stanley Street. The rear dilapidated annex is seen from Rankin Street and therefore detracts from that street view. The building therefore maintains little of its original aesthetic integrity and stands out as an unpleasant addition to and element within, the heritage precinct.

**5.4 Social significance**

The building has no particular social significance such as a community building, but it does represent typical domestic accommodation of the late 19<sup>th</sup> Century, where a family might seek to establish legal tenure with regard to affordable home ownership, and connection to available services in a location allowing access to employment and public transport. Although the first wave of land grantees disposed of their allotments fairly quickly without building, the second wave sought a more settled way of life and built on their blocks to establish a step toward self fulfillment and family security.

**5.5 Technical/research significance**

The architectural design of the dwelling is typical of medium status housing of the late 19<sup>th</sup> Century, following on from the Victorian period. By the 1890s a drought had set in and strikes characterized industry. Money was short and the land boom had collapsed. By the middle of the decade things were lifting and housing construction recommenced. The early styles adapted classical features and buildings demonstrated symmetry and order. This basic dwelling became the housing choice of those on modest incomes and the dwelling demonstrates early housing, being wholly detached, set in its own grounds and originally owned, not leased. It was a common building style in rural areas and country towns. Its architectural lines are plain and austere, with little ornamentation. The rear brick kitchen and laundry annexes as well as the separate toilet building stand out as construction undertaken on an as-needs basis as income and family demands dictated.

The footprint of the original building is still clear to see, and although the whole presents little research potential, during the demolition works regard should be had for the discovery of minor archaeological artifacts.

**5.6 Rarity significance**

This item is not assessed as particularly architecturally or socially rare. It is of poor integrity for a dwelling of the period, and typical of the style as such dwellings are fairly common across the town.

**5.7 Representativeness**

The dwelling and its attached service annex is a good example of the early building style, and basic housing requirements of the time, with simple symmetrical floor plan and front façade, main rooms for general living with small rooms dedicated to service requirements and a kitchen at the rear.

**5.8 Statement of significance**



### *Statement of Heritage Impact – 36 Stanley Street, Bathurst*

The residence is significant in its context as one of the earlier dwellings in Bathurst, dating probably back to the late 1800's in the early years of accommodation construction in the town for private purposes.

It does not hold any strong social connections, although the Bligh and Patsworth families may have had associations.

Its construction design demonstrates the early layout of a main four bedroom dwelling, flanked by primitive kitchen/laundry/bathroom add-ons at the rear. As was the pattern over time, the one structure now shows quite different construction standards.

The original four roomed building maintains a poor aesthetic integrity and only stands out as an impoverished element of the heritage precinct. The rear annex joined to the main building is visible from Rankin Street, and detracts from the street view, which is not enhanced by any landscaping.

No particular features of the dwelling warrant preservation in demolition of the place, although the layers of construction have become part of the fabric of the building and demonstrate changes in adaptation, reuse and conservation management over time.

The original footprint of the building, although not rare, is still clear and there remains some slight potential for archaeological research on the site.

## **6.0 Impact**

### **6.1 Proposed development**

The proposed works relate to demolition of all features on the site and the construction of a new sympathetically designed modern home. **See Appendix E.**

A new dwelling with attached garage and a separate colorbond shed would be erected on the property across Lots 101 and Lot 102, necessitating the consolidation of the land into one allotment.

The dwelling would be three bedrooms, service rooms, living and activity rooms with associated bathrooms. Features would include an attached double garage, verandahs, decks and a courtyard. **See Appendix E sheets 3-5.**

The dwelling would be constructed in face brickwork with a colorbond roof, aluminium window frames and timber doors. Verandah posts would be constructed of steel **See Appendix E sheet 5.**

A new shed is to be constructed immediately behind the dwelling, with a lengthy setback from Stanley Street. It would be some 10m x 15m, steel framed and clad in colorbond sheeting. **See Appendix E.**

The roof slope of the dwelling and shed is to be 22.5°, and both buildings are to be constructed on concrete slabs.

Fencing would be brick piers with metal palisade insert panels.



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

Overall the existing structure is not comfortable, convenient or workable for modern living, and the early construction techniques have lost their original architectural and structural integrity.

**6.2 Redevelopment options**

The current owners advise that:

*..... the family's connection with the land at the above address goes back over one-hundred years to my great-grandparents, the original owners of the property. Now, we are embarking on renewing and strengthening our ongoing legacy by building a home with twenty-first century engineering that outwardly honors design elements of the original dwelling. A home that will stand the test of time for future generations of our family and add to our proud history in Stanley Street.*

The condition assessment suggests that the dwelling no longer fulfils modern lifestyle and family requirements and is a safety and health risk. The assessment also calculates the option of renovation, demonstrating that the cost of rebuilding is justified.

Effective servicing and amenities, better vehicular access and sunlight access can be achieved, along with landscaping and site enhancement to complement the adjacent Macquarie River parklands.

The owners have had regard for their own long term occupation of the place, and the future market value of the property and have found that the aim of the works as proposed will serve their occupation requirements and value add to the property.

A number of options were considered for the most appropriate architectural works on the new building to conserve heritage integrity, protect the heritage precinct and at the same time address the above aims. The developer has consulted with Bathurst Regional Council, to establish criteria for the project as proposed.

With appropriate works as shown in the Architectural Design at **Appendix E**, the site would be stabilized and rendered suitable for more effective residential use within the heritage precinct.

The proposed shed shown at **Appendix E**, would complement the dwelling both aesthetically and in use, enabling the owner to undertake activities and storage of materials in an all-weather situation, and is to be located well back from the building alignment in Stanley Street.

**6.3 Positive impacts**

The positive impacts of the redevelopment are significant. The current dilapidated dwelling is an eyesore in the street, particularly where it is located on a prominent corner. The building would appear to be unhealthy and unsafe for occupation and possibly affected by asbestos. The demolition of the structures on the site are desirable, and no particular heritage impact would result from this.

The rebuild would bring the site in line with contemporary development in the locality, whilst at the same time attempting to present a new building which would complement the ambience of the heritage conservation area. The heritage precinct in Rankin Street is far enough around the corner for there to be limited visual impact and the parklands would be enhanced by any proposed landscaping on the development site.



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

Building materials chosen, being reclaimed brickwork and other recycled and salvaged materials, and strategic placement of outdoor garden areas, will serve to enhance the streetscape in both Stanley and Rankin Streets.

The works would enable the continued use of the site for its zoned residential purpose, and construction techniques would recognise the historic nature of the property in its heritage context, thus bolstering the integrity of the heritage conservation area. Both streets currently contain a mix of residential constructions.

The proposed shed would not be intrusive in the street due to its setback, and therefore not detract from any views of the front of the house.

The works are suitable for the site and the methodology proposed does not compromise the heritage significance or integrity of the place or the neighbourhood.

#### **6.4 Negative impacts**

The danger of not undertaking the works relates to further loss of structural integrity and efficient use over time, impacting upon resident health and safety in the heritage precinct.

The existing building, although of sentimental attachment to the current owner, does not serve to address any areas of heritage significance. It is not aesthetically significant, and nor are its social associations strong enough to warrant retention.

#### **6.5 Mitigation measures and sympathetic solutions**

The architectural design of the new home and associated shed as shown at **Appendix E**, demonstrates a number of measures and sympathetic solutions which will enhance this heritage precinct, summarized as follows:

- The dwelling and shed would display a low profile in line with other development in the vicinity, with a roof pitch of 22.5°.
- The dwelling would provide a wrap around front verandah in a homestead style design facing Stanley Street, with relevant articulation in double hung windows and a heritage-appropriate front fence along the front façade.
- The reclaimed brick cladding would be in muted tones to minimize visual impact and the setback of the front building alignment from Stanley Street would be in accordance with other similar setbacks along Stanley Street to the south.
- The Rankin Street façade would display a low courtyard wall on the property boundary to provide privacy, constructed of concrete panels with pressed panel inserts.
- The overall colour scheme would be in muted tones to suit the nature of the reclaimed face brickwork – that is, Colorbond *Monument* for the roofs and other trims and Colorbond *Surf Mist* for the fascias.
- The shed would be clad in materials and colours to complement the proposed dwelling, with a setback of some 36m from the Stanley Street boundary. **See Appendix E Sheet 6.**
- It is recommended that a landscaping plan be provided to show how site treatment will soften the built elements and complement the parklands opposite.
- There remains some slight potential for archaeological research on the site, and care should be taken during the demolition stage to conserve any artifacts which might enhance the research already undertaken on the history of the building and the site.



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

- BASIX requirements would be met in accordance with the BASIX Certificate as at **Appendix C.**

Sediment and erosion control measures would be installed around the site to prevent off site movement of sediment during both demolition and construction, and all works would be carried out to industry standard suitable to the heritage nature of the task by suitable tradesmen, having regard for the potential presence of asbestos on the site.

## **7.0 Conclusions**

The proposed works within the heritage precinct and the wider heritage conservation area, that is, the demolition of a dilapidated building and the construction of a contemporary home is expected to have minimal significant adverse impact on the integrity and significance of the history of the locality.

The works would enable efficient and effective continued use of the site for residential purposes within a residential precinct, and maximise health, building and safety issues with regard residents' use of the site, in addition to value adding to the property and conservation of the historic nature of the adjacent streets.

The shed construction is in a suitable location and would be completed to match the main house in colour and cladding, and to enable a better solution to storage of vehicles and other materials and equipment and provide an all-weather workspace.

Alternate restoration options were considered, but limited, as discussed above and outlined in the condition assessment, and the most appropriate methodology has been recommended to maximise visual amenity and heritage protection.

The dwelling appears to have been constructed in the late 1800's and the owners seek to retain and enhance the site for their own continued use and for interpretation by future generations. The existing building has obviously been able to adapt to changes over time in service provision and occupation but has lost its original integrity as a late Victorian cottage building. The old dwelling does not retain aesthetic appeal and is no longer able to effectively address modern accommodation requirements.

Assuming the above works are carried out in accordance with the proposed methodology, the mitigation measures and sympathetic solutions documented should ensure minimal adverse impact, and a positive heritage outcome for the site and the heritage conservation area.



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

**References**

*The History of Bathurst 1815-1915: CW Sloman 1994 (indexed by C Morgan 1994)*  
*A History of Bathurst Volume 1: Theo Barker 1992*  
*Dawning of a Township: Denis Chamberlain 1997*  
*Wikipedia, James Bligh*  
*Old Government Cottage, General Information & History Booklet, Part Three 2012*  
*James William Bligh: [www.ancestry.com.au](http://www.ancestry.com.au)*  
*Bathurst: Morning Chronicle (Sydney, NSW : 1843 - 1846), Saturday 28 June 1845, page 2*  
*Mr James William Bligh: [www.parliament.nsw.gov.au](http://www.parliament.nsw.gov.au)*  
*John Shea: [www.convictrecords.com.au/convicts/sheajohn](http://www.convictrecords.com.au/convicts/sheajohn)*  
*Mr Bligh: Bathurst Free Press and Mining Journal (NSW : 1851 - 1904), Saturday 26 February 1859, page 2*  
*The Development of Castle Cove and Middle Harbour: Esther Leslie 1988*  
*[www.freebdm.org.uk](http://www.freebdm.org.uk)*  
*Inns and Hotels of Old Bathurst Town, WH Tighe 1992*

*Site inspection: 3<sup>rd</sup> August 2021*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Appendix A**

### ***Plates***



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 1: 36 Stanley Street in context in Stanley Street, view to south*



*Plate 2: Commercial premises opposite*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 2A: Macquarie Parklands opposite*



*Plate 3: Heritage precinct in Rankin Street*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 3A: Residential development adjacent in Rankin Street*



*Plate 4: Fencing of subject land*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 5: Front verandah condition*



*Plate 6: Stone footings and wall cracking*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 7: Rear view from north west*



*Plate 7A: Rear view from south west*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 8: Toilet and clothes line*



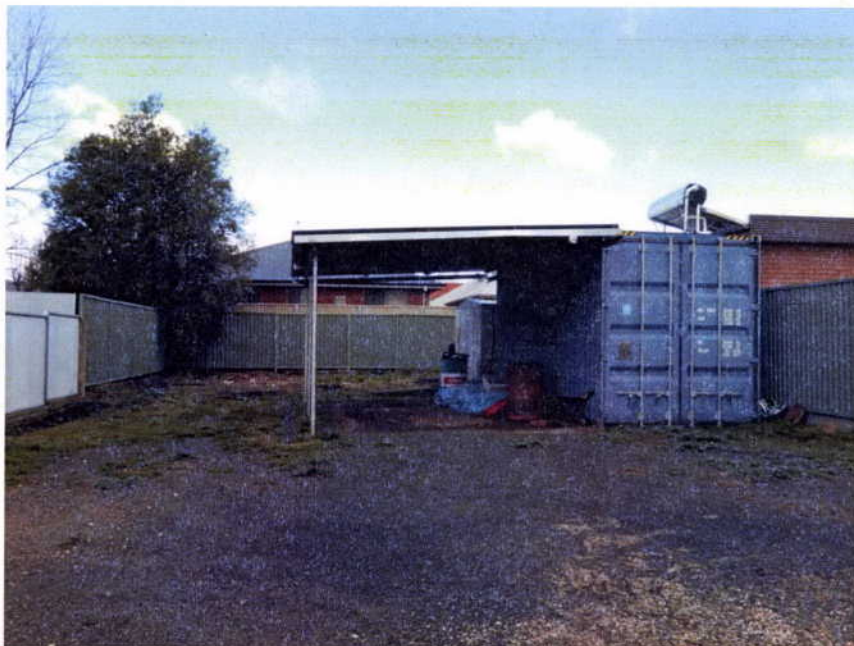
*Plate 9: Carport and driveway from Stanley Street*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 9A: Driveway from Stanley Street*



*Plate 10: Carport and container*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*



*Plate 11: Lawn locker shed at rear*



*Plate 12: Path onto Rankin Street*



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Appendix B**

### ***Figures***



## Statement of Heritage Impact – 36 Stanley Street, Bathurst

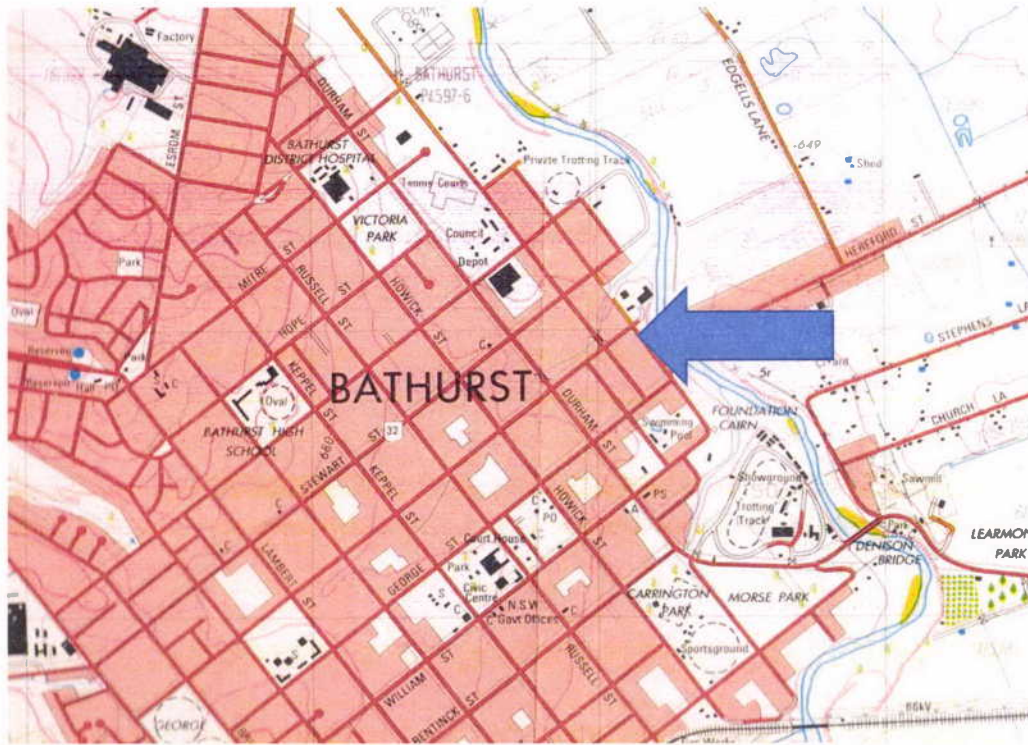


Figure 1: Location plan

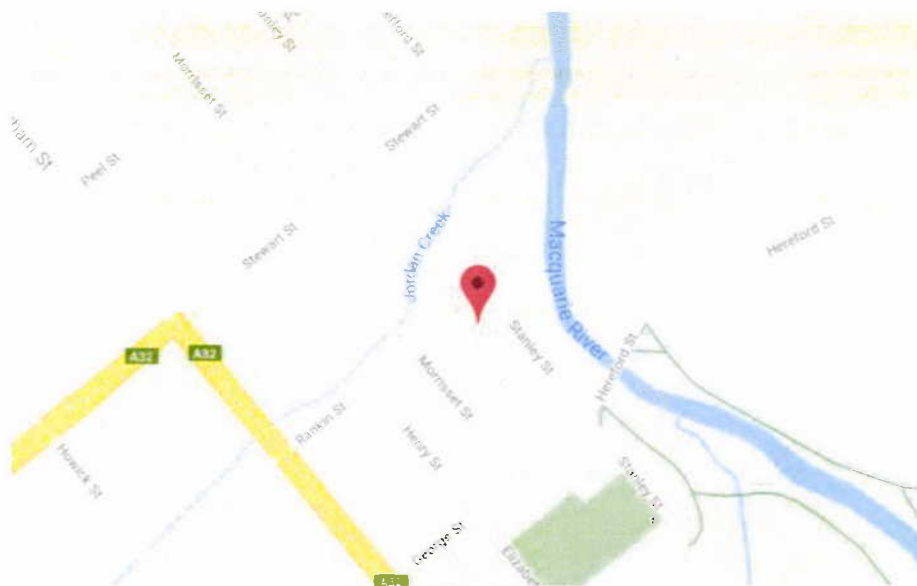


Figure 2: Location plan



Statement of Heritage Impact – 36 Stanley Street, Bathurst

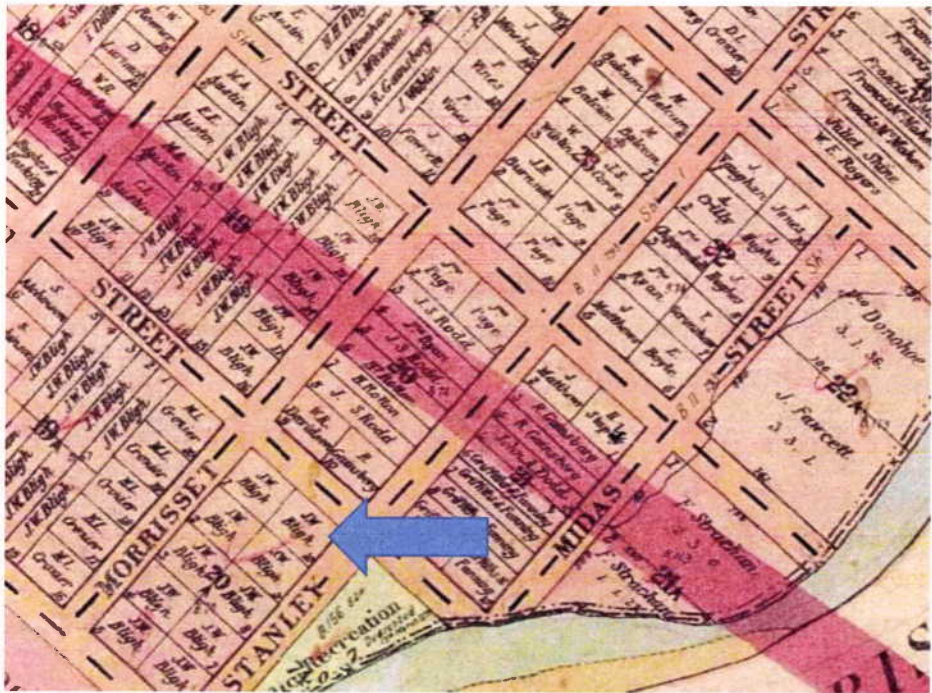


Figure 3: Parish Map extract 1922

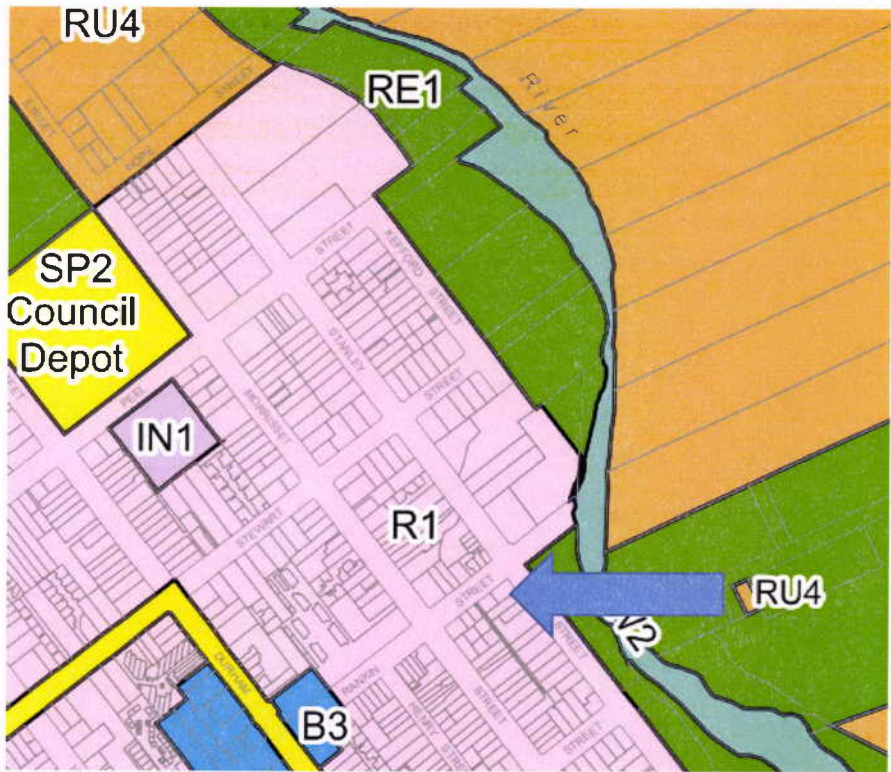


Figure 4: Zoning R1



Statement of Heritage Impact – 36 Stanley Street, Bathurst



Figure 5: Heritage Conservation Area



Figure 6: Flooding



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Appendix C**

***BASIX Certificate***  
***(see separate attachment)***



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Appendix D**

### ***Condition Report***

*Dated: 18<sup>th</sup> August 2020*

***(See separate attachment)***



*Statement of Heritage Impact – 36 Stanley Street, Bathurst*

## **Appendix E**

### ***Architectural Design***

*Dated: 23<sup>rd</sup> August 2021*

***(See separate attachment)***



## ***Addendum Report***

### **36 Stanley Street, Bathurst Demolition and new residential development**



**Applicant: D & K Reynolds**

***Date: November 2021***

**Patsy Moppett  
Town Planner and Heritage Consultant**

**ABN: 94 284 380 253**



## **List of Contents**

- 1.0 Introduction
- 2.0 Dating the building's construction
- 3.0 Family history
- 4.0 Construction detail
- 5.0 Condition survey
- 6.0 Historical significance
- 7.0 Mitigation measures



### 1.0 Introduction

Council have required further clarification as to the age of the dwelling at 36 Stanley Street, and the impacts of the proposed new dwelling on “adjoining” heritage items.

It is noted that there are no heritage items *adjoining* the subject land apart from the Macquarie River parklands (across Stanley Street), but several built items are *adjacent* in Rankin Street.

*According to Bignold J, “[t]he ordinary dictionary meanings and usage of the words “adjacent” and “adjoin” clearly indicate that the former has a wider meaning than the latter.”*

*“Concerning the word “adjacent”, as the Privy Council observed in Mayor of Wellington v Mayor of Lower Hutt (1904) AC 773:*

*Adjacent is not a word to which a precise and uniform meaning is attached by ordinary usage. It is not confined to places adjoining and it includes places close to or near.”*

It is reasonably clear then that *adjoining* requires a connecting boundary, whilst *adjacent* is not attached but within the vicinity.

It is acknowledged that the subject land and those adjacent heritage items are all within a heritage conservation area.

### 2.0 Dating the building's construction

The original SHI states the building is POSSIBLY one of the earliest dwellings constructed in Bathurst based on information available at that time. No further information was available which could narrow the date range to show otherwise. Consultation with the landowner provided little information beyond that known by his immediate family. Consultation with the Bathurst District Historical Society has provided an “Aerial sketch of Bathurst” dated 1877, which vaguely shows a building on the land.



1877 Aerial sketch of Bathurst (BDHS)



We know Bligh left Bathurst in 1851. He had been developing some of his land from 1848, but he had not been living at what is now 36 Stanley Street. It is unknown which of his lots had been "developed" and how this was done ie. dwellings, shops, industry. The original SHI suggests that he MAY have built on No. 36, but this is unconfirmed. It is more likely that he sold it along with his other blocks, to divest himself of his Bathurst properties, once he left town.

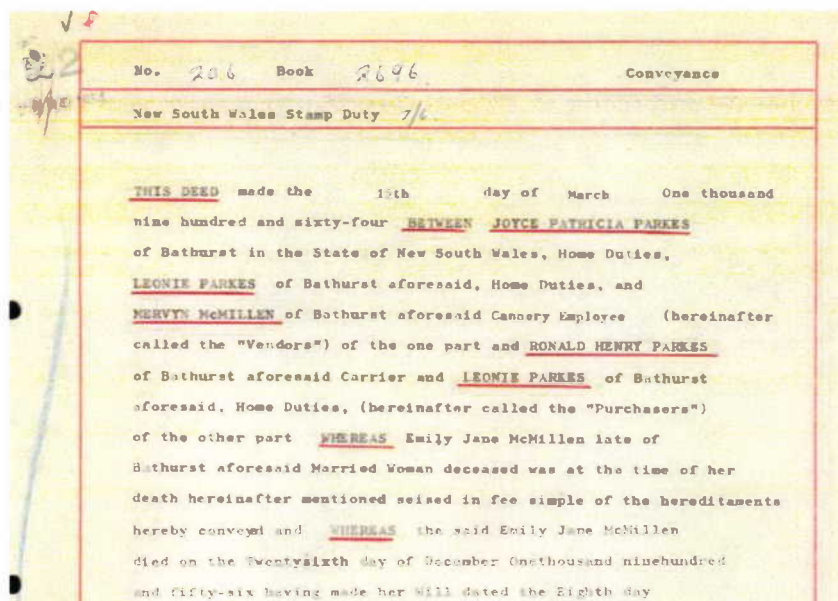
### 3.0 Family history

A search of family history relating to the dwelling may assist, as follows:

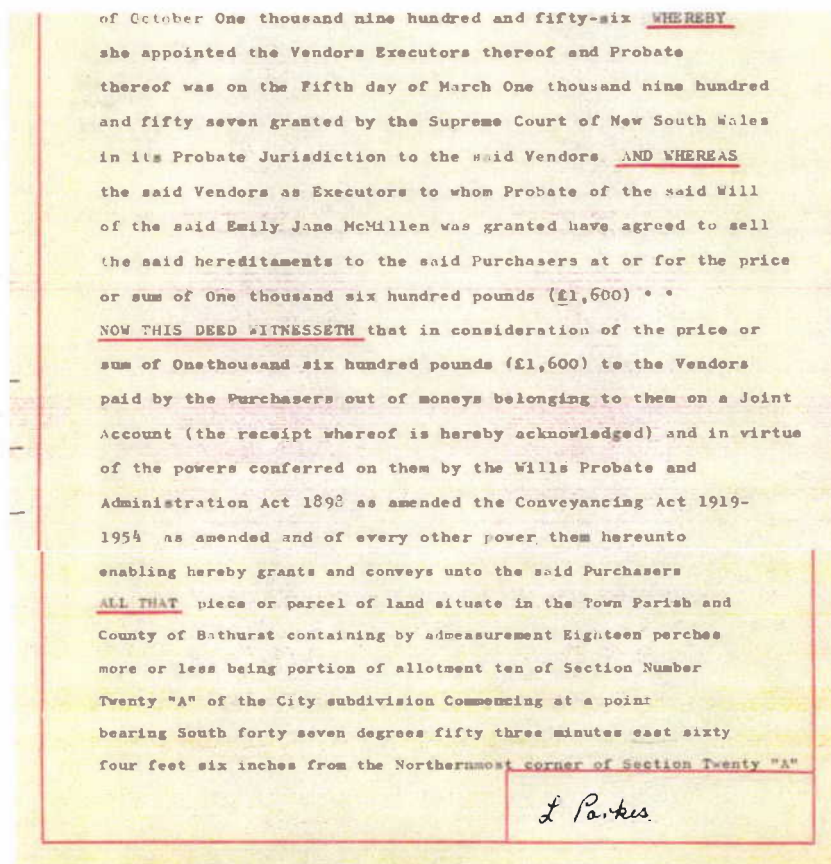
A Title Deed from 1964 shows the death of the owner in 1956, Emily Jane McMillan, and the property being subsequently being sold by the Executors, Joyce and Leonie Parkes, and Mervyn McMillan, to Leonie and Ronald Parkes, in accordance with Emily's will. Probate was granted in 1957 and the land sold to the purchasers in 1964. These families are forebears of the current owner. Emily does not seem to have married. If Emily's father built the house, it would date from when the family moved to Bathurst.

Emily was the daughter of Hugh and Margaret McMillan, and was born in 1856-7, one of several children born to them whilst living in Sydney. Their last child, Martha was born in Sydney in 1864, so it is assumed that until that point they were still living in Sydney. If they moved to Bathurst after this, bought the land from Bligh or from a later landowner, and built the house soon after, the earliest we can date the house is perhaps 1865.

The current landowner mentions the name Patsworth as being associated with the building, but no evidence can be found to support this. It is unknown whether Patsworth was perhaps family, or a lessee of the premises.







1964 Deed No. 206, Book 2696

#### 4.0 Construction detail

The building is constructed of rendered brick, with later weatherboard additions at the rear. However, the building techniques used are primitive and unlike more substantial early construction in the town, such as the nearby heritage items in Rankin Street. On this basis it is likely that the building dates to about 1870, as there are no particular architectural features which might suggest otherwise. The house is so deteriorated, has changed hands and been altered so much internally over time that any features which might pinpoint a date further are long gone.

#### 5.0 Condition survey

As outlined in the original SHI, some additions and early maintenance were carried out by the family to support family members living in the place. In recent years the dwelling was rented out for a time and then left vacant, with little or no maintenance being done.

The condition survey (provided with the original SHI) suggests that the building is constructed of masonry construction (rendered brick) and in poor condition due to reactive clay movement. It is suggested that the building is set on masonry footings as well, with a suspended floor, although this is quite low to the ground. External side elevations show a row of stone along the base of the walls, which may have simply filled in the gap. Due to soil conditions the building has suffered with much cracking of the walls, both internal and external, which has been repaired more than once around door frames etc.

Due to lack of maintenance, drainage (guttering and down pipes are severely deteriorated and internal plumbing in bad repair) has not been addressed and the flooring and ceilings show significant signs of water damage. Flooding from the Macquarie River over time would



also have taken its toll. The building is now in an unstable and unhealthy state, according to the condition survey.

### **6.0 Historical significance**

Therefore, based on the information available to date, the building was probably constructed 1865-1870. Subsequently a low historical significance is further supported and justification for demolition reinforced.

### **7.0 Mitigation measures**

Further to the mitigation measures outlined in the original SHI, and to satisfy Council's concerns with regard to the new build:

- It is recommended that modelling be undertaken to demonstrate impact of the new build (scale, width, height and view lines) on the precinct within the heritage conservation area, to the satisfaction of Council's Heritage Advisor.  
It is understood that revised plans have been prepared by the applicant to address issues such as height, better articulation along the front façade, a revised colour scheme, and alterations to the proposed Rankin Street side fence.  
Once again it is noted that there are no built heritage items *adjoining* the subject site, but a group of items is *adjacent* to the north west along Rankin Street, about 50m away at the closest point.
- It is also recommended, to provide further information about the current dilapidated building, that a more thorough photographic report be undertaken to record the remaining architectural features and condition of the place, to the satisfaction of Council's Heritage Advisor.

\*\*\*



20200967  
18 August, 2020

Aaron Schumacher Drafting  
5 Mendel Drive  
KELSO NSW 2795

Attention: Aaron Schumacher

Dear Aaron

**RE: Building Condition Survey, 36 Stanley St Bathurst NSW 2795**



Calare Civil Pty Ltd  
ABN 41 050 057 933  
170 Rankin Street  
Bathurst NSW 2795

Tel: 02 6332 3343  
Fax: 02 6331 8210  
Email: bathurst@calare-civil.com.au  
Web: www.calare-civil.com.au



### 1. Introduction

The purpose of this survey is to examine and document the existing condition of the buildings at the above address.

DATE OF INSPECTION:	18-8-2020
INSPECTION CARRIED OUT BY:	Mr Arthur Sonter
PROPERTY DETAILS:	36 Stanley street Bathurst, NSW 2795
BUILDING CLASS:	Dwelling
BUILDING OWNER/OCCUPANT:	A.Schumacher
Prepared by:	Calare Civil Pty. Ltd. 170 Rankin Street, Bathurst. N.S.W.

Note: All descriptions are given as viewed looking towards the detail. Inspections were not carried out behind fixed or heavy furnishings or other immovable objects.

### 2. General Description

The building is located on the north western side of the road.

The building is of single storey full masonry construction, as defined in AS 2870-"Residential Slabs and Footings" Code. The building has most likely been constructed on masonry footings with a suspended timber floor and an iron clad timber framed roof.



### 3. External Inspection

Roof iron was in poor condition at the time of the inspection with severely damaged/leaking roof guttering and downpipes.

The internal roof timber is badly weather damaged and rotten

External walls of dwelling are badly cracked and damaged.

External timber (structural and non-structural) and eaves displayed weather damage at the time of the inspection. There would be a strong likely hood of asbestos in the building and will need to be tested.

The shed and surrounding path was badly damaged, and timber weathered and rotting.

The timber, concrete floor and roof iron of the front verandah was badly damaged.

### 4. Internal Inspection

The internal inspection revealed damage through every part of the building with old repaired cracks.

There was evidence of long-term movement patterns (e.g. doors out of alignment, old crack etc.)

There is major damage to the floors in all areas, mostly from water. All floors in the main areas of the building were "bouncy" and would need replacing.

### DISCUSSION

Our inspection revealed that the building has suffered major damage throughout due to reactive clay movement, unsuitable building techniques and general weathering/deterioration due to lack of maintenance over a long period of time.

### Remedial Works and cost estimate excluding GST

#### 1. Essential Work (to ensure structural soundness and safety of building)

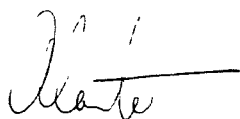
a) Repair external timber and eaves	\$5,000
b) Replace complete roof	\$30,000
c) Replace all gutters and downpipes and ensure connection to in ground system	\$5,000
d) Repair sub floor bearers and joists and replace floor throughout	\$40,000
e) Remove all asbestos and replace internal walls and ceilings	\$70,000
f) Repair external cracked and damaged masonry	\$9,000
g) Replace all internal plumbing	\$6,000
h) Repair all stormwater drainage	\$4,000
i) Replace bathroom	\$15,000



j) Replace kitchen	\$15,000
k) Replace all electrical wiring	\$11,000
i) Replace verandah and awning	\$25,000
<u>Cost estimate ex GST</u>	<u>\$235,000</u>

We trust that this information meets your requirements. Please do not hesitate to contact the undersigned should you require any further information.

Yours faithfully,  
CALARE CIVIL PTY LTD



Mr Arthur Sonter  
Structural Engineer  
FIEAust, Adv.Dip Civil Structural Eng.



Appendix A:  
Photographs

















**RESIDENTIAL INFILL APPLICATION**

DA No: .....

**Section 1 Applicant details**

Contact Name: DAVID + KAREN REYNOLDS  
Contact Nos: Mobile: 0427259651 Work ..... Home .....

**Section 2 Property details**

No: 36 Street: STANLEY STREET Suburb: BATHURST

**Section 3 Infill details**

	Nearest left hand side residence <u>34 STANLEY</u>	Nearest right hand side residence <u>8 RANKIN</u>	How does your proposal relate to its neighbours?
--	--	---	--

**Scale** (the height and width, or size of the building)

	<input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3	<input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3	
Number of storeys			<u>SINGLE</u>
Approx. height to eaves – A	<u>2.5</u> metres	<u>2.5</u> metres	<u>3.0</u>
Approx. width of building – B	<u>10</u> metres	<u>13</u> metres	<u>21.8 (Stanley)</u>
Approx. height or roof – C	<u>5</u> metres	<u>3.5</u> metres	<u>5.275</u>

**Massing** (The arrangement of the parts. The proportions of the parts within the whole, and the spacing between items)

	<input type="checkbox"/> Flat <input type="checkbox"/> Low <input type="checkbox"/> Medium <input checked="" type="checkbox"/> High <u>25°</u>	<input checked="" type="checkbox"/> Flat <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> High	
Roof pitch			<u>22.5°</u>
Roof style	<input checked="" type="checkbox"/> Hip <input type="checkbox"/> Gable <input type="checkbox"/> Skillion	<input type="checkbox"/> Hip <input type="checkbox"/> Gable <input checked="" type="checkbox"/> Skillion <u>FLAT</u>	<u>HIP + GABLE.</u>
Window shape & type	<input type="checkbox"/> Vertical <input checked="" type="checkbox"/> Horizontal	<input checked="" type="checkbox"/> Vertical <input checked="" type="checkbox"/> Horizontal	<u>HORIZONTAL</u>
Verandah or awning	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<u>VERANDAH.</u>
Other elements (e.g. chimney, balustrade etc)	<u>No</u>	<u>SOLAR HOT WATER.</u>	

**Setback** (from front boundary/s)

	<u>4</u> metres	<u>8</u> metres	<u>3.339 → 5.139</u>
--	-----------------	-----------------	----------------------

**Materials**

	<u>RENDERED BRICK.</u>	<u>BRICK</u>	<u>RECLAIMED BRICK.</u>
Walls			
Roof	<u>TILES</u>	<u>ZINCALUME</u>	<u>COLORBOND</u>
Other			

**Colours**

	<u>CREAM</u>	<u>BROWN</u>	<u>RECLAIMED BRICKS.</u>
Walls			
Roof	<u>TERRACOTTA</u>	<u>ZINCALUME SILVER</u>	<u>SEA MIST.</u>
Other	<u>BASALT GUTTER</u> <u>WHITE TRIM</u>		<u>REFER TO PLANS</u>

**The information on this form is being collected to allow Council to process your application and/or carry out its statutory obligations. All information collected will be held by Council and will only be used for the purpose for which it was collected. An individual may view their personal information and may correct any errors.**



### RESIDENTIAL INFILL POLICY

This form is to be filled out and submitted with a Development Application where the proposal includes new infill development on vacant land, or is a proposed replacement residential building within any of the conservation areas within the Bathurst Regional Council Local Government Area.

Within the Conservation Areas of Bathurst, Kelso and within the historic villages of the region, infill development must complement and enhance the local character by relating to the predominant:

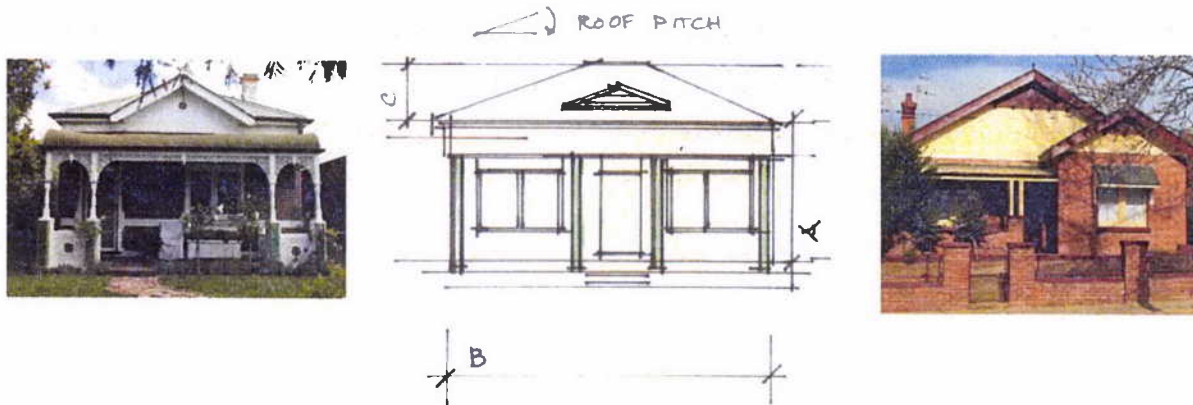
#### SCALE, MASSING, SETBACKS, COLOURS AND MATERIALS

of the area. This does not mean a developer must mimic the buildings nearby. It is acceptable to relate to the above factors, yet produce a contemporary design. To demonstrate that this Policy has been complied with, an application for residential 'infill' must be accompanied by the following:

1. Street photographs showing the proposed site and adjoining developments to each side, and include the dimensions A, B, C and roof pitch as indicated in the illustration below.
2. A completed infill application form containing an explanation of your selection of scale, massing, setbacks, colours and materials.

**It is recommended that intending infill designers or builders should discuss their proposal at an early stage with Council's planning staff. Assistance will be given, if required, with completing the infill application.**

**Example of dimensions and context photos required as below.**







PO Box 1975  
Orange NSW 2800  
ABN: 46 121 454 153  
Phone: 0263624523  
Email: [anthony@adtp.com.au](mailto:anthony@adtp.com.au)

Our Ref: 2021-085

4 February 2022

Bathurst Regional Council  
Private Mail Bag 17  
Bathurst NSW 2795

Attention: Tamsin McIntosh

Dear Tamsin

**RE: DA 2021/440 - 36 STANLEY STREET, BATHURST**

The following comments are made with respect to Council's letter of the 16 December and your email of the 20 December providing further clarification.

It is noted that there have been a number of revisions made to address Council's concerns with respect to the design to ensure that it is appropriate in this location (this is a modern home that addresses both streets but still respects the surrounding buildings). Yes, it is noted that the land contains 2 lots, but it is noted that Lot 101 is only 10m wide and not really considered ideal for a house in this location (there is no provision that prohibits a dwelling on two lots subject to consolidation). The two lots combined create a relatively square lot with nearly even street frontages to both Stanley and Rankin Streets (with the exception of the rear of Lot 101 which is proposed for a rear shed). Accordingly, the design has been undertaken to address both street frontages with passive surveillance to both streets.

As a result of the relatively even frontages to both lots, it is reasonable to consider the proposed dwelling with consideration to the housing in both Stanley and Rankin Streets (where there are a number of examples of buildings with larger and more modern footprints – 14, 16, 19 Rankin Streets have long frontages).

There are a number of commercial buildings across the intersection that provide further building diversity and scale to the area, which indicates that there is not a consistent theme for the area.



The lots along Stanley Street are generally narrower and the houses built at the time were designed accordingly. The subject land is not a narrow lot as discussed above – however, the design has been refined by the further articulation of the Stanley Street frontage with the master bedroom and Bed 2 been brought forward and a significant amount of bulk taken out through redesign which has enabled the building height to be lowered.

The windows generally have horizontal proportions which has in keeping with other dwellings along Stanley Street.

The roof pitch proposed is representative of the neighbouring development (the neighbouring flat roof house on Rankin Street has not been considered). The use of face brick and Zincalume roofing is considered consistent with the surrounding locality.

It is noted that the proposed dwelling is setback further from Stanley Street than the current house on the site.

The front fence has been changed to address Council's suggestions and the fence along Rankin Street has been articulated with pressed paling panel inserts with landscaping within the inserted areas to provide a visually appealing outcome whilst still affording privacy for the owners.

The rear shed (to fill the area at the back of Lot 101), is proposed to be used for the storage of cars and associated vehicles of the owners and not be used on a regular basis. The rear shed works due to the odd shape of the subject land and this is considered the best use of this area. Due to the design of the house, the shed will be obscured from Stanley Street and due to its significant setback from the street, will generally not be seen. The proposed garage off Rankin Street will be for the garaging of the owners everyday use cars. The garage is setback a reasonable distance from the intersection so as to not create any traffic safety issues.

The living and dining areas will receive morning and afternoon sun and will open out onto the alfresco and deck areas (with future pool option). No issues with security have been identified.

Whilst other alternative designs have been considered by the owners , they have designed their home to meet their future requirements and lifestyle, whilst been sympathetic to surrounding homes. They have made changes to the design and appearance of the building to endeavour to meet the concerns of Council. It is considered that the proposed dwelling will provide a positive inclusion into the area.



It is understood that Council now has everything to favourably consider the Development Application and issue consent.

Should you have any questions with respect to this matter, please contact the office on 63624523.

Yours faithfully

**Anthony Daintith Town Planning Pty Ltd**

A handwritten signature in black ink, appearing to read 'Anthony Daintith', with a stylized, cursive script.

Anthony Daintith  
**Principal**





**Bathurst Regional Council**  
PMB 17  
158 Russell Street  
BATHURST NSW 2795  
Telephone: 02 6333 6111  
Fax: 02 6331 7211  
Email: [council@bathurst.nsw.gov.au](mailto:council@bathurst.nsw.gov.au)

**Important Notice**  
This map is not a professional document. Accurate information cannot be determined by a survey on the ground. This information has been prepared for Council's internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Benthams nor the Benthams' insurers accept any responsibility or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.

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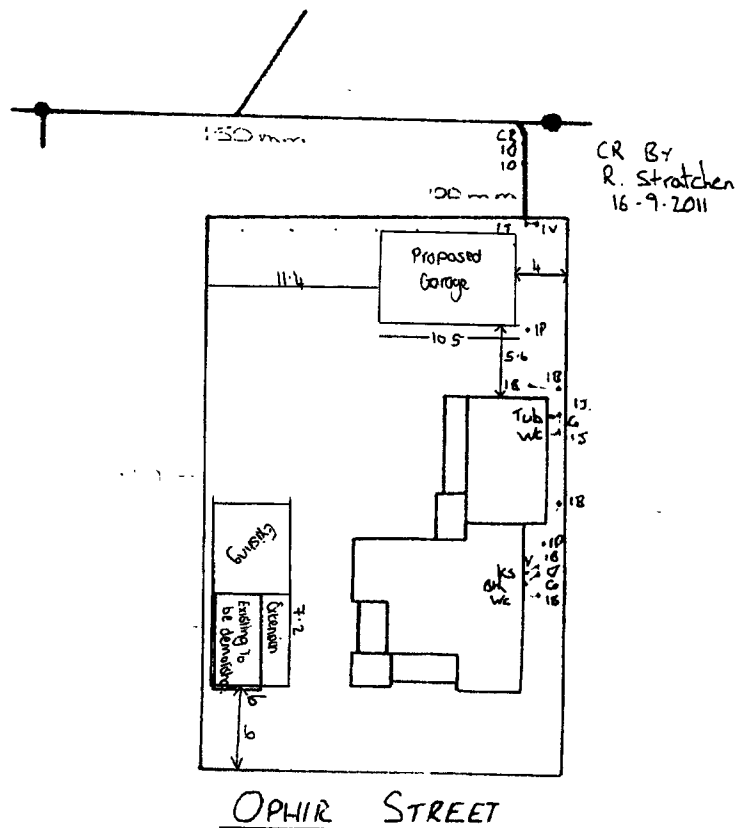
**Map Scale:** 1:1019 @ A4



## BATHURST REGIONAL COUNCIL – SEWER DRAINAGE PLAN

Owner: C. O'KEEFE Drainage Plan No: 647  
 Address: 10 OPHIR STREET Development Application No: Existing Cottage  
 Plumber: Alteration By R. SUTHERLAND 5-12-01 Scale: 1:400

Bathurst Regional Council disclaims all liabilities for errors or omissions of any kind whatsoever, or for any loss, damage or other consequence which may arise from any person relying on information comprised in this plan  
 Legend: Red lines – Sewers Blue lines – House Drains

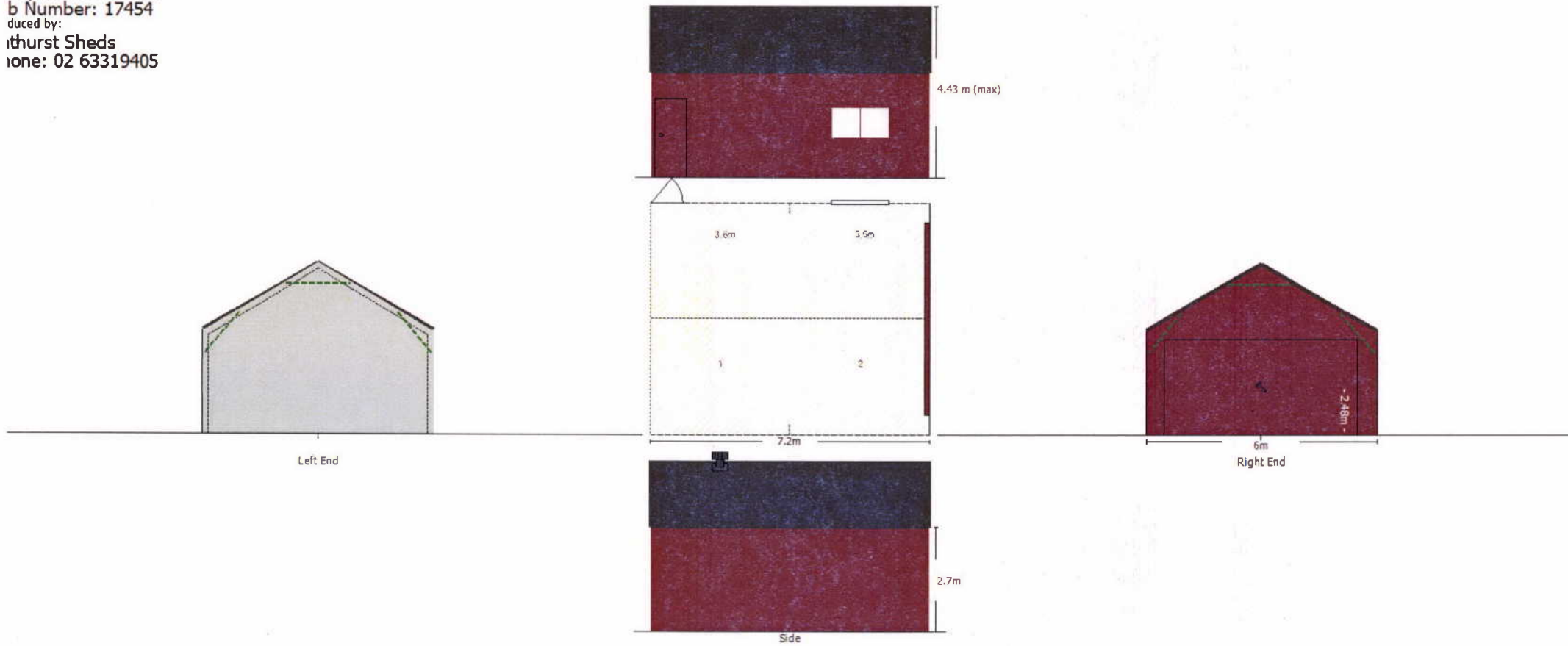


Traced from Original  
 Bathurst 1st APRIL 1919.

David Shaw per M. FAIRBANKS  
 Director Environmental, Planning & Building Services

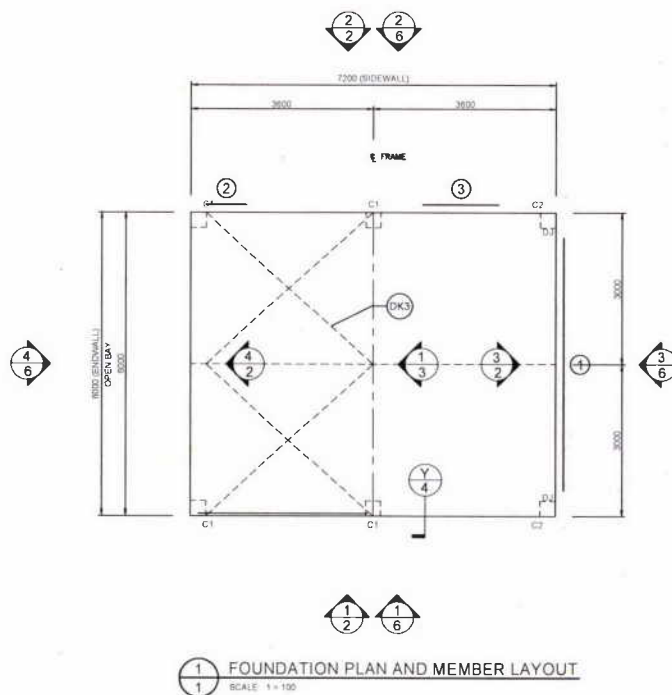


Iding For:  
 ahm Whitehouse  
 I Ophir st Bathurst  
 b Number: 17454  
 duced by:  
 ithurst Sheds  
 one: 02 63319405





IF IN DOUBT, ASK.



ROOF STRAP BRACING TO BE CONNECTED TO THE PURLIN CLOSEST TO THE LINE OF THE END WALL MULLION  
DJ - INDICATES DOOR JAMBS AT THESE LOCATIONS. REFER TO SHEET #4 ON THE DOOR SCHEDULE FOR SIZES

DESIGNED FOR 0.789 kPa  
GROUND SNOW LOAD

MEMBER LEGEND

C1	C15019
C2	C15012

1 OF 6	STEEL BUILDING BY	(CONTACT)			Civil & Structural Engineers 50 Punan Street Currajong, Qld 4812 Fax 07 4725 5850 Email design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ Signature Date 7/12/2021 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register		
	DRAWN	FDS					FOR	AT
	CHECKED	TM						
	DATE	7/12/2021						
	JOB NO.	BTST17454						
	NCC	2019						

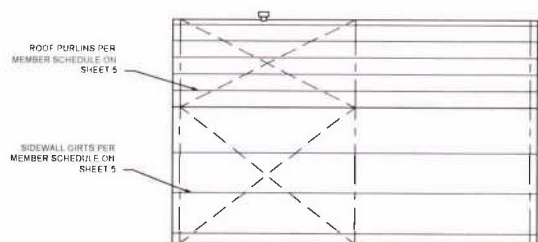
AGENDA - Ordinary Meeting of Council - 20 April 2022 Attachments

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

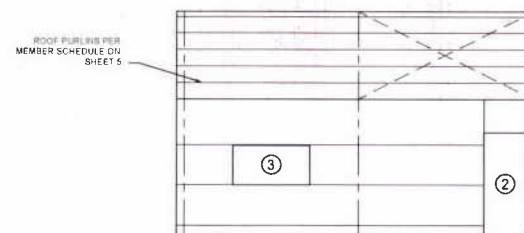


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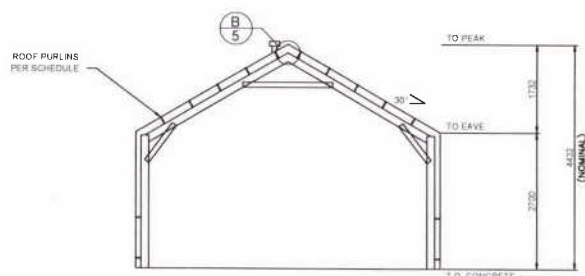
## Attachment 9.2.4.2



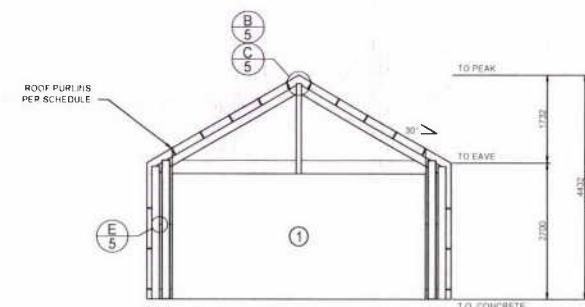
1 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1:100



2 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1:100



4 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1:100

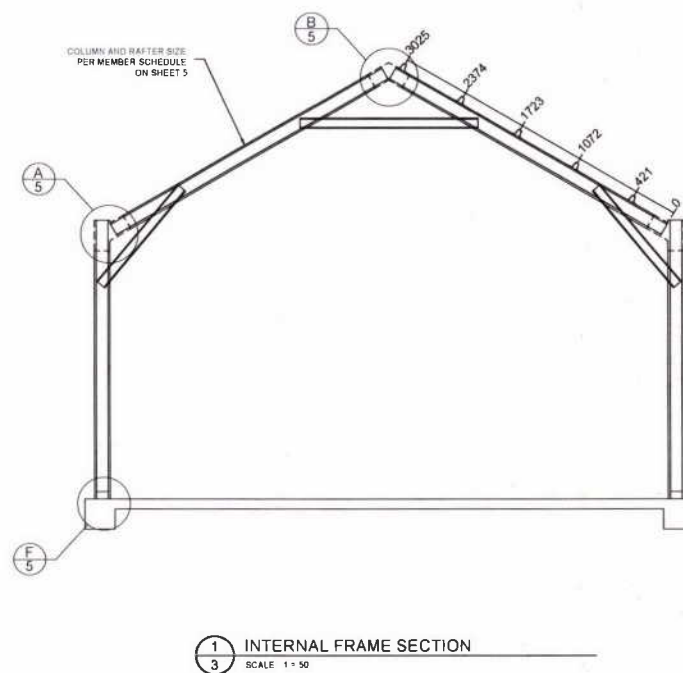


3 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1:100

X BRACING IS REQUIRED IN 1 SIDE BAY(S) AND 1 ROOF BAY(S) (BOTH SIDES).

2 OF 6	SHEET	JOB NO.	DATE	CHECKED	DRAWN	STEEL BUILDING BY	(CONTACT)	BATHURST SHEDS 02 63319405 GRAHAM WHITEHOUSE 10 OPHIR ST BATHURST	SHED SAFE	fairdinkum SHEDS	NORTHERN CONSULTING engineers	Civil & Structural Engineers 50 Punan Street Currajong, Qld 4812 Fax 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
		BIT/17454 2019	7/12/2021	TM	FOS	FOR	AT					Signature	Date



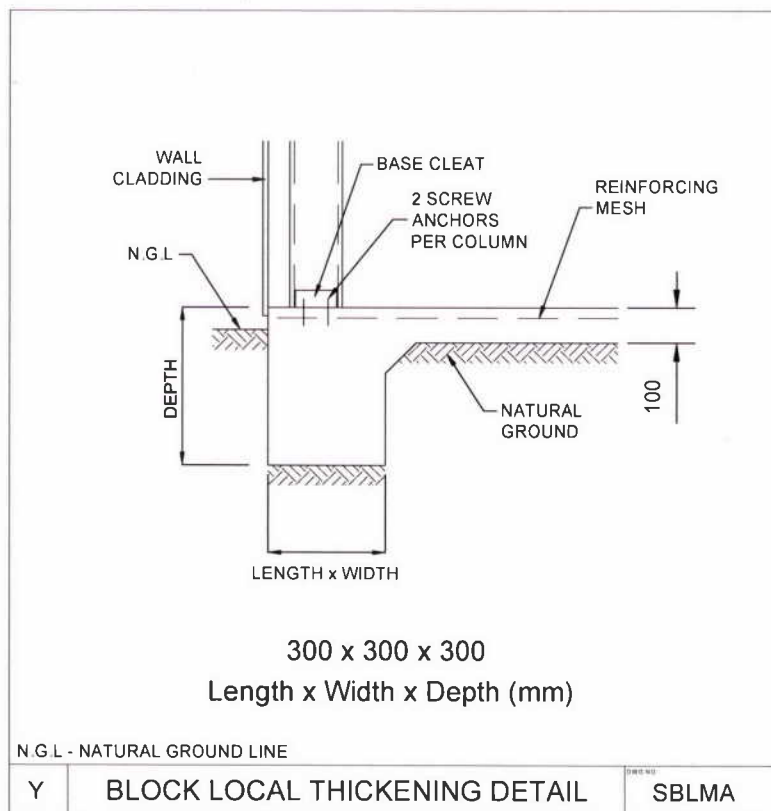


Refer to Sheet #4 for concrete specification.

3 OF 6	SHEET	JOB NO. BTST17454 2019	DATE 7/12/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY	(CONTACT)	<b>BATHURST SHEDS</b> 02 63319405 <b>GRAHAM WHITEHOUSE</b> 10 OPHIR ST BATHURST 2019			 Civil & Structural Engineers 50 Punari Street Curralong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Regn No 2556980 Regn No 9955 Regn No 11637365 Regn No EC36692 Regn No CC59488	Mr Timothy Roy Messer BE MIEAust RPEQ
						FOR AT	Signature 					

Date 7/12/2021  
Registered on the NPER in the areas of practice  
of Civil & Structural National Professional  
Engineers Register



[illegible]

ROOF LIVE LOAD: 0.25 kPa  
 BASIC WIND SPEED: VR 45 m/s  
 SITE WIND SPEED: V<sub>sit</sub>B 32.5 m/s  
 WIND REGION: Reg A  
 TOPOGRAPHY FACTOR, M<sub>t</sub>: 1  
 SHIELDING FACTOR, M<sub>s</sub>: 0.87  
 MAX GROUND SNOW LOAD: 0.789 kPa  
 MAX ROOF SNOW LOAD: 0.331 kPa  
 SITE ALTITUDE: 697 m  
 TERRAIN CATEGORY: TCat 2 99  
 SOIL SAFE BEARING CAPACITY: 100 kPa  
 RETURN PERIOD: 1.500  
 LIMITING CPI 1: -0.65  
 LIMITING CPI 2: 0.7  
 IMPORTANCE LEVEL: 2

- DK1 ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/3 FOR BASE CONN.)
- DK2 FLYBRACING PER DETAIL L/5
- DK3 X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)
- DK4 DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

DOOR	OPENING SIZE MAX		OPENING TYPE	HEADER GIRT	OPENING JAMBS	WIND RATED
	WIDTH	HEIGHT				
①	5000	2480"	2500 X 5 10 OR "SERIES AA"	SINGLE	C15012P	NO
②	820	2040	EXTERNAL PA DOOR TWO DEG	SINGLE		YES
③	1510	790	WINDOW	SINGLE		YES

NOTES: 1) SEE SHEET 3 FOR DOOR OPENING FRAMING INFORMATION.  
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.

\* ROLLER DOOR OPENING HEIGHT DEPENDENT ON FINAL BUILD LOCATION

(CONTACT)  
BATHURST SHEDS  
02 63319405  
GRAHAM WHITEHOUSE  
10 OPHIR ST  
BATHURST



Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) Q.L.D.  
Registered Certifying Engineer (Structural) N.T.  
Registered Engineer - (Civil) VIC  
Registered Engineer - (Civil) TAS

**Civil & Structural Engineers**  
50 Punari Street  
Currajong, Qld 4812  
Fax: 07 4725 5650  
Email: design@nceng.com.au  
ABN 341 008 173 56

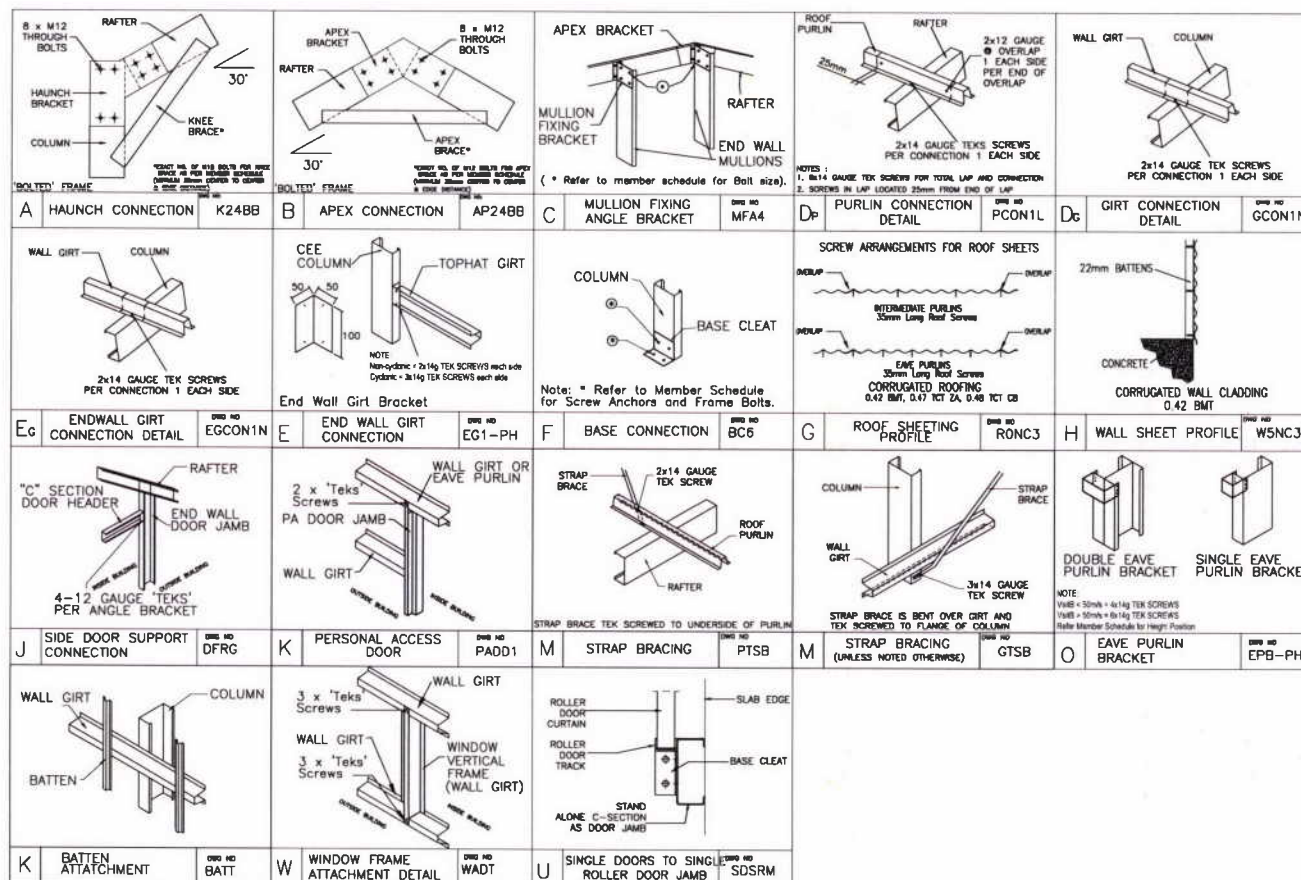
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature T. Messer

56 Date 7/12/2021

Registered on the NPER in the areas of practice  
of Civil & Structural National Professional  
Engineers Register



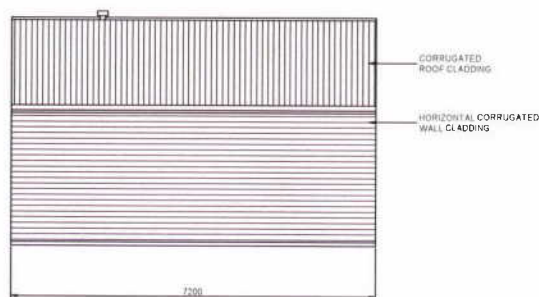


# MEMBER AND MATERIAL SCHEDULE

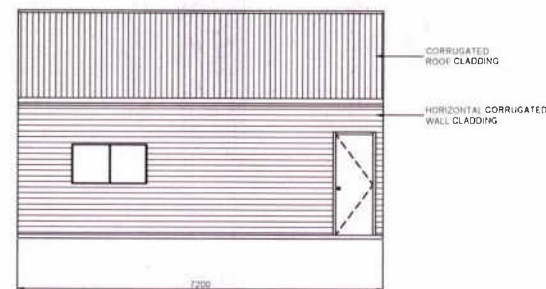
1	END WALL RAFTER	Single C15012
2	C/S FRAME RAFTER	Single C15018
3	END FRAME COLUMN (C2)	Single C15017
4	END FRAME FULLY OPEN COLUMN (C1)	Single C15018
5	C/S FRAME COLUMN (C7)	Single C15018
6	MULLION (C2)	Single C15017
7	C/S FRAME WHEE BRACE	Single C10010 @ 1.48 LONG 3 bolts each end
8	WHEE BRACE HEIGHT UP COLUMN	2.0m
9	WHEE BRACE LENGTH UP RAFTER	0.8m
10	C/S FRAME APEX BRACE	Single C10010 @ 1.75 LONG 2 bolts each end
11	APEX POSITION FROM RAFTER END	0.8m
12	ANCHOR BOLTS (W PER DETS)	Screw Anchor 12mm x 100 Gals
13	EAVE PURLIN	C10010 (Eave Purlin Bracket 60mm down from top of column)
14	TYP. ROOF PURLIN SIZE	Tophat 84 x 0.75
15	MAIN BLDG. PURLIN SPACING	0.851 m (5 rows) (Max Allow 0.835m)
16	MAIN BLDG. PURLIN LENGTH	3.78 m (0.18m Overlap)
17	TYP. SIDEWALL GIRT SIZE	Tophat 84 x 0.75
18	MAIN BLDG. SIDEWALL GIRT SPACING	0.799 m (3 rows) (Max Allow 0.827m)
19	MAIN BLDG. SIDEWALL GIRT LENGTH	3.7 m (0.1m Overlap)
20	TYP. ENDWALL GIRT SIZE	Tophat 84 x 0.75
21	MAIN BLDG. ENDWALL GIRT SPACING	1.271 m (3 rows) (Max Allow 1.543m)
22	MAIN BLDG. ENDWALL GIRT LENGTH	2.86 m (0.08m Overlap)
23	EXTERNAL WALL BATTEN	TH22 x 0.42 CEILING BATTENS @ 600mm CTS MAX
24	FRAME SCREW FASTENERS	14-13x32 Hex C/B (SP HD 5/16 Hex Drive)
25	FRAME BOLT FASTENERS	Purline Assy M12x30 ZP
26	K BRACING STRAP AND FASTENERS	Single Bracing Strap Per Roll Light
27	WALL COLOUR	MAHON_RED
28	ROOF COLOUR	MOHUMENT
29	ROLLER DOOR COLOUR	MAHON_RED
30	P.A. DOOR COLOUR	MAHON_RED
31	WINDOW COLOUR	MAHON_RED
32	ROOF VENT COLOUR	MOHUMENT
33	DOWNPIPE COLOUR	MAHON_RED
34	GUTTER COLOUR	MOHUMENT
35	CORNER FLASHING COLOUR	MAHON_RED
36	BARGE FLASHING COLOUR	MOHUMENT
37	OPENING FLASHING COLOUR	MAHON_RED
38	OPEN BAY HEADER HEIGHT	0.5

"L.S." = CLEARSPAN "L" = LEFT "R" = RIGHT

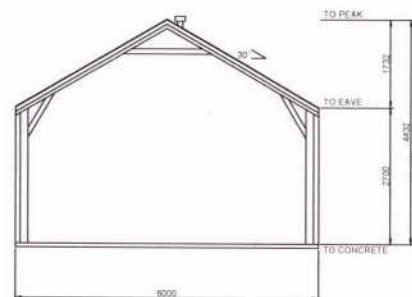




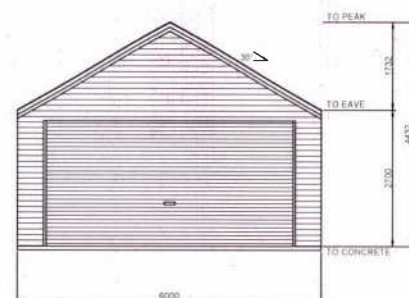
1 SIDEWALL EXTERIOR ELEVATION  
SCALE 1:100



2 SIDEWALL EXTERIOR ELEVATION  
SCALE 1:100



4 ENDWALL EXTERIOR ELEVATION  
SCALE 1:100



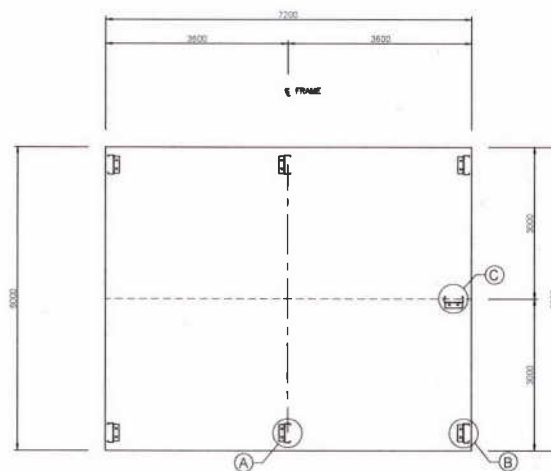
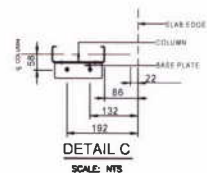
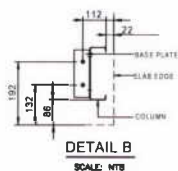
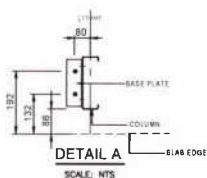
3 ENDWALL EXTERIOR ELEVATION  
SCALE 1:100

BUILDING COLOURS

WALL	MAJOR RED
ROOF	MONUMENT
ROLLER DOOR	MAJOR RED
P.A. DOOR	MAJOR RED
WINDOW	MAJOR RED
ROOF VENT	MONUMENT
DOWNSPIPE	MAJOR RED
GUTTER	MONUMENT
CORNER FLASHING	MAJOR RED
BARGE FLASHING	MONUMENT
OPENING FLASHING	MAJOR RED

6 of 6	SHEET	JOB NO. BTST17454 2019	DATE 7/12/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY	(CONTACT)	BATHURST SHEDS 02 63319405 GRAHAM WHITEHOUSE 10 OPHIR ST BATHURST	SHED SAFE	fairdinkum SHEDS	NORTHERN CONSULTING engineers	Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
						FOR	AT					Signature	Date
Registered on the NPOR in the areas of practice of Civil & Structural National Professional Engineers Register													





1 BOLT LAYOUT PLAN  
1 SCALE: 1 : 100


IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO BTST17454	DATE 7/12/2021	CHECKED TM	DRAWN FDS	STEEL BUILDING BY <b>BATHURST SHEDS</b> 02 63319405 FOR <b>GRAHAM WHITEHOUSE</b> 10 OPHIR ST AT BATHURST 1/12/2021	 	<h1>BOLT LAYOUT PLAN</h1>
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## COMPLIANCE CERTIFICATE FOR BUILDING DESIGN

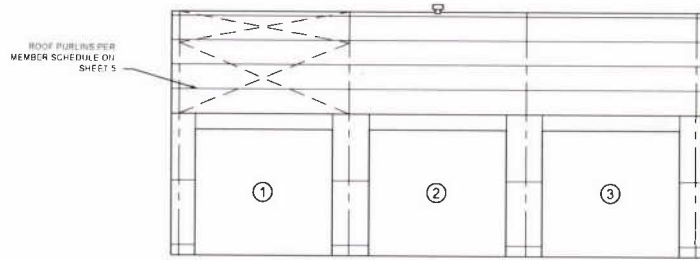
<b>Property Description</b> Street address (include number, street, suburb/locality & postcode)	10 OPHIR ST BATHURST Postcode : 2795																																										
<b>Description of Component/s Certified</b> Clearly describe the extent of work covered by this certificate.	Steel Portal Frame Structure. 6m span x 7.2m O/A length x 2.7m eaves height. Consisting of 2 bays at 3.6m spacing.																																										
<b>Basis of Certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170 0, 1-2002, 1170.2-2011, 1170.3-2003, 1170.4-2007, AS2870-2011, AS3600-2018 2019 National Construction Code of Australia Amendment 1 Region AS1170.2 = Reg A NCC Importance Level = 2 Annual Probability Exceedance wind = 1:500 Regional 3 s Gust Wind Speed for annual probability of exceedance $V_R = 45$ m/s Wind directional multipliers for the 8 cardinal directions $M_d = 1.00$ Terrain/Height multiplier ( $M_z$ , Cat) = 0.83 Topographic multiplier $M_t = 1$ Ext. Pressure Coefficient $c_{pe} = -1.35, 1.35$ NCC Building Classification: Class 10 Factor for Region = NA NCC Equivalent Wind class = N/A Design Roof Live Load = 0.25 kPa Shielding Multiplier $M_{s1} = 0.87$ Design Wind Speed = 32 m/s Int. Pressure Coefficient $c_{pi} = -0.65, 0.7$																																										
<b>Reference Documentation</b> Clearly identify any relevant documentation, e.g. numbered structural engineering plans	Drawing Nos: 'Fair Dinkum Sheds' Structural Design Drawing To be read in conjunction with Pages 1 to 6 For Job Number: BTST17454 DATED: 7/12/2021 Specifications: Computations: Test Reports: Other Documentation:																																										
<b>Competent Person Details</b> A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in aspect of the design, building or inspection of the building work because of the person's skill and experience in the aspect. The competent person must also be registered or licensed under a law applying in the state to practice the aspect. A COPY OF A CURRENT CV AND PROFESSIONAL REGISTRATION DETAILS MUST BE PROVIDED WITH THE CERTIFICATE	<table border="1"> <tr> <td>Name:</td> <td colspan="3">Timothy Roy Messer</td> </tr> <tr> <td>Company Name (If applicable):</td> <td colspan="3">Northern Consulting Engineers</td> </tr> <tr> <td>Postal Address:</td> <td colspan="3">50 Punari Street, Currajong 4812</td> </tr> <tr> <td>Contact Person:</td> <td colspan="3">Timothy Roy Messer</td> </tr> <tr> <td>Telephone Number:</td> <td colspan="3">07 4725 5550</td> </tr> <tr> <td>Mobile Number:</td> <td colspan="3">N/A</td> </tr> <tr> <td>Fax Number:</td> <td colspan="3">07 4725 5850</td> </tr> <tr> <td>Email Address:</td> <td colspan="3">design@nceng.com.au</td> </tr> <tr> <td>License or Registration Number:</td> <td>2558980</td> <td>Copy of CV Attached:</td> <td>Tick Box</td> </tr> <tr> <td colspan="4" style="text-align: right;">Y <input type="checkbox"/> or N <input checked="" type="checkbox"/></td> </tr> </table>			Name:	Timothy Roy Messer			Company Name (If applicable):	Northern Consulting Engineers			Postal Address:	50 Punari Street, Currajong 4812			Contact Person:	Timothy Roy Messer			Telephone Number:	07 4725 5550			Mobile Number:	N/A			Fax Number:	07 4725 5850			Email Address:	design@nceng.com.au			License or Registration Number:	2558980	Copy of CV Attached:	Tick Box	Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>			
Name:	Timothy Roy Messer																																										
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License or Registration Number:	2558980	Copy of CV Attached:	Tick Box																																								
Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>																																											
<b>Signature of Competent Person</b> This form may be used by competent persons to certify the design of a material, system, method of building, building element design or other thing. If the competent person is a licensed company the authorised person of the company is to sign the form.	I certify that the item/s described above, if installed or carried out in accordance with the information contained in this certificate, including any referenced documentation, will comply with the National Construction Code of Australia/relevant Australian or International Standard. Signature of competent person:  Date: 7/12/2021																																										
LOCAL GOVERNMENT USE ONLY																																											
Date received		Reference Number/s																																									



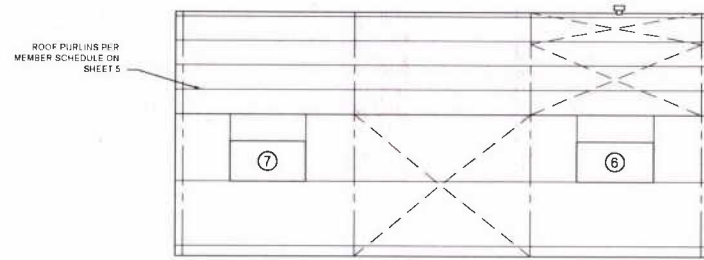




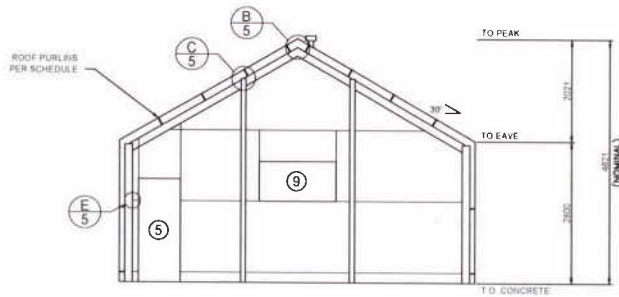
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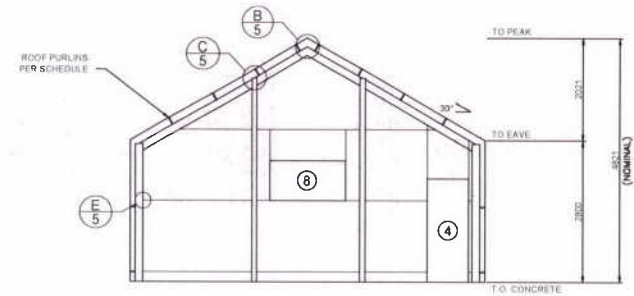
1 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100



2 SIDEWALL EXTERIOR ELEVATION  
2 SCALE: 1 = 100



4 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100



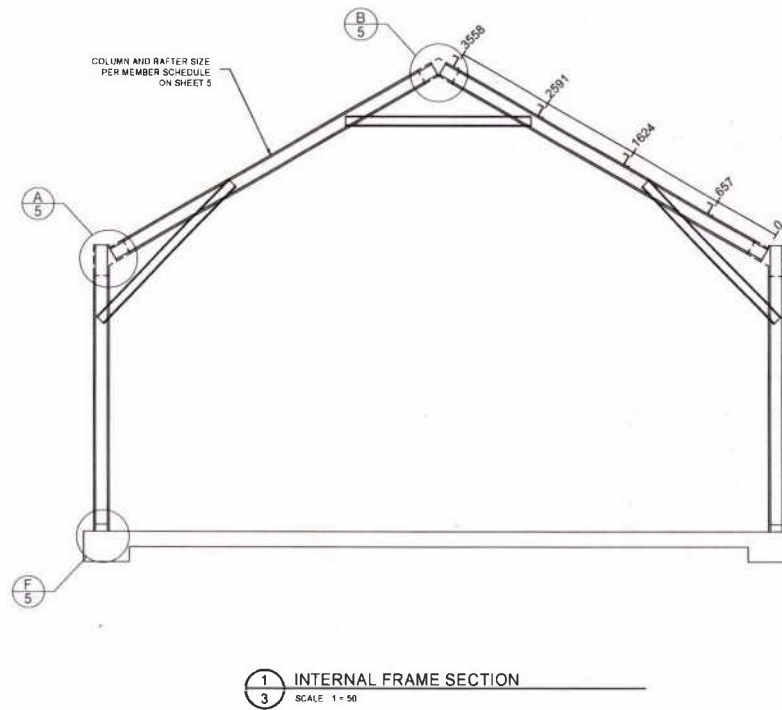
3 ENDWALL INTERIOR ELEVATION  
2 SCALE: 1 = 100

X BRACING IS REQUIRED IN 3 BAY(S) (VARIOUS ROOF AND WALL LOCATIONS).  
SEE LAYOUT OR PLANS FOR PLACEMENT. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

<p>2 OF 7</p>	<p>SHEET</p>	<p>JOB NO. BTS17/835</p>	<p>DATE 23/3/2022</p>	<p>CHECKED TM</p>	<p>DRAWN FDS</p>	<p>STEEL BUILDING BY FOR AT</p>	<p>(CONTACT) <b>BATHURST SHEDS</b> 02 63319405 <b>GRAHAM WHITEHOUSE</b> 10 OPHIR STREET BATHURST</p>	<p><b>SHED SAFE</b></p>	<p><b>fairdinkum SHEDS</b></p>	<p><b>NORTHERN CONSULTING engineers</b> Civil &amp; Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56</p>	<p>Registered Chartered Professional Engineer Registered Professional Engineer (Civil &amp; Structural) QLD Registered Consulting Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS</p>	<p>Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36892 Regn. No. CC5888M</p>	<p>Mr Timothy Roy Messer BE MIEAust RPEQ Signature <i>T. Messer</i> Date 23/3/2022 Registered on the NPER in the areas of practice of Civil &amp; Structural National Professional Engineers Register</p>
	<p>DATE 23/3/2022</p>	<p>CHECKED TM</p>	<p>DRAWN FDS</p>	<p>STEEL BUILDING BY FOR AT</p>	<p>(CONTACT) <b>BATHURST SHEDS</b> 02 63319405 <b>GRAHAM WHITEHOUSE</b> 10 OPHIR STREET BATHURST</p>	<p><b>SHED SAFE</b></p>	<p><b>fairdinkum SHEDS</b></p>	<p><b>NORTHERN CONSULTING engineers</b> Civil &amp; Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56</p>	<p>Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. EC36892 Regn. No. CC5888M</p>	<p>Mr Timothy Roy Messer BE MIEAust RPEQ Signature <i>T. Messer</i> Date 23/3/2022 Registered on the NPER in the areas of practice of Civil &amp; Structural National Professional Engineers Register</p>			



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Refer to Sheet #4 for concrete specification.

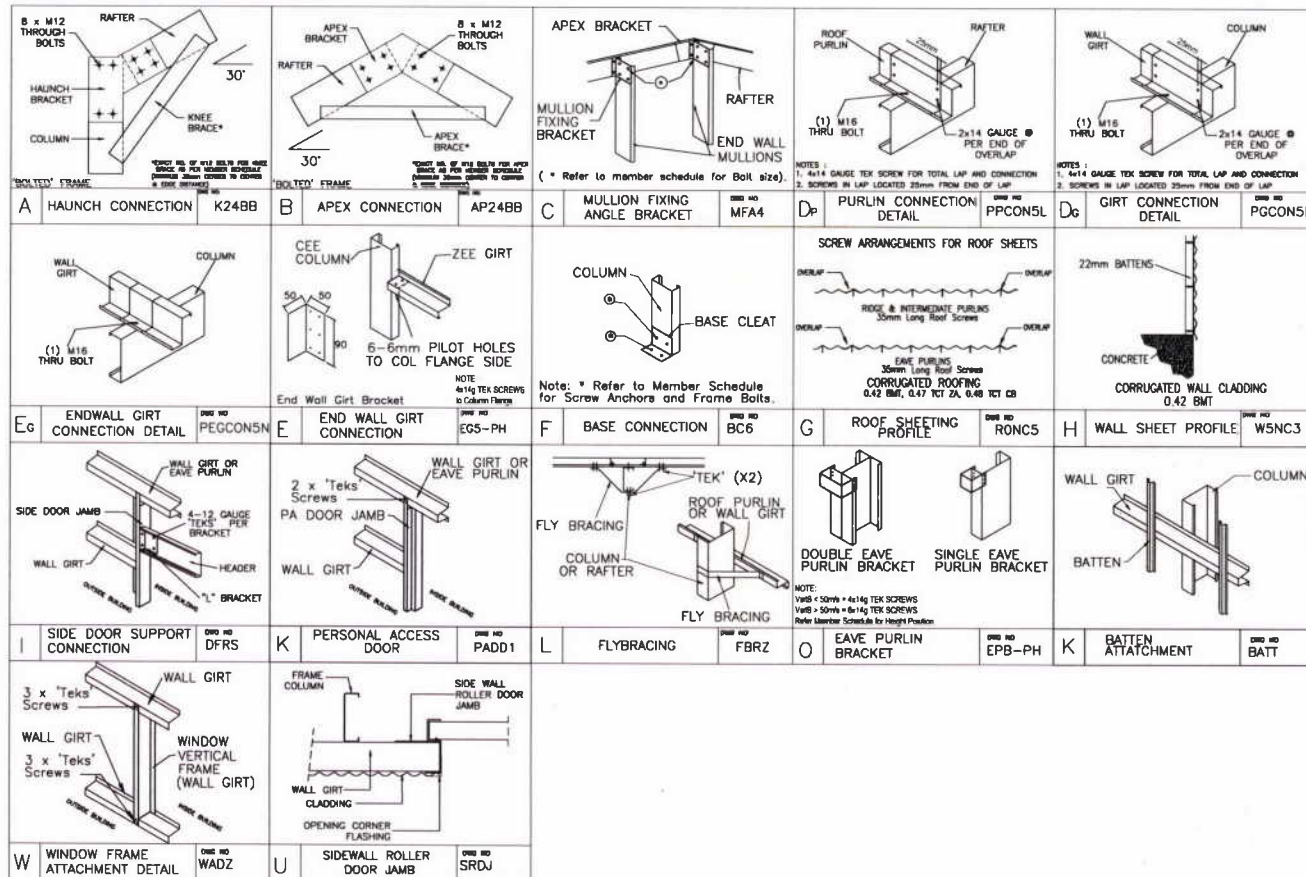
3 OF 7	SHEET	JOB NO. BTST17835 2019	DATE 23/3/2022	CHECKED TM	DRAWN FDS	STEEL BUILDING BY	(CONTACT)	BATHURST SHEDS 02 63319405 GRAHAM WHITEHOUSE 10 OPHIR STREET BATHURST			 Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56 Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Consulting Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Mr Timothy Roy Messer BE MIEAust RPEQ Signature Date 23/3/2022 Registered on the NPQR in the areas of practice of Civil & Structural National Professional Engineers Register
						FOR AT						







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## MEMBER AND MATERIAL SCHEDULE

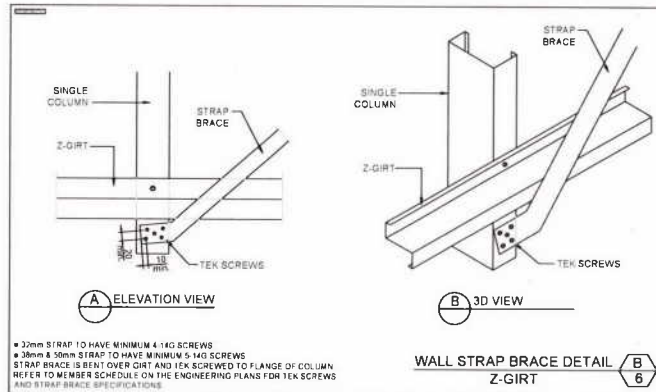
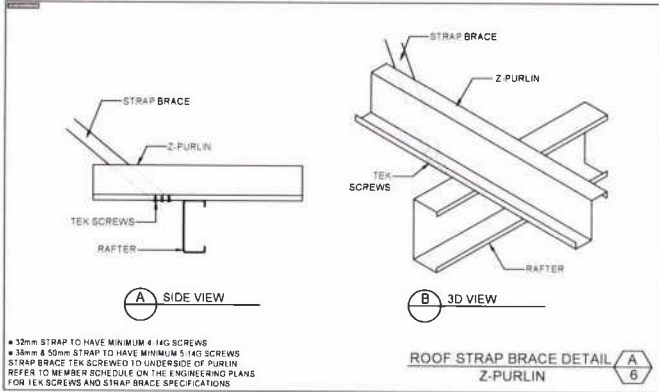
1. END WALL RAFTER	Single C15015
2. C/S FRAME RAFTER	Single C15015
3. END FRAME COLUMN (C1)	Single C15019
4. C/S FRAME COLUMN (C1)	Single C15019
5. MULLION (C1)	Single C15012
6. C/S FRAME KNEE BRACE	Single C15015 @ 2.09 LONG 2 bolts each end
7. KNEE BRACE HEIGHT UP COLUMN	2.09m
8. KNEE BRACE LENGTH UP RAFTER	1.47m
9. C/S FRAME APEX BRACE	Single C15015 @ 1.82 LONG 2 bolts each end
10. APEX POSITION FROM RAFTER END	1.01m
11. ANCHOR BOLTS (PER DETS.)	Screw Anchor 12mm x 100 Galv
12. EAVE PURLIN	C10010 (Eave Purlin Bracket 30mm down from top of column)
13. TYP. ROOF PURLIN SIZE	210010
14. MAIN BLDG. PURLIN SPACING	0.967 m (4 rows) (Max Allow 1.000m)
15. MAIN BLDG. PURLIN LENGTH	3.85 m (0.35m Overlap)
16. TYP. SIDEWALL GIRT SIZE	210010
17. MAIN BLDG. SIDEWALL GIRT SPACING	1.274 m (2 rows) (Max Allow 1.790m)
18. MAIN BLDG. SIDEWALL GIRT LENGTH	3.85 m (0.35m Overlap)
19. TYP. ENDWALL GIRT SIZE	210010
20. MAIN BLDG. ENDWALL GIRT SPACING	1.404 m (2 rows) (Max Allow 1.790m)
21. MAIN BLDG. ENDWALL GIRT LENGTH	3.45 m (0.29m Overlap)
22. EXTERNAL WALL BATTEN	TH22 x 0.42 CEILING BATTENS @ 600mm CTS MAX.
23. FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16 Hex Drive)
24. FRAME BOLT FASTENERS	Purvis Ass'y M12x30 Z/P
25. PURLIN GIRT FASTENERS	Purvis Ass'y M16x30 Z/P
26. BRACING STRAP AND FASTENERS	32 x 1.2mm Strap with 4 x 14g Tek Screws Each End
27. WALL COLOUR	MAHON, RED
28. ROOF COLOUR	MONUMENT
29. ROLLER DOOR COLOUR	MAHON, RED
30. P.A. DOOR COLOUR	MAHON, RED
31. WINDOW COLOUR	MAHON, RED
32. ROOF VENT COLOUR	MONUMENT
33. DOWNPIPE COLOUR	MAHON, RED
34. GUTTER COLOUR	MONUMENT
35. CORNER FLASHING COLOUR	MAHON, RED
36. BARGE FLASHING COLOUR	MONUMENT
37. OPENING FLASHING COLOUR	MAHON, RED
38. OPEN BAY HEADER HEIGHT	0.5

"C.S." = CLEARSPAN "L" = LEFT "R" = RIGHT

5 OF 7	SHEET	JOB NO. B15117835	DATE 23/3/2022	CHECKED TM	DESIGN FDS	STEEL BUILDING BY	(CONTACT)	BATHURST SHEDS 02 63319405 GRAHAM WHITEHOUSE 10 OPHIR STREET BATHURST			Civil & Structural Engineers 50 Punari Street Curralong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
						FOR AT	Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer (Civil) VIC Registered Engineer (Civil) TAS					Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register



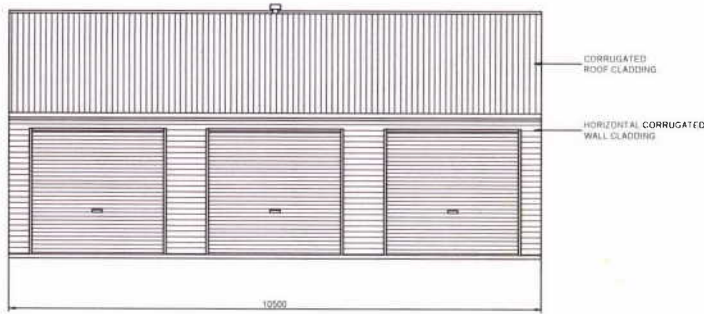
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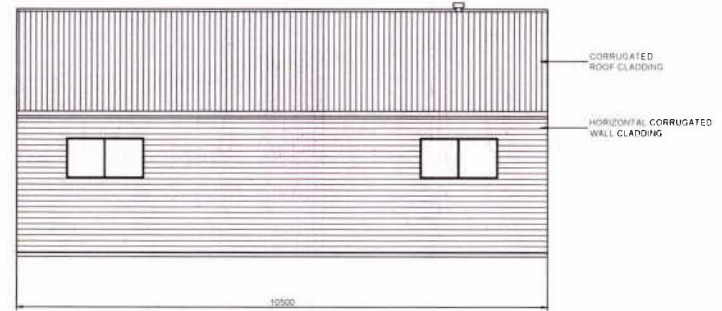
<div style="font-size: 2em; font-weight: bold;">6</div> <div style="font-size: 2em; font-weight: bold;">7</div>	SHEET	DATE 23/3/2022	CHECKED TM	DRAWN FDS	STEEL BUILDING BY	(CONTACT)	<b>BATHURST SHEDS</b> 02 63319405 <b>GRAHAM WHITEHOUSE</b> 10 OPHIR STREET BATHURST					Civil & Structural Engineers 50 Punari Street Curralong, Qld 4812 Fax 07 4725 5850 Email design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ Signature Date 23/3/2022 Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
	JOB NO. BT/ST/17835	DATE 23/3/2022	CHECKED TM	DRAWN FDS	FOR								
	NCC 2019				AT								



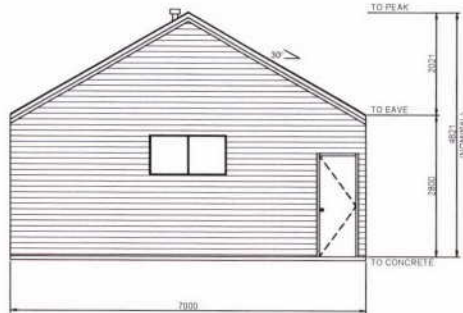
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1 SIDEWALL EXTERIOR ELEVATION  
SCALE: 1:100



2 SIDEWALL EXTERIOR ELEVATION  
SCALE: 1:100



4 ENDWALL EXTERIOR ELEVATION  
SCALE: 1:100



3 ENDWALL EXTERIOR ELEVATION  
SCALE: 1:100

BUILDING COLOURS

WALL	MAHOG RED
ROOF	MONUMENT
ROLLER DOOR	MAHOG RED
P.A. DOOR	MAHOG RED
WINDOW	MAHOG RED
ROOF VENT	MONUMENT
DOWNPIPE	MAHOG RED
GUTTER	MONUMENT
CORNER FLASHING	MAHOG RED
BARGE FLASHING	MONUMENT
OPENING FLASHING	MAHOG RED

STEEL BUILDING BY

FOR  
AT

DRAWN

FDS

CHECKED

TM

DATE

23/3/2022

JOB NO.

BTST17835

NCC

2019

SHEET

7  
OF  
7

(CONTACT)

**BATHURST SHEDS**  
02 63319405  
**GRAHAM WHITEHOUSE**  
10 OPHIR STREET  
BATHURST



Civil & Structural Engineers  
50 Punari Street  
Curraiong, Qld 4812  
Fax 07 4725 5850  
Email: design@nceng.com.au  
ABN 341 008 173 56

Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD  
Registered Engineering Engineer (Structural) N.T.  
Registered Engineer - (Civil) VIC  
Registered Engineer - (Civil) TAS

Regn No: 2558880  
Regn No: 9985  
Regn No: 1163736E  
Regn No: EC36682  
Regn No: CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

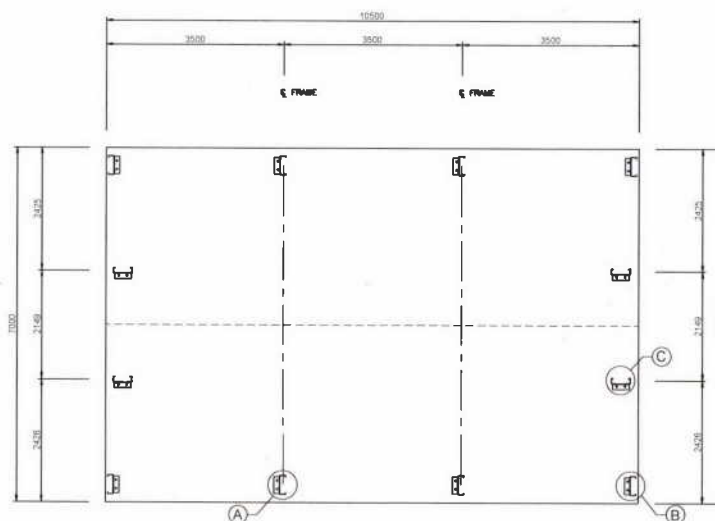
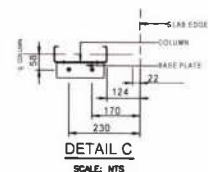
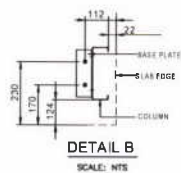
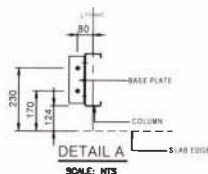
Signature *T. Messer*

Date 23/3/2022

Registered on the NPER in the areas of practice  
of Civil & Structural National Professional  
Engineers Register



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1 BOLT LAYOUT PLAN  
1 SCALE: 1 = 100


IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO. BIS177835	DATE 23/3/2022	CHECKED TM	DRAWN FDS	STEEL BUILDING BY  <b>BATHURST SHEDS</b> 02 63319405 <b>GRAHAM WHITEHOUSE</b> 10 OPHIR STREET BATHURST		<h1>BOLT LAYOUT PLAN</h1>
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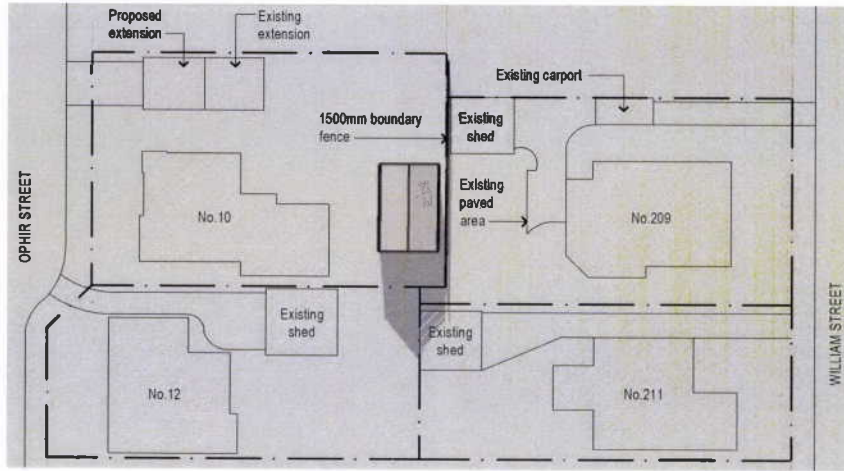


## COMPLIANCE CERTIFICATE FOR BUILDING DESIGN

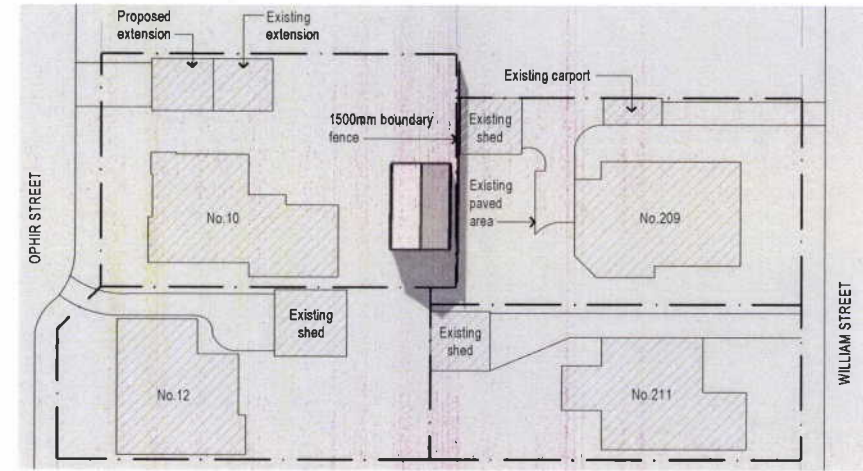
<b>Property Description</b> Street address (include number, street, suburb/locality & postcode)	10 OPHIR STREET BATHURST Postcode : 2795																																										
<b>Description of Component/s Certified</b> Clearly describe the extent of work covered by this certificate.	Steel Portal Frame Structure. 7m span x 10.5m O/A length x 2.8m eaves height. Consisting of 3 bays at 3.5m spacing.																																										
<b>Basis of Certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0, 1-2002, 1170.2-2011, 1170.3-2003, 1170.4-2007, AS2870-2011, AS3600-2018 2019 National Construction Code of Australia Amendment 1 Region AS1170.2 = Reg A NCC Importance Level = 2 Annual Probability Exceedance wind = 1:500 Regional 3 s Gust Wind Speed for annual probability of exceedance $V_R = 45$ m/s Wind directional multipliers for the 8 cardinal directions $M_d = 1.00$ Terrain/Height multiplier ( $M_z$ , Cat) = 0.83 Topographic multiplier $M_t = 1$ Ext. Pressure Coefficient $c_{pe} = -1.15, 1.20$ NCC Building Classification: Class 10 Factor for Region = NA NCC Equivalent Wind class = N/A Design Roof Live Load = 0.25 kPa Shielding Multiplier $M_{s1} = 0.86$ Design Wind Speed = 32 m/s Int. Pressure Coefficient $c_{pi} = -0.5, 0.5$																																										
<b>Reference Documentation</b> Clearly identify any relevant documentation, e.g. numbered structural engineering plans	Drawing Nos: 'Fair Dinkum Sheds' Structural Design Drawing To be read in conjunction with Pages 1 to 7 For Job Number: BTST17835 DATED: 23/3/2022 Specifications: Computations: Test Reports: Other Documentation:																																										
<b>Competent Person Details</b> A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in aspect of the design, building or inspection of the building work because of the person's skill and experience in the aspect. The competent person must also be registered or licensed under a law applying in the state to practice the aspect. A COPY OF A CURRENT CV AND PROFESSIONAL REGISTRATION DETAILS MUST BE PROVIDED WITH THE CERTIFICATE	<table border="1"> <tr> <td>Name:</td> <td colspan="3">Timothy Roy Messer</td> </tr> <tr> <td>Company Name (if applicable):</td> <td colspan="3">Northern Consulting Engineers</td> </tr> <tr> <td>Postal Address:</td> <td colspan="3">50 Punari Street, Currajong 4812</td> </tr> <tr> <td>Contact Person:</td> <td colspan="3">Timothy Roy Messer</td> </tr> <tr> <td>Telephone Number:</td> <td colspan="3">07 4725 5550</td> </tr> <tr> <td>Mobile Number:</td> <td colspan="3">N/A</td> </tr> <tr> <td>Fax Number:</td> <td colspan="3">07 4725 5850</td> </tr> <tr> <td>Email Address:</td> <td colspan="3">design@nceng.com.au</td> </tr> <tr> <td>License or Registration Number:</td> <td>2558980</td> <td>Copy of CV Attached:</td> <td>Tick Box</td> </tr> <tr> <td colspan="4" style="text-align: right;">Y <input type="checkbox"/> or N <input checked="" type="checkbox"/></td> </tr> </table>			Name:	Timothy Roy Messer			Company Name (if applicable):	Northern Consulting Engineers			Postal Address:	50 Punari Street, Currajong 4812			Contact Person:	Timothy Roy Messer			Telephone Number:	07 4725 5550			Mobile Number:	N/A			Fax Number:	07 4725 5850			Email Address:	design@nceng.com.au			License or Registration Number:	2558980	Copy of CV Attached:	Tick Box	Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>			
Name:	Timothy Roy Messer																																										
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Mobile Number:	N/A																																										
Fax Number:	07 4725 5850																																										
Email Address:	design@nceng.com.au																																										
License or Registration Number:	2558980	Copy of CV Attached:	Tick Box																																								
Y <input type="checkbox"/> or N <input checked="" type="checkbox"/>																																											
<b>Signature of Competent Person</b> This form may be used by competent persons to certify the design of a material, system, method of building, building element design or other thing. If the competent person is a licensed company the authorised person of the company is to sign the form.	I certify that the item/s described above, if installed or carried out in accordance with the information contained in this certificate, including any referenced documentation, will comply with the National Construction Code of Australia/relevant Australian or International Standard. Signature of competent person:  Date: 23/3/2022																																										
LOCAL GOVERNMENT USE ONLY																																											
Date received		Reference Number/s																																									



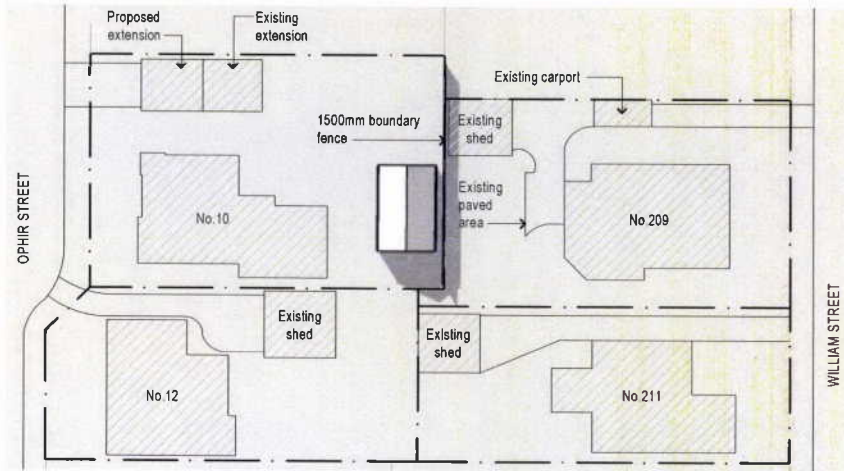
02 6332 5885  
0424 156 450  
BRETT@BMD0.COM.AU  
12 MAXWELL DRIVE, EGLINTON NSW 2795



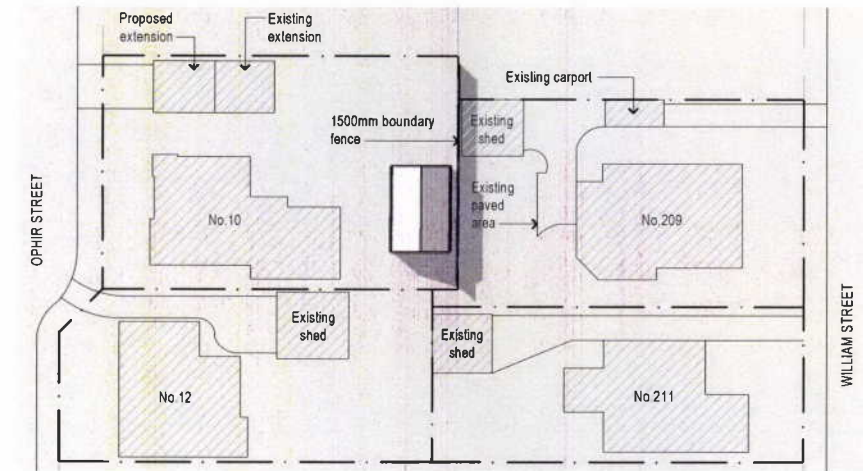
June 21st 9am



June 21st 10am



June 21st 11am



June 21st 12pm

NOT	FOR	CONSTRUCTION
29/03/22	A	Issued for comment
30/03/22	B	Issued for comment
Date		Amendment



**BRETT MOULDS**  
DESIGN & DRAFTING

P 02 6332 5885  
M 0424 156 450  
E BRETT@BMD0.COM.AU

12 MAXWELL DRIVE, EGLINTON NSW 2795



**Proposed Shadow Diagrams & Elevation**  
Graham Whitehouse  
10 Ophir Street BATHURST NSW 2795



**Shadow Diagrams 9am - 12pm**

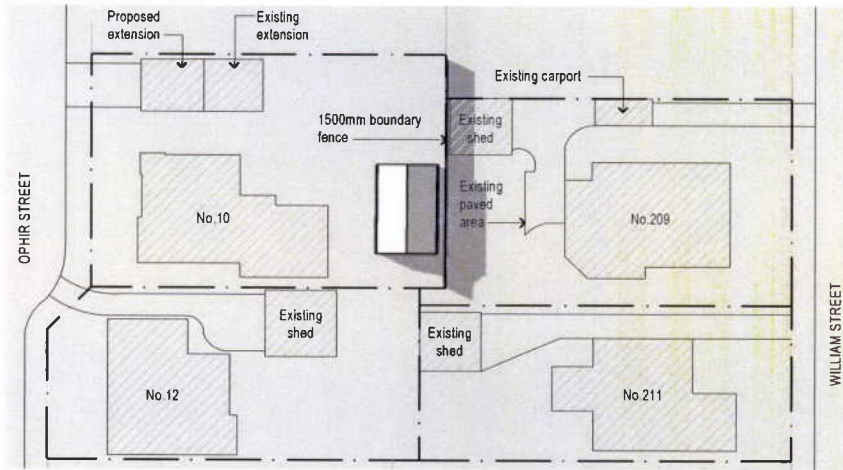
**DACC 02**

Issue: B  
Scale: NTS @ A3

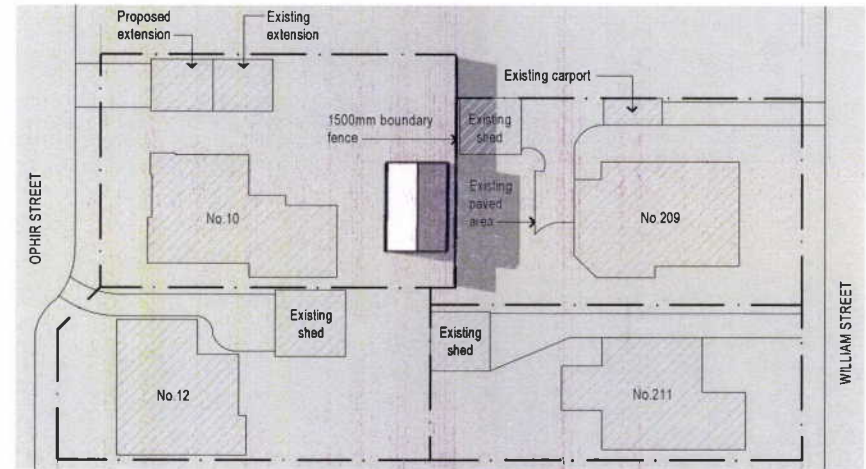
Date: 30/03/2022  
Project: BMD21229938



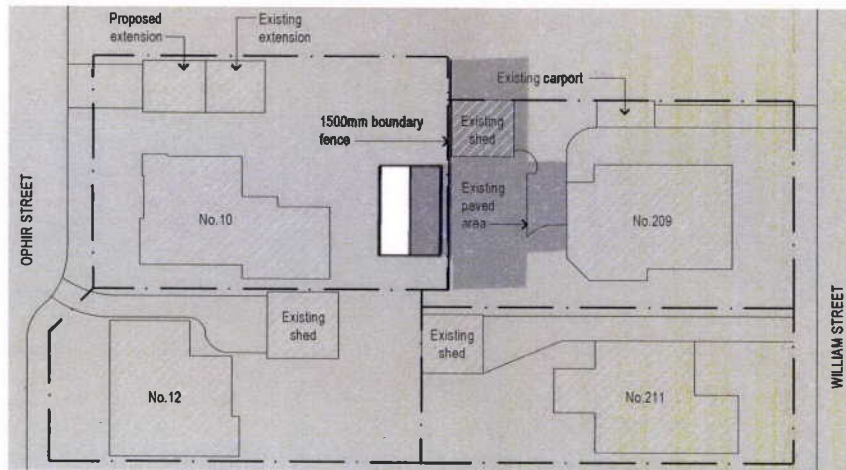
02 6332 5885  
0424 156 450  
BRETT@BMD0.COM.AU  
12 MAXWELL DRIVE EGLINTON NSW 2795



June 21st 1pm



June 21st 2pm



June 21st 3pm



**BRETT MOULDS**  
DESIGN & DRAFTING

P 02 6332 5885  
M 0424 156 450  
E BRETT@BMD0.COM.AU  
12 MAXWELL DRIVE, EGLINTON NSW 2795



**Proposed Shadow Diagrams & Elevation**  
Graham Whitehouse  
10 Ophir Street BATHURST NSW 2795



**Shadow Diagrams 1pm - 3pm**

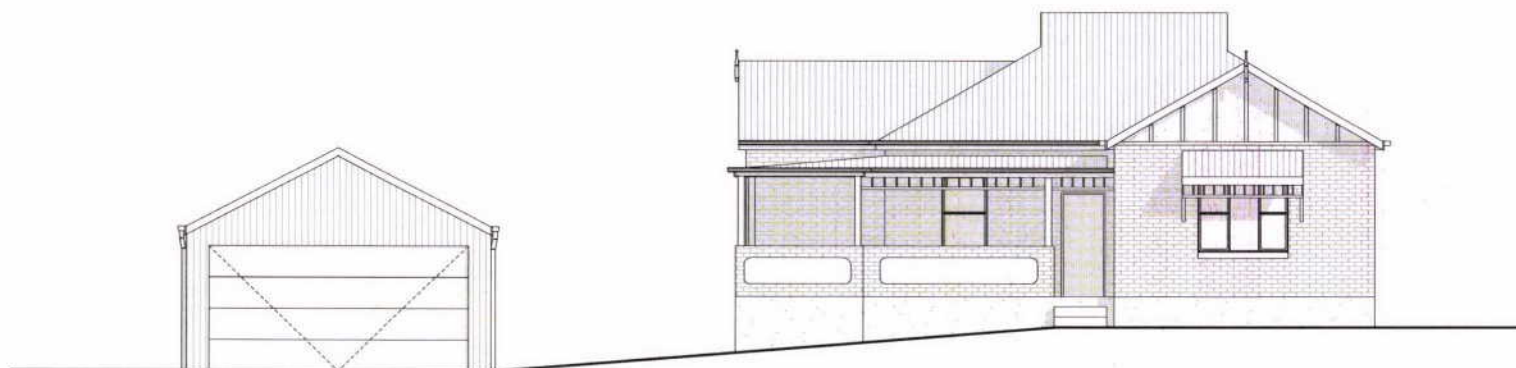
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Issue: B  
Scale: NTS @ A3

Date: 30/03/2022  
Project: BMD21229938

NOT	FOR	CONSTRUCTION
29/03/22	A	Issued for comment
30/03/22	B	Issued for comment
Date		Amendment



02 6332 5885  
0424 156 450  
BRETT@BMDD.COM.AU



 Elevation 1  
Scale 1:100

NOT	FOR	CONSTRUCTION
29/03/22	A	Issued for comment
30/03/22	B	Issued for comment
Date		Amendment



**BRETT MOULDS**  
DESIGN & DRAFTING

02 6332 5885  
0424 156 450  
BRETT@BMDD.COM.AU

12 MAXWELL DRIVE, EGLINTON NSW 2795



**Proposed Shadow Diagrams & Elevation**

Graham Whitehouse

10 Ophir Street BATHURST NSW 2795



**Elevation 1**

**DACC 04**

Issue: B  
Scale: 1:100 @ A3

Date: 30/03/2022  
Project: BMD21229938



**Attachment 6 – Summary and Submissions**

<b>Name</b>	<b>Matters Raised.</b>	<b>Comments</b>	<b>Resolution</b>
Garman, Stephen & Jenny	<ol style="list-style-type: none"> <li>1. Impact of overshadowing.</li> <li>2. Use of proposed sheds.</li> <li>3. Impact of sheds on retaining wall adjoining 209 William Street.</li> <li>4. Loss of Trees from the site.</li> <li>5. Drainage from the site.</li> </ol>	Forwarded to applicant	Unresolved, application was put before Council at it's meeting of 20 April 2022.
Sharah, Craig	<ol style="list-style-type: none"> <li>1. Elevations.</li> <li>2. Impact of overshadowing.</li> </ol>	Forwarded to applicant	Resolved, no further concerns as per email from Mr Sharah on 7 March 2022.
Dixon, Maureen	<ol style="list-style-type: none"> <li>1. Use of proposed sheds.</li> </ol>	Forwarded to applicant	No further comment received
Peacock, Fiona	<ol style="list-style-type: none"> <li>1. Use of proposed sheds.</li> <li>2. Concerns regarding Traffic.</li> <li>3. Loss of trees from the site.</li> <li>4. Front setback for the proposed shed extension.</li> <li>5. View to/from the site.</li> </ol>	Forwarded to applicant	Resolved, no further concerns as per email from Mrs Peacock on 2 March 2022.



**Lewis Wilde**

---

**From:** Jenny Garman <jgarman@live.com>  
**Sent:** Thursday, 20 January 2022 2:41 PM  
**To:** Lewis Wilde  
**Subject:** DA2021/613 Ophir Street

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**CAUTION:** This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hello Lewis,

I have not been able to secure the services of a town planner at this stage. I understand now that the process regarding the DA concerns will be submitted to the applicant and talks can progress from that point.

Again, I submit the 5 key objection points.

1. Shadow impacts. Need a shadow study done.
2. Visual impact, proposed developments are of industrial scale. We have concerns that these sheds may be used for commercial use.
3. Structural impact of DA on existing boundary retaining wall. Need an engineering report done on the impact the shed would have on this wall.
4. Loss of tress along the rear boundary caused by the proposed DA. A geotechnical engineer has concern the removal of trees will reduce the stability of the soils behind the existing retaining wall. Also concerned to the visual impact of the loss of the trees in what is a heritage precinct.
5. Drainage issues resulting from the DA.

Outcomes sort from this submission to Council concerning this DA.

- Modification of the DA to a scale more appropriate to a residential setting, particularly in a heritage precinct.
- Set back of the DA from the rear boundary so that there is no structural impact on the existing retaining wall.
- Preservation of the trees along the rear boundary that provide both structural support to the soils behind the wall as well as providing a visual screen to the proposed DA.

regards



Jenny and Stephen Garman



**Lewis Wilde**

---

**From:** Craig Sharah <craigsharah@bigpond.com>  
**Sent:** Wednesday, 12 January 2022 11:01 AM  
**To:** Council  
**Subject:** DA 2021/613

CAUTION: This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Craig Sharah  
7/135 Keppel St  
Bathurst 2795  
Ph: 0488086095

Att: Lewis Wilde  
Environmental, Planning & Building Services Dept.  
Bathurst Regional Council

Good morning Lewis,

I have received notification of a DA - 2021/613, that has been submitted for Lot 1 DP: 780678 10 Ophir Street Bathurst. I am the owner of an adjoining property at 207 William Street Bathurst. I have concerns regarding the DA submission as no diagrams have been submitted showing elevations or overshadowing of adjoining properties. This proposed rear shed is shown in the DA as having a total height of 5.02m which in itself is quite high however when you take into consideration that the ground level is approximately 1.5m higher on that side of our adjoining fence, makes the total height over 6m which is equivalent to a two-storey building.

I am requesting further information regarding the elevations and overshadowing be submitted as I feel that the current shed height will have a significant impact on the view from mine and neighbouring rear gardens, and the overshadowing will be significant.

Please feel free to contact me on 0488086095 if required.

Kind regards,

Craig Sharah



**From:** [Mozzie Dixon](#)  
**To:** [Lewis Wilde](#)  
**Subject:** DA Application 10-2021-613-1 10 Ophir Street BATHURST  
**Date:** Monday, 17 January 2022 7:57:27 PM

---

**CAUTION:** This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Lewis

I refer to the above application currently before Council and available for viewing until 19/01/22.

I act on behalf of my parents who reside at 14 Ophir Street Bathurst.

Noting the proposal is for the construction of two sheds our enquiry seeks confirmation as to the intended function of the new build.

Recent speculation indicates the construction will enable a small business to be conducted from the nominated address.

I would appreciate clarification as to the use of the property in order to determine if an objection to the proposal is required to be lodged before closure.

Your earliest response would be appreciated.

Maureen Dixon



Submission from Peacock

**From:** [Fiona Peacock](#)  
**To:** [Lewis Wilde](#)  
**Subject:** Fwd: Development Application Number 2021/613 - 10 Ophir Street, Bathurst  
**Date:** Tuesday, 18 January 2022 10:41:20 PM

---

**CAUTION:** This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Lewis

In addition to my earlier email I note that one document, the sewer drainage states C O'Keefe as the owner, however the Environmental Impact form lists and is signed by Graham and Kay Whitehouse.

Who has the ownership right to submit this application or is this correct documentation.

Thank you,  
Fiona Peacock

Sent from my iPhone

Begin forwarded message:

**From:** Fiona Peacock <[fpe98139@bigpond.net.au](mailto:fpe98139@bigpond.net.au)>  
**Date:** 18 January 2022 at 10:22:13 pm AEDT  
**To:** [Lewis.Wilde@bathurst.nsw.gov.au](mailto:Lewis.Wilde@bathurst.nsw.gov.au)  
**Subject:** Fwd: Development Application Number 2021/613 - 10 Ophir Street, Bathurst

Good evening Lewis

My apologies for my very late response regarding the proposed Development Application number 2021/613 for 10 Ophir Street, Bathurst.

While I am all for improving property, I hope the heritage significance of our street is strongly considered.

I have the following queries regarding this:



1. Are these new sheds to be used for accommodation, or a business of any kind? Now or in future?
2. If so, is that suitable for council approval, and should this be clearly stated in this application?
3. Why does a property require 5 parking spaces in a middle of town property? I understand some space may be for storage.
4. What are the rules regarding the number of parking spaces for a residential property in older, central Bathurst?
5. Ophir Street is very narrow, hence additional traffic will become a continual issue for residents.
6. Added traffic will also be concerning for the families of young children in this street, particularly as they are walked to school frequently.
7. What trees will be removed in this process, as there is reference to 'no environmental impact'? Removing trees is an environmental and aesthetic issue for our peaceful neighbourhood.
8. Based on the drawings, can we please confirm the new front shed does not encroach any further forward than the current, to be demolished shed?
9. Does the new back shed remove or effect other residents outlooks/views? Or is this not a consideration unless they address this to council? I

Please appreciate that I've never had to respond to this type of application. I'm happy to stand corrected on any of the above. At the same time, I hope my concerns are relevant and can be addressed simply and clearly.

Thank you for your consideration.

Fiona Peacock

9 Ophir Street

Bathurst

0439402583



Sent from my iPhone



Graham & Jan Whitehouse  
10 Ophir St  
Bathurst NSW 2795

To Bathurst Regional Council – Development Assessment Officer

Please see the response below to the outstanding matters for consideration in relation to our Development Application for a shed at 10 Ophir Street, Bathurst.

1. The intended use of the proposed sheds

Sheds will be used to store household belongings and to store private household vehicles undercover.

It will also allow for a work area to store garden tools and machinery to maintain the property.

2. Additional traffic that may be generated by the use of the sheds.

The sheds are for private household use and as such no additional traffic will be incurred to the site.

3. The impact of over shadowing

Shadowing will not affect the neighbouring property nor dwelling of 207 William Street. Note the south side wall of the proposed rear shed is approximately 18 meters from the adjoining boundary of 207 Williams Street, Bathurst.

4. Stability of the retaining wall between the development site and 209 William Street

Please see separate comments from the concreter. The proposed shed is to be located 1000mm (about 3.28 ft) from the rear boundary, with piers included in the engineering. Storm water management addresses any concerns re water erosion between the properties. **Lewis, I have requested photos and more info regarding the retaining wall. Storm water from the new structure at the back boundary will be plumbed into existing storm water. As mentioned above the shed will be located 1m from the back boundary so there will be no impact to the back boundary.**

5. Loss of trees from site

Two trees are to be removed from the site. The location of the proposed rear shed has been chosen to allow for minimal tree removal compared to other locations on site.

One tree to be removed appears to be unhealthy and would need to be removed regardless of proposed development proceeding. Upon landscaping the proposed development, 2 additional trees will be planted on site.

6. Drainage of proposed sheds

Stormwater run-off from the proposed sheds will be connected to existing stormwater drainage on the property.

7. The street front elevation of the proposed development

The proposed site is level with the front driveway access to the property.

8. Views to and from the site

Please see photos.

Regards

**Kind Regards,**



**Cheleen Koekemoer**

**W:** [www.bathurstsheds.com.au](http://www.bathurstsheds.com.au)



**5475 Sydney Road, Raglan, NSW 2795**

**P: 02 6331 9405**

**E: [cheleen@bathurstsheds.com.au](mailto:cheleen@bathurstsheds.com.au)**

**DOWNLOAD THE FAIR DINKUM SHEDS  
APP TO DESIGN YOUR OWN SHED**



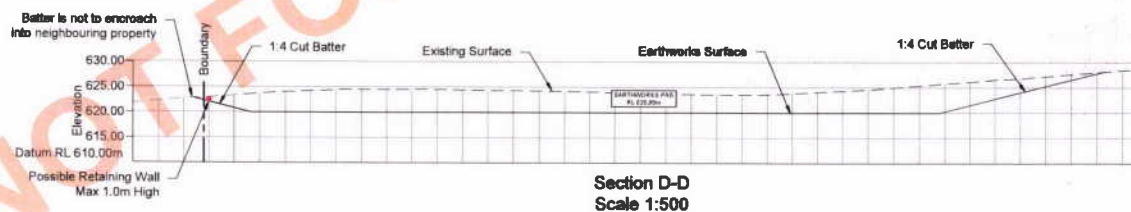
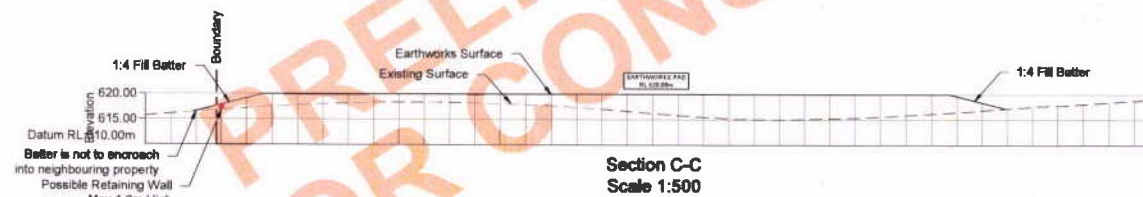
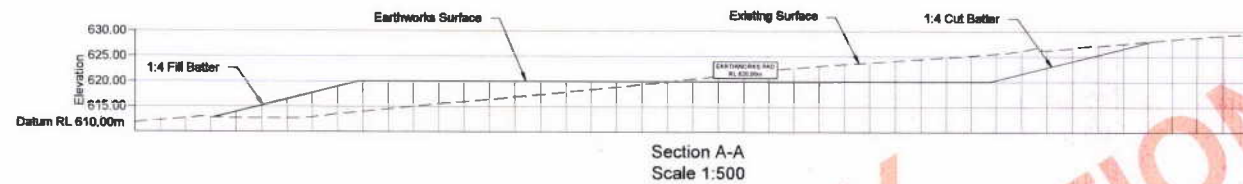
**[Leave us a review!](#)**











<p>PL07 RPT01 - 1087.1087-EW01.dwg DATE: Wed 31/12/22 - 10:17:58</p>									
<p>Approved for Construction</p>									
<p>Garth Dean S.E. GRST FE Aut CPEng NER AREC Engineer HPRC (Aut) RAB (NoMkt)</p>									
<p>This drawing and the information shown herein is the property of Calare Civil Pty Limited and may not be used for any other purpose than that for which this drawing is supplied. If any other use, copying or reproduction, at all or any part this drawing is prohibited without the written consent of Calare Civil Pty Limited.</p>									
<p>Drawn: GBL Designed: GBL Checked: Scale (A1): 1:500 Date: 31/12/22</p>									
<p>FOR DA APPROVAL Not for Construction</p>									
<p>Lot 6 DP247662 1673 Freemantle Road Watton, NSW 2755</p>									
<p>BULK EARTHWORKS CROSS SECTIONS</p>									
<p>Calare Civil Pty Limited 170 RANKIN STREET BATHURST NSW 2796 Tel: (02) 63323543 Fax: (02) 63316210</p>									
<p>Job No. <b>2021.1087</b> DWG. No. Issue <b>EW02 P1</b> No. in set <b>6</b></p>									
<p>PI 1 01/01/01 FOR DA APPROVAL</p>									
<p>Amend Date Description By Amend Date Description By</p>									



TP SHEET LIST

DA00	COVERSHEET
DA01	LOCATION PLAN
DA02	PROPOSED SITE PLAN
DA03	GROUND FLOOR PLAN
DA04	ROOF PLAN
DA05	OFFICE FLOOR PLAN
DA06	ELEVATIONS
DA07	OFFICE ELEVATIONS
DA08	TYPICAL SECTIONS
DA09	FENCE DETAILS



Better Green Cannabis  
1673 Freemantle Rd, Watton, NSW, 2795

watson  
young









TYP SHEET LIST	
D4/01	COVER SHEET
D4/01	LOCATION PLAN
D4/02	PROPOSED SITE PLAN
D4/03	GROUND FLOOR PLAN
D4/04	ROOF PLAN
D4/05	OFFICE FLOOR PLAN
D4/06	SCREENING WALL
D4/07	OFFICE ELEVATIONS
D4/08	TYPICAL SECTIONS
D4/09	FENCE DETAILS

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NO.	DATE	REVISION	BY	CHK
1	18/03/2021	PRELIMINARY DRAFT	W	W
2	18/03/2021	FOR INFORMATION	W	W
3	18/03/2021	FOR INFORMATION	W	W
4	18/03/2021	FOR INFORMATION	W	W
5	18/03/2021	FOR INFORMATION	W	W

18/03/2021: This plan is for information only and does not constitute a contract. It is subject to the terms and conditions of the relevant planning instrument. The plan is not to be used for any other purpose without the written consent of the relevant authority.

**watson young**

DATE: 21/177  
DRAWN: DA01  
SCALE: B

DATE: JANUARY 2021  
DRAWN: XXXX  
SCALE: 1:200 @ A1  
SCALE: 1:800 @ A3

**BETTERGREEN**  
PLANNING & LANDSCAPE ARCHITECTS



LOCATION PLAN

**Better Green Cannabis**  
1673 Freemantle Rd, Watton, NSW, 2795



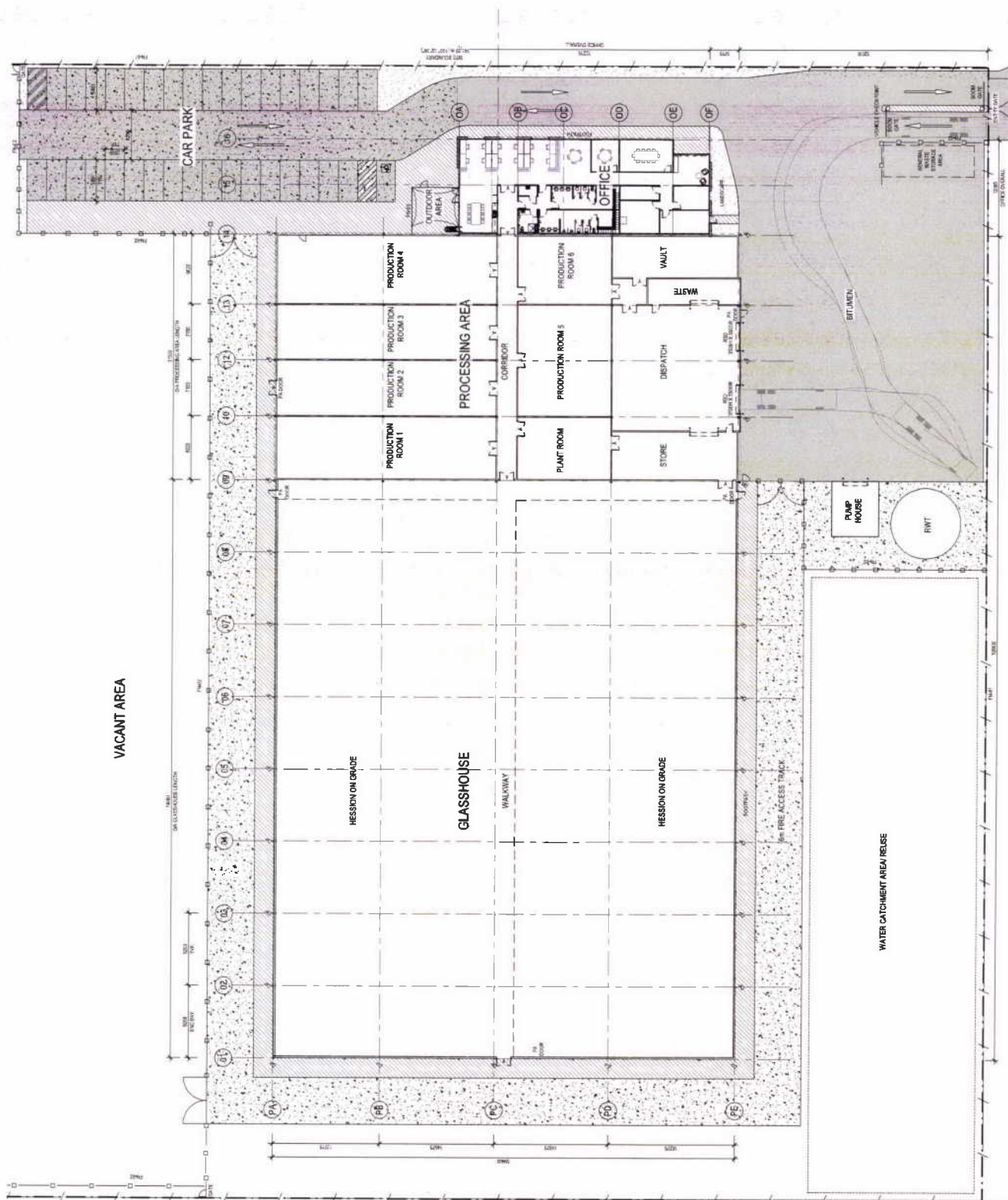




[illegible]

14401	1 1/2" DIA HIGH BLACK VINYL COATED CYCLOPS WIRE FENCE, 1 BARN WIRE	
14402	1 1/2" DIA HIGH BLACK VINYL COATED CYCLOPS WIRE FENCE	
14403	1 1/2" DIA HIGH FEATHER TURNER POINT FENCING	

Z	DATE	REVENUE	RV		CASH
			TL	P	
1	10/20/20	PREMIUMS COLLECTED	TL	P	
2	10/21/20	PREMIUMS COLLECTED	TL	P	
3	10/22/20	TRAIL PREMIUMS COLLECTED	TL	P	



DATE: JANUARY, 2021  
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SCALE: 1:500 @A3



BETTERGREEN

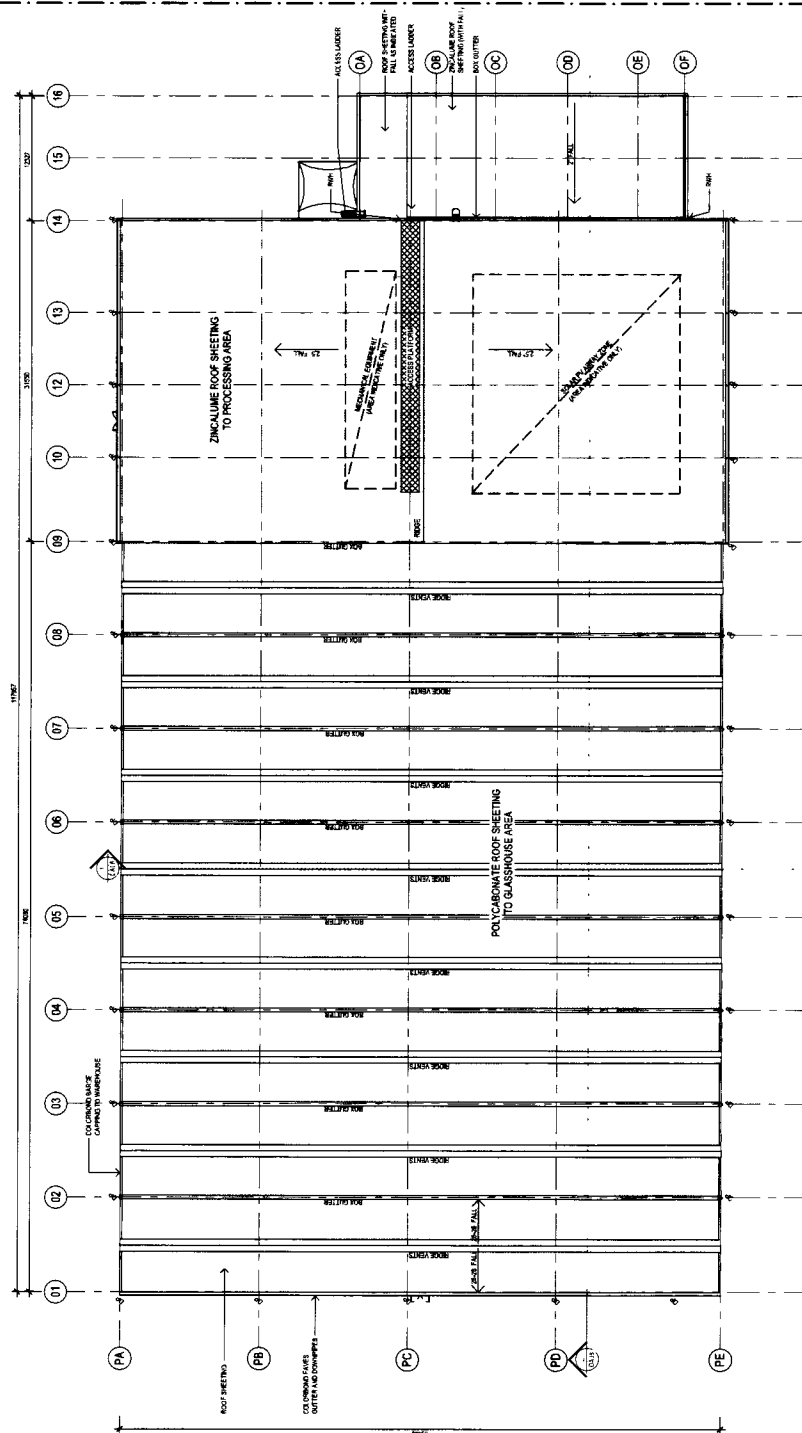


## TITLE

# GROUND FLOOR PLAN

**Better Green Cannabis**  
1673 Freemantle Rd, Watton, NSW, 2795





DATE	JANUARY 2021
DRAWN BY	Author
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SCALE	1 500 @A3

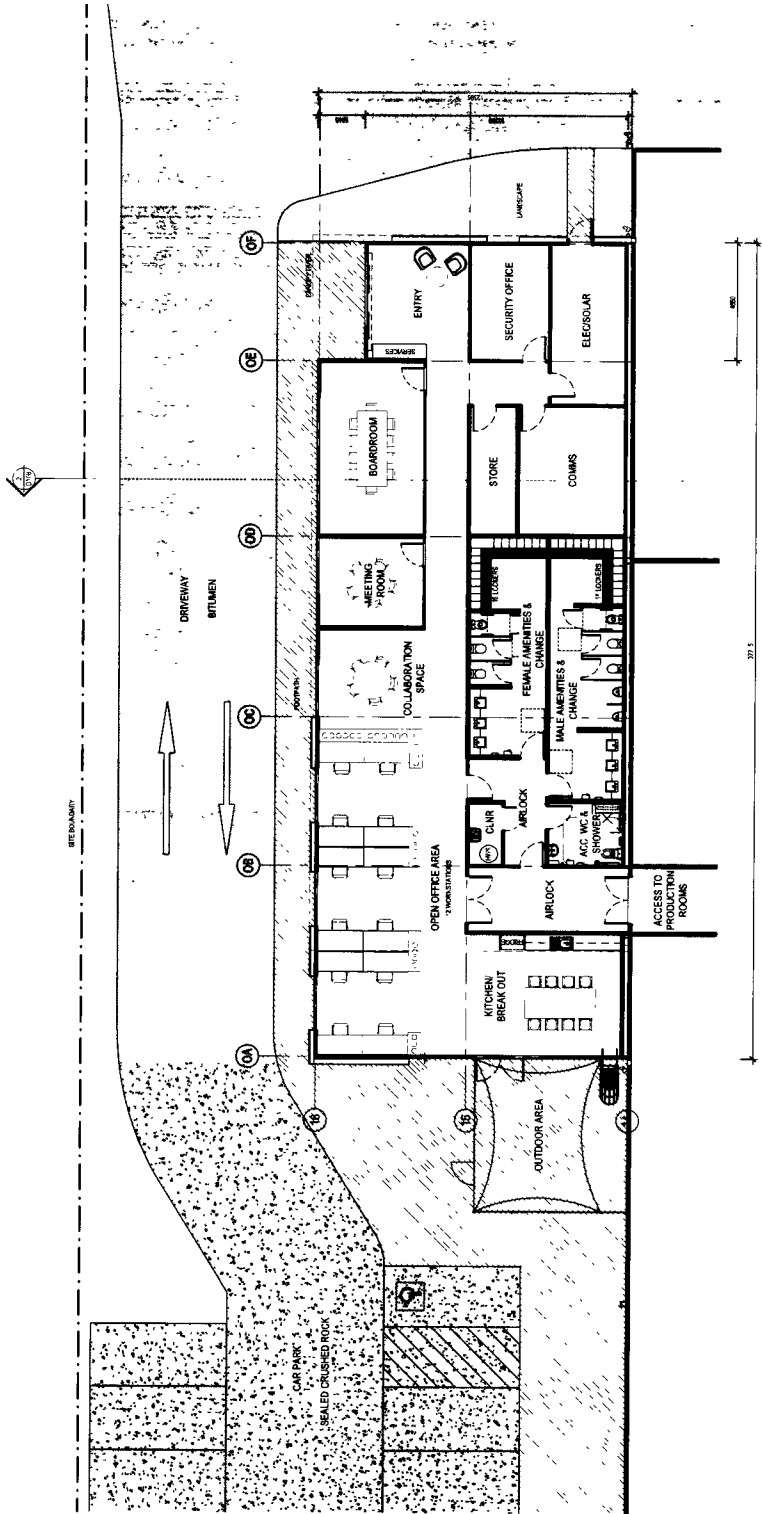


**BETTERGREEN**

FILE  
ROOF PLAN

**Better Green Cannabis**  
1673 Freemantle Rd, Watton, NSW, 2795





NO.	DATE	REVISION	BY	CHK.
1	10/01/2021	PRELIMINARY ISSUE	PL	P
2	10/01/2021	FOR INFORMATION	PL	P
3	10/01/2021	FOR INFORMATION	PL	P
4	10/01/2021	FOR INFORMATION	PL	P
5	10/01/2021	FOR INFORMATION	PL	P

As shown, the drawing is for information only and does not constitute a contract. It is the responsibility of the client to ensure that the drawing is used for the intended purpose and that any necessary approvals are obtained before construction begins.



21177  
DA05  
A

DATE: JANUARY 2021  
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SCALE: 1:200 @ A3

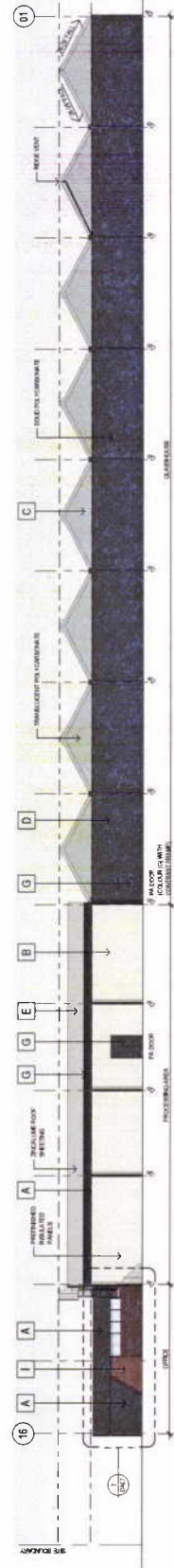
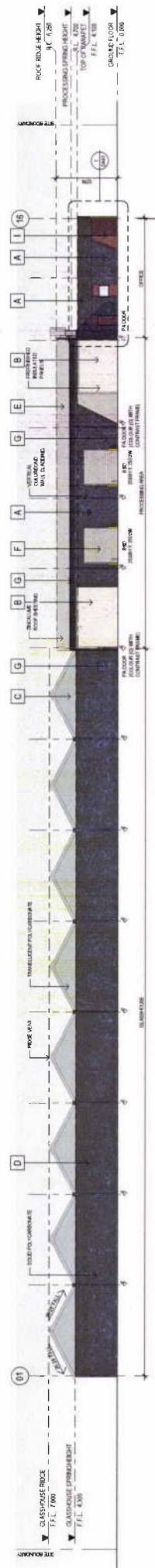
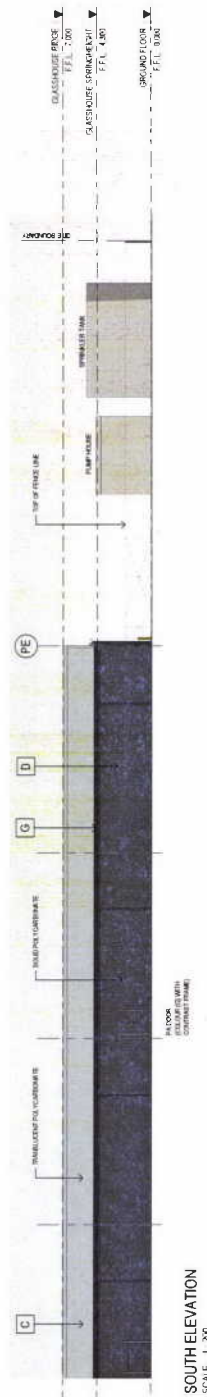
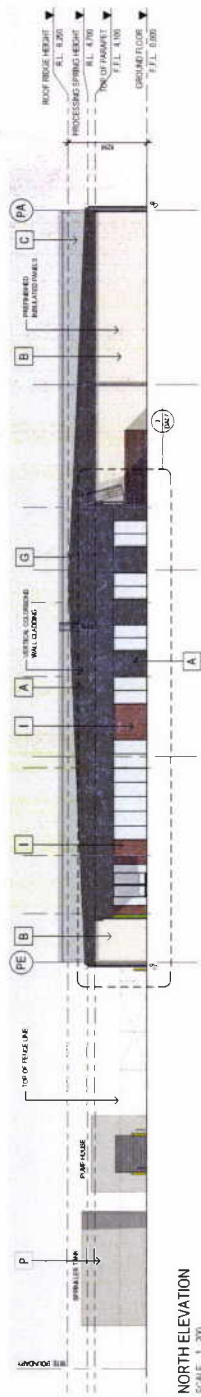
BETTERGREEN  
CLIENT



OFFICE FLOOR PLAN

PROJECT  
Better Green Cannabis  
1673 Freemantle Rd, Watton, NSW, 2795





**EXTERNAL FINISHES**

A	COLORGLAZED WALL CLADDING	WOOD/LARD GREY
B	PREFINISHED INSULATED OFF WHITE	
C	PAINTED SUBSTRATE WALL	TRANSLUCENT
D	ROOF CLADDING	WOOD/LARD GREY
E	ROOF CLADDING	WOOD/LARD GREY
F	ROOF CLADDING	WOOD/LARD GREY
G	ROOF CLADDING	WOOD/LARD GREY
H	ROOF CLADDING	WOOD/LARD GREY
I	ROOF CLADDING	WOOD/LARD GREY
J	ROOF CLADDING	WOOD/LARD GREY
K	ROOF CLADDING	WOOD/LARD GREY
L	ROOF CLADDING	WOOD/LARD GREY
M	ROOF CLADDING	WOOD/LARD GREY
N	ROOF CLADDING	WOOD/LARD GREY
P	ROOF CLADDING	WOOD/LARD GREY

NO.	DATE	REVISION	BY	CHK.
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3	18/01/2021	ISSUED FOR PERMIT	DA06	DA06
4	18/01/2021	ISSUED FOR PERMIT	DA06	DA06
5	18/01/2021	ISSUED FOR PERMIT	DA06	DA06

**watson young**

21177  
DA06  
B

DATE: JANUARY 2021  
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SCALE: 1:20 (B/A)  
SCALE: 1:50 (B/A3)

**BETTERGREEN**  
ARCHITECTS & INTERIORS

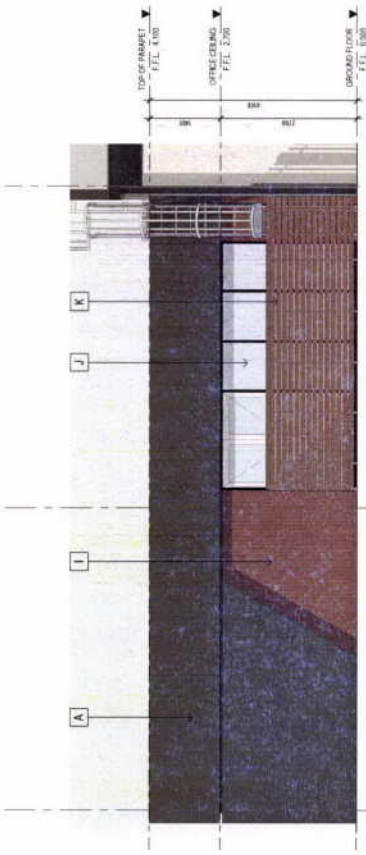
**ELEVATIONS**

**Better Green Cannabis**  
1673 Freemantle Rd, Watton, NSW, 2795

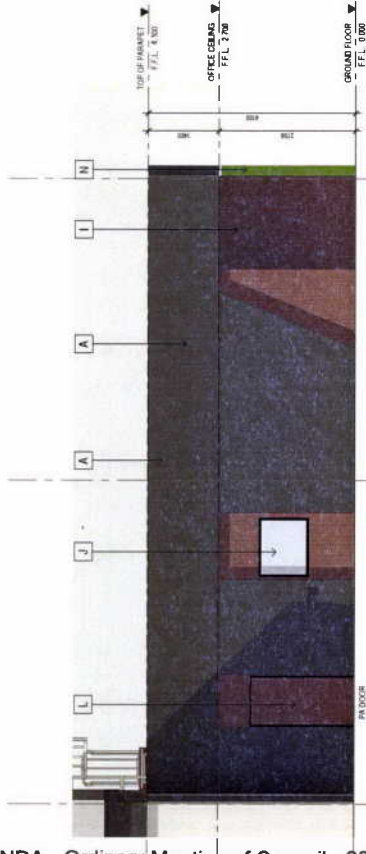


EXTERNAL FINISHES

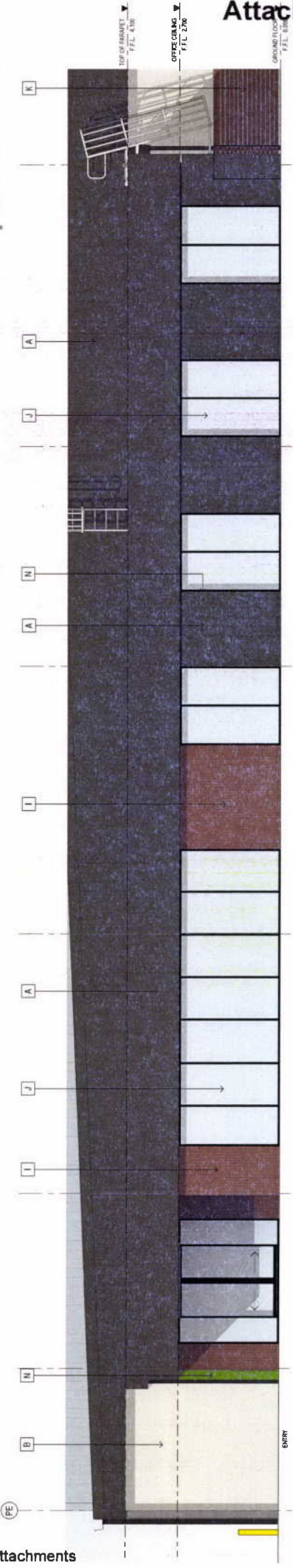
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C	POLYCARBONATE WALL & ROOF SHEETING	TRANSLUCENT
D	POLYCARBONATE WALL	WOODLAND GREY OR SIMILAR
E	ROOF CLADDING	ZINCALUME
F	ROLLER SHUTTER DOOR	COLORBOND SHALE GREY
G	DOWNPIPES/GUTTERS/ CAPPIES/PA DOORS	COLORBOND WOODLAND GREY
H	BOLLARDS	BLACK OR YELLOW
I	FIBRE CEMENT CLADDING (OFFICE)	TIMBER LOOK
J	ALUMINIUM FRAMED GLAZING (BLACK FRAMES)	TEAK OR SIMILAR
K	POWDERCOAT FINISH (FEATURE SCREEN)	CLEAR
L	PA DOOR	BROWN
M	ROOF SHEETING (GLASSHOUSE)	TRANSLUCENT
N	FIBRE CEMENT CLADDING (OFFICE REVEL)	ROOF SHEETING
P	PANT FINISH	LIGHT GREY



OFFICE EAST ELEVATION  
SCALE 1:50



OFFICE NORTH ELEVATION  
SCALE 1:50



OFFICE WEST ELEVATION  
SCALE 1:50

NO.	DATE	REVISION	BY	CHK
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2	22/01/2021	FOR PRELIMINARY REVIEW	A	
3	18/02/2021	FOR PRELIMINARY REVIEW	A	



21177  
DA07  
B

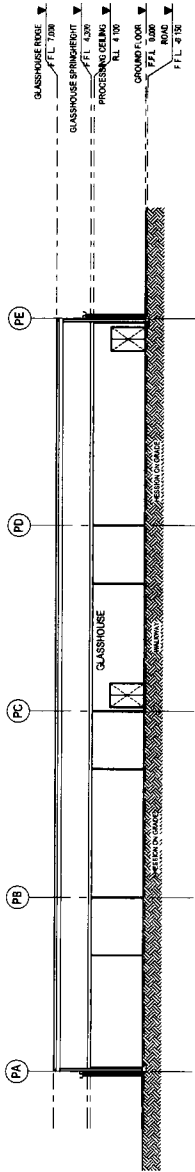
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SCALE



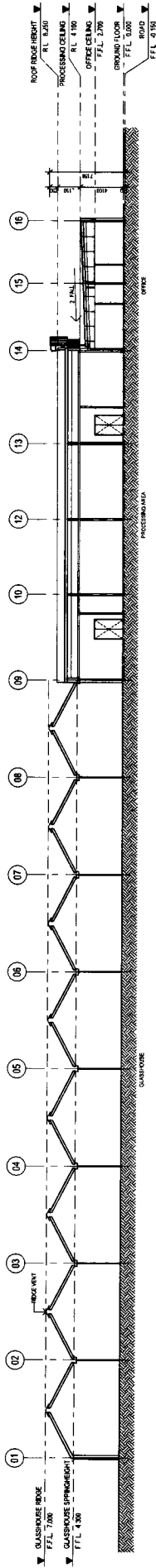
OFFICE ELEVATIONS

Better Green Cannabis  
1673 Freemantle Rd, Watton, NSW, 2795





SECTION 1- GLASSHOUSE  
SCALE 1:200



SECTION 2- WAREHOUSE & OFFICE  
SCALE 1:200

NO.	DATE	REVISION	BY	CHECKED
1	10/01/2021	ISSUED FOR PERMIT	WATSON	WATSON
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4	10/01/2021	ISSUED FOR PERMIT	WATSON	WATSON
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9	10/01/2021	ISSUED FOR PERMIT	WATSON	WATSON
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15	10/01/2021	ISSUED FOR PERMIT	WATSON	WATSON
16	10/01/2021	ISSUED FOR PERMIT	WATSON	WATSON

**watson young**

21177  
DA08

DATE: JANUARY 2021  
DRAWN BY: Author  
SCALE: 1:200 (A1)  
SCALE: 1:400 (A3)

BETTERGREEN

TYPICAL SECTIONS

PROJECT  
Better Green Cannabis  
1673 Freemantle Rd, Watton, NSW, 2795



**Better Green Cannabis**  
1673 Freemantle Rd, Watton, NSW, 2795





# STATEMENT OF ENVIRONMENTAL EFFECTS

**PROPOSAL:** Agricultural Produce  
Industry (Medicinal cannabis)

**ADDRESS:** 1673 Freemantle Road,  
Watton

October 2021





**DESCRIPTION:** Agricultural Produce Industry

**CLIENT:** Blake O'Sullivan

Anthony Daintith Town Planning Pty Ltd  
ABN 46 121 454 153  
ACN 121 454 153

**Contact:** 195 Russell Street, Bathurst  
4 Isaac Drive, Orange  
M: PO Box 1975, Orange NSW 2800  
T: 0408249700  
E: [anthony@adtp.com.au](mailto:anthony@adtp.com.au)

### QUALITY ASSURANCE

This document has been prepared, checked and released in accordance with the Quality Control Standards established by Anthony Daintith Town Planning.

Version	Date	Description	By
1.0	5/10/2021	Draft	AD
2.0	14/10/2021	Approved	AD

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A handwritten signature in black ink, appearing to read 'AD', is positioned above the printed name and date.

This document has been authorised by

Anthony Daintith (Principal)  
Date: 14 October 2021



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# PART

# A

## BACKGROUND

This Part provides a detailed description of the site, the background and various components to the proposed development





## **BACKGROUND**

### **INTRODUCTION**

Blake O'Sullivan has engaged Anthony Daintith Town Planning (ADTP) to prepare a Statement of Environmental Effects (SOEE) in support of a Development Application to be lodged with Bathurst Regional Council for a proposed agricultural produce industry (cultivation, harvesting and processing of medicinal cannabis) at 1673 Freemantle Road, Watton.

The purpose of this document is to:

- Describe the existing environment;
- Outline the proposed development;
- Consider relevant statutory matters; and
- Make conclusions and recommendations for Council's consideration.

The development application consists of the following components:

- Statement of Environmental Effects
- Site and Architectural Plans
- Aboriginal Due Diligence Report
- Effluent Report
- Biodiversity Development Assessment Report

### **APPLICANT AND OWNER**

The applicant is Blake O'Sullivan.

The owner of the subject land is Michael Terence O'Sullivan.

The owner has provided his written consent to the lodgement of the development application.



## SITE ANALYSIS

### LOCATION AND TITLE

The subject land is identified as 1673 Freemantle Road, Watton. Refer to **Figures 1 & 2** which depicts the site within the locality.

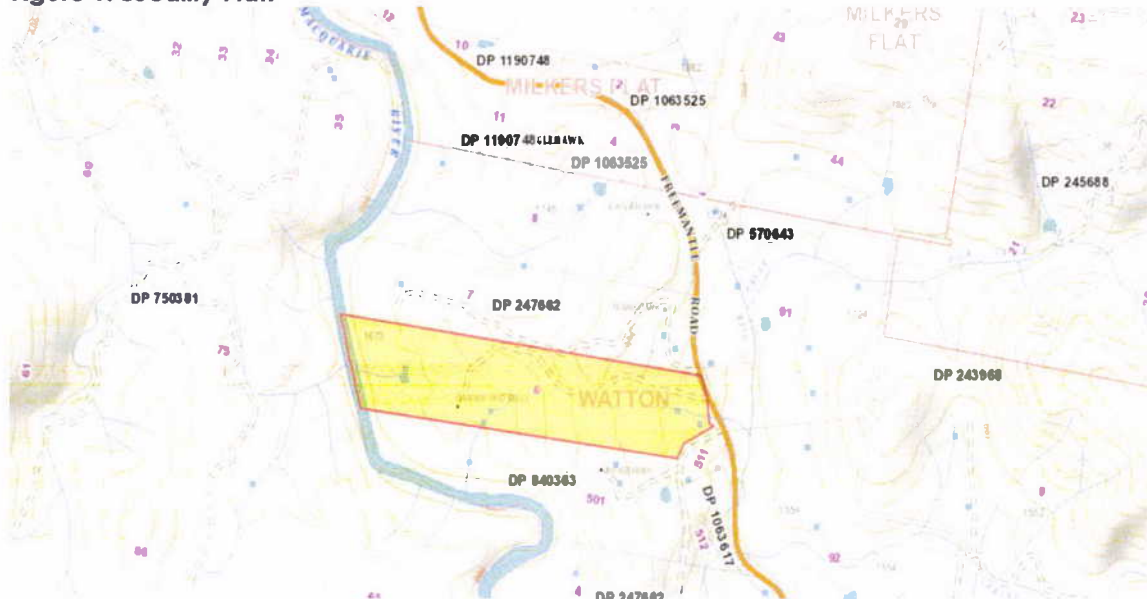
The land title description is:

**Table 1: Land Title Details**

Lot	Deposited Plan
6	247662

The land has an area of 45.440 hectares

**Figure 1: Locality Plan**



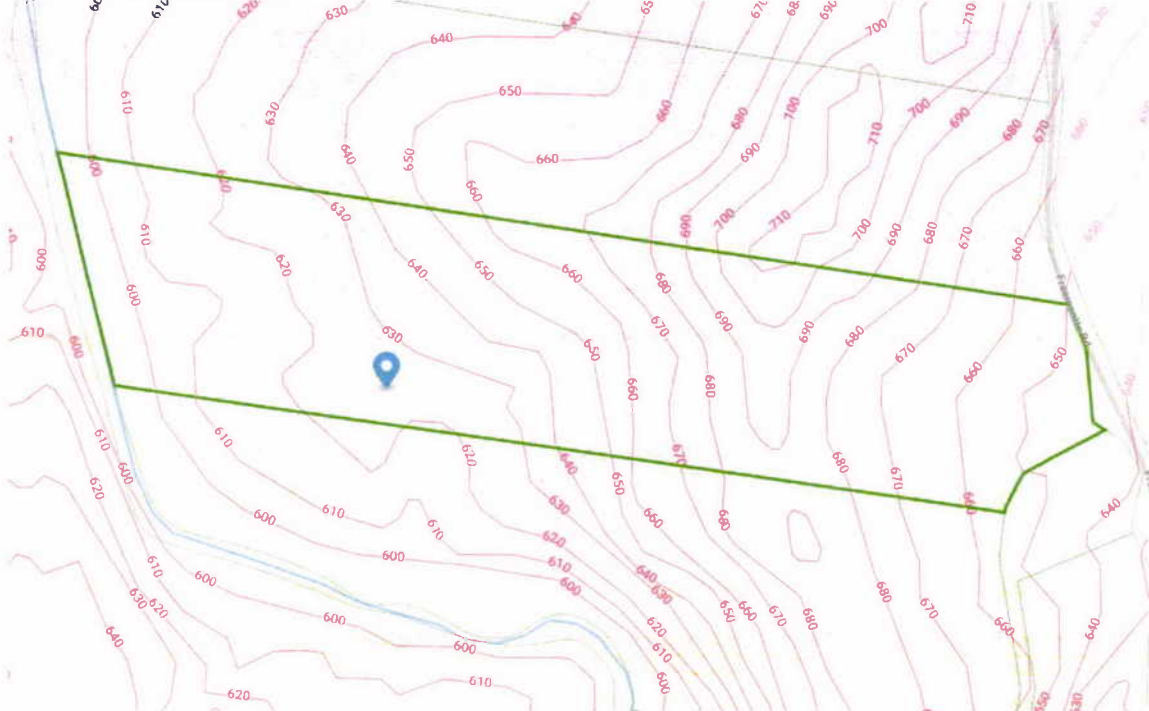


## GENERAL SITE DESCRIPTION

### Topography

The land is gently undulating with a ridge generally running through the middle of the lot approximately 700m and then dropping down to the road (645m) and down to the Macquarie River (600m).

**Figure 2: Elevation Map**



### Vegetation

The land is devoid of any significant vegetation as the land is generally cleared. Native vegetation can be observed scattered across the site. Native vegetation is observed on the Western boundary fronting the Macquarie River.

### Waterways

Macquarie River is located on the Western boundary of the subject property and runs in a North to South direction. There are no other waterways present on the land.

### Buildings

The site contains an existing dwelling and associated outbuildings. The dwelling is located in the South Western portion of the site.



**Photos 1-4** provide a visual representation of the property.

**Photo 1: Access to the subject land**



**Photo 2: Site of the proposed development looking NW**





**Photo 3: Existing dwelling on the subject land**

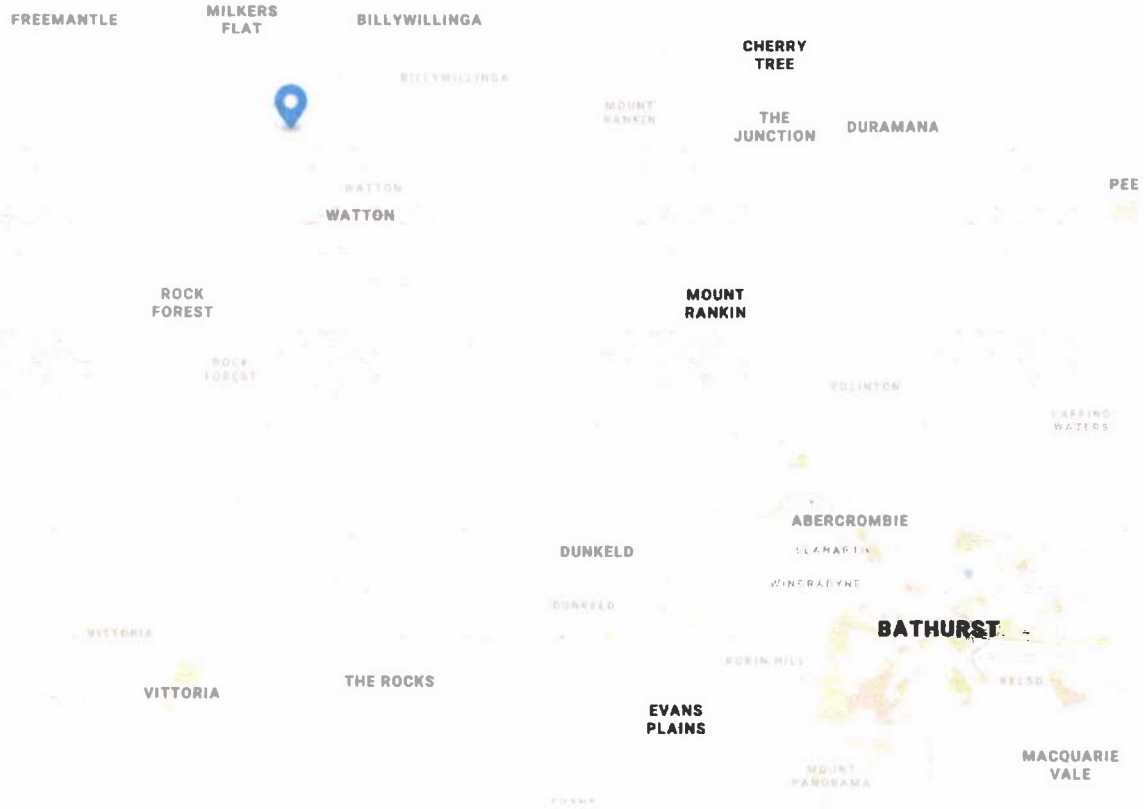


**Photo 4: Looking west from existing house towards site of proposed development**





**Figure 3: Locality Map**



**Figure 4: Location of property in relation to other surrounding properties.**

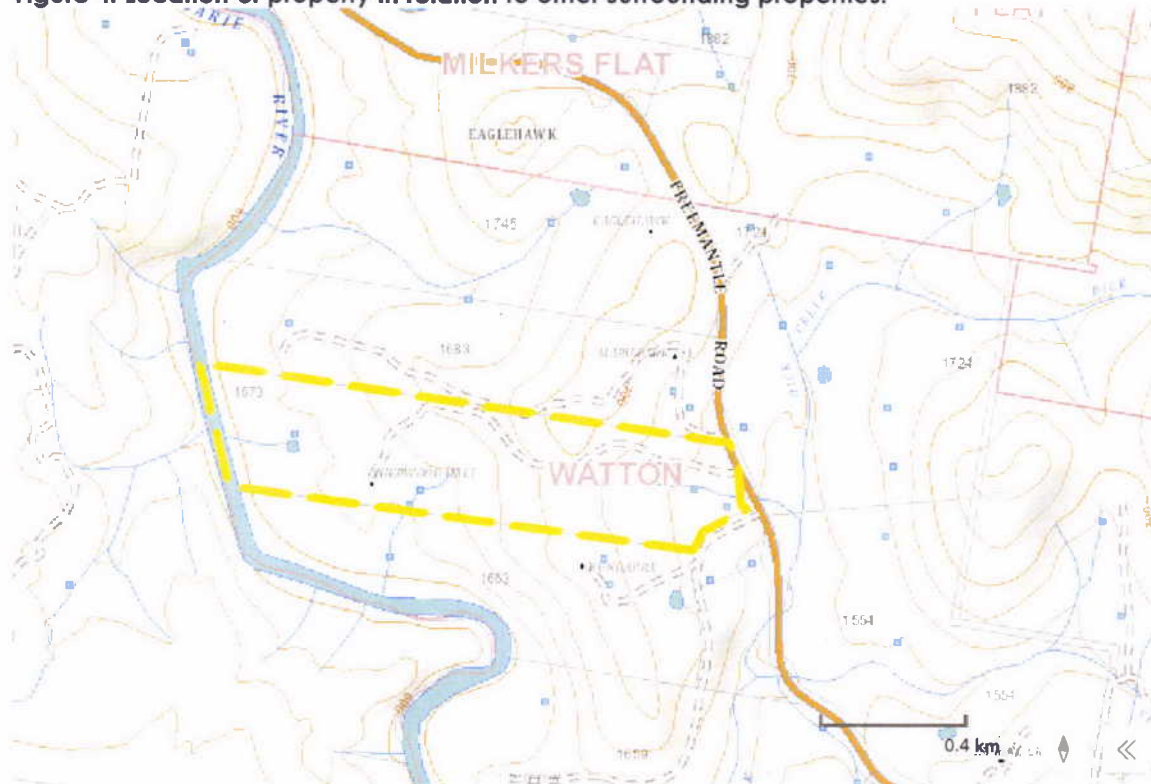




Figure 5: Aerial View of the Site



Figure 6: Aerial View of the Site – Development Site







## PROPOSED DEVELOPMENT

The proposed development seeks consent for the purposes of an agricultural produce industry whereby medicinal cannabis will be grown in a greenhouse environment, harvested, processed and packaged for distribution. The estimated production will be 8000 kg per annum.

Its products are aimed at managing chronic pain, epilepsy, multiple sclerosis, as well as pain associated with palliative care.

The proposed development is an indoor cultivation operation. The facility utilises controlled environment horticulture, excluding pest and disease, which may render the crop unsaleable or require treatment which may damage plant health or make the crop unsuitable for use. No pesticides are proposed.

Mature plants are dried in a low humidity environment until the target moisture content is reached. The flowers are harvested from the stems and the remaining plant material destroyed. The flower is treated according to their desired end-use, which defines the final form, moisture content and decarboxylation requirements. Product trimming if required, is by hand. The finished product is packaged accordingly. Waste is collected, weighed, recorded and held for destruction.

The site will be monitored 24/7 and will include the erection of perimeter fencing (2 fences and then barriers around the building, along with a vault for the finished product) to meet state and federal requirements.

The proposal includes the:

- Construction of 4350m<sup>2</sup> glass house building which is proposed to be used for plant propagation (corrugated Perspex walls and roofing) – fully enclosed to ensure that there are no contaminants.
- Construction of a building occupying an area of 1860m<sup>2</sup> to be utilised as a processing area. This will include 6 production rooms, store, vault (for finished product) and dispatch area.
- Construction of an office space occupying an area of approximately 390 m<sup>2</sup>. This will include meeting rooms, open office space, male and female amenities and change rooms, kitchen and ancillary security, comms and utilities room.
- Construction of a carpark and associated landscaping to accommodate 35 car spaces.
- The proposal is expected to employ up to 50 people when fully operational.



The total building footprint is expected to be 6,600m<sup>2</sup> and will provide a proposed gross floor space ratio of 14.78% based on a total site area of approximately 44 hectares.

Existing access to the land is proposed to be retained with internal works proposed to upgrade existing tracks to the proposed development site to accommodate expected vehicles and associated movements.

The existing dwelling and associated outbuildings are proposed to be retained on the site and will have no direct association with the proposed development.

The energy source will be a mixture of electricity and solar with a future natural gas option. It is proposed to retreat the water through reverse osmosis system or option to tank and reuse it. An application for an irrigation licence has been made to enable the irrigation of the crops with water from the Macquarie River. High yield requires high quality water.

It is proposed that wastewater is collected in troughs, and either stored in tanks or evaporated away in the adjacent pasture, per the effluent report. The water that is stored and re-used goes through Reverse Osmosis and then is re-dripped onto the cannabis plants.

It is proposed to install a fire tank, with hydrants and hose reels to meet BCA requirements.

Figure 7: Proposed Site Plan





**Figure 8: Inset of development site/proposed buildings**



**Figure 9: 3D Perspective View of the Development**





# PART

# B

## **TOWN PLANNING CONSIDERATIONS**

This section provides an evaluation of the relevant matters for consideration under Section 4.15 of the EP&A Act 1979





## TOWN PLANNING CONSIDERATIONS

Pursuant to Section 4.15 (formerly Section 79C) of the *Environmental Planning and Assessment Act 1979*, the following matters must be taken into consideration when assessing a development application:

### 4.15 Evaluation

(cf previous s 79C)

#### **Matters for consideration—general**

*In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:*

- (a) the provisions of:
  - (i) any environmental planning instrument, and
  - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
  - (iii) any development control plan, and
  - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
  - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and
  - (v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979),

*that apply to the land to which the development application relates,*

- (b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*
- (c) *the suitability of the site for the development,*
- (d) *any submissions made in accordance with this Act or the regulations,*
- (e) *the public interest.*





## (a)(i) The provisions of any environmental planning instrument

### LOCAL ENVIRONMENTAL PLANS

#### **BATHURST REGIONAL LOCAL ENVIRONMENTAL PLAN 2014**

##### Applicable LEP Clauses

##### **Zone RU1 Primary Production**

###### 1 Objectives of zone

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To maintain the rural and scenic character of the land.
- To provide for a range of compatible land uses that are in keeping with the rural character of the locality, do not unnecessarily convert rural land resources to non-agricultural land uses, minimise impacts on the environmental qualities of the land and avoid land use conflicts.

###### 2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home businesses; Home occupations; Intensive plant agriculture; Roads

###### 3 Permitted with consent

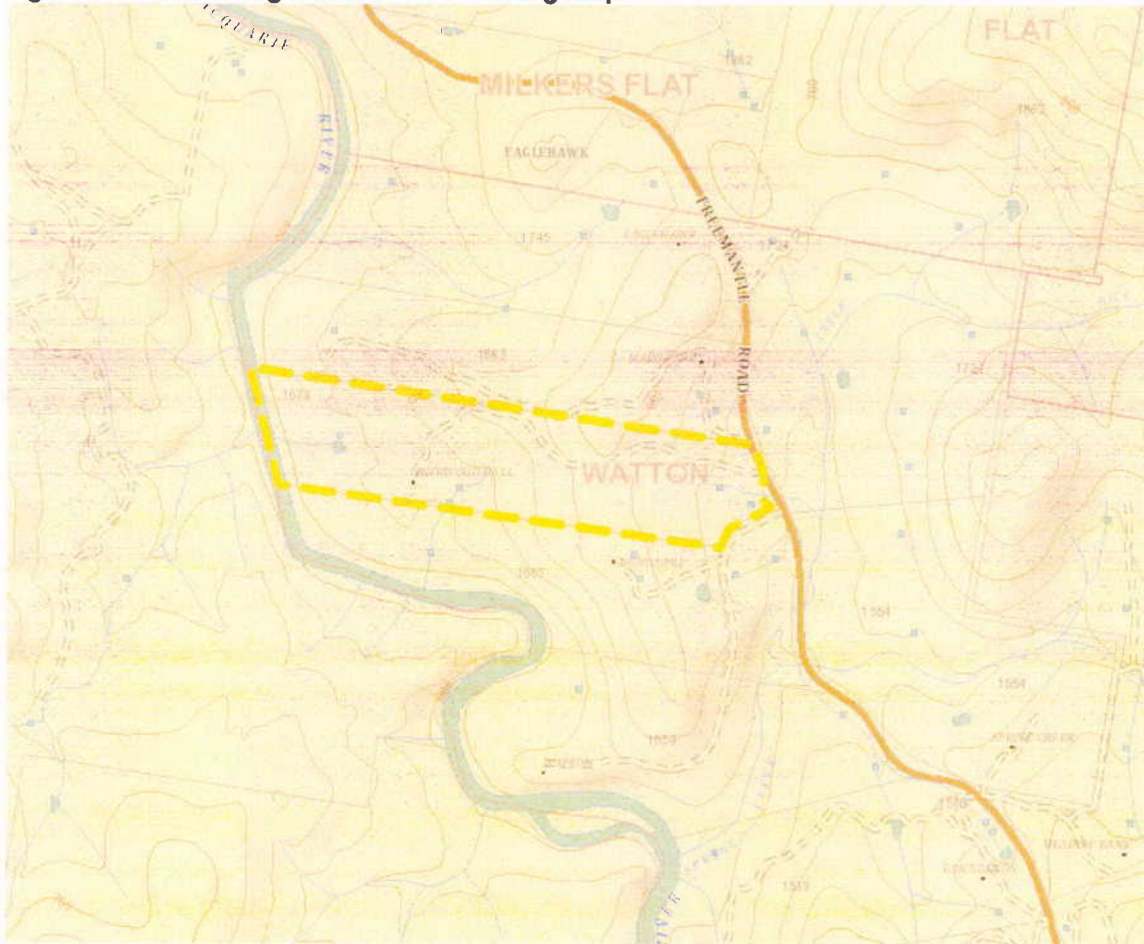
Aquaculture; Artisan food and drink industries; Cellar door premises; Dwelling houses; Extractive industries; Farm buildings; Food and drink premises; Funeral homes; Garden centres; High technology industries; Home industries; Hostels; Intensive livestock agriculture; Landscaping material supplies; Markets; Neighbourhood shops; Open cut mining; Plant nurseries; Roadside stalls; Rural supplies; Rural workers' dwellings; Secondary dwellings; **Any other development not specified in item 2 or 4**

###### 4 Prohibited

Amusement centres; Commercial premises; Exhibition homes; Exhibition villages; Heavy industrial storage establishments; Home occupations (sex services); Industries; Public administration buildings; Residential accommodation; Restricted premises; Sex services premises; Storage premises; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Wholesale supplies



**Figure 10: Bathurst Regional LEP 2014 - Zoning Map**



### Comment

The subject land is zoned RU1 Primary Production under the provisions of the *Bathurst Regional Local Environment Plan 2014*.

The proposed activity is characterised as an 'Agricultural Produce Industry' as defined under the *Bathurst Regional Local Environment Plan 2014*. An Agricultural Produce Industry is a type of Rural Industry.

**agricultural produce industry** means a building or place used for the handling, treating, processing or packing, for commercial purposes, of produce from agriculture (including dairy products, seeds, fruit, vegetables or other plant material), and includes wineries, flour mills, cotton seed oil plants, cotton gins, feed mills, cheese and butter factories, and juicing or canning plants, but does not include a livestock processing industry.

As an agricultural produce industry is not identified in item 2 being permitted development without consent or item 4 being prohibited development, the development may be permissible with the development consent of the consent authority being Council.





The proposed development is consistent with the RU1 zone objectives as it:

- Encourages sustainable primary industry production including growing and harvesting plant materials through better utilisation of primary production land.
- Provides alternative industry enterprise in addition to traditional primary production in the area.
- Fragments the land to provide better utilisation of the land resources to assist in the primary production process without increasing dwelling entitlements on the site.
- Provides a use which is consistent with surrounding primary production activities.
- Seeks to maintain the rural and scenic character of the land through considered and sympathetic building placement on the site and more broadly the general area.
- The proposed development fundamentally is seeking to utilise the land for agricultural purposes and is not expected to generate any associated land use conflicts.

#### 5.21 Flood planning

(1) The objectives of this clause are as follows—

- (a) to minimise the flood risk to life and property associated with the use of land,
- (b) to allow development on land that is compatible with the flood function and behaviour on the land, taking into account projected changes as a result of climate change,
- (c) to avoid adverse or cumulative impacts on flood behaviour and the environment,
- (d) to enable the safe occupation and efficient evacuation of people in the event of a flood.

(2) Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—

- (a) is compatible with the flood function and behaviour on the land, and
- (b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and
- (c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and
- (d) incorporates appropriate measures to manage risk to life in the event of a flood, and
- (e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.

(3) In deciding whether to grant development consent on land to which this clause applies, the consent authority must consider the following matters—

- (a) the impact of the development on projected changes to flood behaviour as a result of climate change,
- (b) the intended design and scale of buildings resulting from the development,
- (c) whether the development incorporates measures to minimise the risk to life and ensure the safe evacuation of people in the event of a flood,
- (d) the potential to modify, relocate or remove buildings resulting from development if the surrounding area is impacted by flooding or coastal erosion.

(4) A word or expression used in this clause has the same meaning as it has in the Considering Flooding in Land Use Planning Guideline unless it is otherwise defined in this clause.

(5) In this clause—





Considering Flooding in Land Use Planning Guideline means the Considering Flooding in Land Use Planning Guideline published on the Department's website on 14 July 2021. flood planning area has the same meaning as it has in the Floodplain Development Manual. Floodplain Development Manual means the Floodplain Development Manual (ISBN 0 7347 5476 0) published by the NSW Government in April 2005.

### Comments

The proposed development is approximately 20m higher than the level of the Macquarie River – accordingly, there is no identified impact from flooding.

### **7.5 Essential services**

*Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—*

- (a) the supply of water,*
- (b) the supply of electricity,*
- (c) the disposal and management of sewage,*
- (d) stormwater drainage or on-site conservation,*
- (e) suitable vehicular access.*

### Comments

#### **Water**

is proposed to retreat the water through reverse osmosis system or option to tank and reuse it. An application for an irrigation licence has been made to enable the irrigation of the crops with water from the Macquarie River. High yield requires high quality water.

#### **Electricity**

The energy source will be a mixture of electricity and solar with a future natural gas option.

#### **Sewage**

It is proposed to install an Ecomax effluent disposal system as per the requirements outlined in the Calare Civil Effluent Disposal Report.

#### **Stormwater**

Appropriate stormwater management controls to be installed as part of the construction of the facility.

#### **Vehicular Access**

It is proposed to utilise the existing access off Freemantle Road.



## **STATE ENVIRONMENTAL PLANNING POLICIES**

### **STATE ENVIRONMENTAL PLANNING POLICY NO 55—REMEDIATION OF LAND**

Council must consider Clause 7 of the SEPP when determining a Development Application:

**7 Contamination and remediation to be considered in determining development application**

- (1) A consent authority must not consent to the carrying out of any development on land unless:
- (a) it has considered whether the land is contaminated, and
  - (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
  - (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

The potential for contamination appears minimal. In terms of potential soil contamination, the subject land has been evaluated for:

- Evidence of previous mining activity;
- Evidence of existing and previous dip sites and other associated infrastructure;
- Evidence of orcharding or any other horticultural activities; and
- Vegetative and other features which could indicate possible soil contamination.

Accordingly, it is recommended that a detailed investigation is not necessary or warranted in this instance.

### **STATE ENVIRONMENTAL PLANNING POLICY (KOALA HABITAT PROTECTION) 2020**

Bathurst Regional Council is listed in Schedule 1 of the SEPP 2021 (which is referenced in Clause 5 of the SEPP). The Biodiversity Assessment Report provides the following information:

*It is a requirement of SEPP 2020 that the determining authority be satisfied that the subject land is or is not core or potential Koala habitat according to the definition of those terms contained in the policy. In the present case, as the subject land is largely without trees, and as neither of the two tree species present on the subject land – Yellow Box (*Eucalyptus melliodora*) and Blakely's*



Red Gum (*E. blakelyi*) – are included in Appendix 2 of SEPP 2020, the subject land cannot be considered Koala habitat as that term is defined in the policy. The nearest records of this species are c. 4.1 km northeast and c. 4.6 km southeast of the subject land.

### (a)(ii) Any draft environmental planning instrument

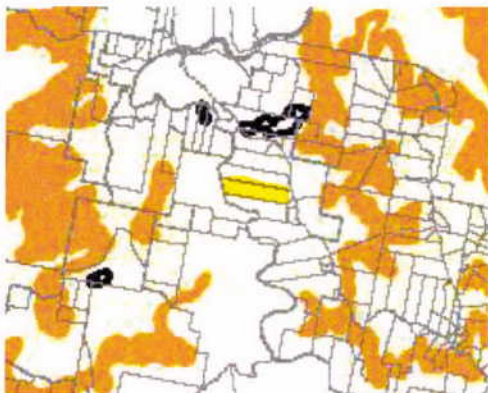
There are no known draft environmental planning instruments relevant to this proposed development.

### (a)(iii) Any development control plan

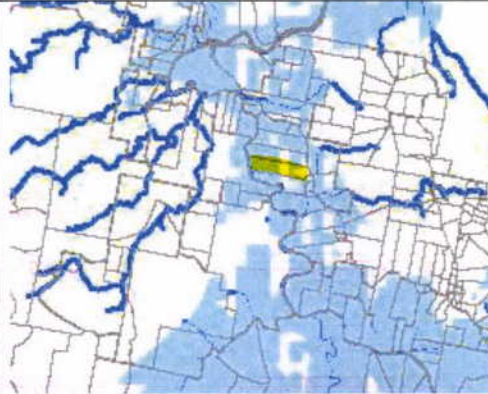
#### BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014

Following is an assessment of the relevant provisions of the DCP:

**Table 2: DCP Analysis**

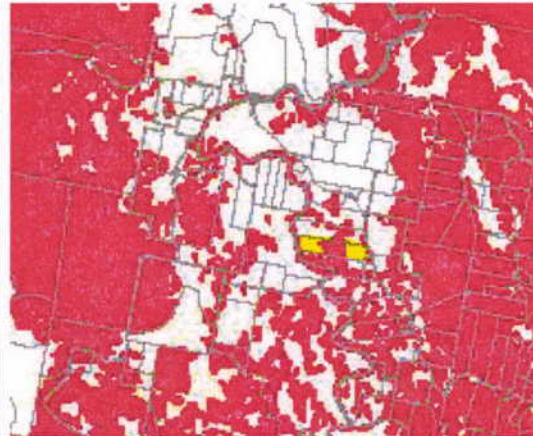
Clause	Heading	Comment
6.1	Preliminary	The subject land is in the RU1 zone.
6.2	Siting	<p>DCP Map 29 Land Resources – does not apply</p> <p><b>Map 29</b></p>  <p>The development site is well removed from the Macquarie River and no detrimental impact has been identified.</p> <p>DCP Map 30 Riparian Land and Waterways – applies (see below)</p> <p><b>Map 30</b></p>





DCP Map 31 High or moderate biodiversity sensitivity – applies – however the site of the proposal is not mapped. Regardless, a BDAR has been prepared and will form part of the application.

### Map 31



### Setbacks

Agricultural produce industry is a type of rural industry that requires a setback of 50m from any side or rear boundary.

The proposed glasshouse as part of the development, is to be setback 18m off the southern boundary to meet BCA requirements. All buildings are considerably more than 50 metres from every other boundary to the site.

Accordingly, a variation to this setback control is proposed.

- The area within the 50m setback is glasshouse that is required as part of the crop growing (glasshouse).
- The processing and office areas are setback a considerable distance from the southern boundary.



		<ul style="list-style-type: none"> <li>There is no identifiable development on the neighbouring land to the south that will be negatively impacted upon.</li> <li>The house on the southern neighbouring lot is over 750m from the development site towards the east and does not have any direct line of site.</li> </ul> <p>There is no surrounding land uses that require an increased building setback.</p>
6.3	Access, Entrances and Fencing	<p>It is proposed to utilise the existing access to the site off Freemantle Road.</p> <p>There is existing rural style fencing around the perimeter of the subject land.</p> <p>For security reasons it is proposed to construct additional fencing around the actual development area 2100mm high as shown on the development plans.</p> <p>The internal road is proposed to be bitumen sealed from Freemantle Road to the development area.</p>
6.4	Onsite Effluent Disposal	<p>Effluent disposal to be conducted onsite in accordance with the Effluent Report recommendations prepared by Calare Civil.</p>
6.5	Water Supply Requirements	<p>Water supply will be via rainwater collected in tanks.</p> <p>The applicant has lodged an application for an irrigation licence from the Macquarie River.</p> <p>Any irrigation of plants within the facility will be undertaken within the greenhouse and any runoff will be collected via a sealed system for re-use within the facility. Any water use on the site is not expected to migrate from within the development into the surrounding environment. Any rainwater generation from the buildings will be collected in static water tanks proposed on site for re-use on the site.</p> <p>A firefighting tank is proposed as part of the overall development to meet BCA requirements.</p>
6.6	Building Form and Design	<p>The proposed development is considered to be in keeping with the rural character of the area.</p> <p>The materials used are generally naturally textured and coloured, sympathetic to the natural environment and are non-reflective. The roof of the glasshouse is translucent polycarbonate.</p>
6.7	Soil and water management	<p>Appropriate erosion and sediment control measures to be implemented.</p>
6.8	Temporary Accommodation and	<p>Not applicable.</p>



	Second dwellings	hard	
9.2	Land Resources		No issues with respect to steep slopes, soil salinity, and removal of native vegetation, permanent inundation and rock outcrops have been identified on the site.
9.3	Riparian Land and Waterways		No change as a result of the proposed development proposal. The proposed development is significantly more than 40m from the Macquarie River
9.4	Biodiversity		<p>A Biodiversity Assessment Report has been prepared and will form part of the development. The report provides the following conclusion:</p> <p><b>Summary and conclusions</b></p> <p><i>The following summary of findings and conclusions is provided to assist with ongoing project planning.</i></p> <p><i>The proposal to construct a new medicinal marijuana production facility at 1673 Freemantle Road, Watton, NSW (Lot 6 DP 247662) will require the clearing of 0.06 ha of Category 2 - (Regulated) Land, under the LLS Act. The native vegetation clearing threshold for the relevant lot is 1 ha, therefore entry into the Biodiversity Offset Scheme (BOS) will not be triggered.</i></p> <p><i>The native vegetation consists of a single Plant Community Type (PCT):</i></p> <ul style="list-style-type: none"> <li><i>PCT 1330 - Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion.</i></li> </ul> <p><i>This PCT was found to occur in both a highly degraded (1.16 ha) and a remnant (0.06 ha) condition. The remnant was found to meet the condition thresholds to be considered an example of the BC Act-listed Critically Endangered Ecological Community White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions. The degraded component occurred on Category 1 – Exempt Land and was excluded from further assessment.</i></p> <p><i>In total, 44 BC Act-listed threatened species were considered to have a moderate or greater likelihood of occurring based on habitat requirements. The significance of the proposed impact to these BC Act-listed species was assessed. No significant impact to a threatened species likely to result in the extinction of a local population was identified.</i></p> <p><i>The significance of the proposed impact to EPBC Act Listed threatened, migratory, wetland and marine species</i></p>



		<p>predict to occur within a 10 km search area was assessed. No significant impact to any EPBC Act-listed entity was identified. Impacts to the Koala were separately assessed and, while 0.06 ha of the subject land met the conditions to be considered critical habitat (habitat score = 5), no requirement to refer the matter under the EPBC Act was triggered.</p> <p>This assessment covers the current form of the proposal, any change to the scope of work may require re-assessment.</p>
9.5	Groundwater	It is considered that the proposed development on the site will not have an adverse impact on groundwater. The proposed developed is not a listed development type under Clause 9.5.1.
9.6	Flooding	The proposed development is greater than 20m above the Macquarie River – no flooding impact has been identified.
9.7	Bushfire Prone Land	<p>Part of the subject land is mapped bushfire prone.</p> <p>It is noted that the proposed development consists primarily of glass house. Regardless, it is proposed to install a fire sprinkler tank with pump to meet BCA requirements for fire protection.</p> <p>A 6m wide fire access track is proposed to be installed around the facility as shown on the development plans.</p>
9.8	Flora and Fauna Surveys	<p>A Biodiversity Development Assessment Report (BDAR) has been prepared and will form part of the development.</p> <p>ADD once report received.</p>
9.9	Sustainable Building Design and Energy Efficiency	Not applicable.
12	Signage and Colour Schemes	<p>No signage is proposed as part of the proposed development.</p> <p>An indicative colour scheme is shown on the plans.</p>
14	Car parking	<p>It is proposed to provide a 35 space car park on the site. There is no specific car parking requirement for agricultural produce industries in the DCP.</p> <p>There is more than adequate carparking available to cater for staff.</p>
15	Crime Prevention	<p>The development has to follow strict State and Federal Government legislation relating to growing, harvesting and processing of medicinal cannabis.</p> <p>The site will be monitored 24/7 and will include the erection of perimeter fencing (2 fences and then barriers</p>





		around the building, along with a vault for the finished product) to meet state and federal requirements.
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### **(a)(iiia) Any Planning Agreements**

A review of Council's Planning Agreement Registers indicates that the land is not subject to any planning agreements.

### **(a)(iv) Any matters prescribed by the regulations:**

#### **Government Coastal Policy**

Not applicable.

#### **Building Demolition**

No demolition is proposed as part of this development.

#### **Upgrading of Buildings**

Not applicable.

#### **Fire Safety**

Any fire safety considerations will be made at the time of lodgement of a construction certificate if the development is supported.

#### **Temporary Structures**

Not applicable.

#### **Deferred Commencement Consent**

Not applicable.

#### **Modification or Surrender of Development Consent or Existing Use**

Not applicable.

#### **Ancillary Development**

Not applicable.





## **BASIX**

Not applicable.

## **(b) The likely impacts of the development:**

### **CONTEXT AND SETTING**

The surrounding area is generally characterised by agricultural and grazing farming operations and ancillary dwellings.

The proposal is considered compatible with the surrounding area and will have minimal impact in regard to:

- Impacts on adjacent properties and land uses; and
- Interruptions of important views and vistas

The proposal is within the context of the locality and Council's current planning provisions

### **ACCESS AND TRANSPORT**

#### Access

An existing access to the property is located off Freemantle Road. It is not expected that there will be any upgrades required as part of this development.

It is proposed to bitumen seal the existing access road from the property entrance to the proposed facility as shown on the site plans.

#### Traffic Generation

It is likely that the proposed development (at full production) will generate

Light vehicles (cars etc) – 70 vehicles per day

Medium rigid vehicle – 1 truck per day

Small couriers – 4 vehicles per day

#### Carparking

It is proposed to provide 35 car spaces on site.





### **PUBLIC DOMAIN**

It is considered that the development will have a negligible impact on the public domain in terms of:

- Public recreational opportunities in the locality;
- Amount, location, design, use and management of public spaces in and around the development; and
- Pedestrian linkages and access between the development and public areas.

### **UTILITIES & SERVICES**

#### **Water**

is proposed to retreat the water through reverse osmosis system or option to tank and reuse it. An application for an irrigation licence has been made to enable the irrigation of the crops with water from the Macquarie River. High yield requires high quality water.

#### **Electricity & Telephone**

The energy source will be a mixture of electricity and solar with a future natural gas option.

Electricity and telephone services are readily available in the locality (and connected to the existing dwelling). Any upgrading of the electricity supply will be to the requirements of Essential Energy.

#### **Sewage**

It is proposed to install an Ecomax effluent disposal system as per the requirements outlined in the Calare Civil Effluent Disposal Report.

As there is no reticulated sewer provided to the site, a section 68 application will be required to be made under the *Local Government Act 1993* to seek approval for a new onsite sewer management system and also a permit to operate such system. This application will be made should the development application be supported.

#### **Stormwater**

Appropriate stormwater management controls to be installed as part of the construction of the facility.



## HERITAGE

The site is not listed under schedule 5 of the *Bathurst Regional Local Environmental Plan 2014* nor is the site listed on the state heritage register.

OzArk Environment and Heritage have prepared an Aboriginal Due Diligence Assessment Report. The conclusion to the report is as follows:

### 2.4 CONCLUSION

The due diligence process has resulted in the outcome that an Aboriginal Heritage Impact Permit (AHIP) is not required. The reasoning behind this determination is set out in **Table 2-3**.

**Table 2-3: Due Diligence Code application.**

Item	Reasoning	Answer
Will the activity disturb either of the following: <ul style="list-style-type: none"> <li>the ground surface where archaeological deposits are likely</li> <li>mature, native trees that may be culturally modified.</li> </ul>	The proposed works would disturb the ground surface through excavation and construction. However, these works will not impact Aboriginal objects of subsurface archaeological deposits. Mature, native vegetation may be impacted by the proposal, however the survey confirmed that none are culturally modified.	No
Are there any relevant records of Aboriginal heritage on site (AHIMS or from other sources), or landscape features that are likely to indicate presence of Aboriginal objects?	AHIMS indicated no Aboriginal sites within the study area. No landscape features in the study area indicate the likely presence of Aboriginal objects.	No
Will the activity impact Aboriginal objects or landforms with archaeological potential?	There are no known items of Aboriginal significance present in the study area, and landforms with identified archaeological sensitivity are not present.	No
Does the desktop and/or visual assessment confirm that Aboriginal objects will be harmed?	The visual inspection of the study area recorded no items of Aboriginal heritage in the study area. It is assessed that there is a low likelihood of there being subsurface archaeological deposits within the study area.	No
AHIP not necessary. Proceed with caution.		

## FLORA AND FAUNA

A Biodiversity Development Assessment Report (BDAR) has been prepared and will form part of the development.

ADD once report received.

## AMENITY

The new development is considered to be compatible with the existing and likely future character and amenity of the locality.

Operationally, the development will generate limited impact as a result of noise. The main noise source will be via traffic movements to and from the site and the operation of the air conditioning plant. Any operations conducted onsite will occur wholly within the building.





There is the potential for a limited amount of noise and vibration during the construction of the complex. All construction work will be undertaken during hours specified by Council.

Operationally, the potential impacts are likely to be minimal and expected in this locality.

As discussed under the Access and Transport section, any impacts from traffic noise would be minimal and considered in line with the surrounding area. It is noted that the site is located adjacent to a busy road that receives a significant amount of traffic.

There will be negligible impact from dust generation due to the sealing of the driveway areas. No adverse impact from the security lighting has been identified. All lighting will be baffled to ensure that there is no light spillage. It is noted that the facility is not lit at night (it needs to be as dark as possible).

There are no issues in relation to privacy and overshadowing as part of the proposal.

It is noted that the site is located within a rural area which receives a significant amount of traffic already.

There have been no significant issues identified in relation to the supply of water and the disposal of sewage and stormwater.

Due to the nature of the proposal, issues surrounding energy efficiency and waste management are not significant.

### **ENERGY**

Section J Report to be prepared as part of the Construction Certificate documentation.



## NATURAL HAZARDS

The subject land is partially mapped as bushfire prone.

**Figure 11: Bushfire Prone Map**



Part of the subject land is mapped bushfire prone.

It is noted that the proposed development consists primarily of glass house. Regardless, it is proposed to install a fire sprinkler tank with pump to meet BCA requirements for fire protection.

A 6m wide fire access track is proposed to be installed around the facility as shown on the development plans.

The proposed development is greater than 20m above the Macquarie River – no flooding impact has been identified.

## POTENTIAL CONTAMINATION

See comments under SEPP 55 – Remediation of Land.



**SAFETY, SECURITY & CRIME PREVENTION**

Specific requirements are provided under licencing arrangements for plant material industries. Appropriate security measures around the site including active surveillance, security fencing and associated controls will be employed on the site.

The site will be monitored 24/7 and will include the erection of perimeter fencing (2 fences and then barriers around the building, along with a vault for the finished product) to meet state and federal requirements.

The proponent has been in consultation with the NSW Police and will implement all necessary actions to meet their requirements.

**SOCIAL & ECONOMIC IMPACTS IN THE LOCALITY**

It is expected that the development will provide increased employment opportunities during construction and further operation of the facility (up to 50 operational jobs). The creation of jobs is expected to have a positive effect on the local economy.

The social impact of the proposed development in this locality are considered positive. The products developed at the facility are aimed at managing chronic pain, epilepsy, multiple sclerosis, as well as pain associated with palliative care.

It is noted that there is a significant separation distance between the facility and neighbouring dwellings.

**CONSTRUCTION**

The proposal includes building works as indicated on the development plans.

Any construction work will be undertaken in accordance with the NCC and Councils conditions of consent.

Construction impacts are not anticipated to have an adverse impact on the locality. Works would occur during daytime hours, thus not impacting on the local amenity. The site would have temporary containment fencing erected and signage to warn and exclude the public from entering the site during the construction phase.

Erosion and sedimentation control measures would be developed and implemented during construction to minimise any erosion and sedimentation at the site. All disturbed areas rehabilitated as soon as practical. Additional sedimentation control measures will be implemented to ensure no migration of silt or otherwise towards the local water ways of the Macquarie River.





All waste generated during construction would be taken and disposed of at Council's Waste Disposal Facility.

All construction machinery would be fitted with appropriate muffling devices to limit noise generation during construction. The construction period would be for a limited period, and thus any impacts would be limited to that time frame.

### **CUMULATIVE IMPACTS**

It is considered there will be no negative cumulative impacts because of the proposed agricultural produce industry.

### **(c) Suitability of the site for the development**

#### Does the proposal fit in the locality?

- There are no constraints posed by surrounding development to render the proposal prohibitive;
- The proposal is complimentary to the surrounding land use pattern and zoning;
- It is considered that the proposal will not create any unmanageable access or transport concerns in the locality;
- No impact on public spaces will eventuate as a result of the proposal proceeding;
- The site is already connected to all available services available to the site;
- There are no issues in relation to air quality and microclimate; and
- There are no identified surrounding hazardous land uses or activities.

#### Are the site attributes conducive to development?

It is considered that the site is conducive to the proposed modified subdivision arrangement based on the following:

- The site is not affected by any natural hazards other than bushfire which has been addressed;
- There are no heritage considerations affecting the proposal;
- There is no known soil characteristics that would render the proposal prohibitive; and
- There are no flora and fauna considerations that will have an impact on the proposal.





### **(d) Any submissions**

The application may be referred to adjoining neighbours for comment.

### **(e) The public interest**

It is considered that the proposed development, with appropriate conditions of consent, will not have any unacceptable negative impacts on the amenity of the general public. The proposed development is considered to be only of minor interest to the wider public due to the relatively localised nature of potential impacts.



# PART

# C

## CONCLUSION

This Part provides a conclusion and recommendations for Council's consideration





## CONCLUSION

This report includes an analysis of the existing environment, details of the proposed agricultural produce industry and consideration of applicable statutory requirements.

Based upon the investigations of the proposal it can be concluded that:

- The impacts upon or by surrounding development will not be altered significantly as a result of the development proceeding.
- The topography of the site can accommodate the proposal.
- Additional traffic generation associated with the project is not above what could be reasonably expected in a rural setting whereby agricultural pursuits are being undertaken.
- There are positive economic and social benefits as a result of the proposal and significant job creation.
- The proposal is generally consistent with the objectives and provisions of Councils relevant planning documents.

The proposal is considered to be acceptable in terms of Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended) and potential impacts are expected to be minor.

**Accordingly, it is recommended that the Development Application be approved subject to appropriate standard conditions.**





20211087  
30 August 2021

Better Green  
1673 Freemantle Road  
Watton NSW 2795

Attention: Blake O'Sullivan

Dear Blake

**RE: Effluent Disposal Investigation - 1673 Freemantle Road, Watton NSW 2795**

## INTRODUCTION

At your request we have carried out a Geotechnical investigation for the above project. The objectives of this work were to i) identify the subsoils generally underlying the area, and assess subsoil reactivity, ii) Design a method of on-site effluent disposal for the site in accordance with the following Current Recommended Practice (CRP) documents:

- AS/NZS 1547:2012 On-site Domestic Wastewater Management (Standards Australia 2012)
- On-site Sewage Management for Single Households (Office of Local Government 1998)
- Designing & Installing On-Site Wastewater Systems (Sydney Catchment Authority 2019)
- The New South Wales Feedlot Manual (NSW DPI / Agriculture 1998)

## LOCATION

The site is located on a rural lot off Freemantle Road in Watton. The lot is approximately 42.12ha in size, and runs adjacent to the Macquarie River.

Ground slopes at the proposed dwelling site are slight. The site was covered by perennial grasses and scattered trees.

## SUBSURFACE CONDITIONS

One soil-observation pit was dug at the site using an excavator. The site stratigraphy at the proposed disposal site as revealed by the soil pit comprised typically of the following:

0mm-100mm: Light brown, moist, silty sand with common fine gravels, weakly structured.  
100mm-400mm: Light brown, yellow, moist, silty clay with many fine to medium gravels, moderately structured.  
EOP 400mm Refusal

Groundwater was not encountered during the fieldwork.

### Calare Civil Pty Ltd

ABN 41 060 057 833  
170 Rankin Street  
Bathurst NSW 2795

Tel: 02 6332 3343  
Fax: 02 6331 8210  
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Web: www.calare-civil.com.au

\\SERVER\\Synergy\\Projects\\2021\\20211087\\Proposals, Letters, Certificates, Reports\\20211087-L01-MS.docx





Image 1: Subsoil investigation at the proposed development site

## **DISPOSAL OF EFFLUENT**

### General

For the subject development we have investigated the use of an ECOMAX amended soil raised mound as a suitable method of effluent disposal (septic tank into dual Ecomax Amended Soil Mound). This is due to shallow bedrock at the site.

### Restrictive Site and Soil Features

In accordance with OSMSH the most limiting site or soil feature determines the capability of the subject site for land application of effluent, or the modifications to the site required to allow land application.

Relevant sections of the CRP documents have been reviewed with respect to the subject site to determine these requirements.

Potential restrictive site & soil features located relative to the proposed disposal site are:

- Proposed factory approximately 13m S. Minor limitation.
- Closest dam approximately 68m W. Minor limitation.
- Drainage depression approximately 95m W. Minor limitation.
- Macquarie River approximately 247m NE. Minor limitation.
- Closest property boundary approximately 146m N. Minor limitation.
- Moderately structured Category 4 Clay Loam soil. Minor limitation.

The following buffer distances should be adhered to:

- 3m from building or property boundary at higher elevation
- 6m from building or property boundary at lower elevation
- 40m from intermittent water course or dam
- 100m from permanent surface waters (eg rivers)



Design wastewater loading

In accordance with recommendations of the Sydney Catchment Authority, the design effluent generation for non-habitable developments will reference 'Septic Tank and Collection Well Accreditation Guideline', (NSW Health, 2001). For factories and offices, the table below has been taken from Annexure 3 of the above reference as a guide for design flow estimation:

TYPE OF PREMISES	WASTES	DAILY FLOW Litres/Person/Day	CALCULATION OF DAILY FLOW RATE	REMARKS
Factories and offices	WC, urinal, basin, shower, kitchen	43	Persons x 43 + 1550L/100/Day	Persons = total staff/day  <u>Septic tank capacity</u> = daily flow + 1550 Litres

A factory with a water closet, urinal, basin, shower and kitchen is estimated as having a daily flow rate of 43 L/day/person.

Information provided by the client indicates that the maximum capacity of staff occupying the facility is 50 people.

Therefore, the design flow rate **Q = 43 x 50 = 2,150 L/d** in accordance with the above table.

Design of Ecomax Mound System

The following design (attached) has been provided by Ecomax Australia and based on the following:

- Rainfall & evaporation data for the Bathurst region from Bureau of Meteorology.
- Site geotechnical investigation and soil assessment data provided by Calare Civil Pty. Ltd.

In accordance with Table N1, we have identified the underlying soils as Category 4 (Clay Loam). Taking into account visual and tactile assessment of soils, in conjunction with documented soil landscape data, we conclude that on site disposal of effluent at the development is possible using an ECOMAX amended soil mound system.

We have adopted an indicative permeability ( $k_{sat}$ ) of 1.5m/d with an associated Design Loading Rate (DLR) of 16mm/d.

In accordance with AS/NZS 1547.2012 (Appendix Q), the disposal area required is calculated using a water balance analysis. Rainfall and evaporation data from local gauging stations is used in the calculations.

Design based on 2150L/d operational capacity calculated above.

DLR = 16mm/day secondary treated effluent.

Mound basal area: Dual Cell – 10.4m x 4.4m per cell plus 4m soakage sand bed perimeter  
= 29.8m x 12.4m

Total basal area = **369.52 m<sup>2</sup>**.

Refer to the separate Ecomax design attached for details.



**The septic tank shall be a minimum 4000L.** Make and model of septic tank is to be selected by installer and must be NSW Health approved (a full list of approved tanks is available on the NSW Health website). Final location of septic tank is to be determined by the installer with consideration given to the drainage plan of the house and site limitations to ensure all plumbing meets the required minimum grades specified in AS3500.2.

### PREPARATION AND MAINTENANCE OF DISPOSAL AREAS

#### General

We note that the disposal area should not be constructed in an area subject to stormwater run-off or ground water concentrations.

The upstream flow of stormwater run-off should be diverted from the disposal area.

The disposal area is to be stock and vehicle free.

#### Excavation Techniques

The following excavation techniques recommended in AS1547:2012 shall be observed so as to minimize the risk of damage to the soil.

- (a) Plan to excavate only when the weather is fine.
- (b) During wet seasons or when construction cannot be delayed until the weather becomes fine, smeared soil surfaces may be raked to reinstate a more natural soil surface, taking care to use fine tines and only at the surface.

#### Disposal Area Plantings:

It is recommended that a fescue/fescue blend (Temperate and Mediterranean blend varieties) or similar be planted on the disposal area, which has year-round active growth, enhancing nutrient uptake (Ref. NSW Feedlot Manual 1998, NSW Department of Agriculture). Other recommended species providing similar data include Ryegrass and Lucerne.


#### Further Considerations

The implementation of wastewater and nutrient reduction initiatives such as the following will further improve the performance of the system:

- Use of low phosphate/low SAR detergents, and low quantities where practicable.
- Water saving shower heads, taps and appliances.
- Consideration of 3/6 litre dual flush toilets.
- Avoid placing fats, oils or food waste into the system.

We trust that this information meets your requirements. Please do not hesitate to contact the undersigned should you require any further information.

Yours faithfully,  
CALARE CIVIL PTY LTD



Sean Johnson  
BE MIEAust.





LOCATION OF PROPOSED DEVELOPMENT AND DISPOSAL AREA ARE INDICATIVE ONLY.  
FINAL LOCATION DETERMINED BY INSTALLER PENDING SUITABILITY.

## REFERENCE

- TEST HOLE LOCATION

## SITE PLAN

SCALE 1:2000

DWG. No.: E1	Rev.: A	Drawn: M.S.	EFFLUENT DISPOSAL REPORT 1673 FREEMANTLE ROAD WATTON NSW 2795 BETTER GREEN	<b>CALARE CIVIL</b> CONSULTING ENGINEERS 170 RANKIN STREET, BATHURST, N.S.W. 2795 Tel: (02) 63323343 Fax: (02) 63318210
		Date: 06-09-21		
JOB No.: 21.1087		Scales: AS SHOWN		
		Approved: S.J.		





**Waste Water Technology**  
**Level 3, 478 George Street**  
**Sydney NSW 2000**  
**Tel: 02 831 52189**

8 September 2021

Miranda Swift  
 Calare Civil  
 170 Rankin Street  
 Bathurst NSW 2795

Dear Miranda

**RE: ECOMAX AMENDED SOIL SYSTEM FOR 1673 Freemantle Rd, Watton NSW**

Australian Environmental Wastewater Solutions Pty Ltd and Ecomax Waste Management Systems have been requested to provide a suitable sustainable on-site effluent treatment and disposal system to service the above development.

**Option: Loading @ 2150L per/day**

- Design Flow Rate Specified = 2150 L per / day (town water supply)
- **PEAK LOAD = 2150 L per / day**
- **DLR (Design Loading Rate) = 16mm/day**
- **Weather Data –Bathurst Agricultural Station Evaporation Bathurst Agricultural Station**

With consideration and use of the Ecomax (septic tank into dual Ecomax Amended Soil Mound) we are able to design a system to cater for the 100% peak flow of 2150L/day, within the single Ecomax cell.

Design parameters are based on a Water Balance Calculation and the required disposal area of **369.52 sqm** is required.

Therefore, we propose to implement an Ecomax (2 cells containing 30 x "Eco-drain" modules in each) used in conjunction with a septic tank.

The area required for the Ecomax cell is **10.4m x 4.4m** per cell x 2 (Above ground installation and perimeter of 4m as a soakage buffer around the mound total EMA is 29.8m x 12.4m)

Should you require a formal design report please let me know.

If you have any further queries, please contact me.

Yours faithfully

**Stuart Crockett**

**Australian Environmental Wastewater Solutions Pty Ltd**

**Ecomax Australia Aquamax Australia**

**Level 3, 478 George Street, Sydney NSW 2000**

**Tel: 02 83152189 Mob: 0418 942 669**







View west towards the Macquarie River from the subject land.

## **BIODIVERSITY ASSESSMENT REPORT**

---

### **Better Green Development**

Bathurst Regional Council

October 2021

Report prepared by  
OzArk Environment & Heritage  
for Better Green Pty Ltd

**OzArk**

### **OzArk Environment & Heritage**

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### **Acknowledgement**

OzArk acknowledge Traditional Owners of the area to which this report applies and pay respect to their beliefs, cultural heritage, and continuing connection with the land. We also acknowledge and pay respect to the post-contact experiences of Aboriginal people with attachment to the area and to the elders, past and present, as the next generation of role models and vessels for memories, traditions, culture and hopes of local Aboriginal people.



**Document Control**

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Client	Better Green Pty Ltd		
Purchase order number			
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	Dr David Orchard (DO)		
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<p align="center"><b>COPYRIGHT</b></p> <p align="center">© OzArk Environment &amp; Heritage 2021 and © Better Green Pty Limited, 2021</p> <p align="center">All intellectual property and copyright reserved.</p> <p>Apart from any fair dealing for the purpose of private study, research, criticism, or review, as permitted under the <i>Copyright Act 1968</i>, no part of this report may be reproduced, transmitted, stored in a retrieval system or adapted in any form or by any means (electronic, mechanical, photocopying, recording or otherwise) without written permission.</p> <p align="center">Enquiries would be addressed to OzArk Environment &amp; Heritage.</p>			



## Executive Summary

Better Green Pty Ltd (the client and proponent) is seeking to obtain development consent from the Bathurst Regional Council to construct and operate a medicinal marijuana production facility at 1673 Freemantle Road, Watton, NSW.

OzArk Environment and Heritage (OzArk) was commissioned to undertake an assessment of the biodiversity values of the site, determine whether entry into the NSW Biodiversity Offset Scheme (BOS) is required and, if so, complete a Biodiversity Development Assessment Report (BDAR).

The subject land sits on Lot 6 DP 247662 and encompasses 1.25 ha. Of this area, 1.16 ha consists of highly degraded pasture that constitutes Category 1 – (Exempt) land, under the Local Land Services (LLS) Act. The remaining area comprises 0.06 ha of native woody vegetation, and non-vegetated areas associated with an existing track and a shed. Consequently only 0.06 ha of Category 2 – (Regulated, Vulnerable, or Sensitive) Land (native vegetation) will be impacted by this proposal. As the clearing threshold for the lot in question is 1 ha, the proposal will not trigger entry into the BOS, therefore a Biodiversity Assessment Report (BAR), is required, rather than a BDAR.

The native vegetation consists of a single Plant Community Type (PCT):

- PCT 1330 - Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion.

The woody remnant was found to meet the condition thresholds to be considered an example of the BC Act-listed Critically Endangered Ecological Community (CEEC) *White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions*. It did not meet the condition thresholds for the equivalent EPBC Act-listed CEEC, *White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland*.

In total, 44 BC Act-listed threatened species were considered to have a moderate or greater likelihood of occurring at the site, based on habitat requirements. The significance of the proposed impact to these BC Act-listed species was assessed. No significant impact to a threatened species likely to result in the extinction of a local population was identified.

The significance of the proposed impact to EPBC Act Listed threatened, migratory, wetland and marine species predict to occur within a 10 km search area was assessed. No significant impact to any EPBC Act-listed entity was identified. Impacts to the Koala were separately assessed and, while the subject land met the conditions to be considered critical habitat (habitat score = 5), no requirement to refer the matter under the EPBC Act was triggered.



This assessment covers the current form of the proposal, any change to the scope of work may require re-assessment.



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---

# 1 Introduction

---

## 1.1 Background

Better Green (the client and proponent) is proposing to construct a medicinal marijuana facility on a property located at 1673 Freemantle Road, Watton, NSW (the proposal). The total impact footprint of this proposed facility is 1.25 ha, including office and production space, vehicle parking, and an associated fire management trail (**Figure 1-1**).

OzArk Environment & Heritage (OzArk) was engaged by the proponent to conduct the biodiversity assessment for the proposal. The subject land consists chiefly of pastoral land used chiefly for grazing (1.16 ha), along with a small area of fenced remnant vegetation (0.06 ha) adjacent to a shed, a non-vegetated track (0.03 ha), and the shed itself (0.008 ha). The pasture area constitutes Category 1 – (Exempt) land under the LLS Act (**Appendix L**). Consequently, impacts to this area were not considered when determining the total extent of vegetation to be cleared and whether or not entry into the NSW Biodiversity Offsets Scheme (BOS) would be triggered. Only the wooded remnant (0.06 ha) was counted toward the clearing threshold to trigger the BOS.

The minimum lot size associated with the proposal is 40 ha, therefore the clearing threshold for this proposal is 1 ha. Since the proposal will require the clearing of only 0.06 ha of native vegetation, it does not trigger entry into the BOS; consequently, a Biodiversity Development Assessment Report (BDAR) is not required under the *NSW Biodiversity Conservation Act 2016* (BC Act). This report assesses all impacts of the proposal to biodiversity values within and surrounding the subject land.



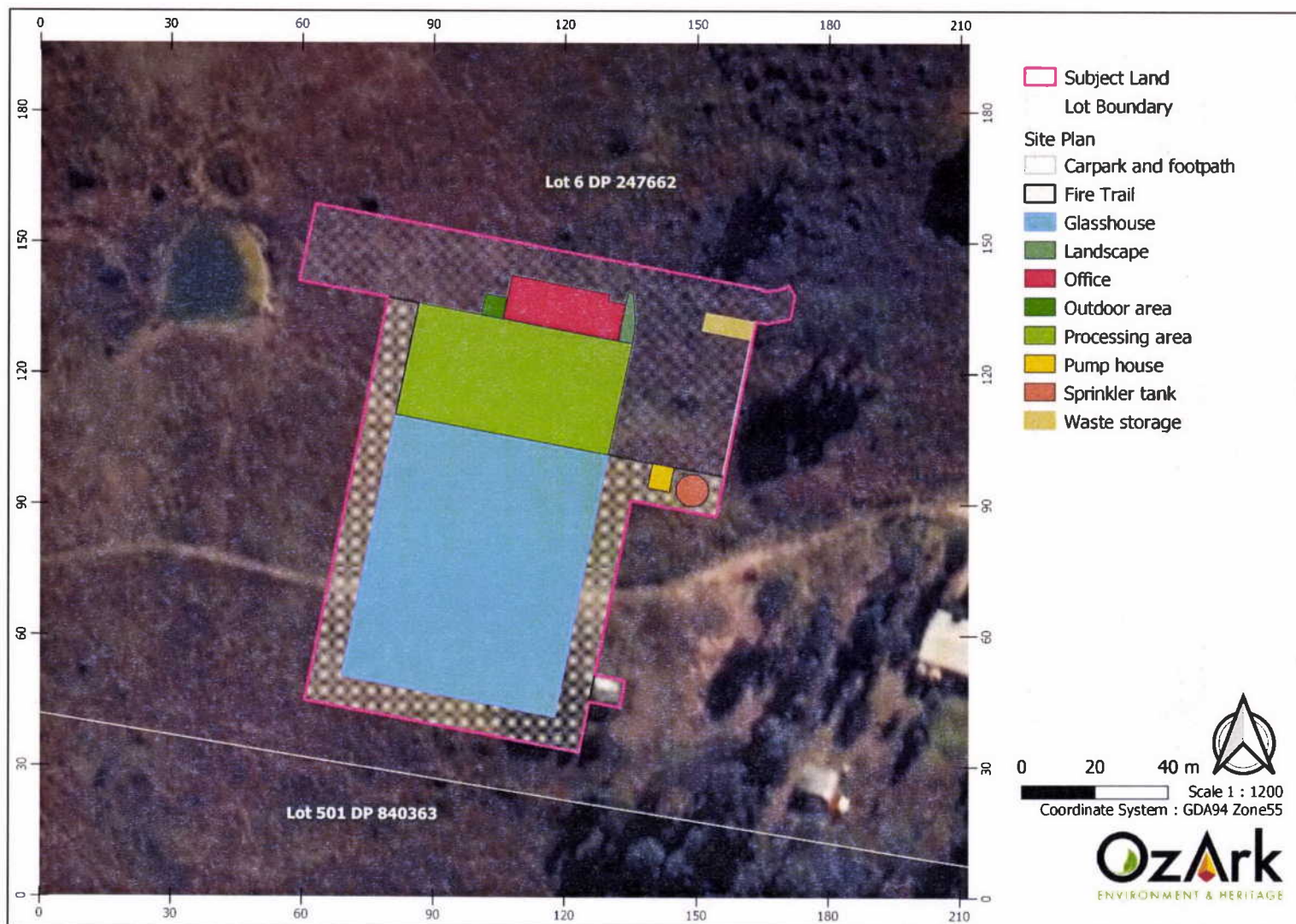


Figure 1-1. Plan of proposed works.



## 1.2 Location

The proposal is located 21 km northwest of Bathurst within the Bathurst local government area (LGA) and within Lot 6 DP 247662.

## 1.3 Relevant Terms

Three terms are used within the report to contextualise the proposal's location:

**Subject land** – The subject land includes the area directly affected by the proposal. The subject land is shown on the Proposal Plan and Site Map (**Figure 1-1** and **Figure 1-2**).

**1500 m buffer (Study area)** – To contextualise the landscape of the subject land, a 1500 m buffer has been applied to the subject land. Referred to as the study area throughout this report, it has been used to determine aspects of the site such as habitat connectivity and the most likely Plant Community Types (PCTs) present. The study area is shown in **Figure 1-3**.

**10 km search area** – The area within 10 km of the subject land. The 10 km search area has been used to carry out database searches to determine known records of threatened species or those predicted to occur within the study area and development site.

## 1.4 Purpose

The purpose of a Biodiversity Assessment Report (BAR) is to determine the biodiversity assets, including flora, fauna, threatened species, threatened communities and habitat values, of the subject land, and the potential impact of the proposal to those assets.





Figure 1-2. Site Map of the Proposal and Subject Land.



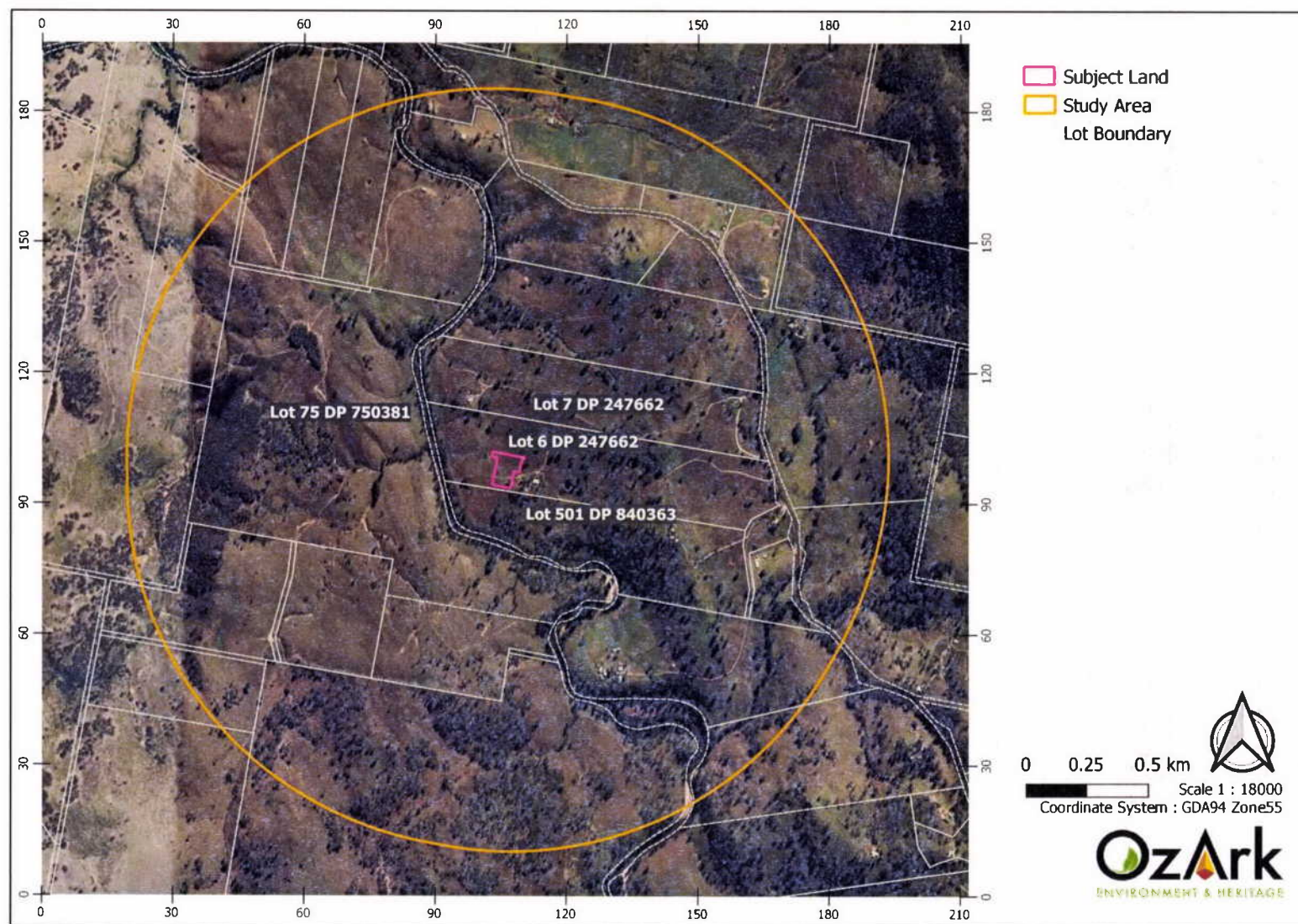


Figure 1-3. Location of the Subject Land within the Study Area.



## 2 Legislation

### 2.1 International Legislation

- Japan-Australia Migratory Bird Agreement (JAMBA)
- China-Australia Migratory Bird Agreement (CAMBA)
- Republic of Korea-Australia Migratory Bird Agreement (ROKAMBA)
- Ramsar Convention on Wetlands (Ramsar).

#### 2.1.1 Commonwealth Legislation

*Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act), including EPBC Act Environmental Offsets Policy and Significant Impact Guidelines Version 1.1, 2013.

#### 2.1.2 NSW Legislation

##### Environmental Planning and Assessment Act 1979 (EP&A Act)

The EP&A Act provides the legal framework for the assessment and approval of the proposed activities. Part 4 of the EP&A Act requires the proponent to examine and consider to the fullest extent possible all matters affecting or likely to affect the environment by reason of that activity.

##### Biodiversity Conservation Act 2016 (BC Act)

Under the BC Act, the proponent has an obligation to consider impacts to all threatened species, populations and ecological communities listed in NSW, as well as ensuring the project does not exacerbate a Key Threatening Process (KTP). BC Act sets out the Test of Significance (5-part-test) which is used to determine if the impacts to a listed entity are likely to be significant. The proponent is required to enter the NSW Biodiversity Offset Scheme (BOS) if the entry thresholds are exceeded.

##### Biodiversity Conservation Regulation 2017 (BCR)

The BCR defines the triggers and entry thresholds for the BOS. It also provides the rules for meeting offset obligations, triggers for authorities to refuse development applications and compliance provisions.

##### Biosecurity Act 2015

From 1 July 2017, the *Biosecurity Act 2015* and its subordinate legislation has commenced. The *Noxious Weeds Act 1993* and part of the *Local Land Services Act 2013* (Part 10 Pests), among other acts, have been repealed under the new *Biosecurity Act 2015*. Schedule 1 of



the *Biosecurity Act 2015* contains the special provisions relating to weeds and duty to control weeds which pose a biosecurity risk.

The DPI maintains a list of 'Priority Weeds' (previously referred to as noxious weeds) in NSW for the state and each region which imply an obligation on landholders to prevent, eliminate or minimise, so far as is reasonably practicable, any biosecurity risk they may pose. In addition, Local Government Areas may include their own priority weeds.

#### Fisheries Management Act 1994 (FM Act)

The objects of the FM Act are to:

- Conserve fish stocks and key fish habitats.
- Conserve threatened species, populations and ecological communities of fish and marine vegetation.
- Promote ecologically sustainable development, including the conservation of biological diversity.

Consistently with those objectives, the FM Act aims to:

- Promote viable commercial fishing and aquaculture industries.
- Promote quality recreational fishing opportunities.
- Appropriately share fisheries resources between the users of those resources.
- Provide social and economic benefits for the wider community of NSW.
- Recognise the spiritual, social and customary significance to Aboriginal persons of fisheries resources and to protect, and promote the continuation of, Aboriginal cultural fishing.

Section 201 of the FM Act states that a person other than a government authority must seek a permit from NSW Department of Primary Industries – Fisheries (DPI – Fisheries) for dredging or reclamation in a waterway. Dredging work means any work that involves excavating water land. Reclamation work means any work that involves depositing any material on water land.

#### Water Management Act 2000 (WM Act)

The WM Act aims to provide for the 'sustainable and integrated management of the water sources of the state for the benefit of both present and future generations.'

The WM Act provides for the granting of various licenses and approvals, including for the use of water and water supply work. Additionally, the WM Act identifies provisions relating to 'controlled activities' which includes (among other definitions):

The erection of a building or the carrying out of a work (within the meaning of the EPA Act).



The removal of material (whether or not extractive material) or vegetation from land, whether by way of excavation or otherwise.

It includes laying pipes and cables.

Approval (via a 'controlled activity' approval) is required from the Minister for Primary Industries under the WM Act if it is on 'waterfront land'. '*Waterfront land*' means the bed of any river, lake or estuary, and the land within 40 m of the riverbanks, lake shore or estuary mean high water mark.

### State Environmental Planning Policy (SEPP) - Koala Habitat Protection

The SEPP (Koala Habitat Protection) 2021 commenced on 17<sup>th</sup> March 2021 and aims to encourage the "proper conservation and management of areas of natural vegetation that provide habitat for Koalas to ensure a permanent free-living population over their present range and reverse the current trend of Koala population decline." The 2020 SEPP continues to apply to lands zoned RU1 within certain LGAs. The subject land occurs within Bathurst Regional Council LGA, which is listed under schedule 1 of the SEPP. Therefore, the proposal must be assessed under the SEPP. As the subject land is zoned RU1, SEPP 2020 applies to the present proposal.



### 3 Methodology

The ecological assessment was carried out in three stages:

1. Desktop searches and review of ecological databases and information to identify threatened species, populations or ecological communities listed in the BC Act, FM Act or the EPBC Act that have the potential to occur in the study area.
2. Field survey of the subject land to conduct BAM plots and collate species lists for the purposes of identifying the vegetation communities present and determining likely threatened species that may utilise the site. Where a threatened species or community or habitat feature is identified, the survey aims to document the nature and extent of the protected matter and describe its 'viable local population' or occurrence through targeted surveys.
3. Preparation of a written BAR that describes the impacts of the proposed activity on native vegetation and threatened species, populations, and ecological communities, and provides recommendations to avoid, minimise and mitigate these impacts.

#### 3.1 Personnel

OzArk Environment & Heritage Pty Ltd (OzArk) operates under NSW Scientific Research License 101908, and NSW Department of Primary Industries (DPI) Accreditation of a corporation as an animal research establishment Ref No. AW2017/012. The role and key details of personnel involved in the project are provided in **Table 3-1**.

**Table 3-1. Summary of OzArk personnel qualifications.**

Name	Position	Role	CV Details
<b>Dr Crystal Graham</b>	Senior Ecologist	Technical review	Postdoctoral fellowships at the Smithsonian Tropical Research Institute Doctor of Philosophy in Biology – University of Sydney Honours in Biology – University of Sydney Bachelor of Advanced Science – University of Sydney 4WD Training WH&S Induction Training for Construction Work BAM Training 2021
<b>Dr David Orchard</b>	Ecologist	Field survey (including BAM plots) Reporting	Doctor of Philosophy – Charles Sturt University Graduate Diploma in Science (Botany) – University of New England Bachelor of Arts (Honours) – Australian National University First aid training WH&S Induction Training for



Name	Position	Role	CV Details
			Construction Work

### 3.2 Desktop Review

Existing information sources were reviewed to contextualise the study area, identify entities for targeted surveys, predict possible constraints, refine field survey methodology and assist with assessing the impacts of the proposal. Information sources consulted included:

- Aerial photograph interpretation of the landscape
- Literature reviews to determine vegetation and species habitat(s) within the proposed study area
- EPBC Protected Matters Search Tool  
(<https://www.environment.gov.au/epbc/protected-matters-search-tool>)
- *State Vegetation Type Map: Central Tablelands Region* Version 1.0. VIS\_ID 4778 (DPIE 2019).
- NSW DPI threatened fish indicative distribution maps  
([www.dpi.nsw.gov.au/fishing/species-protection/threatened-species-distributions-in-nsw/freshwater-threatened-species-distribution-maps](http://www.dpi.nsw.gov.au/fishing/species-protection/threatened-species-distributions-in-nsw/freshwater-threatened-species-distribution-maps))
- NSW BioNet Wildlife Atlas Vegetation classification  
(<https://www.environment.nsw.gov.au/research/Visclassification.htm>)
- NSW BioNet Threatened Biodiversity Data Collection ([www.bionet.nsw.gov.au/](http://www.bionet.nsw.gov.au/))
- NSW BioNet Atlas ([www.bionet.nsw.gov.au/](http://www.bionet.nsw.gov.au/))
- Register of Declared Areas of Outstanding Biodiversity Value  
([www.environment.nsw.gov.au/topics/animals-and-plants/threatened-species/about-threatened-species/critical-habitats](http://www.environment.nsw.gov.au/topics/animals-and-plants/threatened-species/about-threatened-species/critical-habitats))
- PlantNET, NSW Flora Online (<https://plantnet.rbgsyd.nsw.gov.au>)
- *Biodiversity Values Map* (NSW Department of Planning, Industry and Environment, 2021a: <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BOSETMap>)
- Mapping of vulnerable lands – steep and highly erodible (NSW Department of Planning, Industry and Environment, 2011a)
- Acid Sulphate Soils Risk mapping (NSW Department of Planning, Industry and Environment, 1998)



- Directory of Important Wetlands of Australia (DIWA)  
(<https://www.environment.gov.au/water/wetlands/australian-wetlands-database/directory-important-wetlands>)
- NSW wetlands mapping (NSW Office of Environment and Heritage, 2011a)
- Important area mapping for Regent Honeyeater and draft important area mapping for Swift Parrot (available on request from NSW Office of Environment and Heritage).

All databases were searched in August and September 2021 prior to final submission. Results of the database searches are provided in **Appendix A**.

### 3.3 Native Vegetation Regulatory Assessment

In accordance with section 6.8 of the BC Act, the BAM is to exclude the assessment of impacts of any clearing of native vegetation and loss of habitat on Category 1 – (Exempt) Land (according to Part 5A of the *Local Land Services Act 2013*), other than any impacts prescribed by the regulations under section 6.3.

Category 1 – (Exempt) Land has not currently been mapped for use in NSW and as such native vegetation regulatory mapping has been determined based on an analysis of the following datasets:

- Historical and current land use component – NSW Land Use (NSW DPIE 2017)
- Detectable woody vegetation clearing component – NSW Woody Vegetation Extent (NSW Department of Planning, Industry and Environment, 2011b)
- Historical and current aerial imagery – Historical Imagery (NSW Spatial Services 2021)

As detailed in **Appendix L**, the area of the subject site consisting of modified pasture lacking woody vegetation is considered to constitute Category 1 – (Exempt) Land.

### 3.4 Field survey

#### 3.4.1 BAM Survey Methodology

Vegetation communities are identified in accordance with the online NSW Master Plant Community Type Classification (NSW Department of Planning, Industry and Environment, 2021b), which is the current state-wide vegetation classification system for Plant Community Types (PCTs). This classification system is used for vegetation mapping, development assessment and site planning purposes. It describes over 1,500 PCTs across the state, and groups the vegetation communities into vegetation Class and Formation / Sub-formation as per Keith (2004).



In this study, PCTs were identified on the basis of the following inputs:

- Regional Scale State Vegetation Map: *State Vegetation Type Map: Central Tablelands Region Version 1.0. VIS\_ID 4778* (DPIE 2019), which provides predictive mapping of PCTs in and around the subject land. This mapping is indicative only. It is not necessarily accurate at a fine scale for the purposes of the current study.
- Professional ecological knowledge about locally occurring vegetation types and landscape, soil and topographic patterns, including transitions from one community to another and potential for intergrades between plant communities.
- Field survey results to confirm the flora species present, vegetation structure, landscape position and soil type at the subject site and the extent and condition of native vegetation.
- The BioNet Vegetation Classification database, this being used to identify the candidate vegetation communities likely to be present based on the site conditions (flora species present, vegetation structure, bioregion, and landscape position and soil type) and the relevant published PCT descriptions.

If any of the PCTs were identified as having potential to be part of a Threatened Ecological Community (TEC), the relevant identification guidelines (NSW Scientific Committee listing criteria and Commonwealth identification guides) were consulted to determine the status of the vegetation community present. These guidelines provide the identification criteria used to determine whether the community is part of a TEC. The criteria include location, species present, overstory species, weed cover, number and type of native species including whether certain 'important' native species are present.

Plant identification followed nomenclature in the Royal Botanic Gardens PlantNET online database (Royal Botanic Gardens and Domain Trust, 2021).

While the application of the Biodiversity Assessment Method was optional in this case, as the proposal did not exceed the clearing threshold, Vegetation Integrity was nevertheless surveyed according to the BAM as follows:

- The survey plots consisted of nested 20 m × 50 m and 20 m × 20 m plots, except where the total area of a vegetation zone was insufficient for plots of this size. For this reason, in the vegetation community designation "PCT1330\_remnant," a total size of 15 m × 15 m was utilised.
- Species composition and structure (species and percent cover) data collected from within 20 m × 20 m (or 15 × 15 m) plot.
- Vegetation function data (size and number of trees, presence of hollow-bearing trees and woody debris) collected from within 20 m × 50 m (or 15 × 15 m) plot.



- Percent of litter cover data collected within five 1 m × 1 m squares positioned at 5 m, 15 m, 25 m, 35 m and 45 m points of the 50 m transect. In the case of the smaller 15 × 15 m plot, litter cover was recorded at 2.5 m, 5 m, 7.5 m, 10 m, and 12.5 m.
- The plots were positioned within the subject land and their GPS locations were recorded (GDA 94 / MGA Zone 55).

The plot locations were randomly selected whilst ensuring adequate survey effort within each vegetation zone (Table 3-2). As the two identified vegetation zones each occupied less than 1 ha, only one plot was required in each. An additional plot was conducted in the larger of the two vegetation zones ("1330\_degraded") to ensure local variation was adequately represented. Therefore, three BAM plots (BG01-BG03) were conducted during the site assessment.

**Table 3-2. Minimum number of plots and transects required per zone area (NSW Department of Planning, Industry and Environment, 2020).**

Vegetation zone area (ha)	Minimum number of plots/transects
<2	1 plot/transect
>2 – 5	2 plots/transects
>5 – 20	3 plots/transects
>20 – 50	4 plots/transects
>50 – 100	5 plots/transects
>100 – 250	6 plots/transects
>250 – 1000	7 plots/transects; more plots may be needed if the condition of the vegetation is variable across the zone
>1000	8 plots/transects; more plots may be needed if the condition of the vegetation is variable across the zone

### 3.4.2 Incidental Fauna Sightings

Incidental fauna sightings were recorded while undertaking the BAM plots and searching the subject land for hollow-bearing trees and other potential habitat features. Birds were recorded as either present on the site, or as incidental, if recorded only as flying over (and not using) the subject land. Potential habitat such as rock outcrops, loose bark and coarse woody debris was recorded and examined for signs of cryptic species. Tracks and other areas of suitable substrate were searched for animal tracks. Other evidence of fauna presence on the subject site, such as scats, feathers and sloughed skins were also recorded.

### 3.4.3 Survey Limitations

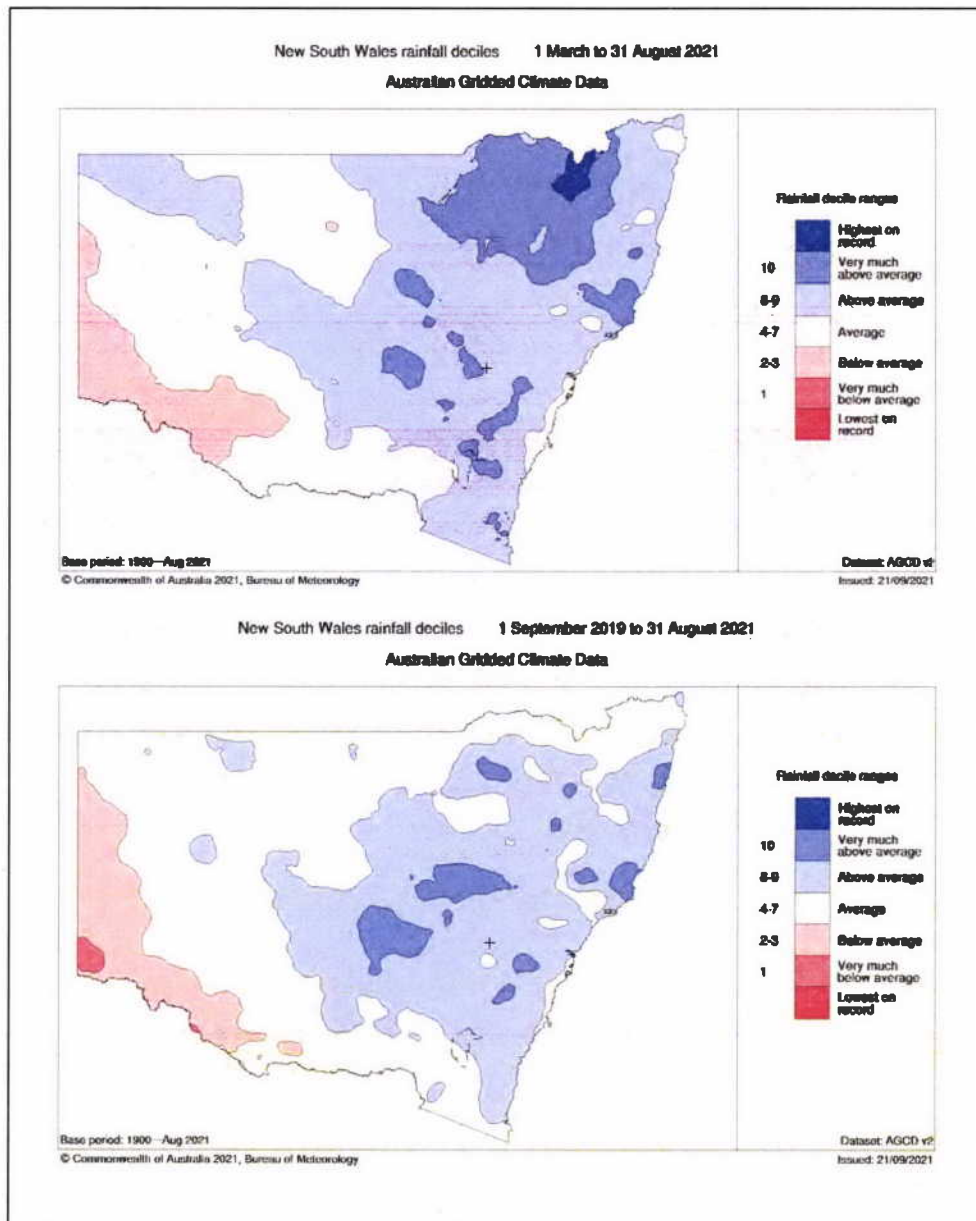
This study is based upon the species data available at the time of the field investigation, and the environmental conditions, season, and time constraints imposed by the project for the field survey. Specific limitations on this study include the following:



- The BAM vegetation field survey was completed over a single day in mid-August 2021. Certain flora species which are undetectable during their non-flowering period may have not been observed during the site visit.
- No targeted surveys were conducted to determine the presence or absence of threatened species.
- The subject land was actively grazed at the time of the survey. While grazing pressure was light, this complicated the identification of certain species and may have obscured certain species that would otherwise have been detected.
- Surveys were conducted during fine weather, though climatic conditions had been wetter than average. In August, when the BAM vegetation surveys were conducted, the Rock Forest (Bimbil) weather station (Bureau of Meteorology station 63214) recorded 71.2 mm of rainfall against an average of 56.3 mm. June and July were likewise wetter than average, recording 96.4 mm and 83.4 mm against respective averages of 42.1 mm and 50.3 mm. The study area recorded above average rainfall in the 24 months prior to the assessment (**Figure 3-1**).

The above-mentioned constraints were also considered when preparing the recommendations of avoiding, minimising and mitigating potential impacts.





**Figure 3-1. Average Rainfall in NSW over the 6 months (top) and 24 months (bottom) prior to the survey. The approximate location of the subject land is indicated by the black cross (+).**



## 4 Landscape Features

### 4.1 Bioregions and NSW (Mitchell) Landscapes

The study area is in the Hill End Subregion of the South Eastern Highlands Bioregion (**Figure 4-1**), according to the Interim Biogeographic Regionalisation of Australia (IBRA) (Thackway & Cresswell, 1995). The Hill End Subregion is characterised by the aspects of geology, landform, soil type, and vegetation described in **Table 4-1**. The subject land is entirely within this IBRA subregion (Morgan and Terrey, 1992).

**Table 4-1. Description of the Hill End Subregion (Morgan and Terrey, 1992).**

South Eastern Highlands Bioregion				
Subregion	Geology	Landform	Soils	Vegetation
<b>Hill End</b>	Silurian and Devonian slates, sandstones and volcanics with numerous quartz veins. Steeply dipping, tightly folded sequence. Tertiary basalt caps with river gravels parallel to the main streams.	Plateau with hilly to mountainous edges into deep entrenched channels of Turon and Macquarie River cutting across the structural trends.	Mottled red and yellow texture contrast soils, with red earth.	Yellow box, red box and Blakely's red gum on lower areas, red stringybark, broad-leaved peppermint and white gum on hills. Brown barrel in the east. Areas of white box. River box along main streams.

In 2002, landscapes within NSW were mapped to provide a framework for reporting reserve establishment and for determining over-cleared landscapes. These landscapes broadly describe areas of similar topography, geology, soils and vegetation and are termed NSW (Mitchell) Landscapes (Mitchell, 2002).

The subject land is located within the NSW Landscape Ophir – Hargreaves Plateau (**Figure 4-1**). The study area also includes part of the Macquarie – Turon Gorges landscape. These landscapes are described in **Table 4-2**.



Table 4-2. NSW (Mitchell) Landscapes of the study area (Mitchell, 2002).

Mitchell Landscape	Geology and soils	Landform	Vegetation
<b>Ophir – Hargreaves Plateau</b>	Subdued strike ridges and dissected plateau on tightly folded Silurian and Devonian dacite, tuffaceous greywacke, crystal tuff, lithic sandstone and slate. Abundant rock outcrop with thin sandy loam grading to thin stony red texture-contrast soil on slopes and yellow harsh texture-contrast soil with bleached A2 horizons in valleys.	General elevation 500 to 1000 m, local relief 100 to 150 m	Woodland to open forest of broad-leaved peppermint ( <i>Eucalyptus dives</i> ), red stringybark ( <i>Eucalyptus macrorhyncha</i> ), scribbly gum ( <i>Eucalyptus rossii</i> ), candlebark ( <i>Eucalyptus rubida</i> ), and yellow box ( <i>Eucalyptus melliodora</i> ) in lower positions. More northerly areas include red box ( <i>Eucalyptus polyanthemos</i> ), mountain grey gum ( <i>Eucalyptus cypellocarpa</i> ) and apple box ( <i>Eucalyptus bridgesiana</i> ).
<b>Macquarie – Turon Gorges</b>	Steep sided, deep gorge tract with incised meanders of the Macquarie and Turon Rivers below extensive tablelands of the Ophir-Hargreaves Plateau landscape. Incised across the structural grain of north-south trending tightly folded Devonian dacite, crystal tuff, quartzite and slates.  Shallow stony soils on semi-stable scree slopes and yellow texture-contrast soils on lower angle slopes.	General elevation 500 to 700 m, local relief to 150 m.	Open woodland of yellow box ( <i>Eucalyptus melliodora</i> ), red box ( <i>Eucalyptus polyanthemos</i> ) and Blakely's red gum ( <i>Eucalyptus blakelyi</i> ) on lower areas, red stringybark ( <i>Eucalyptus macrorhyncha</i> ), broad-leaved peppermint ( <i>Eucalyptus dives</i> ) and candlebark ( <i>Eucalyptus rubida</i> ), on higher slopes. River oak ( <i>Casuarina cunninghamiana</i> ) dominates the channel.



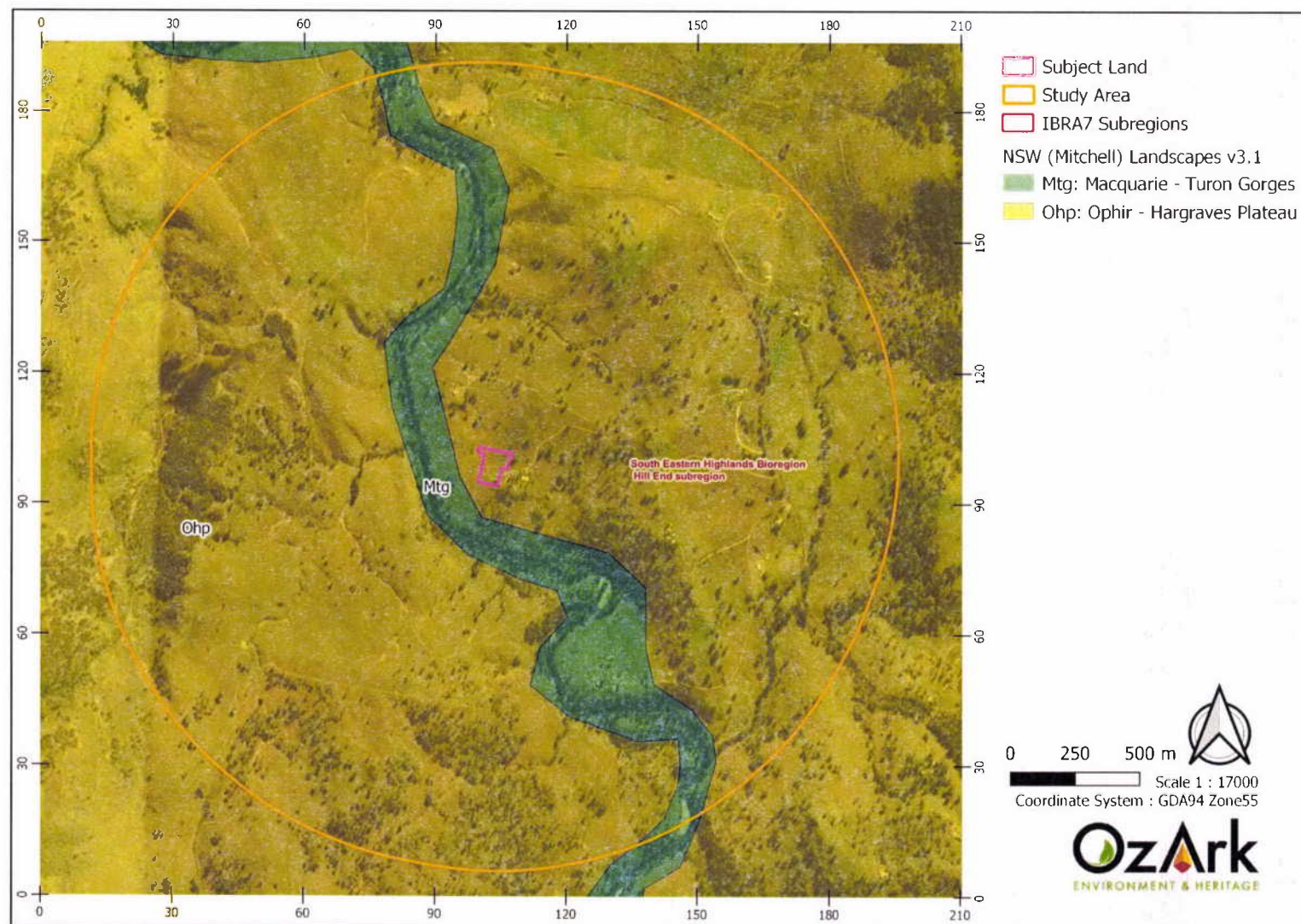


Figure 4-1. IBRA Subregion and NSW (Mitchell) Landscapes of the Study Area.



## 4.2 Watercourses and Key Fish Habitat

The Strahler stream order and associated riparian buffer distance of each watercourse that occurs within the study area was determined using Appendix 3 of the BAM Manual (NSW Department of Planning, Industry and Environment, 2020).

No watercourses are mapped within the subject land, though minor drainage lines associated with a farm dam were noted. In total, 44 watercourses occur within the study area (Figure 4-2), comprising:

- 32 Strahler 1<sup>st</sup> order watercourses
- Six Strahler 2<sup>nd</sup> order watercourses (including Vinces Creek)
- Three Strahler 3<sup>rd</sup> order watercourses (including Milkers Creek and Dick Creek)
- Two Strahler 4<sup>th</sup> order watercourses (Gulganaga Creek and Spring Creek)
- One Strahler 5<sup>th</sup> order watercourse (the Macquarie River)

The Macquarie River, Spring Creek, Gulganaga Creek, Milkers Creek, Dick Creek, and an unnamed Strahler 3<sup>rd</sup> order minor non-perennial stream have been mapped as Key Fish Habitat by the Department of Primary Industries – Fisheries. The Macquarie River, Spring Creek, and Milkers Creek have also been mapped as Protected Riparian Land by the Department of Planning, Industry and Environment. The Macquarie River, Milkers Creek, and Dick Creek have been identified as habitat for the endangered Southern Purple-spotted Gudgeon (*Mogurnda adspersa*).

No direct impacts to watercourses are expected to result from this proposal. As the Macquarie River is downslope of the proposal site (c. 180 m distant), there is a small risk of erosion or sedimentation impacting that watercourse during construction. This risk will be managed by implementing an erosion control plan. As no impacts to watercourses are anticipated, a permit will not be required under the FM Act and no assessment of significance has been conducted.

## 4.3 Wetlands

The directory of Important Wetlands of Australia indicates that there are no nationally important wetlands in or downstream of the study area. The closest nationally important wetlands are the Boyd Plateau Bogs, c. 100 km south-east of the subject site (Australian Government Department of Agriculture, Water and the Environment, 2008).

NSW Wetlands spatial data also indicates that the closest mapped wetlands are minor reservoir wetlands located more than 13 km to the south-west of the subject land (NSW Office of Environment and Heritage, 2011c). The nearby farm dam (c. 9 m from the subject site) provides some habitat for wetland-associated species.



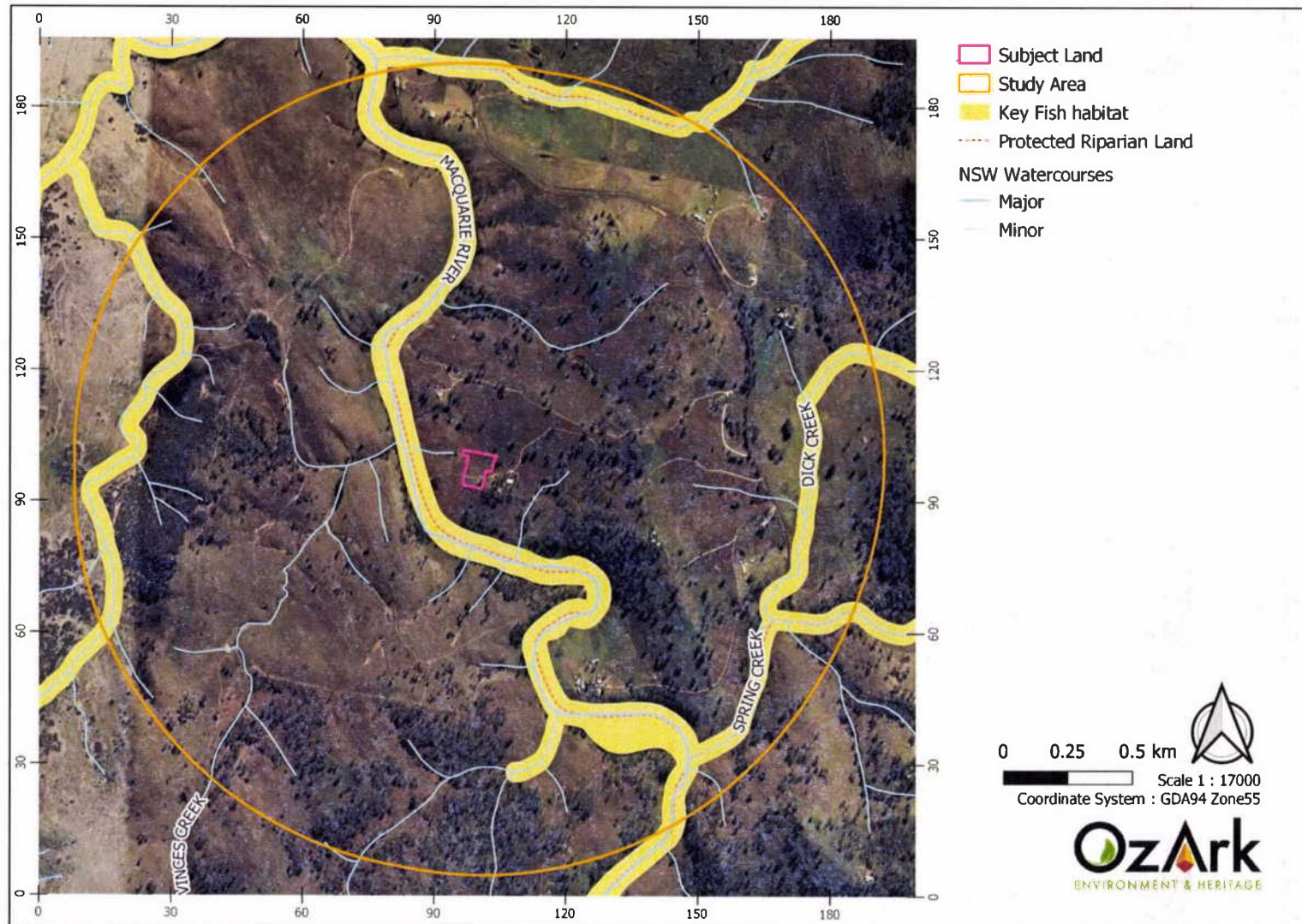


Figure 4-2. Watercourses, Key Fish Habitat, and Protected Riparian Land of the Study Area.



#### 4.4 Groundwater Dependant Ecosystems

Groundwater plays an important ecological role in directly and indirectly supporting terrestrial and aquatic ecosystems. Groundwater sustains terrestrial and aquatic ecosystems by supporting vegetation and providing discharge to channels, lacustrine and palustrine wetlands, and both the estuarine and marine environment.

The degree of groundwater dependence of ecosystems in terms of three broad categories:

- Non-dependent ecosystems that occur mostly in recharge areas and have no connection with groundwater
- Facultative GDEs that require groundwater in some locations but not in others, particularly where an alternative source of water can be accessed to maintain ecological function. Minor changes to the groundwater regime in facultative GDEs with proportional or opportunistic groundwater dependence may not have any adverse impacts but these ecosystems can be damaged or destroyed if a lack of access to groundwater is prolonged
- Obligate GDEs that are restricted to locations of groundwater discharge and ecosystems located within aquifers (e.g. subterranean cave and stygofauna communities (Kuginis *et al.* 2012). Aquifer ecosystems are inherently groundwater dependent (Queensland Government, 2017).

Groundwater dependant ecosystems have been classified into seven types under two broad categories as follows (Kuginis *et al.* 2012):

- Subsurface ecosystems – Underground ecosystems
  - Karst systems and caves (limestone geology)
  - Subsurface aquifer (phreatic) ecosystems
  - Baseflow streams (hyporheic or subsurface component)
- Surface ecosystems – Above ground ecosystems
  - Groundwater dependent wetlands
  - Baseflow surface streams (surface/free-water component)
  - Estuarine and near shore marine ecosystems
  - Groundwater dependent terrestrial ecosystems (phreatophytic)

No Groundwater Dependant Ecosystems (GDEs) have been identified on the subject land (**Figure 4-3**). Within the broader study area, high-potential terrestrial GDEs are mapped



along the riparian corridor associated with the Macquarie River. High- and moderate-potential aquatic GDEs are mapped along the Macquarie River, Gulanaga Creek, Vinces Creek, Spring Creek, Dick Creek, and Milkers Creek. Most grasslands and woodlands outside of the riparian corridor are mapped as low-potential GDEs.

The proposal does not include the extraction of groundwater; however, contamination from construction operations could impact on the quality of groundwater if adequate mitigation measures are not taken. See **Section 7.2** for recommended mitigation measures regarding GDEs.



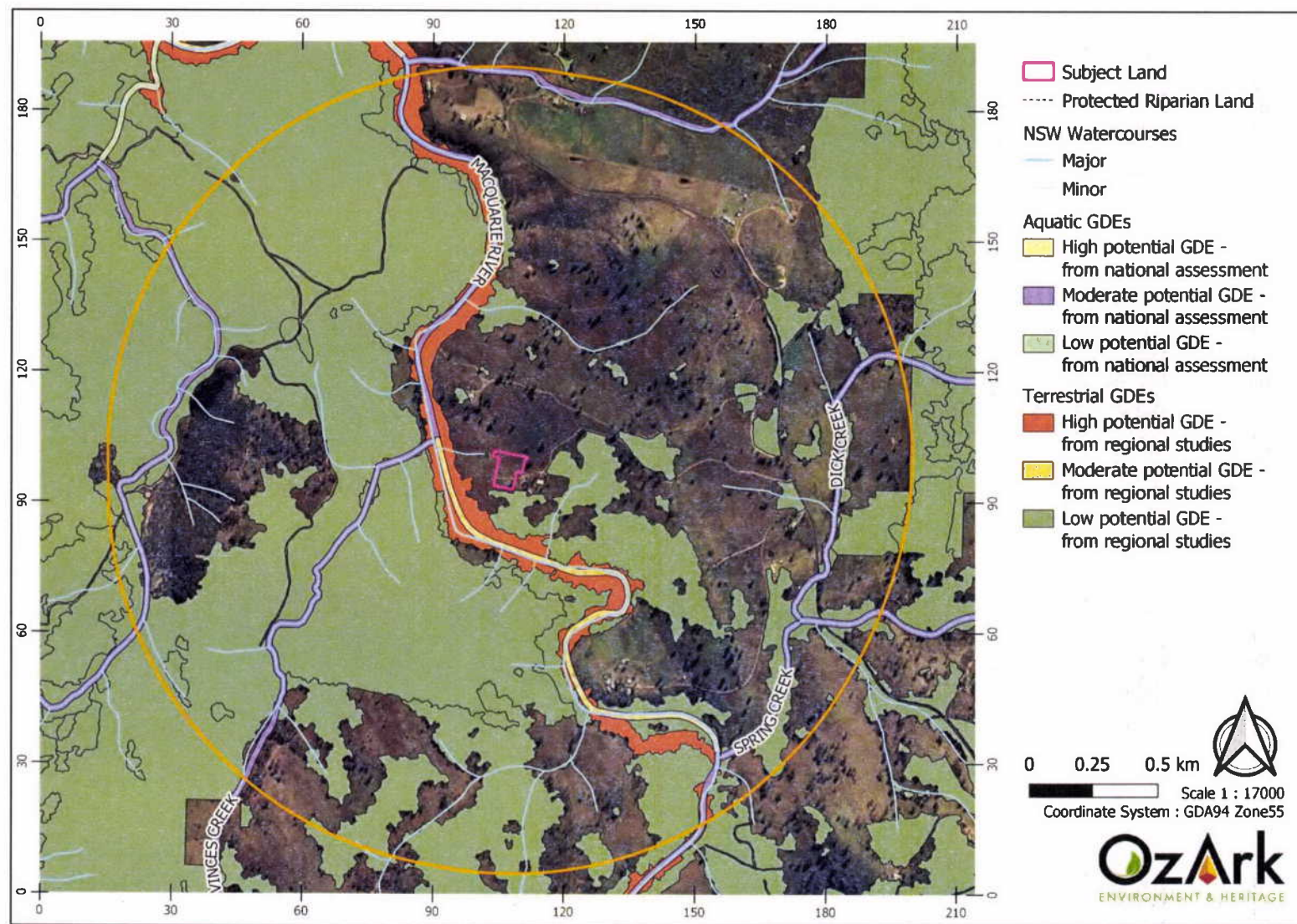


Figure 4-3. Groundwater Dependent Ecosystems and Watercourses within the Study Area.



#### **4.5 Karst, Caves, Crevices, Cliffs and Areas of Geological Significance**

There are no areas of geological significance on the subject land, though some surface rock was noted, occurring both as loose, scattered material and as larger embedded material. Areas of more prominent outcropping rock are noted within the study area. While no direct assessment of these outcrops has been possible, aerial mapping suggests that a substantial outcrop c. 440 m ESE of the subject land may possess some habitat value for threatened fauna dependent on crevices or similar features. This area occurs well outside the impact footprint of this proposal and no equivalent habitat areas were noted within the subject land.

There are no previously mapped karst or cave systems in the study area. The steep slope between the above-mentioned outcrop and the Macquarie River may provide habitat for species known to make use of cliffs. Again, however, no impacts to this area are anticipated as a result of this proposal.

#### **4.6 Areas of Outstanding Biodiversity Value**

There are no areas of outstanding biodiversity value listed under the BC Act in the subject land or study area.

#### **4.7 State Environmental Planning Policy (SEPP) - Koala Habitat Protection**

At present, both the SEPP 2020 and SEPP 2021 apply within NSW. This is an interim measure until all codes are developed under the 2021 SEPP. The SEPP 2020 applies to land zoned RU1, RU2 and RU3, excluding 9 LGAs within the Sydney basin. The SEPP 2021 applies to all other zoned land within the additional 74 LGAs. The SEPP 2020 only applies to developments under Part 4 of the EP&A Act, specifically excluding Part 5 activities.

The subject land occurs within Bathurst Regional Council LGA, which is listed under schedule 1 of the SEPP. Therefore, the proposal must be assessed under the SEPP. As the subject land is zoned RU1, SEPP 2020 applies to the present proposal.

It is a requirement of SEPP 2020 that the determining authority be satisfied that the subject land is or is not core or potential Koala habitat according to the definition of those terms contained in the policy. In the present case, as the subject land is largely without trees, and as neither



of the two tree species present on the subject land – Yellow Box (*Eucalyptus melliodora*) and Blakely's Red Gum (*E. blakelyi*) – are included in Appendix 2 of SEPP 2020, the subject land cannot be considered Koala habitat as that term is defined in the policy. The nearest records of this species are c. 4.1 km northeast and c. 4.6 km southeast of the subject land.

A separate assessment of potential impacts to the Koala has been completed according to the referral guidelines given under the EPBC Act (**Appendix K**). This assessment determined that referral to the Commonwealth Department of Agriculture, Water and the Environment is not required in the present case.

#### **4.8 Native Vegetation Cover**

The subject land sits within a highly disturbed landscape, much of the native vegetation having previously been removed for agricultural purposes. A large percentage of the land within the study area has been converted to pasture for grazing. In some cases, this process appears to have resulted in the total loss of native vegetation; however, in the assessed area and similar areas informally assessed during the field survey, a minor component of grazing-tolerant native species has been retained. Native woody vegetation persists in the landscape chiefly in the roadside and riparian corridors and as sparse remnants or scattered paddock trees. The absence of these features has greatly diminished the habitat value of the site. Only two mature trees occur on the subject land, and neither was observed to contain hollows suitable for nesting. Likewise, leaf litter and fallen timber was generally sparse, diminishing the value of the site for insects, reptiles, small mammals and similar species.

#### **4.9 Landscape Connectivity**

The majority of the subject land consists of derived grassland in extremely poor condition, which is contiguous with similar derived pastures in neighbouring paddocks. The wooded remnant, though isolated from the nearest woody vegetation by c. 30 m, remains loosely connected to nearby native remnants. When the roadside and riparian corridors are taken into consideration, the total area of connectivity likely exceeds 10,000 ha.



## 5 Native vegetation

### 5.1 Plant Community Types

Plant Community Types (PCTs) were identified by reviewing existing vegetation mapping of the study area (DPIE 2016; see **Appendix J**) and taking the BAM plot data collected in the field (**Appendix B**, **Appendix C**) and comparing it to dominant upper, mid and ground layer species given in the online Vegetation Information System (VIS) descriptions of PCTs (NSW Department of Planning, Industry and Environment, 2021b).

Forty-eight plant species were recorded during the field survey (**Appendix C**), of which half (24) were native and half introduced. The native component comprised two trees, no shrubs, eight forbs, 12 grasses and two liverworts. Characteristic canopy and groundcover species were used to assign the observed vegetation to a PCT. Boundaries between condition classes were determined by the presence or absence of a canopy and by the relative proportion of native and exotic species in the groundlayer. Much of the site, particularly within the derived pasture, was dominated by exotic species; however, the infrequent occurrence of native plants throughout allowed this area to be identified to its parent PCT.

One PCT was observed within the subject land (**Figure 5-1**):

- PCT 1330 – Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion.

This community occurred in two distinct condition classes:

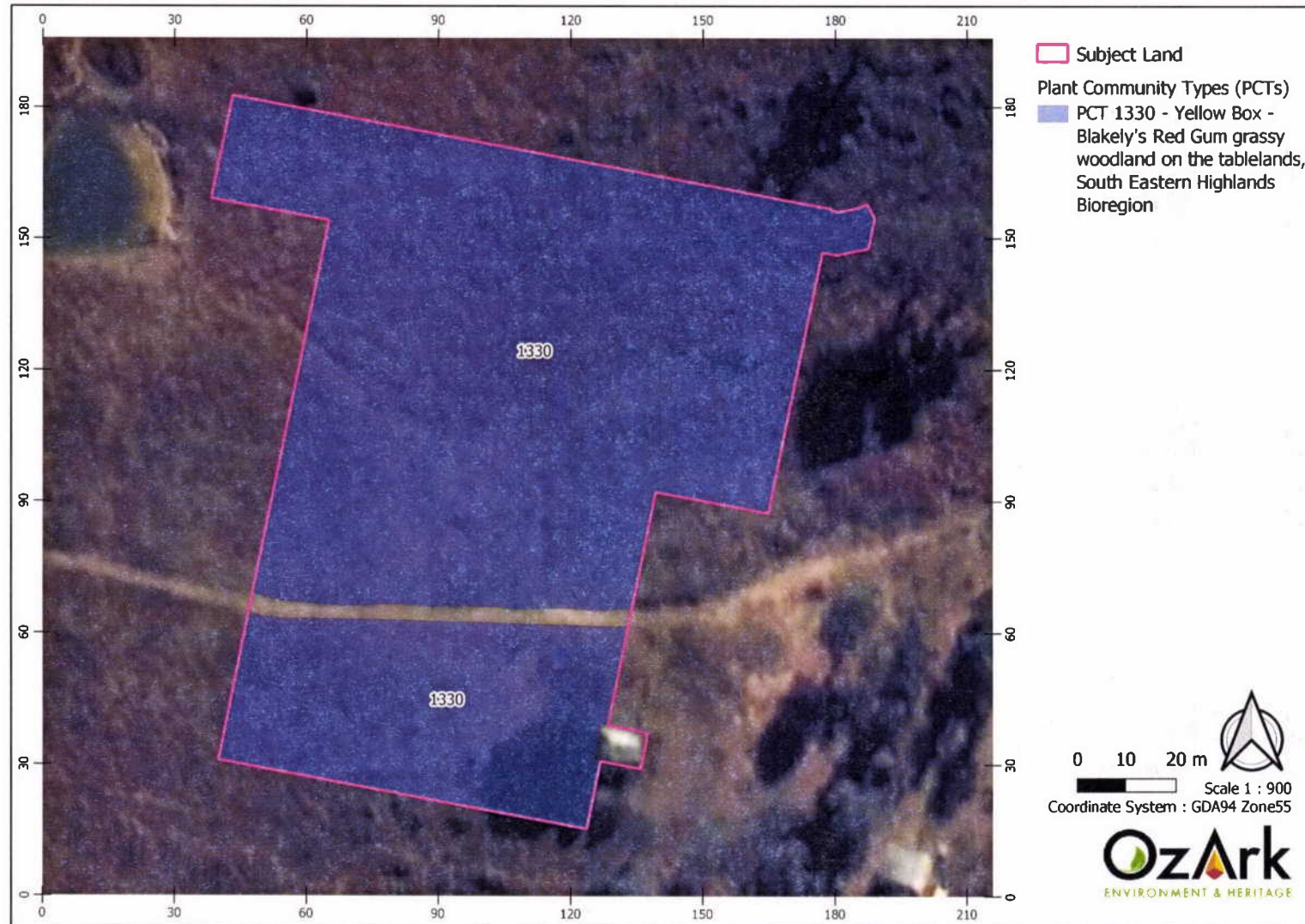
- Remnant: A small (0.06 ha) fragment of woodland with a surviving canopy of Yellow Box (*Eucalyptus melliodora*) and Blakely's Red Gum (*E. blakelyi*) and a sparse ground-layer dominated by native grasses, chiefly Weeping Grass (*Microlaena stipoides*).
- Degraded: The majority of the site (1.16 ha), consisting of a highly modified pasture dominated by the High-threat Exotic species Saffron Thistle (*Carthamus lanatus*) and Blackberry (*Rubus fruticosus* species aggregate), with approximately 6.85% native groundcover, according to the results of the BAM plots. This area is Category 1 – (Exempt) Land.

A total of 0.06 ha of regulated native vegetation occurs within the subject land. The extent of confirmed PCTs within the subject land is shown in



**Table 5-1.** Justification for PCT determination is shown in **Table 5-2.**





**Figure 5-1. Plant Community Types on the Subject Land.**



**Table 5-1. Extent of Native Vegetation on the Subject Land.**

PCT ID	Condition Class	PCT Name	Area on Subject Land (ha)
1330	Remnant	Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion	0.06
1330	Degraded	Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion	1.16
<b>Total</b>			<b>1.22</b>



**Table 5-2. Determination of Plant Community Types Present on the Subject Land.**

PCT ID	PCT Name	Vegetation Formation	Associated TEC	Justification of Identification	Current NSW Extent (ha)	% Cleared
1330	Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion	Southern Tableland Grassy Woodland	<p>BC Act, Critically Endangered: White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions.</p> <p>EPBC Act, Critically Endangered: White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland.</p>	<p><b>1330_remnant:</b></p> <p>Canopy of Yellow Box (<i>Eucalyptus melliodora</i>) and Blakely's Red Gum (<i>E. blakelyi</i>) present.</p> <p>Canopy in adjacent lands dominated by the same two species.</p> <p>Associated understorey species detected within the subject land include Red Grass (<i>Bothriochloa macra</i>), Wattle Mat-rush (<i>Lomandra filiformis</i>), and Weeping Grass (<i>Microlaena stipoides</i>).</p> <p>Occurs on undulating land at an altitude of approximately 630 m, within the altitude range of this community.</p> <p>This PCT is modelled as occurring throughout this landscape.</p> <p><b>1330_degraded:</b></p> <p>Adjacent lands are dominated by Yellow Box (<i>Eucalyptus melliodora</i>) and Blakely's Red Gum (<i>E. blakelyi</i>).</p> <p>Associated understorey species detected within the subject land include Red Grass (<i>Bothriochloa macra</i>), Wattle Mat-rush (<i>Lomandra filiformis</i>), and Weeping Grass (<i>Microlaena stipoides</i>).</p> <p>Occurs on undulating land at an altitude of approximately 630 m, within the altitude range of this community.</p> <p>This PCT is modelled as occurring throughout this landscape.</p>	Not assessed	94

**Description**

Woodland with a sparse shrub layer and dense grassy groundcover. Occurs on loamy soils on undulating terrain between 500 and 900 m on the tablelands.





Figure 5-2. Vegetation Zones on the Subject Land and Locations of BAM Plots (see Section 3.4.1. for discussion of BAM plot sizes).



## 5.2 Threatened Ecological Communities

NSW Department of Planning, Industry and Environment Threatened Ecological Community (TEC) listing determination descriptions were used to determine if the vegetation within the subject land should be classified as the below TECs.

PCT 1330 is associated with the following Critically Endangered Ecological Communities (CEECs):

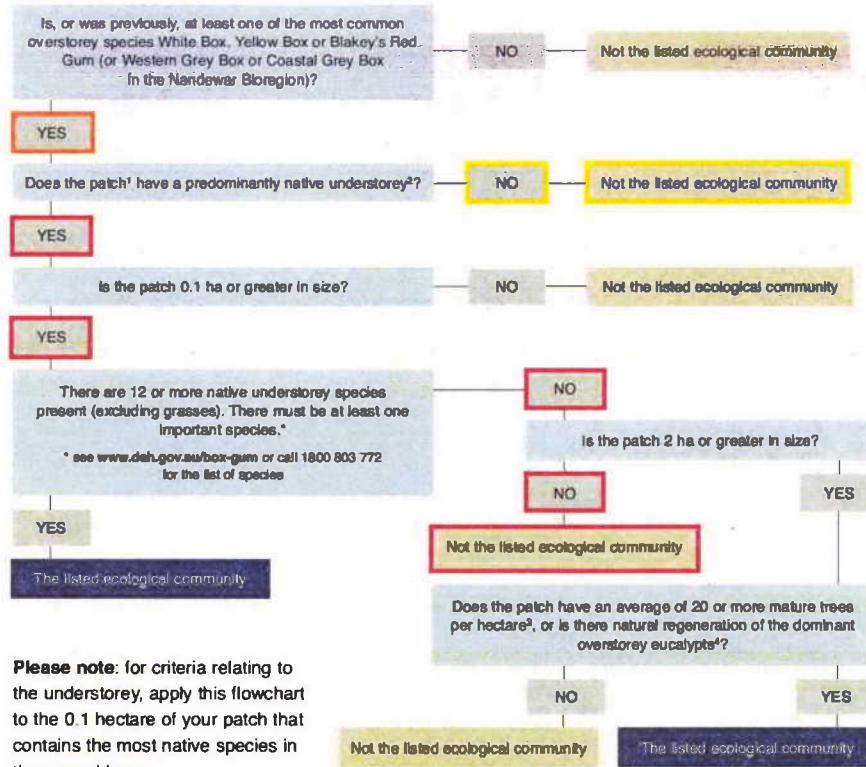
- BC Act: White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions.
- EPBC Act: White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland.

Field assessment determined that, while native species were irregularly present throughout, the derived pasture could not be considered an example of either CEEC owing to the extremely degraded condition of the vegetation, particularly the scarcity of associated native flora species and the dominance of High Threat Exotic species such as Blackberry (*Rubus fruticosus* species aggregate) and Saffron Thistle (*Carthamus lanatus*), which together accounted for more than half of the observed groundcover. This site is unlikely to respond effectively to assisted natural regeneration. The wooded remnant of PCT 1330 was identified as an example of the BC Act-listed CEEC but not its EPBC Act-listed equivalent. It was excluded from consideration for EPBC listing owing to the generally depauperate understorey, which lacked the required 12 native non-grass species, and by the small patch size, which is interrupted by non-native vegetation and distinctly different PCTs (**Figure 5-3**).



The flowchart below represents the lowest condition at which patches are included in the listed ecological community. This is not the ideal state of the ecological community. Large patches, those that link remnants in the landscape, those that occur in highly cleared areas, those that contain rare, declining or threatened species, and those that represent the entire range of the ecological community, are important for the long-term future of the ecological community.

#### Determining if your land has an area of the listed ecological community



- <sup>1</sup> Patch – a patch is a continuous area containing the ecological community (areas of other ecological communities such as woodlands dominated by other species are not included in a patch). In determining patch size it is important to know what is, and is not, included within any individual patch. The patch is the larger of:
  - an area that contains five or more trees in which no tree is greater than 75 m from another tree, or
  - the area over which the understorey is predominantly native.
 Patches must be assessed at a scale of 0.1 ha (1000m<sup>2</sup>) or greater.
- <sup>2</sup> A predominantly native ground layer is one where at least 50 per cent of the perennial vegetation cover in the ground layer is made up of native species. The best time of the year to determine this is late autumn when the annual species have died back and have not yet started to regrow. (At other times of the year, you can determine whether something is perennial or not is if it is difficult to pull out of the soil. Annual species pull out very easily.)
- <sup>3</sup> Mature trees are trees with a circumference of at least 125 cm at 130 cm above the ground.
- <sup>4</sup> Natural regeneration of the dominant overstorey eucalypts when there are mature trees plus regenerating trees of at least 15 cm circumference at 130 cm above the ground.

**Figure 5-3. Patch size, condition and composition requirements for the EPBC Act-listed CEEC White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland. Options outlined in red apply to PCT 1330 (remnant), in yellow to PCT 1330 (degraded), and in orange to both.**



### 5.3 Weeds

Five High Threat Exotic species were recorded on the subject land. Two of these species are also listed as priority weeds for the Central Tablelands under the *NSW Biosecurity Act 2015* and two more have associated biosecurity duties identified by DPI WeedWise. One species, Sorrel (*Rumex acetosella* syn. *Acetosella vulgaris*), is listed as a High Threat Exotic species by the BAM but is not listed in the DPI WeedWise database. The same "General Biosecurity Duty" that applies to Saffron Thistle (*Carthamus lanatus*) and Blue Heliotrope (*Heliotropium amplexicaule*) is assumed to apply to this species as well.

These weeds and their associated biosecurity duties under the *NSW Biosecurity Act 2015* are listed in **Table 5-3**. Actions to avoid, minimise and mitigate the impact from weeds have been suggested in **Section 7.2** of the BDAR.

**Table 5-3. High threat exotic weeds recorded on the subject land.**

Weed	BAM High Threat Weed	NSW Biosecurity Act Priority Weed	Biosecurity Duty
<b>Blackberry</b> <i>Rubus fruticosus</i> species aggregate	Yes	Yes	<p><b>Prohibition on certain dealings</b></p> <p>Must not be imported into the state, sold, bartered, exchanged or offered for sale.</p> <p><i>All species in the Rubus fruticosus species aggregate have this requirement, except for the varieties Black Satin, Chehalem, Chester Thornless, Dirksen Thornless, Loch Ness, Murrindindi, Silvan, Smooth Stem, and Thornfree</i></p> <p><b>Regional Recommended Measure</b></p> <p>Land managers should mitigate the risk of new weeds being introduced to their land. Land managers should mitigate spread from their land. The plant should not be bought, sold, grown, carried or released into the environment.</p> <p><i>Protect conservation areas, natural environments and primary production lands that are free of blackberry</i></p>
<b>Saffron Thistle</b> <i>Carthamus lanatus</i>	Yes		<p><b>General Biosecurity Duty</b></p> <p>All plants are regulated with a general biosecurity duty to prevent, eliminate or minimise any biosecurity risk they may pose. Any person who deals with any plant, who knows (or ought to know) of any biosecurity risk, has a duty to ensure the risk is prevented, eliminated or minimised, so far as is reasonably practicable.</p>
<b>Blue Heliotrope</b> <i>Heliotropium amplexicaule</i>	Yes		<p><b>General Biosecurity Duty</b></p> <p>All plants are regulated with a general biosecurity duty to prevent, eliminate or minimise any biosecurity risk they may pose. Any person who deals with any plant, who knows (or ought to know) of any biosecurity risk, has a duty to ensure the risk is</p>



Weed	BAM High Threat Weed	NSW Biosecurity Act Priority Weed	Biosecurity Duty
<b>St John's Wort</b> <i>Hypericum perforatum</i>	Yes	Yes	<p>prevented, eliminated or minimised, so far as is reasonably practicable.</p> <p><b>Regional Recommended Measure</b></p> <p>Land managers should mitigate the risk of new weeds being introduced to their land. Land managers should mitigate spread from their land. The plant should not be bought, sold, grown, carried or released into the environment.</p> <p><i>Protect grazing land that is free of St John's wort.</i></p>
<b>Sorrel</b> <i>Rumex acetosella</i>	Yes		<p><b>General Biosecurity Duty</b></p> <p>All plants are regulated with a general biosecurity duty to prevent, eliminate or minimise any biosecurity risk they may pose. Any person who deals with any plant, who knows (or ought to know) of any biosecurity risk, has a duty to ensure the risk is prevented, eliminated or minimised, so far as is reasonably practicable.</p>



## 6 Threatened species

### 6.1.1 Terrestrial threatened species

Review of the Threatened Species Profiles database found that 97 flora and fauna species listed as threatened under the BC Act or protected under migratory bird legislation are known or predicted to occur in the South Eastern Highlands Bioregion (Hill End, Bathurst, and Orange Subregions; **Appendix D**). Based on proximity of past records, habitat requirements, and the results of the field survey (**Appendix B**), 44 species or populations were assessed as having a moderate or greater likelihood of occurring within the subject site. These are listed in **Table 6-1**.

**Table 6-1. Threatened species with potential to be impacted by the proposal.**

Species name	Common Name	NSW Status <sup>1</sup>	Comm. Status <sup>2</sup>	Record within 10 km
<i>^Calyptorhynchus lathami</i>	Glossy Black-Cockatoo	V,P,2		No
<i>Anthochaera phrygia</i>	Regent Honeyeater	E4A,P	CE	Yes
<i>Artamus cyanopterus cyanopterus</i>	Dusky Woodswallow	V,P		No
<i>Burhinus grallanus</i>	Bush Stone-curlew	E1,P		No
<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	V,P,3		No
<i>Chthonicola sagittata</i>	Speckled Warbler	V,P		Yes
<i>Climacteris picumnus victorae</i>	Brown Treecreeper (eastern subspecies)	V,P		No
<i>Daphoenositta chrysoptera</i>	Varied Sittella	V,P		No
<i>Falco subniger</i>	Black Falcon	V,P		No
<i>Glossopsitta pusilla</i>	Little Lorikeet	V,P		No
<i>Grantiella picta</i>	Painted Honeyeater	V,P	V	No
<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	V,P		No
<i>Hieraaetus morphnoides</i>	Little Eagle	V,P		No
<i>Hirundapus caudacutus</i>	White-throated Needletail	P	V,C,J,K	No
<i>Lathamus discolor</i>	Swift Parrot	E1,P,3	CE	Yes
<i>Melanodryas cucullata cucullata</i>	Hooded Robin (south-eastern form)	V,P		No
<i>Melithreptus gularis gularis</i>	Black-chinned Honeyeater (eastern subspecies)	V,P		No
<i>Neophema pulchella</i>	Turquoise Parrot	V,P,3		No
<i>Ninox connivens</i>	Barking Owl	V,P,3		No
<i>Ninox strenua</i>	Powerful Owl	V,P,3		No
<i>Petroica boodang</i>	Scarlet Robin	V,P		No
<i>Petroica phoenicea</i>	Flame Robin	V,P		No
<i>Polytelis swainsonii</i>	Superb Parrot	V,P,3	V	No
<i>Stagonopleura guttata</i>	Diamond Firetail	V,P		No



Species name	Common Name	NSW Status <sup>1</sup>	Comm. Status <sup>2</sup>	Record within 10 km
<i>Tyto novaehollandiae</i>	Masked Owl	V,P,3		Yes
<i>Lepidium hyssopifolium</i>	Aromatic Peppergrass	E1	E	No
<i>Leucochrysum albicans</i> var. <i>tricolor</i>	Hoary Sunray		E	No
<i>Swainsona recta</i>	Small Purple-pea	E1	E	No
<i>Swainsona sericea</i>	Silky Swainson-pea	V		No
<i>Cercartetus nanus</i>	Eastern Pygmy-possum	V,P		No
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat	V,P	V	No
<i>Dasyurus maculatus</i>	Spotted-tailed Quoll	V,P	E	Yes
<i>Falsistrellus tasmaniensis</i>	Eastern False Pipistrelle	V,P		No
<i>Miniopterus orianae oceanensis</i>	Large Bent-winged Bat	V,P		No
<i>Myotis macropus</i>	Southern Myotis	V,P		No
<i>Petauroides volans</i>	Greater Glider	P	V	No
<i>Petaurus australis</i>	Yellow-bellied Glider	V,P		No
<i>Petaurus norfolcensis</i>	Squirrel Glider	V,P		No
<i>Petrogale penicillata</i>	Brush-tailed Rock-wallaby	E1,P	V	No
<i>Phascolarctos cinereus</i>	Koala	V,P	V	Yes
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V,P	V	No
<i>Saccolaimus flaviventris</i>	Yellow-bellied Sheath-tail-bat	V,P		No
<i>Aprasia parapulchella</i>	Pink-tailed Legless Lizard	V,P	V	No
<i>Delma impar</i>	Striped Legless Lizard	V,P	V	No

<sup>1</sup>Listed under the BC Act, where E4A = Critically Endangered, E1 = Endangered, E4 = Presumed Extinct, P = Protected and V = Vulnerable, 2 = category 2 sensitive species, 3 = category 3 sensitive species.

<sup>2</sup>Listed under the EPBC Act or a migratory birds act, where CE = Critically Endangered, E = Endangered, V = Vulnerable, C = CAMBA, J = JAMBA, R = ROKAMBA

### 6.1.2 Threatened aquatic ecological communities

Threatened aquatic ecological communities are determined by the NSW Fisheries Scientific Committee and listed under the FM Act as aquatic systems that have undergone a very large reduction in ecological function, geographic distribution, or genetic diversity, and continue to be affected by a threatening process (NSW Department of Primary Industries, 2016). The subject site does not form part of a threatened aquatic ecological community and no impacts to a community of this kind are anticipated.



## 7 Impact Summary

### 7.1 Offset Scheme Threshold

The proposal will not impact on land mapped on the Biodiversity Values Map. The proposal has been assessed against the relevant vegetation clearing thresholds under the BOS. The thresholds applicable to different lot size categories for the land zoning are provided in **Error! Reference source not found.** (NSW Office of Environment & Heritage, 2017). The subject land is currently zoned RU1 (primary production), with a minimum lot size of 40 ha. Clearing of 1 ha or more of Category 2 - (Regulated) Land will require entry into the BOS. The proposal will only clear up to 0.06 ha of regulated native vegetation; thus, entry into the BOS is not required. The remaining land is assumed to be Category 1 – Exempt Land (**Appendix L**).

### 7.2 Avoidance, Minimisation and Mitigation

The following avoidance measures have been integrated into the design and/or are suggested for the implementation of the proposal:

- The proposed impact footprint has been located so that it is contained almost entirely within a degraded pasture. Where the footprint extends into remnant woody vegetation, its impacts are confined to a small area adjacent to human habitation and already subject to a high degree of disturbance.
- In addition, the following minimisation methods have been or will be implemented:
  - Before starting work, erect a physical high visibility temporary boundary (e.g., with flagging tape) around the retained vegetation to prevent any accidental and unnecessary clearing
  - Vegetation will be removed in a manner that avoids damage to surrounding vegetation, ensuring disturbance to vegetation and soil is kept to a minimum.

**Table 7-1** outlines further recommended environmental safeguards to reduce impacts on vegetation, soil, and biodiversity.



Table 7-1. Recommended environmental safeguards.

Impact	Environmental Safeguard	Timing
<b>Clearing and prevention of over-clearing</b>	All personnel are to be inducted to be aware that disturbance of any stand of native vegetation outside the development footprint, or otherwise unauthorised disturbance, could have legislative consequences if done without approval. Evidence of all personnel receiving an induction would be kept on file (signed induction sheets).	Pre-construction
	Before start of work, clearly identify the extent of permitted vegetation clearing and areas to be retained as native vegetation.	Pre-construction
	A pre-clearing process and unexpected threatened species finds procedure is recommended. Any fauna found during the disturbance are to be allowed (or assisted) to relocate into adjoining habitat.	Pre-construction
	Vegetation will be removed in such a way to avoid unnecessary damage to surrounding vegetation.	During construction
	Where possible, vegetation to be removed will be mulched on-site and re-used to stabilise disturbed areas.	
	Natural regeneration of any bare soil or cleared areas will be encouraged through retention of native vegetation material on site and brush-matting.	
<b>Bushfire protection</b>	Ensure vegetation management for bushfire protection is consistent, as far as practicable, with biodiversity protection and remove only the necessary vegetation to achieve fuel reduction.	Ongoing
<b>Soil management</b>	An erosion and sediment control plan will be developed to comply with Council requirements and/or Landcom's Managing Urban Stormwater, Soils & Construction Guidelines 'The Blue Book' (Landcom 2004)	Pre-construction
<b>Damage to native vegetation outside of impact zone</b>	Stockpile and compound sites are to be located within the assessed subject site and preferentially according to the following criteria:	Construction
	At least 40 m away from the nearest waterway.	
	In areas of low ecological conservation significance (i.e. previously disturbed land).	
	On relatively level ground.	
<b>Introduction and spread of significant weeds and pathogens</b>	Stockpiling of materials and equipment, and parking of vehicles, is to be avoided within the dripline (extent of foliage cover) of any tree.	
	Inspection and control of environmental weeds in accordance with a site vegetation management plan and subject to requirements of Council.	Construction
	Construction machinery (bulldozers, excavators, trucks, loaders and graders) would be clean, and soil- and weed-free, before entry to the work site.	
	Weed-free fill only to be used for on-site earthwork.	
<b>Disturbance to fallen timber, dead wood and bush rock</b>	Any herbicide use is to be in accordance with the requirements on the label. Any person carrying out herbicide application would be appropriately trained and competent in its use.	
	All bush rock encountered on site is to be relocated to the edge of the disturbance area to enhance habitat and regeneration.	Pre-construction
	If threatened bats are detected, stop work immediately and either leave the area undisturbed until the individuals have dispersed or engage suitably qualified personnel to attempt their removal.	Construction
<b>Threatened species</b>	No new tracks to be cleared without further assessment, as threatened flora species may occur in any unassessed impact area.	Construction
	If the impact footprint changes from the current extent assessed in the study, re-assessment of the potential impact of the activity would be needed to ensure impacts to threatened species are not inadvertently caused, given that suitable habitat for threatened species occurs elsewhere on the property.	
	Construction work to occur only during daylight hours to avoid indirect	



Impact	Environmental Safeguard	Timing
	impacts on threatened fauna such as vehicle strikes. Enforce speed limits of 20 km/h (or lower if required by Council) on access roads to reduce the risk of vehicle strikes.	

### 7.3 Impacts to Wetlands, Watercourses and Aquatic habitat

There are no wetlands within the subject land. A minor reservoir wetland (farm dam) is located downslope of the proposal, as is a major waterway, the Macquarie River. Any potential for indirect impact to these entities from erosion and sedimentation related to construction activities will be avoided and minimised by developing and implementing an erosion and sediment control plan.

### 7.4 Impacts to Native Vegetation and Terrestrial Habitat

There is one PCT within the subject land occurring in two condition classes ("remnant" and "degraded"). Only the remnant area is directly considered by this impact assessment. Therefore, up to 0.06 ha of regulated native vegetation will be cleared by this proposal.

No hollow-bearing trees or other significant habitat features of note will be impacted by the proposal. Some minor surface rock and one standing treestump are likely to be removed.

### 7.5 Prescribed Impacts

The *Biodiversity Regulation 2017* lists nine impacts as prescribed impacts that must be avoided, minimised and mitigated. These prescribed impacts and their relevance to the Proposal are described in **Table 7-2**.

**Table 7-2. Prescribed impacts of the proposal.**

Prescribed Impacts	Site Assessment	Mitigation Measure
<b>Impacts on the habitat of threatened species or ecological communities associated with karst, caves, crevices, cliffs and other features of geological significance.</b>	No karsts, caves, crevices, cliffs or other features of geological significance present on the subject land or within the study area.	None required.
<b>Impacts of development on the habitat of threatened species or ecological communities associated with rocks.</b>	No rock outcrops occur within the subject land. Some minor surface rock is present, but chiefly as loose material.	None required.
<b>Impacts of development on the habitat of threatened species or ecological communities associated with human made structures.</b>	A small shed falls within the subject site and may provide habitat for fauna species, including the threatened Large Bent-winged Bat ( <i>Miniopterus orianae oceanensis</i> ).	Pre-clearance fauna check by suitably qualified ecologist.  Ecologist on-site during demolition, if evidence of fauna



Prescribed Impacts	Site Assessment	Mitigation Measure
		detected.
		Installation of one habitat box suitable for bats in nearby habitat.
<b>Impacts of development on the habitat of threatened species or ecological communities associated with non-native vegetation.</b>	The whole of the proposal footprint, with the exception of the shed described above, is regarded here as native vegetation.	None required.
<b>Impacts of development on the connectivity of different areas of habitat of threatened species that facilitates the movement of those species across their range.</b>	<p>Impacts to vegetation within the "degraded" vegetation zone are unlikely to reduce connectivity for threatened species as large areas of vegetation in a similar condition will remain outside the development footprint.</p> <p>Impacts to vegetation within the "remnant" vegetation zone will also have little or no impact on connectivity as that zone is already isolated and does not provide clear connectivity between nearby remnants. Vegetation in neighbouring paddocks and in the road corridor will remain, and provides much clearer connectivity.</p>	<p>None required.</p> <p>General mitigation strategies are outlined in <b>Table 7-1</b>.</p>
<b>Impacts of the development on movement of threatened species that maintains their life cycle.</b>	The subject land potentially contains foraging habitat for a number of threatened bird and mammal species, though these species were not detected during the survey and much of this habitat is in a highly degraded condition. The proposal will not substantially alter landscape connectivity.	<b>Table 7-1</b>
<b>Impacts of development on water quality, water bodies and hydrological processes that sustain threatened species and threatened ecological communities.</b>	The proposal is not expected to impact any watercourses. There are no watercourses within the subject land, with the exception of minor unmapped drainage lines. No wetlands or KFH occur within the subject site. There is a minor risk of erosion or sedimentation impacting downslope watercourses during construction activities.	<b>Table 7-1</b>
<b>Impacts of wind turbine strikes on protected animals.</b>	None associated with the proposal.	None required.
<b>Impact of vehicle strikes on threatened species of animals or on animals that are part of a TEC.</b>	The possibility of vehicle strikes on animals exists both during the construction and operational phases of the proposal. The main areas of operational risk would be on the existing access road, which is not part of the present proposal. Enforcing a speed limit of 20 km/h (or lower if required by Council) will help to minimise this threat.	<b>Table 7-1</b>

## 7.6 Indirect Impacts

The main impacts of the proposal are expected to be contained within the subject land, provided there is adequate demarcation between the construction and non-construction areas. Disturbance from machinery and construction activities will occur, such as noise and dust. However, these indirect impacts will be minimised by following the environmental



safeguards proposed in **Table 7-1**. Operational impacts are likely to be minor but may include additional noise and dust.

To mitigate biosecurity risks associated with ongoing activities, the operations should comply with the *Protection of the Environment Operations Act 1997*, *Environmental Planning & Assessment Act*, *Environmental Planning & Regulation 2000*, *Bathurst Regional Local Environmental Plan 2014* and *Contaminated Land Management Act 1997* to ensure these impacts are controlled appropriately.

## 7.7 Key Threatening Processes

Key Threatening Processes (KTPs) at the NSW State and Federal level will be exacerbated by the proposal. Threats exacerbated by poor biosecurity controls will be potentially exacerbated by the proposal. However, implementing the measures for preventing the introduction and spread of weeds described in **Table 7-1** will reduce this potential. A summary of the proposed impacts relating to the relevant KTPs is given in **Table 7-3**. **Appendix H** lists all KTP and includes explanations as to why many have been assessed as not being present in the study area or exacerbated by the proposal.

**Table 7-3. Key Threatening Processes Potentially Exacerbated by the Proposal.**

Name	NSW status	Comm status	KTP Present in Study Area?	Exacerbated by the proposal?
<b>Anthropogenic Climate Change</b>	KTP	KTP	YES	YES Some unavoidable emissions that contribute to climate change will occur from construction machinery. The loss of vegetation from the subject land may result in a net loss of carbon sequestration capacity, though this may be offset by the growth of plants during operation.
<b>Bushrock removal</b>	KTP		YES	YES Minor occurrences of bushrock were noted on the subject land, occurring as both loose surface material and embedded material. The removal of this rock will not result in a significant loss of habitat.
<b>Clearing of native vegetation</b>	KTP	KTP	YES	YES Up to 1.22 ha of native vegetation will be cleared. Of this, 1.16 ha exists in a highly degraded condition.
<b>Importation of Red Fire Ants <i>Solenopsis invicta</i></b>	KTP	KTP	POTENTIAL	POTENTIAL Machinery used on site can



Name	NSW status	Comm status	KTP Present in Study Area?	Exacerbated by the proposal?
				potentially act as a transport for biosecurity risks.
<b>Infection of frogs by amphibian chytrid causing the disease chytridiomycosis</b>	KTP	KTP	POTENTIAL	POTENTIAL Frog habitat occurs immediately outside the subject land and may be exposed to contamination due to run-off or similar.
<b>Infection of native plants by <i>Phytophthora cinnamomi</i></b>	KTP	KTP	POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks.
<b>Introduction of the Large Earth Bumblebee <i>Bombus terrestris</i></b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks
<b>Invasion and establishment of exotic vines and scramblers</b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks.
<b>Invasion and establishment of the Cane Toad (<i>Bufo marinus</i>)</b>	KTP	KTP	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks.	POTENTIAL
<b>Invasion and establishment of Scotch Broom (<i>Cytisus scoparius</i>)</b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks
<b>Invasion of native plant communities by African Olive <i>Olea europaea</i> subsp. <i>cuspidata</i></b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks
<b>Invasion of native plant communities by <i>Chrysanthemoides monilifera</i></b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks
<b>Invasion of native plant communities by exotic perennial grasses</b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks
<b>Invasion of the Yellow Crazy Ant, <i>Anoplolepis gracilipes</i> into NSW</b>	KTP		POTENTIAL	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity



Name	NSW status	Comm status	KTP Present in Study Area?	Exacerbated by the proposal?
<b>Invasion, establishment and spread of <i>Lantana</i></b>	KTP		POTENTIAL	risks POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks
<b>Removal of dead wood and dead trees</b>	KTP		YES	YES Minor occurrences of fallen timber were noted and these will be removed by the proposal. A single dead stump will likewise be removed.

## 7.8 Matters of National Environmental Significance

Under the environmental assessment provisions of the EPBC Act, Matters of National Environmental Significance (MNES) and impacts on Commonwealth land are required to be considered to assist in determining whether the proposal should be referred to the Australian Government DAWE.

The EPBC Act protected matters search identified four wetlands of international importance, two TECs, 33 threatened species and 12 listed migratory and marine species that could possibly occur in the 10 km search area (**Appendix A**). Of these, 12 threatened and six migratory species may occur within the subject site, based on the identification of those habitats present in the subject land (**Appendix F**). An assessment of impact significance has been undertaken for these threatened species following EPBC guidelines (**Appendix F and G**).

A summary of these matters and whether the proposal is likely to impact them is provided in **Table 7-4**. It is concluded that no MNES will be significantly impacted by the proposal.

**Table 7-4. Impacts to Matters of National Environmental Significance.**

Factor	Potential impact
<b>Any impact on a World Heritage property?</b>	NIL
<b>Any impact on a National Heritage place?</b>	NIL
<b>Any impact on a wetland of international importance?</b>	NIL
<b>Any impact on a listed threatened species or communities?</b>	Non-significant impact <b>Section 5.2</b> <b>Appendix F &amp; G</b>
<b>Any impacts on listed migratory species?</b>	Non-significant impact <b>Appendix F &amp; G</b>
<b>Any impact on a Commonwealth marine area?</b>	NIL
<b>Does the project involve a nuclear action (including uranium mining)?</b>	NIL
<b>Additionally, any impact (direct or indirect) on Commonwealth land?</b>	NIL



Factor	Potential impact
	Commonwealth land is mapped within 10 km but not within 1500 m.
<b>Any impact on a water resource, in relation to coal seam gas development and large coal mining development?</b>	NIL



## 8 Summary and conclusions

The following summary of findings and conclusions is provided to assist with ongoing project planning.

The proposal to construct a new medicinal marijuana production facility at 1673 Freemantle Road, Watton, NSW (Lot 6 DP 247662) will require the clearing of 0.06 ha of Category 2 - (Regulated) Land, under the LLS Act. The native vegetation clearing threshold for the relevant lot is 1 ha, therefore entry into the Biodiversity Offset Scheme (BOS) will not be triggered.

The native vegetation consists of a single Plant Community Type (PCT):

- PCT 1330 - Yellow Box - Blakely's Red Gum grassy woodland on the tablelands, South Eastern Highlands Bioregion.

This PCT was found to occur in both a highly degraded (1.16 ha) and a remnant (0.06 ha) condition. The remnant was found to meet the condition thresholds to be considered an example of the BC Act-listed Critically Endangered Ecological Community *White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions*. The degraded component occurred on Category 1 – Exempt Land and was excluded from further assessment.

In total, 44 BC Act-listed threatened species were considered to have a moderate or greater likelihood of occurring based on habitat requirements. The significance of the proposed impact to these BC Act-listed species was assessed. No significant impact to a threatened species likely to result in the extinction of a local population was identified.

The significance of the proposed impact to EPBC Act Listed threatened, migratory, wetland and marine species predict to occur within a 10 km search area was assessed. No significant impact to any EPBC Act-listed entity was identified. Impacts to the Koala were separately assessed and, while 0.06 ha of the subject land met the conditions to be considered critical habitat (habitat score = 5), no requirement to refer the matter under the EPBC Act was triggered.

This assessment covers the current form of the proposal, any change to the scope of work may require re-assessment.



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## Appendix A: Database Search Results



**Australian Government**

Department of Agriculture,  
Water and the Environment

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### EPBC Act Protected Matters Report

This report provides general guidance on matters of national environmental significance and other matters protected by the EPBC Act in the area you have selected.

Information on the coverage of this report and qualifications on data supporting this report are contained in the caveat at the end of the report.

Information is available about [Environment Assessments](#) and the EPBC Act including significance guidelines, forms and application process details.

Report created: 15/09/21 14:06:21

[Summary](#)

[Details](#)

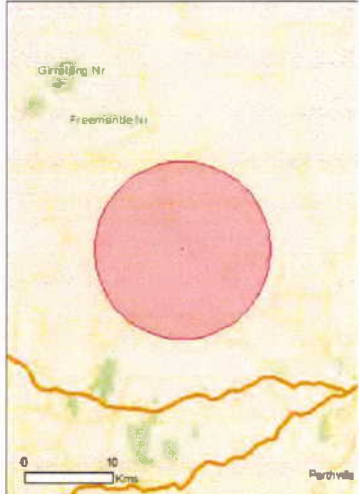
[Matters of NES](#)

[Other Matters Protected by the EPBC Act](#)

[Extra Information](#)


[Caveat](#)

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[Buffer: 10.0Km](#)





## Summary

### Matters of National Environmental Significance

This part of the report summarises the matters of national environmental significance that may occur in, or may relate to, the area you nominated. Further information is available in the detail part of the report, which can be accessed by scrolling or following the links below. If you are proposing to undertake an activity that may have a significant impact on one or more matters of national environmental significance then you should consider the [Administrative Guidelines on Significance](#).

<a href="#">World Heritage Properties:</a>	None
<a href="#">National Heritage Places:</a>	None
<a href="#">Wetlands of International Importance:</a>	4
<a href="#">Great Barrier Reef Marine Park:</a>	None
<a href="#">Commonwealth Marine Area:</a>	None
<a href="#">Listed Threatened Ecological Communities:</a>	2
<a href="#">Listed Threatened Species:</a>	33
<a href="#">Listed Migratory Species:</a>	12

### Other Matters Protected by the EPBC Act

This part of the report summarises other matters protected under the Act that may relate to the area you nominated. Approval may be required for a proposed activity that significantly affects the environment on Commonwealth land, when the action is outside the Commonwealth land, or the environment anywhere when the action is taken on Commonwealth land. Approval may also be required for the Commonwealth or Commonwealth agencies proposing to take an action that is likely to have a significant impact on the environment anywhere.

The EPBC Act protects the environment on Commonwealth land, the environment from the actions taken on Commonwealth land, and the environment from actions taken by Commonwealth agencies. As heritage values of a place are part of the 'environment', these aspects of the EPBC Act protect the Commonwealth Heritage values of a Commonwealth Heritage place. Information on the new heritage laws can be found at <http://www.environment.gov.au/heritage>

A [permit](#) may be required for activities in or on a Commonwealth area that may affect a member of a listed threatened species or ecological community, a member of a listed migratory species, whales and other cetaceans, or a member of a listed marine species.

<a href="#">Commonwealth Land:</a>	1
<a href="#">Commonwealth Heritage Places:</a>	None
<a href="#">Listed Marine Species:</a>	18
<a href="#">Whales and Other Cetaceans:</a>	None
<a href="#">Critical Habitats:</a>	None
<a href="#">Commonwealth Reserves Terrestrial:</a>	None
<a href="#">Australian Marine Parks:</a>	None

### Extra Information

This part of the report provides information that may also be relevant to the area you have nominated.

<a href="#">State and Territory Reserves:</a>	None
<a href="#">Regional Forest Agreements:</a>	None
<a href="#">Invasive Species:</a>	30
<a href="#">Nationally Important Wetlands:</a>	None
<a href="#">Key Ecological Features (Marine):</a>	None



## Details

### Matters of National Environmental Significance

Wetlands of International Importance (Ramsar)	[ Resource Information ]
Name	Proximity
<a href="#">Banrock station wetland complex</a>	800 - 900km upstream
<a href="#">Riverland</a>	700 - 800km upstream
<a href="#">The coorong, and lakes alexandrina and albert wetland</a>	900 - 1000km upstream
<a href="#">The macquarie marshes</a>	200 - 300km upstream

### Listed Threatened Ecological Communities [ Resource Information ]

For threatened ecological communities where the distribution is well known, maps are derived from recovery plans, State vegetation maps, remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Name	Status	Type of Presence
<a href="#">Natural Temperate Grassland of the South Eastern Highlands</a>	Critically Endangered	Community likely to occur within area
<a href="#">White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland</a>	Critically Endangered	Community likely to occur within area

### Listed Threatened Species [ Resource Information ]

Name	Status	Type of Presence
<b>Birds</b>		
<a href="#">Anthochaera phrygia</a>		
Regent Honeyeater [82338]	Critically Endangered	Foraging, feeding or related behaviour likely to occur within area
<a href="#">Botaurus poeciloptilus</a>		
Australasian Bittern [1001]	Endangered	Species or species habitat may occur within area
<a href="#">Calidris ferruginea</a>		
Curlw Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area
<a href="#">Falco hypoleucos</a>		
Grey Falcon [929]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Grantiella picta</a>		
Painted Honeyeater [470]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Hirundapus caudacutus</a>		
White-throated Needletail [682]	Vulnerable	Species or species habitat known to occur within area
<a href="#">Lathamus discolor</a>		
Swift Parrot [744]	Critically Endangered	Species or species habitat known to occur within area
<a href="#">Leipoa ocellata</a>		
Malleefowl [934]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Numenius madagascariensis</a>		
Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within



Name	Status	Type of Presence area
<a href="#">Polytelis swainsonii</a> Superb Parrot [738]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Rostratula australis</a> Australian Painted Snipe [77037]	Endangered	Species or species habitat likely to occur within area
<b>Fish</b>		
<a href="#">Maccullochella macquariensis</a> Trout Cod [26171]	Endangered	Species or species habitat may occur within area
<a href="#">Maccullochella peelii</a> Murray Cod [66633]	Vulnerable	Species or species habitat may occur within area
<a href="#">Macquaria australasica</a> Macquarie Perch [66632]	Endangered	Species or species habitat may occur within area
<b>Frogs</b>		
<a href="#">Litoria booroolongensis</a> Booroolong Frog [1844]	Endangered	Species or species habitat likely to occur within area
<a href="#">Litoria castanea</a> Yellow-spotted Tree Frog, Yellow-spotted Bell Frog [1848]	Critically Endangered	Species or species habitat likely to occur within area
<b>Insects</b>		
<a href="#">Synemon plana</a> Golden Sun Moth [25234]	Critically Endangered	Species or species habitat may occur within area
<b>Mammals</b>		
<a href="#">Chalinolobus dwyeri</a> Large-eared Pied Bat, Large Pied Bat [183]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Dasyurus maculatus maculatus (SE mainland population)</a> Spot-tailed Quoll, Spotted-tail Quoll, Tiger Quoll (southeastern mainland population) [75184]	Endangered	Species or species habitat known to occur within area
<a href="#">Petauroides volans</a> Greater Glider [254]	Vulnerable	Species or species habitat may occur within area
<a href="#">Petrogale penicillata</a> Brush-tailed Rock-wallaby [225]	Vulnerable	Species or species habitat may occur within area
<a href="#">Phascolarctos cinereus (combined populations of Qld, NSW and the ACT)</a> Koala (combined populations of Queensland, New South Wales and the Australian Capital Territory) [85104]	Vulnerable	Species or species habitat known to occur within area
<a href="#">Pteropus poliocephalus</a> Grey-headed Flying-fox [186]	Vulnerable	Foraging, feeding or related behaviour may occur within area
<b>Plants</b>		
<a href="#">Dichanthium setosum</a> bluegrass [14159]	Vulnerable	Species or species habitat may occur within area
<a href="#">Eucalyptus aggregata</a> Black Gum [20890]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Eucalyptus pulverulenta</a> Silver-leaved Mountain Gum, Silver-leaved Gum	Vulnerable	Species or species



Name	Status	Type of Presence
[21537]		habitat likely to occur within area
<a href="#">Euphrasia arguta</a> [4325]	Critically Endangered	Species or species habitat may occur within area
<a href="#">Leucochrysum albicans subsp. tricolor</a> Hoary Sunray, Grassland Paper-daisy [89104]	Endangered	Species or species habitat may occur within area
<a href="#">Swainsona recta</a> Small Purple-pea, Mountain Swainson-pea, Small Purple Pea [7580]	Endangered	Species or species habitat may occur within area
<a href="#">Thesium australe</a> Austral Toadflax, Toadflax [15202]	Vulnerable	Species or species habitat may occur within area
<a href="#">Zieria obcordata</a> Granite Zieria [3240]	Endangered	Species or species habitat known to occur within area
<b>Reptiles</b>		
<a href="#">Aprasia parapulchella</a> Pink-tailed Worm-lizard, Pink-tailed Legless Lizard [1665]	Vulnerable	Species or species habitat likely to occur within area
<a href="#">Delma impar</a> Striped Legless Lizard, Striped Snake-lizard [1649]	Vulnerable	Species or species habitat may occur within area
<b>Listed Migratory Species</b>		
[Resource Information]		
* Species is listed under a different scientific name on the EPBC Act - Threatened Species list.		
Name	Threatened	Type of Presence
<b>Migratory Marine Birds</b>		
<a href="#">Apus pacificus</a> Fork-tailed Swift [678]		Species or species habitat likely to occur within area
<b>Migratory Terrestrial Species</b>		
<a href="#">Hirundapus caudacutus</a> White-throated Needletail [682]	Vulnerable	Species or species habitat known to occur within area
<a href="#">Monarcha melanopsis</a> Black-faced Monarch [609]		Species or species habitat may occur within area
<a href="#">Motacilla flava</a> Yellow Wagtail [644]		Species or species habitat may occur within area
<a href="#">Myiagra cyanoleuca</a> Satin Flycatcher [612]		Species or species habitat likely to occur within area
<a href="#">Rhipidura rufifrons</a> Rufous Fantail [592]		Species or species habitat likely to occur within area
<b>Migratory Wetlands Species</b>		
<a href="#">Actitis hypoleucos</a> Common Sandpiper [59309]		Species or species habitat may occur within area
<a href="#">Calidris acuminata</a> Sharp-tailed Sandpiper [874]		Species or species habitat may occur within area
<a href="#">Calidris ferruginea</a> Curlew Sandpiper [856]	Critically Endangered	Species or species



Name	Threatened	Type of Presence
<a href="#">Calidris melanotos</a> Pectoral Sandpiper [858]		habitat may occur within area  Species or species habitat may occur within area
<a href="#">Gallinago hardwickii</a> Latham's Snipe, Japanese Snipe [863]		Species or species habitat may occur within area
<a href="#">Numenius madagascariensis</a> Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area
<b>Other Matters Protected by the EPBC Act</b>		
<b>Commonwealth Land</b>		<a href="#">[ Resource Information ]</a>
The Commonwealth area listed below may indicate the presence of Commonwealth land in this vicinity. Due to the unreliability of the data source, all proposals should be checked as to whether it impacts on a Commonwealth area, before making a definitive decision. Contact the State or Territory government land department for further information.		
<b>Name</b>		
Commonwealth Land - Australian Telecommunications Commission		
<b>Listed Marine Species</b>		<a href="#">[ Resource Information ]</a>
* Species is listed under a different scientific name on the EPBC Act - Threatened Species list.		
<b>Name</b>	<b>Threatened</b>	<b>Type of Presence</b>
<b>Birds</b>		
<a href="#">Actitis hypoleucos</a> Common Sandpiper [59309]		Species or species habitat may occur within area
<a href="#">Apus pacificus</a> Fork-tailed Swift [678]		Species or species habitat likely to occur within area
<a href="#">Ardea ibis</a> Cattle Egret [59542]		Species or species habitat may occur within area
<a href="#">Calidris acuminata</a> Sharp-tailed Sandpiper [874]		Species or species habitat may occur within area
<a href="#">Calidris ferruginea</a> Curlew Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area
<a href="#">Calidris melanotos</a> Pectoral Sandpiper [858]		Species or species habitat may occur within area
<a href="#">Chrysococcyx osculans</a> Black-eared Cuckoo [705]		Species or species habitat likely to occur within area
<a href="#">Gallinago hardwickii</a> Latham's Snipe, Japanese Snipe [863]		Species or species habitat may occur within area
<a href="#">Haliaeetus leucogaster</a> White-bellied Sea-Eagle [943]		Species or species habitat likely to occur



Name	Threatened	Type of Presence within area
<u><a href="#">Hirundapus caudacutus</a></u> White-throated Needletail [682]	Vulnerable	Species or species habitat known to occur within area
<u><a href="#">Lathamus discolor</a></u> Swift Parrot [744]	Critically Endangered	Species or species habitat known to occur within area
<u><a href="#">Merops ornatus</a></u> Rainbow Bee-eater [670]		Species or species habitat may occur within area
<u><a href="#">Monarcha melanopsis</a></u> Black-faced Monarch [609]		Species or species habitat may occur within area
<u><a href="#">Motacilla flava</a></u> Yellow Wagtail [644]		Species or species habitat may occur within area
<u><a href="#">Myiagra cyanoleuca</a></u> Satin Flycatcher [612]		Species or species habitat likely to occur within area
<u><a href="#">Numenius madagascariensis</a></u> Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area
<u><a href="#">Rhipidura rufifrons</a></u> Rufous Fantail [592]		Species or species habitat likely to occur within area
<u><a href="#">Rostratula benghalensis (sensu lato)</a></u> Painted Snipe [889]	Endangered*	Species or species habitat likely to occur within area
<b>Extra Information</b>		
<b>Invasive Species</b>		<b>[ Resource Information ]</b>
Weeds reported here are the 20 species of national significance (WoNS), along with other introduced plants that are considered by the States and Territories to pose a particularly significant threat to biodiversity. The following feral animals are reported: Goat, Red Fox, Cat, Rabbit, Pig, Water Buffalo and Cane Toad. Maps from Landscape Health Project, National Land and Water Resources Audit, 2001.		
Name	Status	Type of Presence
<b>Birds</b>		
<u><a href="#">Acridotheres tristis</a></u> Common Myna, Indian Myna [387]		Species or species habitat likely to occur within area
<u><a href="#">Alauda arvensis</a></u> Skylark [656]		Species or species habitat likely to occur within area
<u><a href="#">Anas platyrhynchos</a></u> Mallard [974]		Species or species habitat likely to occur



Name	Status	Type of Presence within area
<i>Carduelis carduelis</i> European Goldfinch [403]		Species or species habitat likely to occur within area
<i>Columba livia</i> Rock Pigeon, Rock Dove, Domestic Pigeon [803]		Species or species habitat likely to occur within area
<i>Passer domesticus</i> House Sparrow [405]		Species or species habitat likely to occur within area
<i>Streptopelia chinensis</i> Spotted Turtle-Dove [780]		Species or species habitat likely to occur within area
<i>Sturnus vulgaris</i> Common Starling [389]		Species or species habitat likely to occur within area
<i>Turdus merula</i> Common Blackbird, Eurasian Blackbird [596]		Species or species habitat likely to occur within area
<b>Mammals</b>		
<i>Bos taurus</i> Domestic Cattle [16]		Species or species habitat likely to occur within area
<i>Canis lupus familiaris</i> Domestic Dog [82654]		Species or species habitat likely to occur within area
<i>Capra hircus</i> Goat [2]		Species or species habitat likely to occur within area
<i>Felis catus</i> Cat, House Cat, Domestic Cat [19]		Species or species habitat likely to occur within area
Feral deer Feral deer species in Australia [85733]		Species or species habitat likely to occur within area
<i>Lepus capensis</i> Brown Hare [127]		Species or species habitat likely to occur within area
<i>Mus musculus</i> House Mouse [120]		Species or species habitat likely to occur within area
<i>Oryctolagus cuniculus</i> Rabbit, European Rabbit [128]		Species or species habitat likely to occur within area
<i>Rattus rattus</i> Black Rat, Ship Rat [84]		Species or species habitat likely to occur within area
<i>Sus scrofa</i> Pig [6]		Species or species habitat likely to occur within area
<i>Vulpes vulpes</i> Red Fox, Fox [18]		Species or species habitat likely to occur within area
<b>Plants</b>		
<i>Cytisus scoparius</i> Broom, English Broom, Scotch Broom, Common		Species or species



Name	Status	Type of Presence
Broom, Scottish Broom, Spanish Broom [5934]		habitat likely to occur within area
Genista sp. X Genista monspessulana Broom [67538]		Species or species habitat may occur within area
Lycium ferocissimum African Boxthorn, Boxthorn [19235]		Species or species habitat likely to occur within area
Nassella neesiana Chilean Needle grass [67699]		Species or species habitat likely to occur within area
Nassella trichotoma Serrated Tussock, Yass River Tussock, Yass Tussock, Nassella Tussock (NZ) [18884]		Species or species habitat likely to occur within area
Opuntia spp. Prickly Pears [82753]		Species or species habitat likely to occur within area
Pinus radiata Radiata Pine Monterey Pine, Insignis Pine, Wilding Pine [20780]		Species or species habitat may occur within area
Rubus fruticosus aggregate Blackberry, European Blackberry [68406]		Species or species habitat likely to occur within area
Salix spp. except S.babylonica, S.x calodendron & S.x reichardtii Willows except Weeping Willow, Pussy Willow and Sterile Pussy Willow [68497]		Species or species habitat likely to occur within area
Ulex europaeus Gorse, Furze [7693]		Species or species habitat likely to occur within area



## Caveat

The information presented in this report has been provided by a range of data sources as acknowledged at the end of the report.

This report is designed to assist in identifying the locations of places which may be relevant in determining obligations under the Environment Protection and Biodiversity Conservation Act 1999. It holds mapped locations of World and National Heritage properties, Wetlands of International and National Importance, Commonwealth and State/Territory reserves, listed threatened, migratory and marine species and listed threatened ecological communities. Mapping of Commonwealth land is not complete at this stage. Maps have been collated from a range of sources at various resolutions.

Not all species listed under the EPBC Act have been mapped (see below) and therefore a report is a general guide only. Where available data supports mapping, the type of presence that can be determined from the data is indicated in general terms. People using this information in making a referral may need to consider the qualifications below and may need to seek and consider other information sources.

For threatened ecological communities where the distribution is well known, maps are derived from recovery plans, State vegetation maps, remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Threatened, migratory and marine species distributions have been derived through a variety of methods. Where distributions are well known and if time permits, maps are derived using either thematic spatial data (i.e. vegetation, soils, geology, elevation, aspect, terrain, etc) together with point locations and described habitat; or environmental modelling (MAXENT or BIOCLIM habitat modelling) using point locations and environmental data layers.

Where very little information is available for species or large number of maps are required in a short time-frame, maps are derived either from 0.04 or 0.02 decimal degree cells by an automated process using polygon capture techniques (static two kilometre grid cells, alpha-hull and convex hull), or captured manually or by using topographic features (national park boundaries, islands, etc). In the early stages of the distribution mapping process (1999-early 2000s) distributions were defined by degree blocks, 100K or 250K map sheets to rapidly create distribution maps. More reliable distribution mapping methods are used to update these distributions as time permits.

Only selected species covered by the following provisions of the EPBC Act have been mapped.

- migratory and
- marine

The following species and ecological communities have not been mapped and do not appear in reports produced from this database.

- threatened species listed as extinct or considered as vagrants
- some species and ecological communities that have only recently been listed
- some terrestrial species that overfly the Commonwealth marine area
- migratory species that are very widespread, vagrant, or only occur in small numbers

The following groups have been mapped, but may not cover the complete distribution of the species.

- non-threatened seabirds which have only been mapped for recorded breeding sites
- seals which have only been mapped for breeding sites near the Australian continent

Such breeding sites may be important for the protection of the Commonwealth Marine environment.

## Coordinates

-33 296676 149 396587, -33 296865 149 39752, -33.297896 149.39722, -33.297717 149 396415, -33 297044 149 396651, -33.297008 149 396501 - 33 296676 149.396587



## Acknowledgements

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- [Office of Environment and Heritage, New South Wales](#)
- [Department of Environment and Primary Industries, Victoria](#)
- [Department of Primary Industries, Parks, Water and Environment, Tasmania](#)
- [Department of Environment, Water and Natural Resources, South Australia](#)
- [Department of Land and Resource Management, Northern Territory](#)
- [Department of Environmental and Heritage Protection, Queensland](#)
- [Department of Parks and Wildlife, Western Australia](#)
- [Environment and Planning Directorate, ACT](#)
- [Birdlife Australia](#)
- [Australian Bird and Bat Banding Scheme](#)
- [Australian National Wildlife Collection](#)
- [Natural history museums of Australia](#)
- [Museum Victoria](#)
- [Australian Museum](#)
- [South Australian Museum](#)
- [Queensland Museum](#)
- [Online Zoological Collections of Australian Museums](#)
- [Queensland Herbarium](#)
- [National Herbarium of NSW](#)
- [Royal Botanic Gardens and National Herbarium of Victoria](#)
- [Tasmanian Herbarium](#)
- [State Herbarium of South Australia](#)
- [Northern Territory Herbarium](#)
- [Western Australian Herbarium](#)
- [Australian National Herbarium, Canberra](#)
- [University of New England](#)
- [Ocean Biogeographic Information System](#)
- [Australian Government, Department of Defence](#)
- [Forestry Corporation, NSW](#)
- [Geoscience Australia](#)
- [CSIRO](#)
- [Australian Tropical Herbarium, Cairns](#)
- [eBird Australia](#)
- [Australian Government – Australian Antarctic Data Centre](#)
- [Museum and Art Gallery of the Northern Territory](#)
- [Australian Government National Environmental Science Program](#)
- [Australian Institute of Marine Science](#)
- [Reef Life Survey Australia](#)
- [American Museum of Natural History](#)
- [Queen Victoria Museum and Art Gallery, Inveresk, Tasmania](#)
- [Tasmanian Museum and Art Gallery, Hobart, Tasmania](#)
- Other groups and individuals

The Department is extremely grateful to the many organisations and individuals who provided expert advice and information on numerous draft distributions.

Please feel free to provide feedback via the [Contact Us](#) page.

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## BioNET Atlas search – threatened species predicted to occur within the Bathurst, Hill End, and Orange Subregions of the NSW South Eastern Highlands Bioregion

\*NSW Status: P=Protected, P13=Protected native plant, V=Vulnerable, E1=Endangered, E2=Endangered population, E4=Extinct, E4A=Critically endangered, 2=Category 2 sensitive species, 3=Category 3 sensitive species.

\*Comm. Status: C=CAMBA, J=JAMBA, K=ROKAMBA, CE=Critically endangered, E=Endangered, V=Vulnerable.

Records: P = predicted to occur; K = known.

Scientific Name	Common Name	*NSW status	+Comm. status	Records
<i>Litoria aurea</i>	Green and Golden Bell Frog	E1,P	V	12
<i>Litoria booroolongensis</i>	Booroolong Frog	E1,P	E	182
<i>Litoria castanea</i>	Yellow-spotted Tree Frog	E4A,P	E	3
<i>Litoria littlejohni</i>	Littlejohn's Tree Frog	V,P	V	P
<i>Litoria raniformis</i>	Southern Bell Frog	E1,P	V	1
<i>^^Mixophyes balbus</i>	Stuttering Frog	E1,P,2	V	P
<i>Pseudophryne australis</i>	Red-crowned Toadlet	V,P		P
<i>Chthonicola sagittata</i>	Speckled Warbler	V,P		22
<i>Circus assimilis</i>	Spotted Harrier	V,P		5
<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	V,P		4
<i>Hieraaetus morphnoides</i>	Little Eagle	V,P		22
<i>Lophoictinia isura</i>	Square-tailed Kite	V,P,3		2
<i>Oxyura australis</i>	Blue-billed Duck	V,P		2
<i>Stictonetta naevosa</i>	Freckled Duck	V,P		2
<i>Anseranas semipalmata</i>	Magpie Goose	V,P		3
<i>Apus pacificus</i>	Fork-tailed Swift	P	C,J,K	5
<i>Hirundapus caudacutus</i>	White-throated Needletail	P	V,C,J,K	17
<i>Botaurus poeciloptilus</i>	Australasian Bittern	E1,P	E	1
<i>Artamus cyanopterus cyanopterus</i>	Dusky Woodswallow	V,P		55
<i>Burhinus grallarius</i>	Bush Stone-curlew	E1,P		2
<i>^^Calyptorhynchus lathami</i>	Glossy Black-Cockatoo	V,P,2		17
<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	V,P,3		73
<i>Climacteris picumnus victoriae</i>	Brown Treecreeper (eastern subspecies)	V,P		39
<i>Stagonopleura guttata</i>	Diamond Firetail	V,P		26
<i>Falco subniger</i>	Black Falcon	V,P		7
<i>Grus rubicunda</i>	Brolga	V,P		P
<i>Anthochaera phrygia</i>	Regent Honeyeater	E4A,P	CE	24
<i>Certhionyx variegatus</i>	Pied Honeyeater	V,P		2
<i>Epthianura albifrons</i>	White-fronted Chat	V,P		1
<i>Grantiella picta</i>	Painted Honeyeater	V,P	V	4
<i>Melithreptus gularis gularis</i>	Black-chinned Honeyeater (eastern subspecies)	V,P		4



Scientific Name	Common Name	*NSW status	+Comm. status	Records
<i>Daphoenositta chrysoptera</i>	Varied Sittella	V,P		33
<i>Pachycephala inornata</i>	Gilbert's Whistler	V,P		1
<i>Melanodryas cucullata cucullata</i>	Hooded Robin (south-eastern form)	V,P		10
<i>Petroica boodang</i>	Scarlet Robin	V,P		67
<i>Petroica phoenicea</i>	Flame Robin	V,P		46
<i>Phaethon rubricauda</i>	Red-tailed Tropicbird	V,P	C,J	1
<i>Pomatostomus temporalis temporalis</i>	Grey-crowned Babbler (eastern subspecies)	V,P		1
<i>Glossopsitta pusilla</i>	Little Lorikeet	V,P		29
<i>Lathamus discolor</i>	Swift Parrot	E1,P,3	CE	2
<i>Neophema pulchella</i>	Turquoise Parrot	V,P,3		K
<i>Polytelis swainsonii</i>	Superb Parrot	V,P,3	V	214
<i>Rostratula australis</i>	Australian Painted Snipe	E1,P	E	1
<i>Calidris acuminata</i>	Sharp-tailed Sandpiper	P	C,J,K	9
<i>Calidris ferruginea</i>	Curlew Sandpiper	E1,P	CE,C,J,K	K
<i>Gallinago hardwickii</i>	Latham's Snipe	P	J,K	19
<i>Limosa limosa</i>	Black-tailed Godwit	V,P	C,J,K	P
<i>Ninox connivens</i>	Barking Owl	V,P,3		6
<i>Ninox strenua</i>	Powerful Owl	V,P,3		38
<i>Tyto novaehollandiae</i>	Masked Owl	V,P,3		4
<i>Leucochrysum albicans</i> var. <i>tricolor</i>	Hoary Sunray		E	5
<i>Lepidium hyssopifolium</i>	Aromatic Peppercress	E1	E	6
<i>Isotoma fluviatilis</i> subsp. <i>fluviatilis</i>			X	2
<i>Swainsona recta</i>	Small Purple-pea	E1	E	247
<i>Swainsona sericea</i>	Silky Swainson-pea	V		4
<i>Acacia ausfeldii</i>	Ausfeld's Wattle	V		P
<i>Acacia clunies-rossiae</i>	Kanangra Wattle	V		5
<i>Acacia flocktoniae</i>	Flockton Wattle	V	V	3
<i>Acacia meiantha</i>		E1	E	1764
<i>^^Prostanthera gilesii</i>		E4A,2		2
<i>Callistemon megalongensis</i>	Megalong Valley Bottlebrush	E4A	CE	6
<i>Eucalyptus aggregata</i>	Black Gum	V	V	11
<i>Eucalyptus cannonii</i>	Capertee Stringybark	V		19
<i>Eucalyptus canobolensis</i>	Silver-Leaf Candlebark	V	E	173
<i>Eucalyptus pulverulenta</i>	Silver-leafed Gum	V	V	53
<i>Eucalyptus robertsonii</i> subsp. <i>hemisphaerica</i>	Robertson's Peppermint	V	V	23
<i>Rhodamnia rubescens</i>	Scrub Turpentine	E4A		1
<i>^^Caladenia attenuata</i>	Duramana Fingers	E4A,P,2	CE	P
<i>Euphrasia scabra</i>	Rough Eyebright	E1,3		1



Scientific Name	Common Name	*NSW status	+Comm. status	Records
<i>Veronica blakelyi</i>		V		3
<i>Grevillea divaricata</i>		E1,3		1
<i>Persoonia marginata</i>	Clandulla Geebung	V,P	V	33
<i>Asterolasia buxifolia</i>		E1		4
<i>Boronia deanei</i>	Deane's Boronia	V,P	V	P
<i>Zieria obcordata</i>	Granite Zieria	E1	E	70
<i>Thesium australe</i>	Austral Toadflax	V	V	P
<i>Paralucia spinifera</i>	Purple Copper Butterfly, Bathurst Copper Butterfly	E1	V	176
<i>Cercartetus nanus</i>	Eastern Pygmy-possum	V,P		4
<i>Dasyurus maculatus</i>	Spotted-tailed Quoll	V,P	E	34
<i>Phascogale tapoatafa</i>	Brush-tailed Phascogale	V,P		P
<i>Saccolaimus flaviventris</i>	Yellow-bellied Sheath-tail-bat	V,P		23
<i>Petrogale penicillata</i>	Brush-tailed Rock-wallaby	E1,P	V	1
<i>Miniopterus orianae oceanensis</i>	Large Bent-winged Bat	V,P		67
<i>Micronomus norfolkensis</i>	Eastern Coastal Free-tailed Bat	V,P		1
<i>Petaurus australis</i>	Yellow-bellied Glider	V,P		11
<i>Petaurus norfolcensis</i>	Squirrel Glider	V,P		15
<i>Phascolarctos cinereus</i>	Koala	V,P	V	328
<i>Petauroides volans</i>	Greater Glider	P	V	125
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V,P	V	90
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat	V,P	V	11
<i>Falsistrellus tasmaniensis</i>	Eastern False Pipistrelle	V,P		15
<i>Myotis macropus</i>	Southern Myotis	V,P		7
<i>Scoteanax rueppellii</i>	Greater Broad-nosed Bat	V,P		6
<i>^^Hoplocephalus bungaroides</i>	Broad-headed Snake	E1,P,2	V	P
<i>Aprasia parapulchella</i>	Pink-tailed Legless Lizard	V,P	V	1
<i>Delma impar</i>	Striped Legless Lizard	V,P	V	P
<i>Varanus rosenbergi</i>	Rosenberg's Goanna	V,P		3
<i>Litoria aurea</i>	Green and Golden Bell Frog	E1,P	V	12
<i>Litoria booroolongensis</i>	Booroolong Frog	E1,P	E	182
<i>Litoria castanea</i>	Yellow-spotted Tree Frog	E4A,P	E	3
<i>Litoria littlejohni</i>	Littlejohn's Tree Frog	V,P	V	P
<i>Litoria raniformis</i>	Southern Bell Frog	E1,P	V	1
<i>^^Mixophyes balbus</i>	Stuttering Frog	E1,P,2	V	P
<i>Pseudophryne australis</i>	Red-crowned Toadlet	V,P		P
<i>Chthonicola sagittata</i>	Speckled Warbler	V,P		22
<i>Circus assimilis</i>	Spotted Harrier	V,P		5
<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	V,P		4
<i>Hieraaetus morphnoides</i>	Little Eagle	V,P		22
<i>Lophoictinia isura</i>	Square-tailed Kite	V,P,3		2
<i>Oxyura australis</i>	Blue-billed Duck	V,P		2



Scientific Name	Common Name	*NSW status	+Comm. status	Records
<b><i>Stictonetta naevosa</i></b>	Freckled Duck	V,P		2
<b><i>Anseranas semipalmata</i></b>	Magpie Goose	V,P		3
<b><i>Apus pacificus</i></b>	Fork-tailed Swift	P	C,J,K	5
<b><i>Hirundapus caudacutus</i></b>	White-throated Needletail	P	V,C,J,K	17
<b><i>Botaurus poiciloptilus</i></b>	Australasian Bittern	E1,P	E	1
<b><i>Artamus cyanopterus cyanopterus</i></b>	Dusky Woodswallow	V,P		55
<b><i>Burhinus grallarius</i></b>	Bush Stone-curlew	E1,P		2
<b><i>Calyptrorhynchus lathamii</i></b>	Glossy Black-Cockatoo	V,P,2		17
<b><i>Callocephalon fimbriatum</i></b>	Gang-gang Cockatoo	V,P,3		73
<b><i>Climacteris picumnus victoriae</i></b>	Brown Treecreeper (eastern subspecies)	V,P		39
<b><i>Stagonopleura guttata</i></b>	Diamond Firetail	V,P		26
<b><i>Falco subniger</i></b>	Black Falcon	V,P		7
<b><i>Grus rubicunda</i></b>	Brolga	V,P		P
<b><i>Anthochaera phrygia</i></b>	Regent Honeyeater	E4A,P	CE	24
<b><i>Certhionyx variegatus</i></b>	Pied Honeyeater	V,P		2
<b><i>Epthianura albifrons</i></b>	White-fronted Chat	V,P		1
<b><i>Grantiella picta</i></b>	Painted Honeyeater	V,P	V	4
<b><i>Melithreptus gularis gularis</i></b>	Black-chinned Honeyeater (eastern subspecies)	V,P		4
<b><i>Daphoenositta chrysoptera</i></b>	Varied Sittella	V,P		33
<b><i>Pachycephala inornata</i></b>	Gilbert's Whistler	V,P		1
<b><i>Melanodryas cucullata cucullata</i></b>	Hooded Robin (south-eastern form)	V,P		10



### BioNET Atlas search – threatened ecological communities predicted to occur within the Bathurst, Hill End, and Orange Subregions of the NSW South Eastern Highlands Bioregion

\*NSW Status: P=Protected, P13=Protected native plant, V=Vulnerable, E1=Endangered, E2=Endangered population, E4=Extinct, E4A=Critically endangered, 2=Category 2 sensitive species, 3=Category 3 sensitive species.

\*Comm. Status: C=CAMBA, J=JAMBA, K=ROKAMBA, CE=Critically endangered, E=Endangered, V=Vulnerable.

Records: P = predicted to occur. K = known.

Community Name	NSW status	Comm. status	Records
<b>Inland Grey Box Woodland in the Riverina, NSW South Western Slopes, Cobar Peneplain, Nandewar and Brigalow Belt South Bioregions</b>	E3	E	K
<b>Monaro Tableland Cool Temperate Grassy Woodland in the South Eastern Highlands Bioregion</b>	E4B		K
<b>Montane Peatlands and Swamps of the New England Tableland, NSW North Coast, Sydney Basin, South East Corner, South Eastern Highlands and Australian Alps bioregions</b>	E3	E	K
<b>Mt Canobolas <i>Xanthoparmelia</i> Lichen Community</b>	E3		K
<b>Tableland Basalt Forest in the Sydney Basin and South Eastern Highlands Bioregions</b>	E3		K
<b>Werriwa Tablelands Cool Temperate Grassy Woodland in the South Eastern Highlands and South East Corner Bioregions</b>	E4B		K
<b>White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and</b>	E4B	CE	K



## BioNET Atlas search – threatened ecological communities predicted to occur within the Bathurst, Hill End, and Orange Subregions of the NSW South Eastern Highlands Bioregion

Records: P = predicted to occur, K = known.

Key Threatening Process	NSW status	Comm. status	Records
Aggressive exclusion of birds from woodland and forest habitat by abundant Noisy Miners, <i>Manorina melanocephala</i> (Latham, 1802)	KTP	KTP	P
Alteration of habitat following subsidence due to longwall mining	KTP		P
Alteration to the natural flow regimes of rivers and streams and their floodplains and wetlands	KTP		P
Anthropogenic Climate Change	KTP	KTP	P
Bushrock removal	KTP		P
Clearing of native vegetation	KTP	KTP	P
Competition and grazing by the feral European Rabbit, <i>Oryctolagus cuniculus</i> (L.)	KTP	KTP	P
Competition and habitat degradation by Feral Goats, <i>Capra hircus</i> Linnaeus 1758	KTP	KTP	P
Competition from feral honey bees, <i>Apis mellifera</i> L.	KTP		P
Forest eucalypt dieback associated with over-abundant psyllids and Bell Miners	KTP		P
Herbivory and environmental degradation caused by feral deer	KTP		P
High frequency fire resulting in the disruption of life cycle processes in plants and animals and loss of vegetation structure and composition	KTP		P
Importation of Red Imported Fire Ants <i>Solenopsis invicta</i> Buren 1972	KTP	KTP	P
Infection by Psittacine Circoviral (beak and feather) Disease affecting endangered psittacine species and populations	KTP	KTP	P
Infection of frogs by amphibian chytrid causing the disease chytridiomycosis	KTP	KTP	P
Infection of native plants by <i>Phytophthora cinnamomi</i>	KTP	KTP	P
Introduction and establishment of Exotic Rust Fungi of the order Pucciniales pathogenic on plants of the family Myrtaceae	KTP		P
Introduction of the Large Earth Bumblebee <i>Bombus terrestris</i> (L.)	KTP		P
Invasion and establishment of exotic vines and scramblers	KTP		P
Invasion and establishment of Scotch Broom ( <i>Cytisus scoparius</i> )	KTP		P
Invasion and establishment of the Cane Toad ( <i>Bufo marinus</i> )	KTP	KTP	P
Invasion of native plant communities by African Olive <i>Olea europaea subsp. cuspidata</i> (Wall. ex G. Don) Cif.	KTP		P
Invasion of native plant communities by <i>Chrysanthemoides monilifera</i>	KTP		P
Invasion of native plant communities by exotic perennial grasses	KTP		P
Invasion of the Yellow Crazy Ant, <i>Anoplolepis gracilipes</i> (Fr.	KTP		P



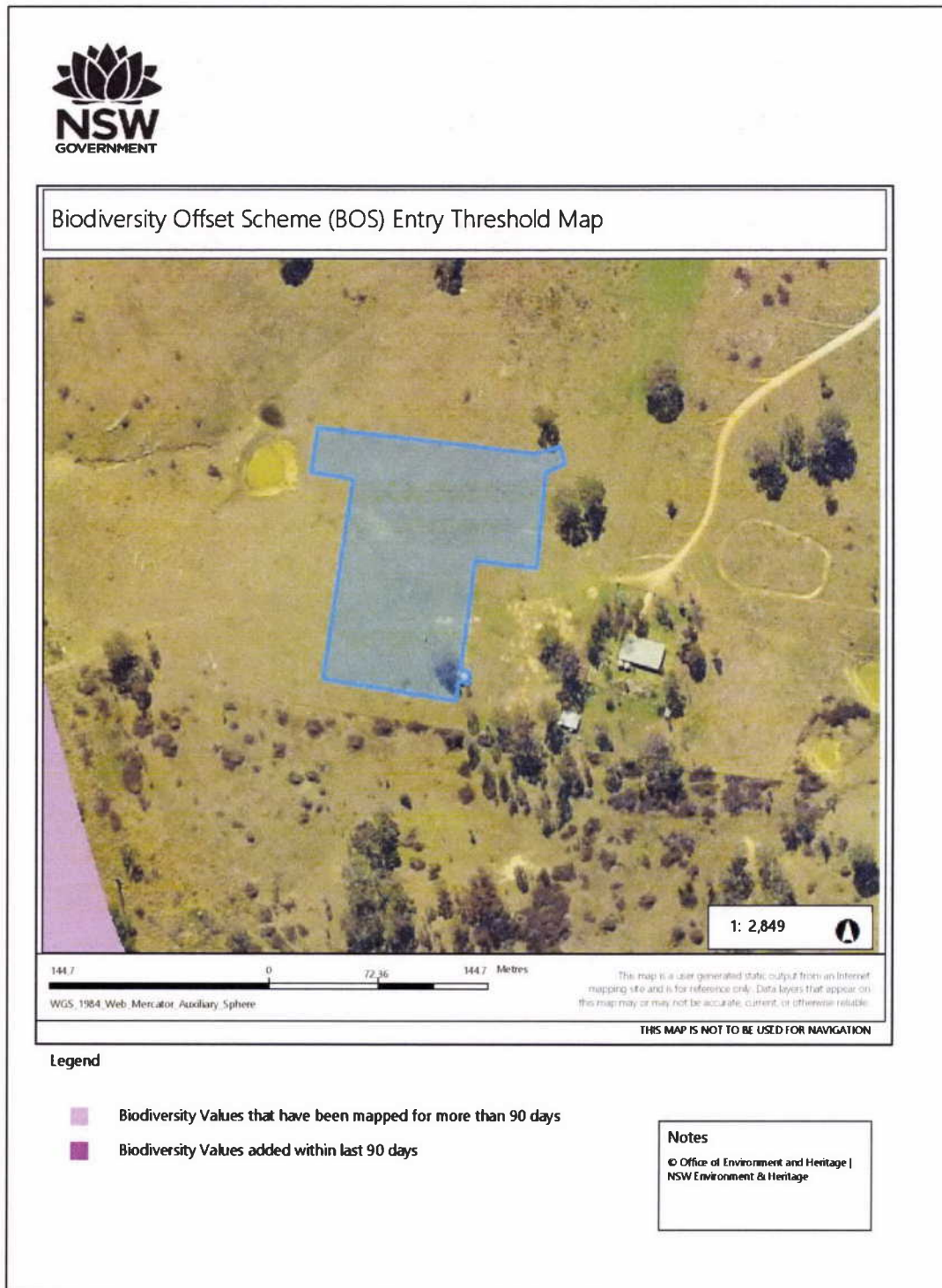
**Smith) into NSW**

<b>Invasion, establishment and spread of Lantana (<i>Lantana camara</i> L. sens. Lat)</b>	KTP		P
<b>Loss and degradation of native plant and animal habitat by invasion of escaped garden plants, including aquatic plants</b>	KTP	KTP	P
<b>Loss of Hollow-bearing Trees</b>	KTP		P
<b>Loss or degradation (or both) of sites used for hill-topping by butterflies</b>	KTP		P
<b>Predation and hybridisation by Feral Dogs, <i>Canis lupus familiaris</i></b>	KTP		P
<b>Predation by <i>Gambusia holbrooki</i> Girard, 1859 (Plague Minnow or Mosquito Fish)</b>	KTP		P
<b>Predation by the European Red Fox <i>Vulpes vulpes</i> (Linnaeus, 1758)</b>	KTP	KTP	P
<b>Predation by the Feral Cat <i>Felis catus</i> (Linnaeus, 1758)</b>	KTP	KTP	P
<b>Predation, habitat degradation, competition and disease transmission by Feral Pigs, <i>Sus scrofa</i> Linnaeus 1758</b>	KTP	KTP	P
<b>Removal of dead wood and dead trees</b>	KTP		P



**Biodiversity Values Map.**

The Biodiversity Values Map provides an indication as to whether a proposal will exceed the Biodiversity Offset Scheme (BOS) threshold. The blue polygon indicates the subject land.







## Biodiversity Values Map and Threshold Report

### Results Summary

<b>Date of Calculation</b>	27/09/2021 10:43 AM	<b>BDAR Required*</b>
<b>Total Digitised Area</b>	1.29 ha	
<b>Minimum Lot Size Method</b>	LEP	
<b>Minimum Lot Size</b>	100 ha	
<b>Area Clearing Threshold</b>	1 ha	
<b>Area clearing trigger</b> Area of native vegetation cleared	Unknown #	Unknown #
<b>Biodiversity values map trigger</b> Impact on biodiversity values map(not including values added within the last 90 days)?	no	no
<b>Date of the 90 day Expiry</b>	N/A	

\*If BDAR required has:

- at least one 'Yes': you have exceeded the BOS threshold. You are now required to submit a Biodiversity Development Assessment Report with your development application. Go to <https://customer.lmbc.nsw.gov.au/assessment/AccreditedAssessor> to access a list of assessors who are accredited to apply the Biodiversity Assessment Method and write a Biodiversity Development Assessment Report
- 'No': you have not exceeded the BOS threshold. You may still require a permit from local council. Review the development control plan and consult with council. You may still be required to assess whether the development is "likely to significantly affect threatened species" as determined under the test in s. 7.3 of the Biodiversity Conservation Act 2016. You may still be required to review the area where no vegetation mapping is available.

# Where the area of impact occurs on land with no vegetation mapping available, the tool cannot determine the area of native vegetation cleared and if this exceeds the Area Threshold. You will need to work out the area of native vegetation cleared - refer to the BOSET user guide for how to do this.

On and after the 90 day expiry date a BDAR will be required.

### Disclaimer

This results summary and map can be used as guidance material only. This results summary and map is not guaranteed to be free from error or omission. The State of NSW and Office of Environment and Heritage and its employees disclaim liability for any act done on the information in the results summary or map and any consequences of such acts or omissions. It remains the responsibility of the proponent to ensure that their development application complies with all aspects of the *Biodiversity Conservation Act 2016*.

The mapping provided in this tool has been done with the best available mapping and knowledge of species habitat requirements. This map is valid for a period of 30 days from the date of calculation (above).

### Acknowledgement

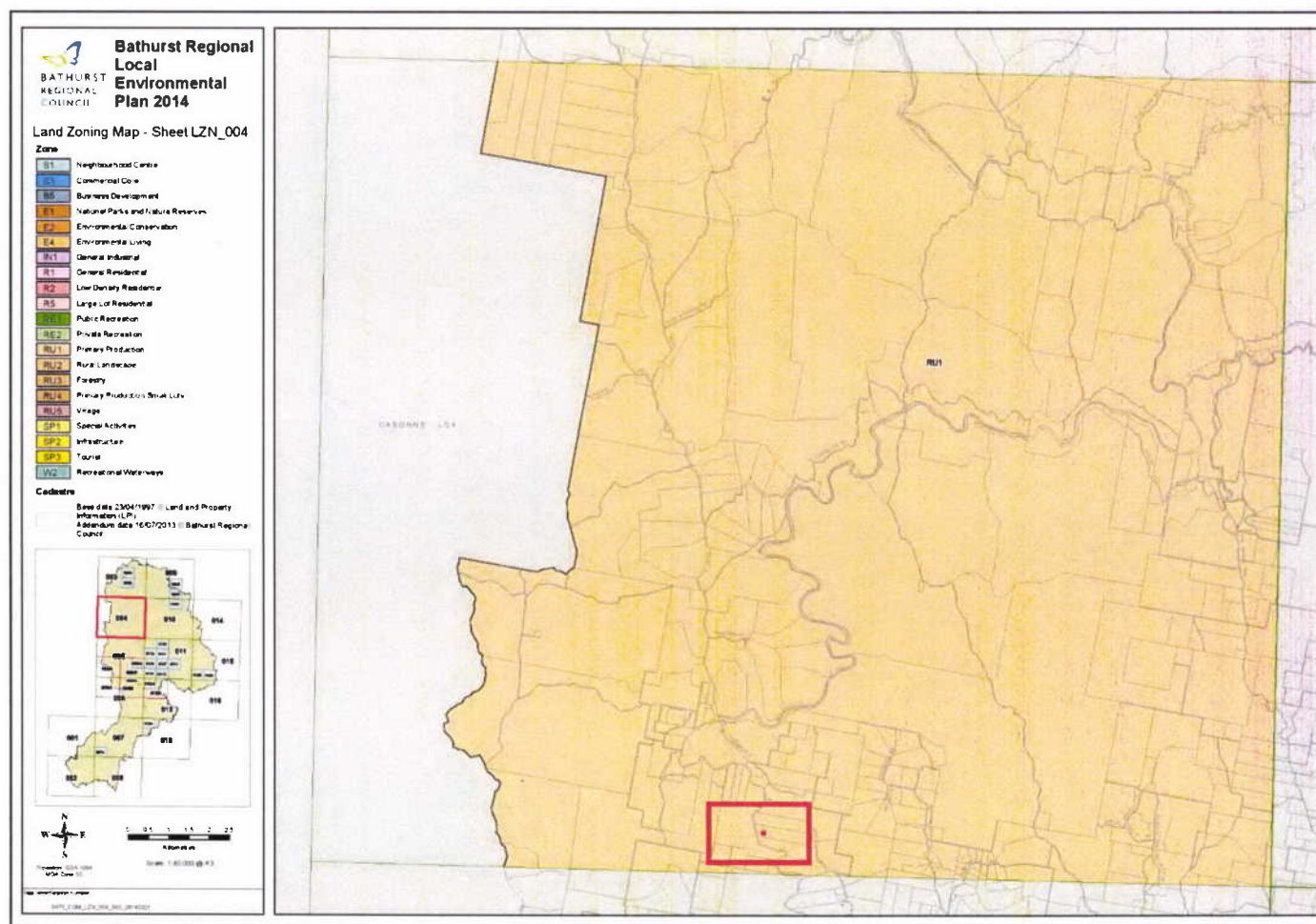
I as the applicant for this development, submit that I have correctly depicted the area that will be impacted or likely to be impacted as a result of the proposed development.

Signature \_\_\_\_\_ Date: 27/09/2021 10:43 AM



## Bathurst Local Environmental Plan 2014 – Zoning Map

The subject land (marked by the red point) is zoned RU1 – Primary Production. The Bathurst LEP does not contain dedicated mapping of areas of biodiversity significance.








## **Appendix B: Vegetation Plot Locations and Photographs**

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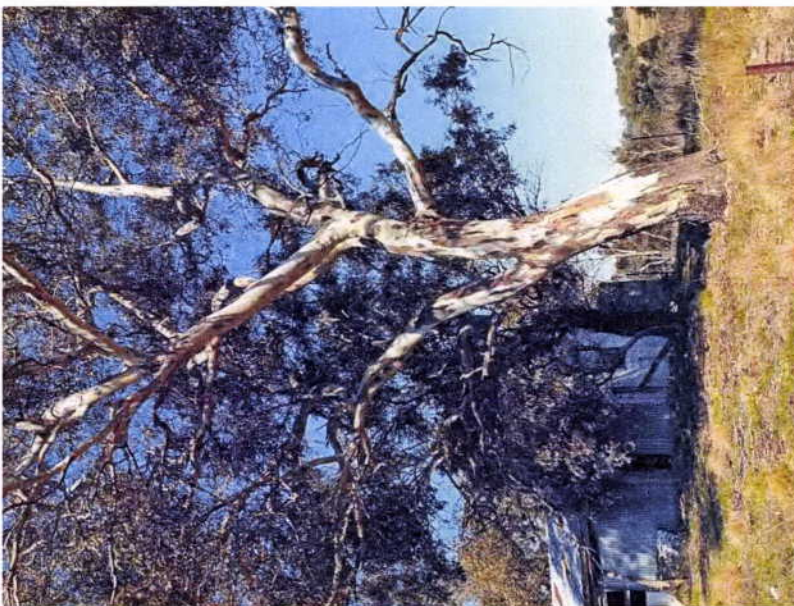


Plot Name	PCT	Bearing	Easting (Zone 55)	Northing (Zone 55)	Photographs	
						
BG01	1330	354°	723232	6313208		



Plot Name	PCT	Bearing	Easting (Zone 55)	Northing (Zone 55)	Photographs
BG02	1330	192°	723167	6313211	



Plot Name	PCT	Bearing	Easting (Zone 55)	Northing (Zone 55)	Photographs	
						
BG03	1330	101°	723198	6313140		



## Appendix C: Field Survey Results

### Fauna species list

In total, 15 fauna species were identified on the subject land during the field surveys, comprising nine birds (all native), three frogs (all native), and three mammals (all introduced).

Scientific Name	Common name	Native	Exotic	Endemic	Notes
<i>Malurus cyaneus</i>	Superb Fairy-wren	-	-	N	Seen/Heard
<i>Pardalotus striatus</i>	Striated Pardalote	-	-	N	Heard
<i>Gymnorhina tibicen</i>	Australian Magpie	-	-	N	Seen/Heard
<i>Manorina melanocephala</i>	Noisy Miner	-	-	N	Heard
<i>Dacelo novaeguineae</i>	Laughing Kookaburra	-	-	N	Seen/Heard
<i>Psephotous haematonotus</i>	Red-rumped Parrot	-	-	N	Seen/Heard
<i>Strepera graculina</i>	Pied Currawong	-	-	N	Seen/Heard
<i>Coturnix ypsilophora</i>	Brown Quail	-	-	N	Seen/Heard
<i>Acanthiza chrysorrhoa</i>	Yellow-rumped Thornbill	-	-	N	Seen/Heard
<i>Lepus europaeus</i>	European Hare (dead)	-	-	E	Seen
<i>Ovis aries</i>	Sheep (dead)	-	-	E	Seen
<i>Lama pacos</i>	Alpaca	-	-	E	Seen
<i>Limnodynastes tasmaniensis</i>	Spotted Marsh Frog	-	-	N	Heard
<i>Litoria peronii</i>	Peron's Tree Frog	-	-	N	Heard
<i>Crinia parinsignifera</i>	Eastern Sign-bearing Froglet	-	-	N	Heard

<sup>1</sup>N = native, E = exotic



## Flora species list

In total, 48 plant species were recorded within the subject land during the field survey, of which equal numbers (24) were native and exotic.

Growth Form	Scientific Name	Common Name	Native	Exotic
TG	<i>Eucalyptus blakelyi</i>	Blakely's Red Gum	N	N
TG	<i>Eucalyptus melliodora</i>	Yellow Box	N	N
SG	<i>Rubus fruticosus</i> species aggregate	Blackberry	E	Y
FG	<i>Arctotheca calendula</i>	Capeweed	E	N
FG	<i>Carthamus lanatus</i>	Saffron Thistle	E	Y
FG	<i>Cirsium vulgare</i>	Spear Thistle	E	N
FG	<i>Conyza bonariensis</i>	Flaxleaf Fleabane	E	N
FG	<i>Crassula colorata</i>	Stonecrop	N	N
FG	<i>Cymbonotus lawsonianus</i>	Bear's-ear	N	N
FG	<i>Echium plantagineum</i>	Paterson's Curse	E	N
FG	<i>Einadia nutans</i>	Climbing Saltbush	N	N
FG	<i>Heliotropium amplexicaule</i>	Blue Heliotrope	E	Y
FG	<i>Helminthotheca echioides</i>	Bristly Oxtongue	E	N
FG	<i>Hypericum perforatum</i>	St John's Wort	E	Y
FG	<i>Hypochaeris glabra</i>	Smooth Catsear	E	N
FG	<i>Hypochaeris radicata</i>	Flatweed	E	N
FG	<i>Lythrum hyssopifolium</i>	Hyssop Loosestrife	N	N
FG	<i>Medicago truncatula</i>	Barrel Medic	E	N
FG	<i>Modiola caroliniana</i>	Red-flowered Mallow	E	N
FG	<i>Oxalis exilis</i>	Native Oxalis	N	N
FG	<i>Pseudognaphalium luteoalbum</i>	Jersey Cudweed	N	N
FG	<i>Rumex acetosella</i>	Sorrel	E	Y
FG	<i>Rumex brownii</i>	Narrow-leaved Dock	N	N
FG	<i>Rumex crispus</i>	Curled Dock	E	N
FG	<i>Samolus valerandi</i>	Common Brookweed	N	N
FG	<i>Trifolium subterraneum</i>	Subterranean Clover	E	N
GG	<i>Austrostipa scabra</i>	Speargrass	N	N
GG	<i>Avena barbata</i>	Bearded Oats	E	N
GG	<i>Avena fatua</i>	Wild Oat	E	N
GG	<i>Bothriochloa macra</i>	Red Grass	N	N
GG	<i>Bromus catharticus</i>	Prairie Grass	E	N
GG	<i>Cynodon dactylon</i>	Couch	N	N
GG	<i>Dactylis glomerata</i>	Cocksfoot	E	N
GG	<i>Diplachne fusca</i>	Brown Beetle Grass	N	N



Category	Scientific Name	Common Name	Native	HTE <sup>3</sup>
GG	<i>Eragrostis parviflora</i>	Weeping Lovegrass	N	N
GG	<i>Juncus filicaulis</i>	Rush	N	N
GG	<i>Juncus subsecundus</i>	Rush	N	N
GG	<i>Lomandra filiformis</i>	Wattle Mat-rush	N	N
GG	<i>Microlaena stipoides</i>	Weeping Grass	N	N
GG	<i>Panicum capillare</i>	Witchgrass	E	N
GG	<i>Paspalidium aversum</i>	Paspalidium	N	N
GG	<i>Poa pratensis</i>	Kentucky Bluegrass	E	N
GG	<i>Poa sieberiana</i>	Snow Grass	N	N
GG	<i>Rytidosperma caespitosum</i>	Ringed Wallaby Grass	N	N
GG	<i>Setaria</i> sp.	Foxtail Grass	E	N
GG	<i>Vulpia bromoides</i>	Squirrel Tail Fescue	E	N
OG	<i>Asterella drummondii</i>	Liverwort	N	N
OG	<i>Riccia</i> sp.	Liverwort	N	N

<sup>1</sup>FG = Forb, GG = Grass and Grass-like, SG = Shrub, TG = Tree, EG = Fern, OG = Other. <sup>2</sup>N = Native, E = Exotic. <sup>3</sup>HTE = High Threat Exotic.



## BAM Plot survey data sheets

**BAM Plot - Field Survey Sheet** Page 1 of (2)

Date <u>16.08.21</u>		Survey Name <u>Better Green</u>	
Recorders		Plot ID # <u>BG01</u>	Zone ID
Photo #		Plot dimensions <u>20x50</u>	
Datum <u>CADA4</u>	Zone <u>55</u>	Plot bearing along midline <u>353.8</u>	
Easting <u>723231 98</u>	Northing <u>6813267 81</u>	Record magnetic bearing along midline from 0 m point	
<small>Record easting, northing at plot marker (0 m point). Photos taken vertically and horizontally at 0m point and 50 m point, looking into plot</small>			
IBRA region <u>South Eastern Highlands</u>			
Subregion <u>Hill End</u>			
Likely Vegetation Class			
Plant Community Type <u>B30</u>		Condition state <u>improved</u>	

Floristics plot is centred on the midline, at 0 m point, 10 m either side

BAM Composition / Structure plot (400m <sup>2</sup> )			
Dimensions (circle applicable size)		Sum values*	
<u>20 x 20 m</u>	10 x 40 m		
Native Richness (count of native species)	Trees	0	
	Shrubs	0	
	Grasses etc	7	
	Forbs	2	
	Ferns	0	
Cover (sum of cover of natives species)	Trees	0	
	Shrubs	0	
	Grasses etc	7.1	
	Forbs	0.2	
	Ferns	0	
Other			
High threat weed cover <u>75.2</u>			

\*These values summarise the floristic data for input into BAM calculator

Function plot is an extension of floristics plot out to 50 m along midline (or equiv. area)

BAM Function plot (1000m <sup>2</sup> )			
Dimensions (circle applicable size)			
<u>20 x 50 m</u>	10 x 100 m		
Tree stem DBH (cm)		Notes on function attributes:	
>80	(#) 0	Stem size class records # large trees (cf. benchmark)	
50 - 79	(#) 0	Record stems for living trees only, and for all species	
30 - 49	(+/-) ---	For multitemmed trees, record only the largest stem	
20 - 29	(+/-) -	Presence of <5cm stems records regeneration	
10 - 19	(+/-) -	Record # trees with hollows, not number of hollows	
5 - 9	(+/-) -	Count as one stem where tree is multitemmed	
< 5	(+/-) -	Hollow bearing stem may be a dead stem (incl. stag)	
# Trees with hollows	<20cm	Total #	
0	>20cm**	0	
Length of logs		Total (m)	
0		0	
<small>Measure length of logs &gt;10cm, fully or partly in contact with the ground, and within the plot</small>			
<small>**Hollows of &gt;20cm are recorded for habitat for some threatened species</small>			

BAM Litter / Groundcover (1 x 1 m plots)							
		1	2	3	4	5	Average
Sub-plot score (% cover)	Litter	15	20	40	5	10	18.7
	Bare ground						
	Cryptogam						
	Rock						

Litter / groundcover plots are located at 5, 15, 25, 35, 45 m (alternating sides) along the midline of Function plot

Other plot information (not essential for BAM)

Disturbance	Severity	Timing	Landform
Clearing (incl. logging)			Microrelief
Cultivation			Slope
Grazing (native / stock)			Aspect
Soil erosion			Soil surface texture
Firewood removal			Soil colour
Fire (ground stratum, and canopy/burnt)			Site drainage
Storm damage			Distance to nearest water
Weediness			Distance to nearest rock outcrop / cave

Severity code: 0=no evidence, 1=slight, 2=moderate, 3=severe  
Timing code: R = recent (<3y), NR = not recent, O = old/historic

Notes

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## BAM Plot - Field Survey Sheet

Page 2 of 2

Date 16.08.21 Survey Name Better Green:

Recorders		Plot ID # BGD1	Zone ID		
GF code	Genus species (tick if photographed or sample taken)	Cover %	Abund (count)	N, E, HTE	Stratum
FG	<i>Carthamus lanatus</i>	50	1000	HTE	
SG	<i>Rubus fruticosus</i> sp. agg.	20	13	HTE	
FG	<i>Heliotropium scaberrimum</i>	5	50	HTE	
GG	<i>Panicum capillare</i>	0.2	3	E	
GG	<i>Poa pratensis</i>	3	50	E	
GG	<i>Vulpia bromoides</i>	5	1000	E	
FG	<i>Hypericum perforatum</i>	0.2	7	HTE	
GG	<i>Eragrostis pectinacea</i>	0.1	2	N	
GG	<i>Microstachya stipularis</i>	5	100	N	
FG	<i>Trifolium subterraneum</i>	0.1	4	E	
FG	<i>Hyperbaenris glabra</i>	0.1	6	E	
GG	<i>Junco subsecundus</i>	0.5	13	N	
GG	<i>Lomandra filiformis</i>	1	15	N	
GG	<i>Poa sieberiana</i>	0.1	2	N	
GG	<i>Austrochloa scabra</i>	0.2	5	N	
FG	<i>Rumex crispus</i>	0.1	3	N	
FG	<i>Medicago truncatula</i>	0.2	6	E	
GG	<i>Eragrostis ciliaris</i>	0.1	2	E	
GG	<i>Setaria</i>	0.1	1	E	
FG	<i>Cirsium vulgare</i>	0.1	3	E	
GG	<i>Bothriochloa macra</i>	0.2	3	N	
GG	<i>Avena barbata</i>	0.1	1	E	
GG	<i>Lycium sp.</i>	0.1	7	N	
FG	<i>Acrotholus calandula</i>	0.1	1	E	
FG	<i>Cymbopogon lawsonianus</i>	0.1	1	N	

Growth Form (see BAM Appendix 4) - Tree (TG), Shrub (SG), Grass & grasslike (GG), Forb (FG), Fern (EG), Other (OG)  
 Cover: 0.1, 0.2, 0.3, ... 1, 2, 3, ... 10, 15, 20, 25, ... 100% (incl. leaf, branch, stem cover per species).  
 Abundance for each species with ≥5% cover: 1, 2, 3, 4, ... 10, 20, 30, ... 100, 500, 1000, 1500, 2000 stems  
 N=Native, E=Exotic, HTE=high threat exotic  
 All species in a plot must be recorded. If you can only ID to genus, separate different species by unique identifier e.g. Genus sp1, Genus sp2 etc.  
 Identify top 3 dominants in each stratum (use own stratum definitions) Cover area examples: 0.1% = 63x63cm, 0.5% = 1.4x1.4m, 1% = 2x2m, 5% = 4x4m, 25% = 10x10m

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## BAM Plot - Field Survey Sheet

Page 1 of ( 2 )

Date 16.08.21	Survey Name Better Green	Plot ID # BG02	Zone ID
Recorders		Plot dimensions 20 x 50	
Photo #		Plot bearing along midline 192.1	
Datum GDA94	Zone 55	Record magnetic bearing along midline from 0 m point	
Easting 723166.75	Northing 6313211.33		

Record easting, northing at plot marker (0 m point). Photos taken vertically and horizontally at 0 m point and 50 m point, looking into plot.

IBRA region South Eastern Highlands

Subregion Hill End

Likely Vegetation Class

Plant Community Type 1330

Condition state Degraded

Floristics plot is centred on the midline, at 0 m point, 10 m either side

Function plot is an extension of floristics plot out to 50 m along midline (or equiv. area)

BAM Composition / Structure plot (400m<sup>2</sup>)

Dimensions (circle applicable size)		Sum values*
20 x 20 m	10 x 40 m	
Native Richness (count of native species)	Trees	0
	Shrubs	0
	Grasses etc	9
	Forbs	5
	Ferns	0
Cover (sum of cover of natives species)	Trees	0
	Shrubs	0
	Grasses etc	59
	Forbs	0.5
	Ferns	0
Other		0

High threat weed cover 57.5

\*These values summarise the floristic data for input into BAM calculator

BAM Function plot (1000m<sup>2</sup>)

Dimensions (circle applicable size)		Notes on function attributes	
20 x 50 m	10 x 100 m		
Tree stem DBH (cm)			
>80	(#)	—	Stem size class records # large trees (cf. benchmark)
50 - 79	(#)	—	Record stems for living trees only, and for all species
30 - 49	(+/-)	—	For multitemmed trees, record only the largest stem
20 - 29	(+/-)	—	Presence of <5cm stems records regeneration
10 - 19	(+/-)	—	Record # trees with hollows, not number of hollows
5 - 9	(+/-)	—	Count as one stem where tree is multitemmed
< 5	(+/-)	—	Hollow bearing stem may be a dead stem (incl. snag)
# Trees with hollows	<20cm	Total #	
	>20cm**	0	
Length of logs		Total (m)	
0		0	

Measure length of logs &gt;10cm, fully or partly in contact with the ground, and within the plot.

\*\*Hollows of &gt;20cm are recorded for habitat for some threatened species

## BAM Litter/ Groundcover (1 x 1 m plots)

Litter cover is used for BAM, other attributes are useful for recording site condition in general

		1	2	3	4	5	Average
Sub-plot score (% cover)	Litter	50	30	10	10	10	22.7%
	Bare ground						
	Cryptogam						
	Rock						

Litter / groundcover plots are located at 5, 15, 25, 35, 45 m (alternating sides) along the midline of Function plot

## Other plot information (not essential for BAM)

Disturbance	Severity	Timing	Landform
Clearing (incl. logging)			Microrelief
Cultivation			Slope
Grazing (native / stock)			Aspect
Soil erosion			Soil surface texture
Firewood removal			Soil colour
Fire (ground stratum, mid, canopy burn*)			Site drainage
Storm damage			Distance to nearest water
Weediness			Distance to nearest rock outcrop /cave

Severity code: 0=no evidence, 1=slight, 2=moderate, 3= severe

Timing code: R = recent (&lt;3y), NR = not recent, O = old/historic

## Notes

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## BAM Plot - Field Survey Sheet

Page 1 of ( )

Date 16.08.21	Survey Name BetterGreen	Plot ID # RG03	Zone ID
Recorders		Plot dimensions 15x15	
Photo #		Plot bearing along midline 100.6	
Datum GDA94	Zone 55	Record magnetic bearing along midline from 0 m point	
Easting 723198	Northing 6313140		

Record easting, northing at plot marker (0 m point). Photos taken vertically and horizontally at 0 m point and 50 m point, looking into plot

IBRA region South Eastern Highlands

Subregion Hill End

Likely Vegetation Class

Plant Community Type 1330

Condition state Remnant

Floristics plot is centred on the midline, at 0 m point, 10 m either side

Function plot is an extension of floristics plot out to 50 m along midline (or equiv. area)

BAM Composition / Structure plot (400m<sup>2</sup>)

Dimensions (circle applicable size)			Sum values*
20x20m 15x15m 10x40m			
Native Richness (count of native species)	Trees	2	
	Shrubs	0	
	Grasses etc	6	
	Forbs	5	
	Ferns	0	
Cover (sum of cover of natives species)	Other	0	
	Trees	75	
	Shrubs	0	
	Grasses etc	37.8	
	Forbs	2.1	
	Ferns	0	
	Other	0	

High threat weed cover 70

\*These values summarise the floristic data for input into BAM calculator

BAM Function plot (1000m<sup>2</sup>)

Dimensions (circle applicable size)			Notes on function attributes.
20x50m 10x100m 15x15m			
Tree stem DBH (cm)			
>80	(#)	0	Stem size class records # large trees (cf benchmark)
50 - 79	(#)	2	Record stems for living trees only, and for all species
30 - 49	(+/-)	-	For multistemmed trees, record only the largest stem
20 - 29	(+/-)	-	Presence of <5cm stems records regeneration
10 - 19	(+/-)	-	Record # trees with hollows, not number of hollows
5 - 9	(+/-)	-	Count as one stem where tree is multistemmed
<5	(+/-)	7	Hollow bearing stem may be a dead stem (incl stag)
# Trees with hollows	<20cm	Total #	
0	>20cm**	0	
Length of logs			Total (m)
0			0

Measure length of logs &gt;10cm, fully or partly in contact with the ground, and within the plot

\*\*Hollows of &gt;20cm are recorded for habitat for some threatened species

## BAM Litter/ Groundcover (1 x 1 m plots)

Litter cover is used for BAM, other attributes are useful for recording site condition in general

		1	2	3	4	5	Average
Sub-plot score (% cover)	Litter	55	70	30	70	35	41%
	Bare ground						
	Cryptogam						
	Rock						

Litter / groundcover plots are located at 5, 15, 25, 35, 45 m (alternating sides) along the midline of Function plot

## Other plot information (not essential for BAM)

Disturbance	Severity	Timing	Landform
Clearing (incl logging)			Microrelief
Cultivation			Slope
Grazing (native / stock)			Aspect
Soil erosion			Soil surface texture
Firewood removal			Soil colour
Fire (ground stratum and canopy burnt)			Site drainage
Storm damage			Distance to nearest water
Weediness			Distance to nearest rock outcrop / cave

Severity code: 0=no evidence, 1=slight, 2=moderate, 3=severe

Timing code: R = recent (&lt;3y), NR = not recent, O = old/historic

## Notes

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## Appendix D: BC Act Habitat Suitability Assessment

List generated by conducting a vegetation associations report for the Brigalow Belt South Bioregion (Hill End, Bathurst, and Orange Subregions) and filtering the results by the PCT present within the subject site. To determine whether any threatened species occurred near the subject site, BioNet Atlas records of threatened species within these subregions were downloaded and the records clipped to within 10 km of the subject site in QGIS.

**Likelihood of occurrence table for BC Act-listed threatened species**

Species name	Common Name	NSW Status	Comm. Status	Record within 10 km	Likelihood of Occurrence	5-part test required (Yes / No)
<i>Mixophyes balbus</i>	Stuttering Frog	E1,P,2	V	No	<p>Stuttering Frogs occur along the east coast of Australia from southern Queensland to north-eastern Victoria. Considered to have disappeared from Victoria and to have undergone considerable range contraction in NSW, particularly in south-east NSW. It is the only <i>Mixophyes</i> species that occurs in south-east NSW and in recent surveys it has only been recorded at three locations south of Sydney. The Dorrigo region, in north-east NSW, appears to be a stronghold for this species. Found in rainforest and wet, tall open forest in the foothills and escarpment on the eastern side of the Great Dividing Range. Outside the breeding season adults live in deep leaf litter and thick understorey vegetation on the forest floor.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Litoria aurea</i>	Green and Golden Bell Frog	E1,P	V	No	<p>Formerly distributed from the NSW north coast near Brunswick Heads, southwards along the NSW coast to Victoria where it extends into east Gippsland. Records from west to Bathurst, Tumut and the ACT region. Since 1990 there have been approximately 50 recorded locations in NSW, most of which are small, coastal, or near coastal populations. These locations occur over the species' former range, however they are widely separated and isolated. Large populations in NSW are located around the metropolitan areas of Sydney, Shoalhaven and mid north coast (one an island population). There is only one known population on the NSW Southern Tablelands. Inhabits marshes, dams and stream-sides, particularly those containing bullrushes (<i>Typha</i> spp.) or spikerushes (<i>Eleocharis</i> spp.). Optimum habitat includes water-bodies that are unshaded, free of predatory fish such as Plague Minnow (<i>Gambusia holbrooki</i>), have a grassy area nearby and diurnal sheltering sites available.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No



<i>Litoria booroolongensis</i>	Booroolong Frog	E1,P	E	No	<p>The Booroolong Frog is restricted to NSW and north-eastern Victoria, predominantly along the western-flowing streams of the Great Dividing Range. It has disappeared from much of the Northern Tablelands, however several populations have recently been recorded in the Namoi catchment. The species is rare throughout most of the remainder of its range. Live along permanent streams with some fringing vegetation cover such as ferns, sedges or grasses. Adults occur on or near cobble banks and other rock structures within stream margins.</p> <p><b>Low – Subject site within known distribution. Associated vegetation community (PCT 1330) present but no suitable habitat within subject site. No records within 10 km.</b></p>	No
<i>Litoria castanea</i>	Yellow-spotted Tree Frog			No	<p>Historically, this species occurred in two separate highland ranges: on the New England Tableland, and on the southern and central tablelands from Bathurst to Bombala. Following the chytrid virus pandemic in the 1970s, this species went unrecorded for 30 years and was believed to be extinct, until it was rediscovered in 2009 on the Southern Tablelands. This population - near Yass - remains the only known extant site of the species. Require large permanent ponds or slow flowing 'chain-of-ponds' streams with abundant emergent vegetation such as bulrushes and aquatic vegetation. Adults are active during spring and summer and bask on sunny days. Move and forage at night on grassy banks or float on the water's surface.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Litoria littlejohni</i>	Littlejohn's Tree Frog	V,P	V	No	<p>Littlejohn's Tree Frog has a distribution that includes the plateaus and eastern slopes of the Great Dividing Range from Watagan State Forest (90 km north of Sydney) south to Buchan in Victoria. The majority of records are from within the Sydney Basin Bioregion with only scattered records south to the Victorian border and this species has not been recorded in southern NSW within the last decade. Records are isolated and tend to be at high altitude. This species breeds in the upper reaches of permanent streams and in perched swamps. Non-breeding habitat is heath-based forests and woodlands where it shelters under leaf litter and low vegetation, and hunts for invertebrate prey either in shrubs or on the ground.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Litoria raniformis</i>	Southern Bell Frog	E1,P	V	No	<p>In NSW the species was once distributed along the Murray and Murrumbidgee Rivers and their tributaries, the southern slopes of the Monaro district and the central southern tablelands as far north as Tarana, near Bathurst. Currently, the species is known to exist only in isolated populations in the Coleambally Irrigation Area, the Lowbidgee floodplain and around Lake Victoria. A few yet unconfirmed records have also been made in the Murray Irrigation Area in recent years. The species is also found in Victoria, Tasmania and South Australia, where it has also become endangered. Usually found in or around permanent or ephemeral Black Box/Lignum/Nitro Goosefoot swamps, Lignum/Typha swamps and River Red Gum swamps or billabongs along floodplains and river valleys. They are also found in irrigated rice crops, particularly where there is no available natural</p>	No



					habitat. <b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b>	
<i>Pseudophryne australis</i>	Red-crowned Toadlet	V,P		No	<p>The Red-crowned Toadlet has a restricted distribution. It is confined to the Sydney Basin, from Pokolbin in the north, the Nowra area to the south, and west to Mt Victoria in the Blue Mountains. Occurs in open forests, mostly on Hawkesbury and Narrabeen Sandstones. Inhabits periodically wet drainage lines below sandstone ridges that often have shale lenses or cappings. Shelters under rocks and amongst masses of dense vegetation or thick piles of leaf litter. Breeding congregations occur in dense vegetation and debris beside ephemeral creeks and gutters. Red-crowned Toadlets have not been recorded breeding in waters that are even mildly polluted or with a pH outside the range 5.5 to 6.5. Eggs are laid in moist leaf litter, from where they are washed by heavy rain; a large proportion of the development of the tadpoles takes place in the egg. Disperses outside the breeding period, when they are found under rocks and logs on sandstone ridges and forage amongst leaf-litter. Red-crowned Toadlets are quite a localised species that appear to be largely restricted to the immediate vicinity of suitable breeding habitat. Red-crowned Toadlets are usually found as small colonies scattered along ridges coinciding with the positions of suitable refuges near breeding sites. Due to this tendency for discrete populations to concentrate at particular sites, a relatively small, localised disturbance may have a significant impact on a local population if it occurs on a favoured breeding or refuge site.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>^Hoplcephalus bungaroides</i>	Broad-headed Snake	E1,P,2	V	No	<p>The Broad-headed Snake is largely confined to Triassic and Permian sandstones, including the Hawkesbury, Narrabeen and Shoalhaven groups, within the coast and ranges in an area within approximately 250 km of Sydney. Nocturnal. Shelters in rock crevices and under flat sandstone rocks on exposed cliff edges during autumn, winter and spring. Moves from the sandstone rocks to shelters in crevices or hollows in large trees within 500m of escarpments in summer. Feeds mostly on geckos and small skinks, will also eat frogs and small mammals occasionally.</p> <p><b>Low – Subject site within predicted but not known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Aprasia parapulchella</i>	Pink-tailed Legless Lizard	V,P	V	No	<p>There is a concentration of populations in the Canberra/Queanbeyan Region. Other populations have been recorded near Cooma, Yass, Bathurst, Albury and West Wyalong. This species is also found in the Australian Capital Territory. Inhabits sloping, open woodland areas with predominantly native grassy groundlayers, particularly those dominated by Kangaroo Grass (<i>Themeda australis</i>). Sites are typically well-drained, with rocky outcrops or scattered, partially-buried rocks. Commonly found beneath small, partially-embedded rocks and appear to spend considerable time in burrows below these rocks; the burrows have been constructed by and are often still inhabited by small black ants and termites.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community</b></p>	Yes



					<b>(PCT 1330) present and some marginally suitable habitat within subject site. No records within 10 km.</b>	
<i>Delma impar</i>	Striped Legless Lizard	V,P	V	No	<p>The Striped Legless Lizard occurs in the Southern Tablelands, the South West Slopes, the Upper Hunter and possibly on the Riverina. Populations are known in the Goulburn, Yass, Queanbeyan, Cooma, Muswellbrook and Tumut areas. Also occurs in the ACT, Victoria and south-eastern South Australia. Found mainly in Natural Temperate Grassland but has also been captured in grasslands that have a high exotic component. Also found in secondary grassland near Natural Temperate Grassland and occasionally in open Box-Gum Woodland.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some marginally suitable habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Varanus rosenbergi</i>	Rosenberg's Goanna	V,P		No	<p>Rosenberg's Goanna occurs on the Sydney Sandstone in Wollemi National Park to the north-west of Sydney, in the Goulburn and ACT regions and near Cooma in the south. There are records from the South West Slopes near Khancoban and Tooma River. Also occurs in South Australia and Western Australia. Found in heath, open forest and woodland. Associated with termites, the mounds of which this species nests in; termite mounds are a critical habitat component.</p> <p><b>Low - Subject site within known distribution. Associated vegetation community (PCT 1330) present; however, critical habitat features, namely termite mounds, are absent. No records within 10 km.</b></p>	No
<i>Anseranas semipalmata</i>	Magpie Goose	V,P		No	<p>Mainly found in shallow wetlands (less than 1 m deep) with dense growth of rushes or sedges. Equally at home in aquatic or terrestrial habitats, often seen walking and grazing on land; feeds on grasses, bulbs and rhizomes. Activities are centred on wetlands, mainly those on floodplains of rivers and large shallow wetlands formed by run-off. Often seen in trios or flocks on shallow wetlands, dry ephemeral swamps, wet grasslands and floodplains; roosts in tall vegetation.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Oxyura australis</i>	Blue-billed Duck	V,P		No	<p>The Blue-billed Duck is endemic to south-eastern and south-western Australia. It is widespread in NSW, but most common in the southern Murray-Darling Basin area. Birds disperse during the breeding season to deep swamps up to 300 km away. It is generally only during summer or in drier years that they are seen in coastal areas. The Blue-billed Duck prefers deep water in large permanent wetlands and swamps with dense aquatic vegetation. The species is completely aquatic, swimming low in the water along the edge of dense cover.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Stictonetta naevosa</i>	Freckled Duck	V,P		No	<p>The Freckled Duck is found primarily in south-eastern and south-western Australia, occurring as a vagrant elsewhere. It breeds in large temporary swamps created by floods in the Bulloo and Lake Eyre basins and the Murray-Darling system, particularly along the</p>	No



					<p>Paroo and Lachlan Rivers, and other rivers within the Riverina. The duck is forced to disperse during extensive inland droughts when wetlands in the Murray River basin provide important habitat. The species may also occur as far as coastal NSW and Victoria during such times. Prefer permanent freshwater swamps and creeks with heavy growth of Cumbungi, Lignum or Tea-tree. During drier times they move from ephemeral breeding swamps to more permanent waters such as lakes, reservoirs, farm dams and sewage ponds.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	
<i>Apus pacificus</i>	Fork-tailed Swift	P	C,J,K	No	<p>In NSW, the Fork-tailed Swift is recorded in all regions. Many records occur east of the Great Divide; however, a few populations have been found west of the Great Divide. These are widespread but scattered further west of the line joining Bourke and Dareton. Sightings have been recorded at Milparinka, the Bulloo River and Thurloo Downs (Higgins 1999). The Fork-tailed Swift is almost exclusively aerial, flying from less than 1 m to at least 300 m above ground and probably much higher.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Hirundapus caudacutus</i>	White-throated Needletail	P	V,C,J,K	No	<p>The White-throated Needletail is widespread in eastern and south-eastern Australia (Barrett et al. 2003; Blakers et al. 1984; Higgins 1999). In eastern Australia, it is recorded in all coastal regions of Queensland and NSW, extending inland to the western slopes of the Great Divide and occasionally onto the adjacent inland plains. In Australia, the White-throated Needletail is almost exclusively aerial, from heights of less than 1 m up to more than 1000 m above the ground (Coventry 1989; Tarburton 1993, Watson 1955). Because they are aerial, it has been stated that conventional habitat descriptions are inapplicable (Cramp 1985), but there are, nevertheless, certain preferences exhibited by the species. Although they occur over most types of habitat, they are probably recorded most often above wooded areas, including open forest and rainforest, and may also fly between trees or in clearings, below the canopy, but they are less commonly recorded flying above woodland (Higgins 1999).</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Botaurus poiciloptilus</i>	Australasian Bittern	E1,P	E	No	<p>Australasian Bitterns are widespread but uncommon over south-eastern Australia. In NSW they may be found over most of the state except for the far north-west. Favours permanent freshwater wetlands with tall, dense vegetation, particularly bulrushes.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Circus assimilis</i>	Spotted Harrier	V,P		No	<p>The Spotted Harrier occurs throughout the Australian mainland, except in densely forested or wooded habitats of the coast, escarpment and ranges, and rarely in Tasmania. Individuals disperse widely in NSW and comprise a single population. Occurs in grassy open woodland including Acacia and mallee remnants, inland riparian woodland, grassland and shrub steppe. It is found most commonly in native grassland, but also occurs in</p>	No



					agricultural land, foraging over open habitats including edges of inland wetlands. <b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b>	
<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	V,P		No	The White-bellied Sea-eagle is distributed around the Australian coastline, including Tasmania, and well inland along rivers and wetlands of the Murray Darling Basin. In New South Wales it is widespread in habitats characterised by the presence of large areas of open water including larger rivers, swamps, lakes, and the sea. Along the east coast, and along all major inland rivers and waterways. <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present. Species may make use of nearby waterways. No records within 10 km.</b>	Yes
<i>Hieraaetus morphnoides</i>	Little Eagle	V,P		No	The Little Eagle is found throughout the Australian mainland excepting the most densely forested parts of the Dividing Range escarpment. It occurs as a single population throughout NSW. Occupies open eucalypt forest, woodland or open woodland. Sheoak or Acacia woodlands and riparian woodlands of interior NSW are also used. <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Lophoictinia isura</i>	Square-tailed Kite	V,P,3		No	The Square-tailed Kite ranges along coastal and subcoastal areas from south-western to northern Australia, Queensland, NSW and Victoria. In NSW, scattered records of the species throughout the state indicate that the species is a regular resident in the north, north-east and along the major west-flowing river systems. It is a summer breeding migrant to the south-east, including the NSW south coast, arriving in September and leaving by March. Found in a variety of timbered habitats including dry woodlands and open forests. Shows a particular preference for timbered watercourses. <b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b>	No
<i>Falco subniger</i>	Black Falcon	V,P		No	The Black Falcon is widely, but sparsely, distributed in New South Wales, mostly occurring in inland regions. Some reports of 'Black Falcons' on the tablelands and coast of New South Wales are likely to be referable to the Brown Falcon. In New South Wales there is assumed to be a single population that is continuous with a broader continental population, given that falcons are highly mobile, commonly travelling hundreds of kilometres. The Black Falcon occurs as solitary individuals, in pairs, or in family groups of parents and offspring. <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Grus rubicunda</i>	Brolga	V,P		No	The Brolga was formerly found across Australia, except for the south-east corner, Tasmania and the south-western third of the country. It is still abundant in the northern	No



					<p>tropics, but very sparse across the southern part of its range. Though Brolgas often feed in dry grassland or ploughed paddocks or even desert claypans, they are dependent on wetlands too, especially shallow swamps, where they will forage with their head entirely submerged.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	
<i>Burhinus grallarius</i>	Bush Stone-curlew	E1,P		No	<p>The Bush Stone-curlew is found throughout Australia except for the central southern coast and inland, the far south-east corner, and Tasmania. Only in northern Australia is it still common however and, in the south-east, it is either rare or extinct throughout its former range. Inhabits open forests and woodlands with a sparse grassy ground layer and fallen timber.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Rostratula australis</i>	Australian Painted Snipe	E1,P	E	No	<p>The Australian Painted Snipe is restricted to Australia. Most records are from the south east, particularly the Murray Darling Basin, with scattered records across northern Australia and historical records from around the Perth region in Western Australia. In NSW many records are from the Murray-Darling Basin including the Paroo wetlands, Lake Cowal, Macquarie Marshes, Fivebough Swamp and more recently, swamps near Balldale and Wanganella. Other important locations with recent records include wetlands on the Hawkesbury River and the Clarence and lower Hunter Valleys. Prefers fringes of swamps, dams and nearby marshy areas where there is a cover of grasses, lignum, low scrub or open timber. Nests on the ground amongst tall vegetation, such as grasses, tussocks or reeds.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Actitis hypoleucos</i>	Common Sandpiper	P	C,J,K	No	<p>The Common Sandpiper breeds in Europe and Asia. In Australasia it visits New Guinea and Australia, mainly in the north and west. It is less often seen in New Zealand. In Australia, the Common Sandpiper is found in coastal or inland wetlands, both saline or fresh. It is found mainly on muddy edges or rocky shores. During the breeding season in the northern hemisphere, it prefers freshwater lakes and shallow rivers.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Calidris acuminata</i>	Sharp-tailed Sandpiper	P	C,J,K	No	<p>The Sharp-tailed Sandpiper is a summer migrant from Arctic Siberia, being found on wetlands throughout Australia. It is also found in Indonesia, Papua New Guinea, the Solomon Islands, New Caledonia and New Zealand. It is a vagrant to India, Europe, western North America, Fiji and other parts of the central Pacific region. The Sharp-tailed Sandpiper prefers the grassy edges of shallow inland freshwater wetlands. It is also found around sewage farms, flooded fields, mudflats, mangroves, rocky shores and beaches. Its breeding habitat in Siberia is the peat-hummock and lichen tundra of the high Arctic.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities</b></p>	No



					<b>or suitable habitat present. No records within 10 km.</b>	
<i>Calidns ferruginea</i>	Curlew Sandpiper	E1,P	CE,C,J,K	No	<p>The Curlew Sandpiper is distributed around most of the Australian coastline (including Tasmania). It occurs along the entire coast of NSW, particularly in the Hunter Estuary, and sometimes in freshwater wetlands in the Murray-Darling Basin. Inland records are probably mainly of birds pausing for a few days during migration. It generally occupies littoral and estuarine habitats, and in New South Wales is mainly found in intertidal mudflats of sheltered coasts.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Gallinago hardwickii</i>	Latham's Snipe	P	J,K	No	<p>Latham's Snipe is a non-breeding visitor to south-eastern Australia and is a passage migrant through northern Australia (i.e. it travels through northern Australia to reach non-breeding areas located further south). The species has been recorded along the east coast of Australia from Cape York Peninsula through to south-eastern South Australia (including the Adelaide plains and Mount Lofty Ranges, and the Eyre Peninsula). The range extends inland over the eastern tablelands in south-eastern Queensland (and occasionally from Rockhampton in the north), and to west of the Great Dividing Range in New South. The species is widespread in Tasmania and is found in all regions of Victoria except for the north-west. Most birds spend the non-breeding period at sites located south of the Richmond River in New South Wales. In Australia, Latham's Snipe occurs in permanent and ephemeral wetlands up to 2000 m above sea-level. They usually inhabit open, freshwater wetlands with low, dense vegetation (e.g. swamps, flooded grasslands or heathlands, around bogs and other water bodies. However, they can also occur in habitats with saline or brackish water, in modified or artificial habitats, and in habitats located close to humans or human activity.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Limosa limosa</i>	Black-tailed Godwit	V,P	C,J,K	No	<p>The Black-tailed Godwit is a migratory wading bird that breeds in Mongolia and Eastern Siberia and flies to Australia for the southern summer, arriving in August and leaving in March. In NSW, it is most frequently recorded at Kooragang Island (Hunter River estuary), with occasional records elsewhere along the coast, and inland. Records in western NSW indicate that a regular inland passage is used by the species, as it may occur around any of the large lakes in the western areas during summer, when the muddy shores are exposed. The species has been recorded within the Murray-Darling Basin, on the western slopes of the Northern Tablelands and in the far north-western corner of the state. Primarily a coastal species.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	V,P,3		No	<p>The Gang-gang Cockatoo is distributed from southern Victoria through south- and central-eastern New South Wales. In New South Wales, the Gang-gang Cockatoo is distributed from the south-east coast to the Hunter region, and inland to the Central Tablelands and south-west slopes. It is rare at the extremities of its range, with isolated records known from as far north as Coffs Harbour and as far west as Mudgee. In spring and summer, generally found in tall mountain forests and woodlands, particularly in heavily timbered and</p>	Yes



					<p>mature wet sclerophyll forests. In autumn and winter, the species often moves to lower altitudes in drier more open eucalypt forests and woodlands, particularly box-gum and box-ironbark assemblages, or in dry forest in coastal areas and often found in urban areas.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	
<i>Calyptrorhynchus lathamii</i>	Glossy Black-Cockatoo	V,P,2		No	<p>The species is uncommon although widespread throughout suitable forest and woodland habitats, from the central Queensland coast to East Gippsland in Victoria, and inland to the southern tablelands and central western plains of NSW, with a small population in the Riverina. An isolated population exists on Kangaroo Island, South Australia. Inhabits open forest and woodlands of the coast and the Great Dividing Range where stands of sheoak occur. Black Sheoak (<i>Allocasuarina littoralis</i>) and Forest Sheoak (<i>A. torulosa</i>) are important foods.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present. May make use of nearby <i>Casuarina</i>-dominated vegetation in the riparian corridor. No foraging habitat within the subject site. No records within 10 km.</b></p>	Yes
<i>Glossopsitta pusilla</i>	Little Lorikeet	V,P		No	<p>The Little Lorikeet is distributed widely across the coastal and Great Divide regions of eastern Australia from Cape York to South Australia. NSW provides a large portion of the species' core habitat, with lorikeets found westward as far as Dubbo and Albury. Forages primarily in the canopy of open Eucalyptus forest and woodland, yet also finds food in Angophora, Melaleuca and other tree species. Riparian habitats are particularly used, due to higher soil fertility and hence greater productivity. Isolated flowering trees in open country, e.g. paddocks, roadside remnants and urban trees also help sustain viable populations of the species.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Lathamus discolor</i>	Swift Parrot	E1,P,3	CE	Yes	<p>The Swift Parrot breeds in Tasmania during spring and summer, migrating in the autumn and winter months to south-eastern Australia from Victoria and the eastern parts of South Australia to south-east Queensland. In NSW mostly occurs on the coast and south west slopes. Migrates to the Australian south-east mainland between March and October. On the mainland they occur in areas where eucalypts are flowering profusely or where there are abundant lerp (from sap-sucking bugs) infestations. Favoured feed trees include winter flowering species such as Swamp Mahogany <i>Eucalyptus robusta</i>, Spotted Gum <i>Corymbia maculata</i>, Red Bloodwood <i>C. gummifera</i>, Mugga Ironbark <i>E. sideroxylon</i>, and White Box <i>E. albens</i>. Commonly used lerp infested trees include Inland Grey Box <i>E. microcarpa</i>, Grey Box <i>E. moluccana</i> and Blackbutt <i>E. pilulans</i>.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. One record within 10 km.</b></p>	Yes



<i>Neophema pulchella</i>	Turquoise Parrot	V,P,3		No	<p>The Turquoise Parrot's range extends from southern Queensland through to northern Victoria, from the coastal plains to the western slopes of the Great Dividing Range. Lives on the edges of eucalypt woodland adjoining clearings, timbered ridges and creeks in farmland.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Polytelis swainsonii</i>	Superb Parrot	V,P,3	V	No	<p>The Superb Parrot is found throughout eastern inland NSW. On the South-western Slopes their core breeding area is roughly bounded by Cowra and Yass in the east, and Grenfell, Cootamundra and Coolac in the west. Birds breeding in this region are mainly absent during winter, when they migrate north to the region of the upper Namoi and Gwydir Rivers. The other main breeding sites are in the Riverina along the corridors of the Murray, Edward and Murrumbidgee Rivers where birds are present all year round. This species inhabits Box-Gum, Box-Cypress-pine and Boree Woodlands and River Red Gum Forest. In the Riverina the birds nest in the hollows of large trees (dead or alive) mainly in tall riparian River Red Gum Forest or Woodland. On the South West Slopes nest trees can be in open Box-Gum Woodland or isolated paddock trees. Species known to be used are Blakely's Red Gum, Yellow Box, Apple Box and Red Box. May forage up to 10 km from nesting sites, and feed in trees and understorey shrubs and on the ground and their diet consists mainly of grass seeds and herbaceous plants.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Ninox connivens</i>	Barking Owl	V,P,3		No	<p>The Barking Owl is found throughout continental Australia except for the central arid regions. Although common in parts of northern Australia, the species has declined greatly in southern Australia and now occurs in a wide but sparse distribution in NSW. Core populations exist on the western slopes and plains and in some northeast coastal and escarpment forests. Many populations crashed as woodland on fertile soils was cleared over the past century, leaving linear riparian strips of remnant trees as the last inhabitable areas. Surveys in 2001 demonstrated that the Pilliga Forest supported the largest population in southern Australia. The owls sometimes extend their home range into urban areas, hunting birds in garden trees and insects attracted to streetlights. Inhabits woodland and open forest, including fragmented remnants and partly cleared farmland. It is flexible in its habitat use, and hunting can extend in to closed forest and more open areas. Sometimes able to successfully breed along timbered watercourses in heavily cleared habitats (e.g. western NSW) due to the higher density of prey on these fertile riparian soils.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Ninox strenua</i>	Powerful Owl	V,P,3		No	<p>The Powerful Owl is endemic to eastern and south-eastern Australia, mainly on the coastal side of the Great Dividing Range from Mackay to south-western Victoria. In NSW, it is widely distributed throughout the eastern forests from the coast inland to tablelands, with</p>	Yes



					<p>scattered records on the western slopes and plains suggesting occupancy prior to land clearing. Now at low densities throughout most of its eastern range, rare along the Murray River and former inland populations may never recover. The Powerful Owl inhabits a range of vegetation types, from woodland and open sclerophyll forest to tall open wet forest and rainforest. The Powerful Owl requires large tracts of forest or woodland habitat but can occur in fragmented landscapes as well. The species breeds and hunts in open or closed sclerophyll forest or woodlands and occasionally hunts in open habitats. It roosts by day in dense vegetation comprising species such as Turpentine <i>Syncarpia glomulifera</i>, Black She-oak <i>Allocasuarina littoralis</i>, Blackwood <i>Acacia melanoxylon</i>, Rough-barked Apple <i>Angophora floribunda</i>, Cherry Ballart <i>Exocarpus cupressiformis</i> and a number of eucalypt species.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	
<i>Tyto novaehollandiae</i>	Masked Owl	V,P,3		Yes	<p>Extends from the coast where it is most abundant to the western plains. Overall records for this species fall within approximately 90% of NSW, excluding the most arid north-western corner. There is no seasonal variation in its distribution. Lives in dry eucalypt forests and woodlands from sea level to 1100 m. A forest owl, but often hunts along the edges of forests, including roadsides.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. One record within 10 km.</b></p>	Yes
<i>Climacteris picumnus victoriae</i>	Brown Treecreeper (eastern subspecies)	V,P		No	<p>The Brown Treecreeper is endemic to eastern Australia and occurs in eucalypt forests and woodlands of inland plains and slopes of the Great Dividing Range. It is less commonly found on coastal plains and ranges. The western boundary of the range of <i>Climacteris picumnus victoriae</i> runs approximately through Corowa, Wagga Wagga, Temora, Forbes, Dubbo and Inverell and along this line the subspecies intergrades with the arid zone subspecies of Brown Treecreeper <i>Climacteris picumnus picumnus</i> which then occupies the remaining parts of the state. Found in eucalypt woodlands (including Box-Gum Woodland) and dry open forest of the inland slopes and plains inland of the Great Dividing Range; mainly inhabits woodlands dominated by stringybarks or other rough-barked eucalypts, usually with an open grassy understorey, sometimes with one or more shrub species, also found in mallee and River Red Gum (<i>Eucalyptus camaldulensis</i>) Forest bordering wetlands with an open understorey of acacias, saltbush, lignum, cumbungi and grasses, usually not found in woodlands with a dense shrub layer, fallen timber is an important habitat component for foraging; also recorded, though less commonly, in similar woodland habitats on the coastal ranges and plains.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Chthonicola sagittata</i>	Speckled Warbler	V,P		Yes	<p>The Speckled Warbler has a patchy distribution throughout south-eastern Queensland, the eastern half of NSW and into Victoria, as far west as the Grampians. The species is most frequently reported from the hills and tablelands of the Great Dividing Range, and rarely</p>	Yes



					<p>from the coast. There has been a decline in population density throughout its range, with the decline exceeding 40% where no vegetation remnants larger than 100ha survive. The Speckled Warbler lives in a wide range of <i>Eucalyptus</i> dominated communities that have a grassy understorey, often on rocky ridges or in gullies.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. One record within 10 km.</b></p>	
<i>Anthochaera phrygia</i>	Regent Honeyeater	E4A,P	CE	Yes	<p>The Regent Honeyeater mainly inhabits temperate woodlands and open forests of the inland slopes of south-east Australia. Birds are also found in drier coastal woodlands and forests in some years. Range is between north-eastern Victoria and south-eastern Queensland. There are only three known key breeding regions remaining: north-east Victoria (Chiltern-Albury), and in NSW at Capertee Valley and the Bundarra-Barraba region. In the last 10 years Regent Honeyeaters have been recorded in urban areas around Albury where woodlands tree species such as Mugga Ironbark and Yellow Box were planted 20 years ago. The Regent Honeyeater is a generalist forager, although it feeds mainly on the nectar from a relatively small number of eucalypts that produce high volumes of nectar.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. One record within 10 km.</b></p>	Yes
<i>Certhionyx variegatus</i>	Pied Honeyeater	V,P		No	<p>The Pied Honeyeater is found in south-central and south-western Queensland, south to 32° S in western New South Wales and is only sparsely scattered on the western slopes of the Great Dividing Range. It is found across the northern parts of South Australia, mainly in the north-west, and is widespread through Western Australia, north of Kalbarrie to the southern parts of the Kimberley region. It is rarely recorded in the far south-west of the state. In the Northern Territory it is found mainly south or south-west of Alice Springs, and is found in the Top End only during severe droughts. The Pied Honeyeater is found in the arid and semi-arid zones, in shrublands dominated by Emu-bush, <i>Eremophila</i>, and grevilleas, as well as woodlands, sandhills, inland ranges and granite outcrops. It is sometimes found in coastal areas of north-western Western Australia.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Epthianura albifrons</i>	White-fronted Chat	V,P		No	<p>The White-fronted Chat is found across the southern half of Australia, from southernmost Queensland to southern Tasmania, and across to Western Australia as far north as Carnarvon. Found mostly in temperate to arid climates and very rarely sub-tropical areas, it occupies foothills and lowlands up to 1000 m above sea level. In NSW, it occurs mostly in the southern half of the state, in damp open habitats along the coast, and near waterways in the western part of the state. Along the coastline, it is found predominantly in saltmarsh vegetation but also in open grasslands and sometimes in low shrubs bordering wetland areas. Gregarious species usually found foraging on bare or grassy ground in wetland areas, singly or in pairs. They are insectivorous, feeding mainly on flies and beetles caught from or close to the ground.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities</b></p>	No



					<b>or suitable habitat present. No records within 10 km.</b>	
<i>Grantiella picta</i>	Painted Honeyeater	V,P	V	No	<p>The greatest concentrations of the bird and almost all breeding occurs on the inland slopes of the Great Dividing Range in NSW, Victoria and southern Queensland. During the winter it is more likely to be found in the north of its distribution. Inhabits Boree, Brigalow and Box-Gum Woodlands and Box-Ironbark Forests. A specialist feeder on the fruits of mistletoes growing on woodland eucalypts and acacias. Prefers mistletoes of the genus <i>Amyema</i>.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Melithreptus gularis gularis</i>	Black-chinned Honeyeater (eastern subspecies)	V,P		No	<p>In NSW it is widespread, with records from the tablelands and western slopes of the Great Dividing Range to the north-west and central-west plains and the Riverina. It is rarely recorded east of the Great Dividing Range, although regularly observed from the Richmond and Clarence River areas. It has also been recorded at a few scattered sites in the Hunter, Central Coast and Illawarra regions, though it is very rare in the latter. Occupies mostly upper levels of drier open forests or woodlands dominated by box and ironbark eucalypts, especially Mugga Ironbark (<i>Eucalyptus sideroxylon</i>), White Box (<i>E. albens</i>), Inland Grey Box (<i>E. microcarpa</i>), Yellow Box (<i>E. melliodora</i>), Blakely's Red Gum (<i>E. blakelyi</i>) and Forest Red Gum (<i>E. tereticornis</i>). Also inhabits open forests of smooth-barked gums, stringybarks, ironbarks, river sheoaks (nesting habitat) and tea-trees.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Pomatostomus temporalis temporalis</i>	Grey-crowned Babbler (eastern subspecies)	V,P		No	<p>The eastern subspecies (<i>temporalis</i>) occurs from Cape York south through Queensland, NSW and Victoria and formerly to the south east of South Australia. This subspecies also occurs in the Trans-Fly Region in southern New Guinea. In NSW, the eastern sub-species occurs on the western slopes of the Great Dividing Range, and on the western plains reaching as far as Louth and Balranald. It also occurs in woodlands in the Hunter Valley and in several locations on the north coast of NSW. It may be extinct in the southern, central and New England tablelands. Inhabits open Box-Gum Woodlands on the slopes, and Box-Cypress-pine and open Box Woodlands on alluvial plains. Woodlands on fertile soils in coastal regions. Lives in family groups that consist of a breeding pair and young from previous breeding seasons. A group may consist of up to fifteen individuals. Feed on invertebrates and nests in several conspicuous, dome-shaped stick structures that are about the size of a football. A nest is used as a dormitory for roosting each night. Nests are maintained year round, and old nests are often dismantled to build new ones.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Daphoenositta chrysoptera</i>	Varied Sittella	V,P		No	<p>The Varied Sittella is sedentary and inhabits most of mainland Australia except the treeless deserts and open grasslands. Distribution in NSW is nearly continuous from the coast to the far west. The Varied Sittella's population size in NSW is uncertain but is believed to have undergone a moderate reduction over the past several decades. Inhabits</p>	Yes



					eucalypt forests and woodlands, especially those containing rough-barked species and mature smooth-barked gums with dead branches, mallee and <i>Acacia</i> woodland.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	
<i>Pachycephala inornata</i>	Gilbert's Whistler	V,P		No	The Gilbert's Whistler is sparsely distributed over much of the arid and semi-arid zone of inland southern Australia, from the western slopes of NSW to the Western Australian wheatbelt. The species was probably once distributed almost continuously across the woodlands and mallee of southern NSW, but this range has been greatly reduced. The Gilbert's Whistler occurs in a range of habitats within NSW, though the shared feature appears to be a dense shrub layer. It is widely recorded in mallee shrublands, but also occurs in box-ironbark woodlands, Cypress Pine and Belah woodlands and River Red Gum forests, though at this stage it is only known to use this habitat along the Murray, Edwards and Wakool Rivers. Within the mallee the species is often found in association with an understorey of spinifex and low shrubs including wattles, hakeas, sennas and hop-bushes. In woodland habitats, the understorey comprises dense patches of shrubs, particularly thickets of regrowth <i>Callitris</i> pine. Parasitic 'cherries' ( <i>Exocarpus</i> species) appear to be an important habitat component in Belah and Red Gum communities, though in the latter case other dense shrubs, such as Lignum and wattles, are also utilised.  <b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b>	No
<i>Artamus cyanopterus cyanopterus</i>	Dusky Woodswallow	V,P		No	Dusky Woodswallows are widespread in eastern, southern and south western Australia. The species occurs throughout most of New South Wales, but is sparsely scattered in, or largely absent from, much of the upper western region. Most breeding activity occurs on the western slopes of the Great Dividing Range. Primarily inhabit dry, open eucalypt forests and woodlands, including mallee associations, with an open or sparse understorey of eucalypt saplings, acacias and other shrubs, and ground-cover of grasses or sedges and fallen woody debris. It has also been recorded in shrublands, heathlands and very occasionally in moist forest or rainforest. Also found in farmland, usually at the edges of forest or woodland.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Melanodryas cucullata cucullata</i>	Hooded Robin (south-eastern form)	V,P		No	The Hooded Robin is widespread, found across Australia, except for the driest deserts and the wetter coastal areas - northern and eastern coastal Queensland and Tasmania. However, it is common in few places, and rarely found on the coast. It is considered a sedentary species, but local seasonal movements are possible. The south-eastern form (subspecies <i>cucullata</i> ) is found from Brisbane to Adelaide and throughout much of inland NSW, with the exception of the extreme north-west, where it is replaced by subspecies <i>picata</i> . Two other subspecies occur outside NSW. Prefers lightly wooded country, usually open eucalypt woodland, acacia scrub and mallee, often in or near clearings or open areas. Requires structurally diverse habitats featuring mature eucalypts, saplings, some	Yes



					small shrubs and a ground layer of moderately tall native grasses.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	
<i>Petroica boodang</i>	Scarlet Robin	V,P		No	The Scarlet Robin is found from south east Queensland to south east South Australia and also in Tasmania and south west Western Australia. In NSW, it occurs from the coast to the inland slopes. After breeding, some Scarlet Robins disperse to the lower valleys and plains of the tablelands and slopes. Some birds may appear as far west as the eastern edges of the inland plains in autumn and winter. The Scarlet Robin lives in dry eucalypt forests and woodlands. The understorey is usually open and grassy with few scattered shrubs. This species lives in both mature and regrowth vegetation. It occasionally occurs in mallee or wet forest communities, or in wetlands and tea-tree swamps. Scarlet Robin habitat usually contains abundant logs and fallen timber these are important components of its habitat. The Scarlet Robin breeds on ridges, hills and foothills of the western slopes, the Great Dividing Range and eastern coastal regions; this species is occasionally found up to 1000 metres in altitude. The Scarlet Robin is primarily a resident in forests and woodlands, but some adults and young birds disperse to more open habitats after breeding. In autumn and winter many Scarlet Robins live in open grassy woodlands, and grasslands or grazed paddocks with scattered trees.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Petroica phoenicea</i>	Flame Robin	V,P		No	The Flame Robin is endemic to south eastern Australia, and ranges from near the Queensland border to south east South Australia and also in Tasmania. In NSW, it breeds in upland areas and in winter, many birds move to the inland slopes and plains. Breeds in upland tall moist eucalypt forests and woodlands, often on ridges and slopes. Prefers clearings or areas with open understoreys. The ground layer of the breeding habitat is dominated by native grasses and the shrub layer may be either sparse or dense. Occasionally occurs in temperate rainforest, and also in herb fields, heathlands, shrublands and sedgelands at high altitudes. In winter, birds migrate to drier more open habitats in the lowlands (i.e. valleys below the ranges, and to the western slopes and plains). Often occurs in recently burnt areas; however, habitat becomes unsuitable as vegetation closes up following regeneration. In winter lives in dry forests, open woodlands and in pastures and native grasslands, with or without scattered trees. In winter, occasionally seen in heathland or other shrublands in coastal areas.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Petroica rodinogaster</i>	Pink Robin	V,P		No	The Pink Robin is found in Tasmania and the uplands of eastern Victoria and far south-eastern NSW, almost as far north as Bombala. On the mainland, the species disperses north and west and into more open habitats in winter, regularly as far north as the ACT area, and sometimes being found as far north as the central coast of NSW. Inhabits rainforest and tall, open eucalypt forest, particularly in densely vegetated gullies. Catches	No



					<p>prey by the perch-and-pounce method, foraging more on the ground than the more flycatcher-like Rose Robin. Insects and spiders are the main dietary items.</p> <p><b>Low – Subject site outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	
<i>Stagonopleura guttata</i>	Diamond Firetail	V,P		No	<p>The Diamond Firetail is endemic to south-eastern Australia, extending from central Queensland to the Eyre Peninsula in South Australia. It is widely distributed in NSW, with a concentration of records from the Northern, Central and Southern Tablelands, the Northern, Central and South Western Slopes and the North West Plains and Riverina. Not commonly found in coastal districts, though there are records from near Sydney, the Hunter Valley and the Bega Valley. This species has a scattered distribution over the rest of NSW, though is very rare west of the Darling River. Found in grassy eucalypt woodlands, including Box-Gum Woodlands and Snow Gum <i>Eucalyptus pauciflora</i> Woodlands.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Dasyurus maculatus</i>	Spotted-tailed Quoll	V,P	E	Yes	<p>The range of the Spotted-tailed Quoll has contracted considerably since European settlement. It is now found in eastern NSW, eastern Victoria, south-east and north-eastern Queensland, and Tasmania. Only in Tasmania is it still considered relatively common. Recorded across a range of habitat types, including rainforest, open forest, woodland, coastal heath and inland riparian forest, from the sub-alpine zone to the coastline. Individual animals use hollow-bearing trees, fallen logs, small caves, rock outcrops and rocky-cliff faces as den sites.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. Eight records within 10 km.</b></p>	Yes
<i>Phascogale tapoatafa</i>	Brush-tailed Phascogale	V,P		No	<p>The Brush-tailed Phascogale has a patchy distribution around the coast of Australia. In NSW it is mainly found east of the Great Dividing Range although there are occasional records west of the divide. Prefer dry sclerophyll open forest with sparse groundcover of herbs, grasses, shrubs or leaf litter. Also inhabit heath, swamps, rainforest and wet sclerophyll forest.</p> <p><b>Low – Subject site outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Phascolarctos cinereus</i>	Koala	V,P	V	Yes	<p>The Koala has a fragmented distribution throughout eastern Australia from north-east Queensland to the Eyre Peninsula in South Australia. In New South Wales, koala populations are found on the central and north coasts, southern highlands, southern and northern tablelands, Blue Mountains, southern coastal forests, with some smaller populations on the plains west of the Great Dividing Range. Inhabit eucalypt woodlands and forests. Gray box (<i>Eucalyptus microcarpa</i>) is a known forage tree for koalas and was recorded on site.</p>	Yes



					<b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. Twenty-five records within 10 km.</b>	
<i>Cercartetus nanus</i>	Eastern Pygmy-possum	V,P		No	<p>The Eastern Pygmy-possum is found in south-eastern Australia, from southern Queensland to eastern South Australia and in Tasmania. In NSW it extends from the coast inland as far as the Pilliga, Dubbo, Parkes and Wagga Wagga on the western slopes. Found in a broad range of habitats from rainforest through sclerophyll (including Box-Ironbark) forest and woodland to heath, but in most areas woodlands and heath appear to be preferred, except in north-eastern NSW where they are most frequently encountered in rainforest.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Petaurus australis</i>	Yellow-bellied Glider	V,P		No	<p>The Yellow-bellied Glider is found along the eastern coast to the western slopes of the Great Dividing Range, from southern Queensland to Victoria. Occur in tall mature eucalypt forest generally in areas with high rainfall and nutrient rich soils. Forest type preferences vary with latitude and elevation; mixed coastal forests to dry escarpment forests in the north; moist coastal gullies and creek flats to tall montane forests in the south. Feed primarily on plant and insect exudates, including nectar, sap, honeydew and manna with pollen and insects providing protein.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Petaurus norfolcensis</i>	Squirrel Glider	V,P		No	<p>The species is widely though sparsely distributed in eastern Australia, from northern Queensland to western Victoria. Inhabits mature or old growth Box, Box-Ironbark woodlands and River Red Gum forest west of the Great Dividing Range and Blackbutt-Bloodwood forest with heath understorey in coastal areas. Require abundant tree hollows for refuge and nest sites.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Petauroides volans</i>	Greater Glider	P	V	No	<p>The greater glider is found in southern Queensland, eastern Australia, southeastern New South Wales, and the montane forests of the Victorian central highlands. It is usually tracked via spotlighting on transects (considered to underestimate the actual population size), radio tagging and owl-call playback. The greater glider chooses habitat based on several factors, the dominant factor being the presence of specific species of eucalypt. Distribution levels are higher in regions of montane forest containing manna gum (<i>E. viminalis</i>) and mountain gum (<i>E. dalrympleana</i>, <i>E. obliqua</i>). Furthermore, the presence of <i>E. cypellocarpa</i> appears to improve the quality of habitat for the greater glider in forests dominated by <i>E. obliqua</i>. Another factor determining population density is elevation. Optimal levels are 845 m above sea level. Within a forest of suitable habitat, they prefer</p>	Yes



					overstorey basal areas in old-growth tree stands.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	
<i>Petrogale penicillata</i>	Brush-tailed Rock-wallaby	E1,P	V	No	The range of the Brush-tailed Rock-wallaby extends from south-east Queensland to the Grampians in western Victoria, roughly following the line of the Great Dividing Range. However the distribution of the species across its original range has declined significantly in the west and south and has become more fragmented. In NSW they occur from the Queensland border in the north to the Shoalhaven in the south, with the population in the Warrumbungle Ranges being the western limit. Occupy rocky escarpments, outcrops and cliffs with a preference for complex structures with fissures, caves and ledges, often facing north.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some marginal foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V,P	V	No	Grey-headed Flying-foxes are generally found within 200 km of the eastern coast of Australia, from Rockhampton in Queensland to Adelaide in South Australia. In times of natural resource shortages, they may be found in unusual locations. Occur in subtropical and temperate rainforests, tall sclerophyll forests and woodlands, heaths and swamps as well as urban gardens and cultivated fruit crops. Roosting camps are generally located within 20 km of a regular food source and are commonly found in gullies, close to water, in vegetation with a dense canopy.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Saccolaimus flaviventris</i>	Yellow-bellied Sheathtail-bat	V,P		No	The Yellow-bellied Sheathtail-bat is a wide-ranging species found across northern and eastern Australia. In the most southerly part of its range – most of Victoria, south-western NSW and adjacent South Australia – it is a rare visitor in late summer and autumn. There are scattered records of this species across the New England Tablelands and North West Slopes. Roosts singly or in groups of up to six, in tree hollows and buildings; in treeless areas they are known to utilise mammal burrows. Forages in most habitats across its very wide range, with and without trees; appears to defend an aerial territory.  <b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b>	Yes
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat	V,P	V	No	Found mainly in areas with extensive cliffs and caves, from Rockhampton in Queensland south to Bungonia in the NSW Southern Highlands. It is generally rare with a very patchy distribution in NSW. There are scattered records from the New England Tablelands and North West Slopes. Roosts in caves (near their entrances), crevices in cliffs, old mine workings and in the disused, bottle-shaped mud nests of the Fairy Martin ( <i>Petrochelidon</i>	Yes



					<p><i>ariel</i>), frequenting low to mid-elevation dry open forest and woodland close to these features. Found in well-timbered areas containing gullies.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	
<i>Falsistrellus tasmaniensis</i>	Eastern False Pipistrelle	V,P		No	<p>The Eastern False Pipistrelle is found on the south-east coast and ranges of Australia, from southern Queensland to Victoria and Tasmania. Prefers moist habitats, with trees taller than 20 m. Generally roosts in eucalypt hollows, but has also been found under loose bark on trees or in buildings.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Miniopterus orianae oceanensis</i>	Large Bent-winged Bat	V,P		No	<p>Eastern Bentwing-bats occur along the east and north-west coasts of Australia. Caves are the primary roosting habitat, but also use derelict mines, storm-water tunnels, buildings and other man-made structures. Form discrete populations centred on a maternity cave that is used annually in spring and summer for the birth and rearing of young. Maternity caves have very specific temperature and humidity regimes. At other times of the year, populations disperse within about 300 km range of maternity caves.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Myotis macropus</i>	Southern Myotis	V,P		No	<p>The Southern Myotis is found in the coastal band from the north-west of Australia, across the top-end and south to western Victoria. It is rarely found more than 100 km inland, except along major rivers. Generally roost in groups of 10 - 15 close to water in caves, mine shafts, hollow-bearing trees, storm water channels, buildings, under bridges and in dense foliage.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Paralucia spinifera</i>	Purple Copper Butterfly	E1	V	No	<p>Occurs on the Central Tablelands of NSW in an area approximately bounded by Oberon, Hartley and Bathurst, with an apparent disjunct population near Mount David. The butterfly is found at approximately 38 locations, all within the Greater Lithgow, Bathurst Regional and Oberon local government areas. It is possible that additional locations will be identified, and these may lie outside the currently known distribution. Occurs above 850 m elevation. Geology, soils, topographic position and dominant vegetation canopy species vary between habitat locations. However vegetation structure is consistent, commonly open woodland or open forest with a sparse understorey that is dominated by the shrub, Native Blackthorn <i>Bursaria spinosa</i> subsp. <i>lasiophylla</i>. Its lifecycle relies on a mutualistic relationship with the ant, <i>Anonychomyrma itinerans</i>, and on the presence of <i>B. spinosa</i> subsp. <i>lasiophylla</i> which the larvae of the species feed exclusively on.</p>	No



					<b>Low - Subject site within known distribution. Associated vegetation community (PCT 1330) present; however, critical habitat features, namely areas of <i>Bursaria spinosa</i> subsp. <i>lasiophylla</i>, are absent. No records within 10 km.</b>	
<i>Leucochrysum albicans</i> var. <i>tricolor</i>	Hoary Sunray		E	No	<p>Endemic to south-eastern Australia, where it is currently known from three geographically separate areas in Tasmania, Victoria and south-eastern NSW and ACT. In NSW it currently occurs on the Southern Tablelands adjacent areas in an area roughly bounded by Albury, Bega and Goulburn, with a few scattered localities know from beyond this region. Occurs in a wide variety of grassland, woodland and forest habitats, generally on relatively heavy soils. Can occur in modified habitats such as semi-urban areas and roadsides.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Isotoma fluviatilis</i> subsp. <i>fluviatilis</i>		X	X	No	<p>Currently known from only two adjacent sites on a single private property at Erskine Park in the Penrith LGA. Previous sightings are all from western Sydney, at Homebush and at Agnes Banks. Known to grow in damp places, on the Cumberland Plain, including freshwater wetland, grassland/alluvial woodland and an alluvial woodland/shale plains woodland (Cumberland Plain Woodland) ecotone.</p> <p><b>Low - Subject site well outside known distribution. Marginal habitat present. No records within 10 km.</b></p>	No
<i>Swainsona recta</i>	Small Purple-pea	E1	E	No	<p>Small Purple-pea was recorded historically from places such as Carcoar, Culcairn and Wagga Wagga where it is probably now extinct. Populations still exist in the Queanbeyan and Wellington-Mudgee areas. Over 80% of the southern population grows on a railway easement. It is also known from the ACT and a single population of four plants near Chiltern in Victoria. Before European settlement Small Purple-pea occurred in the grassy understorey of woodlands and open-forests dominated by Blakely's Red Gum <i>Eucalyptus blakelyi</i>, Yellow Box <i>E. melliodora</i>, Candlebark Gum <i>E. rubida</i> and Long-leaf Box <i>E. goniacalyx</i>. Grows in association with understorey dominants that include Kangaroo Grass <i>Themeda australis</i>, poa tussocks <i>Poa</i> spp. and spear-grasses <i>Austrostipa</i> spp.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within 10 km.</b></p>	Yes
<i>Swainsona sericea</i>	Silky Swainson-pea	V		No	<p>Silky Swainson-pea has been recorded from the Northern Tablelands to the Southern Tablelands and further inland on the slopes and plains. There is one isolated record from the far north-west of NSW. Its stronghold is on the Monaro. Also found in South Australia, Victoria and Queensland. Found in Natural Temperate Grassland and Snow Gum <i>Eucalyptus pauciflora</i> Woodland on the Monaro. Found in Box-Gum Woodland in the Southern Tablelands and South West Slopes.</p> <p><b>Moderate - Subject site within known distribution. Associated vegetation community (PCT 1330) present and some foraging habitat within subject site. No records within</b></p>	Yes



					<b>10 km.</b>	
<i>Acacia ausfeldii</i>	Ausfeld's Wattle	V		No	<p>Found to the east of Dubbo in the Mudgee-Ulan-Gulgong area of the NSW South Western Slopes bioregion, with some records in the adjoining Brigalow Belt South, South Eastern Highlands and the Sydney Basin bioregions. Populations are recorded from Yarrobil National Park, Goodiman State Conservation Area and there is a 1963 record from Munghorn Gap Nature Reserve. A large population is also known from Tuckland State Forest to the northwest of Gulgong. Established plants are likely to be killed by fire, as mature and juvenile plants have a single-stemmed growth form. Associated species include <i>Eucalyptus albens</i>, <i>E. blakelyi</i> and <i>Callitris</i> spp., with an understorey dominated by <i>Cassinia</i> spp. and grasses.</p> <p><b>Low – Subject site within predicted but not known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Acacia clunies-rossiae</i>	Kanangra Wattle	V		No	<p>Kanangra Wattle grows in the Kowmung and Cocks River areas entirely within Kanangra-Boyd and Blue Mountains National Parks. Grows in dry sclerophyll forest on skeletal soils on rocky slopes, or on alluvium along creeks.</p> <p><b>Low – Subject site outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Acacia flocktoniae</i>	Flockton Wattle	V	V	No	<p>The Flockton Wattle is found only in the Southern Blue Mountains (at Mt Victoria, Megalong Valley and Yerrandene). Grows in dry sclerophyll forest on sandstone.</p> <p><b>Low – Subject site marginally outside known distribution. Associated vegetation community (PCT 1330) present. No records within 10 km.</b></p>	No
<i>Acacia meiantha</i>		E1	E	No	<p>It is found in three disjunct populations, all within the Central Tablelands and within 100kms of each other. These populations include Clarence, which covers an area of approximately 1 hectare; Mullions Range, covering approximately 5 hectares; and Aarons Pass, which is confined to 2.5km of road easements.</p> <p><b>Low – Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Asterolasia buxifolia</i>		E1		No	<p>Known from a single site associated with granite geology in the riparian zone of the Lett River. Rediscovered in 2000, little is known about the species. The growth rate appears to be very slow, and the flowering season short. Apparently restricted to the riparian zone of a granitic rocky section of the Lett River.</p> <p><b>Low - Subject site marginally outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Boronia deanei</i>	Deane's Boronia	V,P	V	No	<p>There are scattered populations of Deane's Boronia between the far south-east of NSW and the Blue Mountains with the species found on Newnes Plateau (Newnes State Forest), Nalbaugh Plateau (South East National Park), Kanangra-Boyd National Park, Budderoo National Park and Morton National Park. The species mainly occurs in conservation reserves and once grew profusely in Morton National Park near Bundanoon but has rarely been seen in that area since being impacted by devastating bushfires of the 1960s. The</p>	No



					<p>2019/20 black summer bushfires impacted populations at Newnes Plateau, Nalbaugh Plateau and Kanangra-Boyd National Park. Grows in wet heath, often at the margins of open forest adjoining swamps or along streams. Fire ecology is poorly understood, but too intense or too frequent fires are considered a threat to this species, limiting populations' ability to reach maturity and set seed.</p> <p><b>Low - Subject site marginally outside predicted distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	
<i>Callistemon megalongensis</i>	Megalong Valley Bottlebrush	E4A	CE	No	<p>Known only from a small section of the eastern Megalong Valley in the western Blue Mountains. This species is primarily restricted to shrub swamps, with populations extending along the associated downstream watercourses and into the fringing vegetation of Megalong Creek. Riparian populations beyond the shrub swamps are low in density and numbers and are little more than linear outliers of the core swamp-based occurrences. Occurs in shrubby swamp habitat and swampy woodland. Associated species include <i>Callistemon citrinus</i>, <i>Leptospermum morrisii</i>, <i>L. juniperinum</i>, <i>L. polygalifolium</i>, <i>L. obovatum</i>, <i>Empodisma minus</i> and <i>Grevillea asplenifolia</i> with occasional emergent <i>Melaleuca linearifolia</i> and <i>Eucalyptus camphora</i>. Typically flowers from mid-November to early December although this can vary with seasonal conditions. Resprouts after fire.</p> <p><b>Low - Subject site marginally outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Prostanthera gilesii</i>		E4A,2		No	<p>Known only from Mount Canobolas State Conservation Area, south-west of Orange in central western NSW. There are two known populations within the Mount Canobolas State Conservation Area. The largest population occurs along a creek-line in wet sclerophyll forest dominated by tall <i>Eucalyptus dalrympleana</i> subsp. <i>dalrympleana</i>, with scattered <i>E. canobolensis</i> and <i>E. dives</i>. The soil is a deep basaltic clay-loam with alluvial deposits on the lower slopes. The second, smaller population, occurs in a steep rock crevice of a trachyte rocky outcrop. The crevice is fed by seepage and the soil is likely to be formed from rock scree and detritus. The surrounding vegetation is heath with the occasional small tree of <i>Exocarpos cupressiformis</i> (native cherry) and <i>Eucalyptus canobolensis</i>. Little is known about the species ecology.</p> <p><b>Low - Subject site marginally outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Eucalyptus aggregata</i>	Black Gum	V	V	No	<p>Black Gum is found in the NSW Central and Southern Tablelands, with small, isolated populations in Victoria and the ACT. In NSW it occurs in the South Eastern Highlands Bioregion and on the western fringe of the Sydney Basin Bioregion. Black Gum has a moderately narrow distribution, occurring mainly in the wetter, cooler and higher parts of the tablelands, for example in the Blayney, Crookwell, Goulburn, Braidwood and Bungendore districts. Grows in the lowest parts of the landscape. Grows on alluvial soils, on cold, poorly drained flats and hollows adjacent to creeks and small rivers.</p> <p><b>Low - Subject site within predicted but not known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Eucalyptus cannonii</i>	Capertee	V		No	<p>The Capertee Stringybark is predominantly restricted to the central tablelands and slopes</p>	No



	Stringybark				<p>of NSW between the Golden Highway in the north, and the Mitchell Highway in the south. The species' distribution is bounded from east of Bathurst to Wallerawang near Lithgow, north along the western edge of Wollemi National Park and north-west to Mudgee; isolated occurrences are known from a short way north of Goulburn River National Park between Dunedoo and Merriwa. Within this area the species is often locally frequent. Produces white flowers from January to April. The seed is spread by wind, generally in close proximity (within 30 m) to the parent plant; no dormancy mechanism. Capertee Stringybark can be locally abundant.</p> <p><b>Low - Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	
<i>Eucalyptus canobolensis</i>	Silver-Leaf Candlebark	V	E	No	<p>Known only from Mt Canobolas near Orange. Found chiefly between 1100-1300m but can occur down to 1000m and above 1300m. The species predominantly occurs in the Mt Canobolas State Recreation Area. The landform consists of undulating low to steep hills. Soils are shallow skeletal sands and loams on steep slopes. Vegetation is a sub-alpine woodland. Other trees co-occurring with <i>Eucalyptus canobolensis</i> include <i>Eucalyptus pauciflora</i>, <i>Eucalyptus dalrympleana</i>, <i>Eucalyptus viminalis</i>, <i>Eucalyptus dives</i> and <i>Eucalyptus saxicola</i>. Understorey species include <i>Poa sieberiana</i> and <i>Cassinia arctuata</i>.</p> <p><b>Low - Subject site outside known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Eucalyptus pulverulenta</i>	Silver-leafed Gum	V	V	No	<p>The Silver-leafed Gum is found in two quite separate areas, the Lithgow to Bathurst area and the Monaro (Bredbo to Bombala). Grows in shallow soils as an understorey plant in open forest, typically dominated by Brittle Gum (<i>Eucalyptus mannifera</i>), Red Stringybark (<i>E. macrorhynca</i>), Broad-leafed Peppermint (<i>E. dives</i>), Silvertop Ash (<i>E. sieberi</i>) and Apple Box (<i>E. bridgesiana</i>).</p> <p><b>Low - Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Eucalyptus robertsonii subsp. hemisphaerica</i>	Robertson's Peppermint	V	V	No	<p>Known only from the central tablelands of NSW, at small disjunct localities from north of Orange to Burruga. Locally frequent in grassy or dry sclerophyll woodland or forest, on lighter soils and often on granite. Usually found in closed grassy woodlands in locally sheltered sites. Habitats include quartzite ridges, upper slopes and a slight rise of shallow clay over volcanics. Associated vegetation includes variously mixed woodlands of <i>Eucalyptus piperita</i>, <i>E. goniocalyx</i>, <i>E. dalrympleana</i>, <i>E. dives</i>, <i>E. mannifera</i> and <i>E. rossii</i>.</p> <p><b>Low - Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<sup>^^</sup> <i>Caladenia attenuata</i>	Duramana Fingers	E4A,P,2	CE	No	<p><i>Caladenia attenuata</i> is endemic to NSW. It has a highly restricted distribution, having been recorded from 2 localities within the Bathurst Ilford region with an area of occupancy estimated to be 8 square kilometres. Recent surveys have only found an unconfirmed specimen from the Ilford site.</p> <p><b>Low - Subject site within predicted distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No



<i>Euphrasia arguta</i>		E4A	CE	No	<p><i>Euphrasia arguta</i> was rediscovered in the Nundle area of the NSW north western slopes and tablelands in 2008. Prior to this, it had not been collected for 100 years. Historically, <i>Euphrasia arguta</i> has only been recorded from relatively few places within an area extending from Sydney to Bathurst and north to Walcha. The Royal Botanic Gardens Specimen Register records an additional location reported and vouchered in 2002 from near the Hastings River; and <i>Euphrasia arguta</i> was also recorded from the Barrington Tops in 2012. Historic records of the species noted the following habitats: 'in the open forest country around Bathurst in sub humid places', 'on the grassy country near Bathurst', and 'in meadows near rivers'. Plants from the Nundle area have been reported from eucalypt forest with a mixed grass and shrub understorey; here, plants were most dense in an open disturbed area and along the roadside, indicating the species had regenerated following disturbance.</p> <p><b>Low - Subject site outside known and predicted distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Grevillea divaricata</i>		E1,3		No	<p>Known only from the type collection made in 1823 by Allan Cunningham, from "north of Bathurst". Specimen notes describe the plant as occurring frequently in dry open forest lands and as possibly growing on rocky river margins. Flowers recorded in April, but the species probably also flowers in the spring months. Plants possibly regenerate from lignotuber and sucker, either naturally or in response to fire. May also be capable of recruitment via rhizomes. The fire response of the species is unknown, however type material appears to have been rhizomatous or lignotuberosus and capable of semi-basal suckering. Flowers are probably bird-pollinated.</p> <p><b>Low - Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No
<i>Lepidium hyssopifolium</i>	Aromatic Peppercress	E1	E	No	<p>In NSW, there is a small population near Bathurst, one populations at Bungendore, and one near Crookwell. The species was also recorded near Armidale in 1945 and 1958; however it is not known whether it remains in this area. A specimen collected in the Cooma area about 100 years ago may also be Aromatic Peppercress. In NSW the species was known to have occurred in both woodland with a grassy understorey and in grassland. The species may be a disturbance opportunist, as it was discovered at the most recently discovered site (near Bungendore) following soil disturbance. The cryptic and non-descript nature (appearing like several weed species) of the species makes it hard to detect.</p> <p><b>Moderate - Subject site marginally outside known distribution. Associated vegetation community (PCT 1330) present. No records within 10 km.</b></p>	Yes
<i>Persoonia marginata</i>	Clandulla Geebung	V,P	V	No	<p>The Clandulla Geebung occurs between Kandos and Clarence in the western Blue Mountains. Populations are largely disjunct and include Clandulla, Ben Bullen and Sunny Corner State Forests; isolated populations have also been recorded from Turon and Gardens of Stone National Parks. Grows in dry sclerophyll forest and woodland communities on sandstone. Recorded flowering period varies and includes December and Winter. Fruit is probably dispersed by large birds such as Currawongs and large mammals such as kangaroos and possums.</p> <p><b>Low - Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b></p>	No



<i>Rhodamnia rubescens</i>	Scrub Turpentine	E4A		No	Occurs in coastal districts north from Batemans Bay in New South Wales, approximately 280 km south of Sydney, to areas inland of Bundaberg in Queensland. Populations of <i>R. rubescens</i> typically occur in coastal regions and occasionally extend inland onto escarpments up to 600 m a.s.l. in areas with rainfall of 1,000-1,600 mm. Found in littoral, warm temperate and subtropical rainforest and wet sclerophyll forest usually on volcanic and sedimentary soils. This species is characterised as highly to extremely susceptible to infection by Myrtle Rust. Myrtle Rust affects all plant parts.  <b>Low - Subject site outside known and predicted distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b>	No
<i>Thesium australe</i>	Austral Toadflax	V	V	No	Austral Toad-flax is found in very small populations scattered across eastern NSW, along the coast, and from the Northern to Southern Tablelands. It is also found in Tasmania and Queensland and in eastern Asia. Although originally described from material collected in the SW Sydney area, populations have not been seen in a long time. It may persist in some areas in the broader region. Occurs in grassland on coastal headlands or grassland and grassy woodland away from the coast. Often found in association with Kangaroo Grass ( <i>Themeda australis</i> ). A root parasite that takes water and some nutrient from other plants, especially Kangaroo Grass.  <b>Low - Subject site outside known and predicted distribution. Associated vegetation community (PCT 1330) present. No records within 10 km.</b>	No
<i>Veronica blakelyi</i>		V		No	Restricted to the western Blue Mountains, near Clarence, near Mt Horrible, on Nullo Mountain and in the Coricudgy Range. Over this range, occurrences are patchy and generally small in size. Occurs in eucalypt forest, often in moist and sheltered areas. Associated canopy species include <i>Eucalyptus dives</i> , <i>E. dalrympleana</i> , <i>E. rossii</i> and <i>E. pauciflora</i> . At known locations, populations are generally restricted in distribution and abundance. Flowers in late Spring through to early Summer. The species appears to resprout after fire, although an optimal fire regime (frequency, intensity, etc) is unknown.  <b>Low - Subject site within known distribution. No associated vegetation communities or suitable habitat present. No records within 10 km.</b>	No
<i>Zieria obcordata</i>	Granite Zieria	E1	E	Yes	Occurs at two sites with a geographic range of 105 km. These are in the Wuuluman area near Wellington, comprising of a single subpopulation over 3 sites comprising up to 200 plants and Crackerjack Rock/Rock Forests area NW of Bathurst, with a subpopulation comprising of 14 sites, totalling to approximately 700 adult plants after good seasons. Grows in eucalypt woodland or shrubland dominated by species of Acacia on rocky hillsides. Also occurs in <i>Eucalyptus</i> and <i>Callitris</i> dominated woodland with an open, low shrub understorey, on moderately steep, mainly west to north-facing slopes in sandy loam amongst granite boulders. The altitude range of sites is 500 to 830 metres.  <b>Low - Subject site within known distribution. No associated vegetation communities present. Sixty-six records within 10 km, all &gt; 7 km from the subject site and all from areas mapped to PCT 287.</b>	No



## Appendix E: BC Act Tests of Significance

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### ***Biodiversity Conservation Act 2016 Test of Significance***

The threatened species 'test of significance' (or '5-part test') is used to determine if a development or activity is likely to significantly affect threatened species or ecological communities, or their habitats. The test of significance is set out in s.7.3 of the Biodiversity Conservation Act 2016, and is completed in accordance with the questions set out below:

The following is to be taken into account for the purposes of determining whether a proposed development or activity is likely to significantly affect threatened species or ecological communities, or their habitats:

- a) in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,
- b) in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:
  - i. is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or
  - ii. is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,
- c) in relation to the habitat of a threatened species or ecological community:
  - i. the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and
  - ii. whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and
  - iii. the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality,
- d) whether the proposed development or activity is likely to have an adverse effect on any declared area of outstanding biodiversity value (either directly or indirectly),
- e) whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.



## BC Act Test of Significance for Threatened Species

Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
<i>Calyptrorhynchus lathamii</i>	Glossy Black-Cockatoo	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. No breeding habitat occurs within the subject site, which also lacks the preferred food trees for this species (<i>Casuarina</i> and <i>Allocasuarina</i> spp.)</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Anthochaera</i>	Regent	The proposal will	N/A	i. As this species is associated	No. No AOBV	Yes. See	No significant



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<i>phrygia</i>	Honeyeater	result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. Only two trees, none of which possesses hollows or mistletoes, will be impacted by this proposal.</p>	within or near the subject site.	<b>Appendix H.</b>	impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Artamus cyanopterus cyanopterus</i>	Dusky Woodswallow	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the



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		in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			proposal.
<i>Burhinus grallarius</i>	Bush Stone-curlew	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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				iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. Key habitat features, including fallen timber, were generally absent.			
<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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<i>Chthonicola sagittata</i>	Speckled Warbler	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Climacteris picumnus victorae</i>	Brown Treecreeper (eastern subspecies)	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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		lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			
<i>Daphoenositta chrysoptera</i>	Varied Sittella	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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				subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Falco subniger</i>	Black Falcon	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Glossopsitta pusilla</i>	Little Lorikeet	The proposal will result in reduced	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha	No. No AOBV within or near	Yes. See <b>Appendix</b>	No significant impact is likely to



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		habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	the subject site.	H.	arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Grantiella picta</i>	Painted Honeyeater	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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		of this species such that the species will likely be placed at risk of local extinction.		<p>this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. The subject site also lacked mistletoes, which are a key habitat feature for this species.</p>			
<i>Haliaeetus leucogaster</i>	White-bellied Sea-Eagle	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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				iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. While the nearby riparian corridor may serve as habitat for this species, the subject site itself is unlikely to be utilised by this species.			
<i>Hieraaetus morphnoides</i>	Little Eagle	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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				for the long-term survival of this species.			
<i>Hirundapus caudacutus</i>	White-throated Needletail	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. As this species is almost exclusively aerial, it is unlikely to be dependent on a small woodland fragment or degraded pasture such as those found in the subject site.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Lathamus discolor</i>	Swift Parrot	The proposal will	N/A	i. As this species is associated	No. No AOBV	Yes. See	No significant



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		result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. The Swift Parrot does not breed locally and the surrounding landscape is not mapped as important feeding area for this species.</p>	within or near the subject site.	<b>Appendix H.</b>	impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Melanodryas cucullata cucullata</i>	Hooded Robin (south-eastern form)	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the



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		habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			proposal.
<i>Melithreptus gularis gularis</i>	Black-chinned Honeyeater (eastern subspecies)	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		local extinction.		will result from this proposal.  iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Neophema pulchella</i>	Turquoise Parrot	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.  ii. No fragmentation effects will result from this proposal.  iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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<i>Ninox connivens</i>	Barking Owl	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Ninox strenua</i>	Powerful Owl	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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		lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			
<i>Petroica boodang</i>	Scarlet Robin	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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				iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Petroica phoenicea</i>	Flame Robin	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Polytelis</i>	Superb Parrot	The proposal will	N/A	i. As this species is associated	No. No AOBV	Yes. See	No significant



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<i>swainsonii</i>		result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	within or near the subject site.	<b>Appendix H.</b>	impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Stagonopleura guttata</i>	Diamond Firetail	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



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		will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			
<i>Tyto novaehollandiae</i>	Masked Owl	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded,</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
				generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Lepidium hyssopifolium</i>	Aromatic Peppergrass	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. While the species may act as a disturbance opportunist, the remaining 1.16 ha is likely to be too degraded to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Leucochrysum</i>	Hoary Sunray	The proposal will	N/A	i. As this species is associated	No. No AOBV	Yes. See	No significant



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
<i>albicans</i> var. <i>tricolor</i>		result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is likely to be too degraded to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	within or near the subject site.	<b>Appendix H.</b>	impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Swainsona recta</i>	Small Purple-pea	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is likely to be too degraded to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			
<i>Swainsona sericea</i>	Silky Swainson-pea	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is likely to be too degraded to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
				iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Cercartetus nanus</i>	Eastern Pygmy-possum	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat	The proposal will result in reduced	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha	No. No AOBV within or near	Yes. See <b>Appendix</b>	No significant impact is likely to



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha may provide low-quality foraging habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, the loss of 1.22 ha constitutes 0.94% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>	the subject site.	H.	arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Dasyurus maculatus</i>	Spotted-tailed Quoll	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local	No. No AOBV within or near the subject site.	Yes. See Appendix H.	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			
<i>Falsistrellus tasmaniensis</i>	Eastern False Pipistrelle	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
				adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Miniopterus orianae oceanensis</i>	Large Bent-winged Bat	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. The most likely habitat for this species is a small shed, which accounts of 0.007 ha of the subject site.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Myotis macropus</i>	Southern Myotis	The proposal will result in reduced	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha	No. No AOBV within or near	Yes. See <b>Appendix</b>	No significant impact is likely to



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. The most likely habitat for this species is a small shed, which accounts ofr 0.007 ha of the subject site. No hollow-bearing trees occur within the subject land.</p>	the subject site.	H.	arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Petauroides volans</i>	Greater Glider	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable	N/A	1. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for	No. No AOBV within or near the subject site.	Yes. See Appendix H.	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.</p>			proposal.
<i>Petaurus australis</i>	Yellow-bellied Glider	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		local extinction.		iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.			
<i>Petaurus norfolcensis</i>	Squirrel Glider	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.  ii. No fragmentation effects will result from this proposal.  iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species.	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Petrogale</i>	Brush-tailed	The proposal will	N/A	i. As this species is associated	No. No AOBV	Yes. See	No significant



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
<i>penicillata</i>	Rock-wallaby	result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. No cliffs or significant rocky outcrops were noted within the subject site. Minor surface rock occurred in places but this is unlikely to provide significant habitat for this species.</p>	within or near the subject site.	<b>Appendix H.</b>	impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.
<i>Phascolarctos cinereus</i>	Koala	The proposal will result in reduced habitat availability within the subject site; however, as	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition.	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. Two mature trees occur within the subject site and both are considered secondary feed trees for the Koala. Larger areas of these species occur in the landscape and the proposal will not impact connectivity between these patches.</p>			habitat due to the undertaking of the proposal.
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.		<p>this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. The subject site does not offer sufficient habitat for a roosting camp and is likely to be used only as foraging habitat.</p>			proposal.
<i>Saccolaimus flaviventris</i>	Yellow-bellied Sheathtail-bat	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species	N/A	i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
		such that the species will likely be placed at risk of local extinction.		<p>this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. The most likely habitat for this species is a small shed, which accounts ofr 0.007 ha of the subject site.</p>			
<i>Aprasia parapulchella</i>	Pink-tailed Legless Lizard	The proposal will result in reduced habitat availability within the subject site, however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
				subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of this species. Limited native grassland and only small areas of surface rock occur within the subject site, and these are key habitat features for this species.			
<i>Delma impar</i>	Striped Legless Lizard	The proposal will result in reduced habitat availability within the subject site; however, as higher-quality and more suitable habitat is available in the surrounding lands, the proposal will not significantly impact the lifecycle of this species such that the species will likely be placed at risk of local extinction.	N/A	<p>i. As this species is associated with PCT 1330, up to 1.22 ha of potential habitat will be impacted, of which only 0.06 ha is in a remnant condition. The remaining 1.16 ha is unlikely to provide habitat for this species. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of suitable habitat for this species.</p> <p>ii. No fragmentation effects will result from this proposal.</p> <p>iii. As the habitat within the subject site is degraded, generally depauperate, and adjacent to human habitation, it is unlikely to be significant for the long-term survival of</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H.</b>	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



Species Name	Common Name	a.	b.	c.	d.	e.	Impact Significance
				this species. Limited native grassland and only small areas of surface rock occur within the subject site, and these are key habitat features for this species.			



## BC Act Test of Significance for Threatened Communities

Community	a.	b.	c.	d.	e.	Impact Significance
White Box - Yellow Box - Blakely's Red Gum Grassy Woodland and Derived Native Grassland in the NSW North Coast, New England Tableland, Nandewar, Brigalow Belt South, Sydney Basin, South Eastern Highlands, NSW South Western Slopes, South East Corner and Riverina Bioregions.	N/A	<p>i. The proposal will impact up to 0.06 ha of this community. As c. 130 ha of similar habitat is mapped in the study area, this constitutes 0.05% of the estimated local extent of similar habitat. This is unlikely to place the community at risk of local extinction.</p> <p>ii. The extent of the impact is minimal and will not result in degradation of nearby patches of this community to the extent that its local occurrence is likely to be placed at risk of local extinction.</p>	<p>i. The proposal will impact only 0.06 ha of this CEEC.</p> <p>ii. No fragmentation effects will result from this proposal. The remnant in question is already separated from nearby woody vegetation by a distance of c. 30 m and does not contribute significantly to landscape connectivity.</p> <p>iii. The habitat within the subject site consists of two trees and a sparse grassy understorey adjacent to human habitation. This is unlikely to be important to the long-term survival of the community.</p>	No. No AOBV within or near the subject site.	Yes. See <b>Appendix H</b> .	No significant impact is likely to arise to the local viability of this species or its habitat due to the undertaking of the proposal.



## Appendix F: EPBC Act Habitat Assessment and Matters of National Environmental Significance

The EPBC Act protects nationally and internationally important flora, fauna, ecological communities and heritage places, which are defined in the EPBC Act as matters of national environmental significance. The EPBC Act policy *Matters of National Environmental Significance: Significant Impact Guidelines 1.1* (Australian Government Department of Agriculture, Water and the Environment, 2013) forms the basis of determining if impact to protected matters is significant.

A Protected Matters Search identified two Endangered Ecological Communities, 33 threatened species and 12 migratory species as potentially occurring within 10 km of the subject site.

The following tables give an overview of the assessments of these threatened entities and shows that the Proposed activity:

1. Is not likely to have a significant impact on a matter of national environmental significance. The matters of national environmental significance are:
  - i. World heritage properties.
  - ii. National heritage places.
  - iii. Wetlands of international importance.
  - iv. Threatened species and ecological communities.
  - v. Migratory species.
  - vi. Commonwealth marine areas.
  - vii. The Great Barrier Reef Marine Park.
  - viii. Nuclear actions (including uranium mines).
  - ix. A water resource, in relation to coal seam gas development and large coal mining development.
2. Is not likely to have a significant impact on the environment in general (for actions by Commonwealth agencies or actions on Commonwealth land) or the environment on Commonwealth land (for actions outside Commonwealth land).

Notes:

Important Population as determined by the *Environment Protection and Biodiversity Conservation Act 1999*, is one that for a vulnerable species:

- a) is likely to be key source populations either for breeding or dispersal
- b) is likely to be necessary for maintaining genetic diversity
- c) is at or near the limit of the species range.



A 'significant impact' is an impact which is important, notable, or of consequence, having regard to its context or intensity (Australian Government Department of Agriculture, Water and the Environment, 2013).



**Wetlands of International Importance**

Name	Proximity	Significance of Impact
Banrock Station Wetland complex	800 – 900 km	The proposal is not within proximity of Banrock Station Wetland complex. <b>No Impact</b>
Riverland	700 – 800 km	The proposal is not within proximity of Riverland. <b>No Impact</b>
The Coorong, and Lakes Alexandrina and Albert Wetland	900 – 1000 km	The proposal is not within proximity of The Coorong, and Lakes Alexandrina and Albert Wetland. <b>No Impact</b>
Hattah-Kulkyne Lakes	200 – 300 km	The proposal is not within proximity of the Hattah-kulkyne Lakes. <b>No Impact</b>



Threatened Ecological Communities		
Name	Status	Significance of Impact
Natural Temperate Grasslands of the South Eastern Highlands	Critically Endangered	The community does not occur on the subject site. <b>No impact</b>
White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland	Critically Endangered	The EPBC Act-listed community does not occur on the subject site (see <b>Section 5.3</b> ). <b>No impact</b>

Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>Anthochaera phrygia</i>	Regent Honeyeater	CE	<p>The Regent Honeyeater mainly inhabits temperate woodlands and open forests of the inland slopes of south-east Australia. Birds are also found in drier coastal woodlands and forests in some years. Once recorded between Adelaide and the central coast of Queensland, its range has contracted dramatically in the last 30 years to between north-eastern Victoria and south-eastern Queensland. There are only three known key breeding regions remaining: north-east Victoria (Chiltern-Albury), and in NSW at Capertee Valley and the Bundarra-Barraba region. In NSW the distribution is very patchy and mainly confined to the two main breeding areas and surrounding fragmented woodlands. In some years flocks converge on flowering coastal woodlands and forests. The Regent Honeyeater is a flagship threatened woodland bird whose conservation will benefit a large suite of other threatened and declining woodland fauna. The species inhabits dry open forest and woodland, particularly Box-Ironbark woodland, and riparian forests of River Sheoak. Regent Honeyeaters inhabit woodlands that support a significantly high abundance and species richness of bird species. These woodlands have significantly large numbers of mature trees, high canopy cover and abundance of mistletoes.</p> <p><b>Moderate – The subject land is within the known distribution of this species. No habitat restrictions were identified and this species is known to make use of PCT 1330 while foraging. One record within 10 km.</b></p>	Yes
<i>Botaurus poeciloptilus</i>	Australasian Bittern	E	Australasian Bitterns are widespread but uncommon over south-eastern Australia. In NSW they may be found over most of the state except for the far north-west. Favours permanent freshwater wetlands with tall, dense vegetation, particularly bullrushes ( <i>Typha</i> spp.) and	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<p>spikerushes (<i>Eleocharis</i> spp.). Hides during the day amongst dense reeds or rushes and feed mainly at night on frogs, fish, yabbies, spiders, insects and snails. Feeding platforms may be constructed over deeper water from reeds trampled by the bird, platforms are often littered with prey remains. Breeding occurs in summer from October to January, nests are built in secluded places in densely vegetated wetlands on a platform of reeds, there are usually six olive-brown eggs to a clutch.</p> <p><b>Low – The subject land is within the predicted distribution of this species. Associated with waterbodies and highly disturbed areas. No watercourses are within the subject land and nearby wetlands lack vegetation features typically utilized by this species. There are no records within 10 km.</b></p>	
<i>Calidris ferruginea</i>	Curlew Sandpiper	CE	<p>In Australia, Curlew Sandpipers occur around the coasts and are also quite widespread inland, though in smaller numbers. Records occur in all states during the non-breeding period, and also during the breeding season when many non-breeding one year old birds remain in Australia rather than migrating north. In NSW, they are widespread east of the Great Divide, especially in coastal regions. They are occasionally recorded in the Tablelands and are widespread in the Riverina and south-west NSW, with scattered records elsewhere. Curlew Sandpipers mainly occur on intertidal mudflats in sheltered coastal areas, such as estuaries, bays, inlets and lagoons, and also around non-tidal swamps, lakes and lagoons near the coast, and ponds in saltworks and sewage farms. They are also recorded inland, though less often, including around ephemeral and permanent lakes, dams, waterholes and bore drains, usually with bare edges of mud or sand. They occur in both fresh and brackish waters. Occasionally they are recorded around floodwaters.</p> <p><b>Low – Subject land is outside the known distribution of this species. No suitable habitat is present. No records within 10 km.</b></p>	No
<i>Falco hypoleucos</i>	Grey Falcon	V	<p>The Grey Falcon is sparsely distributed in NSW, chiefly throughout the Murray-Darling Basin, with the occasional vagrant east of the Great Dividing Range. The breeding range has contracted since the 1950s with most breeding now confined to arid parts of the range. There are possibly less than 5000 individuals left. Population trends are unclear, though it is believed to be extinct in areas with more than 500mm rainfall in NSW. Usually restricted to shrubland, grassland and wooded watercourses of arid and semi-arid regions, although it is occasionally found in open woodlands near the coast. Also occurs near wetlands where surface water attracts prey. Preys primarily on birds, especially parrots and pigeons, using high-speed chases and stoops; reptiles and mammals are also taken. Like other falcons it utilises old nests of other birds of prey and ravens, usually high in a living eucalypt near water or a watercourse; peak laying season is in late winter and early spring; two or three eggs are laid.</p>	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<b>Low – Subject land is outside the known distribution of this species. No records within 10 km.</b>	
<i>Grantiella picta</i>	Painted Honeyeater	V	<p>The Painted Honeyeater is nomadic and occurs at low densities throughout its range. The greatest concentrations of the bird and almost all breeding occurs on the inland slopes of the Great Dividing Range in NSW, Victoria and southern Queensland. During the winter it is more likely to be found in the north of its distribution. Inhabits Boree/ Weeping Myall (<i>Acacia pendula</i>), Brigalow (<i>A. harpophylla</i>) and Box-Gum Woodlands and Box-Ironbark Forests. A specialist feeder on the fruits of mistletoes growing on woodland eucalypts and acacias. Prefers mistletoes of the genus <i>Amyema</i>. Insects and nectar from mistletoe or eucalypts are occasionally eaten. Nest from spring to autumn in a small, delicate nest hanging within the outer canopy of drooping eucalypts, she-oak, paperbark or mistletoe branches.</p> <p><b>Moderate – The subject land is within the known distribution of this species. The scarcity of mistletoes within the subject land suggests that it is unlikely to be heavily used by this species but may provide some habitat. No records within 10 km.</b></p>	Yes
<i>Hirundapus caudacutus</i>	White-throated Needletail	V	<p>Migratory and usually seen in eastern Australia from October to April. Breeds in forests in south-eastern Siberia, Mongolia, the Korean Peninsula and northern Japan June-August. Most often seen in eastern Australia before storms, low pressure troughs and approaching cold fronts and occasionally bushfire. These conditions are often used by insects to swarm (e.g. termites and ants) or tend to lift insects away from the surface which favours sighting of White-throated Needletails as they feed. More common in coastal areas, less so inland.</p> <p><b>Moderate – The subject land is within the known distribution of this species. No habitat restrictions were identified and this species is known to make use of PCT 1330 while foraging. No records within 10 km.</b></p>	Yes
<i>Lathamus discolor</i>	Swift Parrot	CE	<p>Breeds in Tasmania during spring and summer, migrating in the autumn and winter months to south-eastern Australia from Victoria and the eastern parts of South Australia to south-east Queensland. In NSW mostly occurs on the coast and south west slopes. Migrates to the Australian south-east mainland between February and October. On the mainland they occur in areas where eucalypts are flowering profusely or where there are abundant lerp (from sap-sucking bugs) infestations. Favoured feed trees include winter flowering species such as Swamp Mahogany <i>Eucalyptus robusta</i>, Spotted Gum <i>Corymbia maculata</i>, Red Bloodwood <i>C. gummifera</i>, Forest Red Gum <i>E. tereticornis</i>, Mugga Ironbark <i>E. sideroxylon</i>, and White Box <i>E. albens</i>.</p> <p><b>Moderate – The subject land is within the known distribution of this species. No habitat restrictions were identified and this species is known to make use of PCT 1330 while foraging. One record within 10 km.</b></p>	Yes



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>Leipoa ocellata</i>	Malleefowl	V	<p>The stronghold for this species in NSW is the mallee in the south west centred on Mallee Cliffs NP and extending east to near Balranald and scattered records as far north as Mungo NP. West of the Darling River a population also occurs in the Scotia mallee including Tarawli NR and Scotia Sanctuary and is part of a larger population north of the Murray River in South Australia. The population in central NSW has been significantly reduced through land clearance and fox predation and now occurs chiefly in Yathong, Nombinnie and Round Hill NRs and surrounding areas, though birds continue to survive in Loughnan NR. To the south of this area the species is probably locally extinct in such reserves as Pulletop NR (last recorded 1989), Ingalba NR (1982) and Buddigower NR (1990) and the intensely studied population at Yalgogrin was still known to have at least one active mound in 2017. Further east, a population continues to persist in the Goonoo forest near Dubbo, though the size of this population is unknown. Outside these areas, occasional records have been made in the Pilliga forests (most recently 1999), around Cobar (1991) and Goulburn River NP (1989) though the extent and status of populations in these areas are unknown. Predominantly inhabit mallee communities, preferring the tall, dense and floristically rich mallee found in higher rainfall (300 - 450 mm mean annual rainfall) areas. Utilises mallee with a spinifex understorey, but usually at lower densities than in areas with a shrub understorey. Less frequently found in other eucalypt woodlands, such as Inland Grey Box, Ironbark or Bimble Box Woodlands with thick understorey, or in other woodlands such dominated by Mulga or native Cypress Pine species. Prefers areas of light sandy to sandy loam soils and habitats with a dense but discontinuous canopy and dense and diverse shrub and herb layers. Malleefowl will occupy areas within 5 years of fire, however higher breeding densities are recorded from older age classes. A pair may occupy a range of between 50 and 500 ha, overlapping with those of their neighbours. Mainly forage in open areas on seeds of Acacias and other native shrubs (<i>Cassia</i>, <i>Beyeria</i>, <i>Bossiaea</i>), buds, flowers and fruits of herbs and various shrubs, insects (cockroaches, ants, soil invertebrates), and cereals if available. Incubate eggs in large mounds that contain considerable volumes of sandy soil. Recently burnt areas are used for foraging, with malleefowl taking advantage of increased herbage, while adjacent unburnt habitats are used for roosting, nesting, and daytime shelter.</p> <p><b>Low - Subject land outside the known distribution of this species. No associated vegetation communities present. No records within 10 km.</b></p>	No
<i>Numenius madagascariensis</i>	Eastern Curlew, Far Eastern Curlew	CE	<p>Within Australia, the Eastern Curlew has a primarily coastal distribution. The species is found in all states, particularly the north, east, and south-east regions including Tasmania. Eastern Curlews are rarely recorded inland. In NSW the species occurs across the entire coast but is mainly found in estuaries such as the Hunter River, Port Stephens, Clarence River, Richmond River and ICOLLs of the south coast. The Eastern Curlew breeds in Russia and north-eastern China but its distribution is poorly known. During the non-breeding season a</p>	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<p>few birds occur in southern Korea and China, but most spend the non-breeding season in north, east and south-east Australia. The birds may delay breeding until three to four years of age. Within Australia, immature birds, which do not migrate, move northward in winter.</p> <p><b>Low - Subject land outside the known distribution of this species. No suitable habitat present. No records within 10 km.</b></p>	
<i>Polytelis swainsonii</i>	Superb Parrot	V	<p>The Superb Parrot is found throughout eastern inland NSW. On the South-western Slopes their core breeding area is roughly bounded by Cowra and Yass in the east, and Grenfell, Cootamundra and Coolac in the west. Birds breeding in this region are mainly absent during winter, when they migrate north to the region of the upper Namoi and Gwydir Rivers. The other main breeding sites are in the Riverina along the corridors of the Murray, Edward and Murrumbidgee Rivers where birds are present all year round. It is estimated that there are less than 5000 breeding pairs left in the wild. Inhabit Box-Gum, Box-Cypress-pine and Boree Woodlands and River Red Gum Forest. In the Riverina the birds nest in the hollows of large trees (dead or alive) mainly in tall riparian River Red Gum Forest or Woodland. On the South West Slopes nest trees can be in open Box-Gum Woodland or isolated paddock trees. Species known to be used are Blakely's Red Gum, Yellow Box, Apple Box and Red Box. Nest in small colonies, often with more than one nest in a single tree. Breed between September and January. May forage up to 10 km from nesting sites, primarily in grassy box woodland. Feed in trees and understorey shrubs and on the ground and their diet consists mainly of grass seeds and herbaceous plants. Also eaten are fruits, berries, nectar, buds, flowers, insects and grain.</p> <p><b>Moderate – Subject land within known distribution. Associated PCT (1330) present. No records within 10 km.</b></p>	Yes
<i>Rostratula australis</i>	Australian Painted Snipe	E	<p>The Australian Painted Snipe is restricted to Australia. In NSW many records are from the Murray-Darling Basin including the Paroo wetlands, Lake Cowal, Macquarie Marshes, Fivebough Swamp and more recently, swamps near Balldale and Wanganella. Other important locations with recent records include wetlands on the Hawkesbury River and the Clarence and lower Hunter Valleys. Prefers fringes of swamps, dams and nearby marshy areas where there is a cover of grasses, lignum, low scrub or open timber. Nests on the ground amongst tall vegetation, such as grasses, tussocks or reeds. The nest consists of a scrape in the ground, lined with grasses and leaves. Breeding is often in response to local conditions; generally, occurs from September to December. Incubation and care of young is all undertaken by the male only. Forages nocturnally on mud-flats and in shallow water. Feeds on worms, molluscs, insects and some plant-matter.</p> <p><b>Low – Subject land within predicted but not known distribution. Some marginal habitat present. No records within 10km.</b></p>	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>Macchullochella macquarensis</i>	Trout Cod	E	<p>The Trout Cod is known from a single natural population, two stable translocated populations and many stocked populations. All stocked sites require continued stocking and there is only limited evidence that some stocked populations are self sustaining. Recent research in the Murray and Murrumbidgee Rivers show that Trout Cod occupy stream positions characterised by a high abundance of large woody debris (or 'snags') in water that is comparatively deep and close to riverbanks. However, midstream snags are also an important habitat component. In the Murray River below Yarrawonga Weir, Trout Cod inhabit a large (60—100 m wide), deep (&gt;3 m) flowing river section with a sand, silt and clay substrate that contains abundant snags and woody debris. Trout Cod are often angled from within, under or adjacent to snags, branch piles, and steep clay banks, usually in areas of relatively fast current.</p> <p><b>Absent – No aquatic habitat occurs within the impact footprint and no significant impacts on nearby watercourses are likely.</b></p>	No
<i>Macchullochella peelii</i>	Murray Cod	V	<p>The Murray Cod was historically distributed throughout the Murray-Darling Basin, which extends from southern Queensland, through New South Wales, the Australian Capital Territory and Victoria to South Australia, with the exception of the upper reaches of some tributaries. The species still occurs in most parts of this natural distribution up to approximately 1000 m above sea level. The Basin contains approximately 13,245 km of waterways that may encompass areas of suitable habitat for the Murray Cod. The species' estimated extent of occurrence, based on areas with an average river width of 50m, is 660 km<sup>2</sup>. The Murray Cod utilises a diverse range of habitats from clear rocky streams, such as those found in the upper western slopes of NSW (including the ACT), to slow-flowing, turbid lowland rivers and billabongs. Murray Cod are frequently found in the main channels of rivers and larger tributaries. The species is, therefore, considered a main-channel specialist. Murray Cod tend to occur in floodplain channels and anabranches when they are inundated, but the species' use of these floodplain habitats appears limited. Juveniles less than one year old have been found in main river channels where it appears they settle at a late larval (newly born) stage. Preferred microhabitat consists of complex structural features in streams such as large rocks, snags (pieces of large submerged woody debris), overhanging stream banks and vegetation, tree stumps, logs, branches and other woody structures. Such structures reduce or influence stream flows and provide Murray Cod with shelter from fast-flowing water. They also serve as predatory ambush points for foraging, particularly during the day.</p> <p><b>Absent – No aquatic habitat occurs within the impact footprint and no significant impacts on nearby watercourses are likely.</b></p>	No
<i>Macquaria</i>	Macquarie	E	The Macquarie Perch was once widespread through the cooler upper reaches of the	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>australasica</i>	Perch		<p>southern tributaries of the Murray-Darling river system in Victoria and New South Wales, however its distribution did not usually extend to the sources of these rivers. Although it was considered rare downstream in the Murray River, in Victoria the Macquarie Perch occurred in the Barmah Lakes area and tributaries such as Broken Creek. New South Wales, the species occurred in the upper reaches of the Macquarie River system. Macquarie Perch have declined considerably from their historical distribution within NSW and they are now considered isolated to the upper reaches of the Lachlan and Murrumbidgee Rivers in southern NSW. It is also found in low numbers in the Mongarlowe River, where the population is considered likely to be the result of a translocation from the Murray-Darling Basin. Other populations exist in Cataract Dam in the Nepean River catchment, as well as a 2008 record from Georges River near Campbelltown, the first record from the river since 1894. It persists in the Burrinjuck, Cotter (Murrumbidgee) and Wyangala impoundments (McDowall 1996). A breeding population in the Queanbeyan River upstream of the Googong Reservoir exists solely due to a translocation of individuals from the reservoir past a natural barrier. The Googong reservoir population is believed to be effectively extinct. Macquarie perch may occasionally become displaced downstream from the Queanbeyan River into Googong, but they do not form a population in the reservoir.</p> <p><b>Absent – No aquatic habitat occurs within the impact footprint and no significant impacts on nearby watercourses are likely.</b></p>	
<i>Litoria booroolongensis</i>	Booroolong Frog	E	<p>The Booroolong Frog is restricted to NSW and north-eastern Victoria, predominantly along the western-flowing streams of the Great Dividing Range. It has disappeared from much of the Northern Tablelands, however several populations have recently been recorded in the Namoi catchment. The species is rare throughout most of the remainder of its range. Live along permanent streams with some fringing vegetation cover such as ferns, sedges or grasses.</p> <p><b>Low – Subject land within known distribution. Associated vegetation community (PCT 1330) present but habitat within site broadly unsuitable. No records within 10 km.</b></p>	No
<i>Litoria castanea</i>	Yellow-spotted Tree Frog, Yellow-spotted Bell Frog	CE	<p>Historically, this species occurred in two separate highland ranges: on the New England Tableland, and on the southern and central tablelands from Bathurst to Bombala. Following the chytrid virus pandemic in the 1970s, this species went unrecorded for 30 years and was believed to be extinct, until it was rediscovered in 2009 on the Southern Tablelands. This population - near Yass - remains the only known extant site of the species.</p> <p><b>Low - Subject land within predicted but not known distribution. No associated vegetation communities present. No records within 10 km.</b></p>	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>Synemon plana</i>	Golden Sun Moth	CE	<p>The Golden Sun Moth's NSW populations are found in the area between Queanbeyan, Gunning, Young and Tumut. The species' historical distribution extended from Bathurst (central NSW) through the NSW Southern Tablelands, through to central and western Victoria, to Bordertown in eastern South Australia. Occurs in Natural Temperate Grasslands and grassy Box-Gum Woodlands in which groundlayer is dominated by wallaby grasses <i>Austrodanthonia</i> [= <i>Rytidosperma</i>] spp. Grasslands dominated by wallaby grasses are typically low and open - the bare ground between the tussocks is thought to be an important microhabitat feature for the Golden Sun Moth, as it is typically these areas on which the females are observed displaying to attract males. Habitat may contain several wallaby grass species, which are typically associated with other grasses particularly spear-grasses <i>Austrostipa</i> spp. or Kangaroo Grass <i>Themeda australis</i> [= <i>Themeda triandra</i>].</p> <p><b>Low - Subject land outside known distribution. No associated vegetation communities present. No records within 10 km.</b></p>	No
<i>Chalinolobus dwyeri</i>	Large-eared Pied Bat, Large Pied Bat	V	<p>Found mainly in areas with extensive cliffs and caves, from Rockhampton in Queensland south to Bungonia in the NSW Southern Highlands. It is generally rare with a very patchy distribution in NSW. There are scattered records from the New England Tablelands and North West Slopes. Roosts in caves (near their entrances), crevices in cliffs, old mine workings and in the disused, bottle-shaped mud nests of the Fairy Martin (<i>Petrochelidon ariel</i>), frequenting low to mid-elevation dry open forest and woodland close to these features. Females have been recorded raising young in maternity roosts (c. 20-40 females) from November through to January in roof domes in sandstone caves and overhangs. They remain loyal to the same cave over many years. Found in well-timbered areas containing gullies.</p> <p><b>Moderate – Subject land within known distribution. Associated vegetation community (PCT 1330) present. Typical habitat features (rock outcrops, cliffs etc) absent but present in surrounding landscape. No records within 10 km.</b></p>	Yes
<i>Dasyurus maculatus maculatus</i>	Spot-tailed Quoll, Spotted-tail Quoll, Tiger Quoll (southeastern mainland population)	E	<p>The range of the Spotted-tailed Quoll has contracted considerably since European settlement. It is now found in eastern NSW, eastern Victoria, south-east and north-eastern Queensland, and Tasmania. Only in Tasmania is it still considered relatively common. Recorded across a range of habitat types, including rainforest, open forest, woodland, coastal heath and inland riparian forest, from the sub-alpine zone to the coastline. Quolls use hollow-bearing trees, fallen logs, other animal burrows, small caves and rock outcrops as den sites.</p> <p><b>Moderate – Subject land within known distribution. Associated vegetation community (PCT 1330) present. Eight records within 10 km.</b></p>	Yes



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>Petauroides volans</i>	Greater Glider	V	The Greater Glider occurs in eucalypt forests and woodlands along the east coast of Australia from north east Queensland to the Central Highlands of Victoria.  <b>Low - Subject land within known distribution. No associated vegetation communities present. No records within 10 km.</b>	No
<i>Petrogale penicillata</i>	Brush-tailed Rock-wallaby	V	The range of the Brush-tailed Rock-wallaby extends from south-east Queensland to the Grampians in western Victoria, roughly following the line of the Great Dividing Range. However the distribution of the species across its original range has declined significantly in the west and south and has become more fragmented. In NSW they occur from the Queensland border in the north to the Shoalhaven in the south, with the population in the Warrumbungle Ranges being the western limit.  <b>Low - Subject land outside known distribution. No associated vegetation communities present. No records within 10 km.</b>	No
<i>Phascolarctos cinereus</i>	Koala	V	The Koala has a fragmented distribution throughout eastern Australia from north-east Queensland to the Eyre Peninsula in South Australia. In NSW it mainly occurs on the central and north coasts with some populations in the west of the Great Dividing Range. Inhabit eucalypt woodlands and forests. Koalas naturally inhabit a range of temperate, sub-tropical and tropical forest, woodland and semi-and communities dominated by Eucalyptus species (Martin & Handasyde 1999). Koala habitat can be broadly defined as any forest or woodland containing species that are known koala food trees, or shrubland with emergent food trees. The distribution of this habitat is largely influenced by land elevation , annual temperature and rainfall patterns, soil types and the resultant soil moisture availability and fertility. Preferred food and shelter trees are naturally abundant on fertile clay soils. Along the Great Dividing Range and the coastal belt throughout the species' range, Koalas inhabit moist forests and woodlands mostly dominated by Eucalyptus species. In coastal lowlands in Queensland and NSW, Koalas are also found in vegetation communities dominated by Melaleuca or Casuarina species (TSSC 2012p). On the western slopes, tablelands and plains in Queensland and NSW Koalas are found in sub-humid Eucalyptus-dominated forests and woodlands in riparian and non-riparian environments, and some Acacia-dominated forests and woodlands in non-riparian environments (Melzer et al. 2000). In the dry, subtropical to semi-arid environments in the western parts of the species' range, Koalas inhabit Eucalyptus-dominated forests and woodlands, particularly in the vicinity of riparian environments, and Acacia-dominated forests, woodlands and shrublands (Melzer et al. 2000; NSW DECC 2008; Sullivan et al. 2003a). Koalas are also known to occur in modified or regenerating native vegetation communities, as well as urban and rural landscapes where food trees or shelter trees may be highly scattered. There is a growing body of evidence that	Yes <b>See Appendix K.</b>



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<p>identifies the importance of shelter (non-food) trees to koalas. Crowther and colleagues (2013) expand on this and suggest that shelter trees are equally important as food trees and should be weighted as such when assessing habitat suitability. Shelter trees play an essential role in thermoregulation and are likely to be selected based on height, canopy cover and elevation (i.e. trees occurring in gullies are preferable) (Crowther et al. 2013). The difficulty in regards to shelter trees is that, unlike food trees, there is no identified sub-set of forest and woodland trees known to be shelter trees. The use of a particular tree species, or individual trees within a species is highly contextual and variable (Crowther et al. 2013).</p> <p><b>Moderate – Subject land within known distribution. Associated with PCT 1330 and some secondary food trees present. Records within 10 km.</b></p>	
<i>Pteropus poliocephalus</i>	Grey-headed Flying-fox	V	<p>Grey-headed Flying-foxes are generally found within 200 km of the eastern coast of Australia, from Rockhampton in Queensland to Adelaide in South Australia. In times of natural resource shortages, they may be found in unusual locations. Occur in subtropical and temperate rainforests, tall sclerophyll forests and woodlands, heaths and swamps as well as urban gardens and cultivated fruit crops. Roosting camps are generally located within 20 km of a regular food source and are commonly found in gullies, close to water, in vegetation with a dense canopy.</p> <p><b>Moderate – Subject land within known distribution. Associated with PCT 1330. No records within 10 km.</b></p>	Yes
<i>Dichanthium setosum</i>	Bluegrass	V	<p>Bluegrass occurs on the New England Tablelands, North West Slopes and Plains and the Central Western Slopes of NSW, extending to northern Queensland. It occurs widely on private property, including in the Inverell, Guyra, Armidale and Glen Innes areas. Flowering time is mostly in summer. Associated with heavy basaltic black soils and red-brown loams with clay subsoil. Often found in moderately disturbed areas such as cleared woodland, grassy roadside remnants and highly disturbed pasture. (Often collected from disturbed open grassy woodlands on the northern tablelands, where the habitat has been variously grazed, nutrient-enriched and water-enriched). It is open to question whether the species tolerates or is promoted by a certain amount of disturbance, or whether this is indicative of the threatening processes behind its depleted habitat.</p> <p><b>Low – Subject land outside known distribution. No associated vegetation communities present. No records within 10 km.</b></p>	No
<i>Eucalyptus aggregata</i>	Black Gum	V	<p>Black Gum is found in the NSW Central and Southern Tablelands, with small, isolated populations in Victoria and the ACT. In NSW it occurs in the South Eastern Highlands Bioregion and on the western fringe of the Sydney Basin Bioregion. Black Gum has a</p>	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			moderately narrow distribution, occurring mainly in the wetter, cooler and higher parts of the tablelands, for example in the Blayney, Crookwell, Goulburn, Braidwood, and Bungendore districts.  <b>Low – Subject land within predicted but not known distribution. No associated vegetation communities present. No records within 10 km.</b>	
<i>Eucalyptus pulverulenta</i>	Silver-leaved Mountain Gum, Silver-leaved Gum	V	The Silver-leaved Gum is found in two quite separate areas, the Lithgow to Bathurst area and the Monaro (Bredbo to Bombala).  <b>Low – Subject land within known distribution. No associated vegetation communities present. No records within 10 km.</b>	No
<i>Euphrasia arguta</i>		CE	Euphrasia arguta was rediscovered in the Nundle area of the NSW north western slopes and tablelands in 2008. Prior to this, it had not been collected for 100 years. Historically, Euphrasia arguta has only been recorded from relatively few places within an area extending from Sydney to Bathurst and north to Walcha. The Royal Botanic Gardens Specimen Register records an additional location reported and vouchered in 2002 from near the Hastings River, and Euphrasia arguta was also recorded from the Barrington Tops in 2012. Historic records of the species noted the following habitats 'in the open forest country around Bathurst in sub humid places', 'on the grassy country near Bathurst', and 'in meadows near rivers'. Plants from the Nundle area have been reported from eucalypt forest with a mixed grass and shrub understorey, here, plants were most dense in an open disturbed area and along the roadside, indicating the species had regenerated following disturbance.  <b>Low - Subject site outside known and predicted distributions. No associated vegetation communities present. No records within 10 km.</b>	No
<i>Leucochrysum albicans</i> subsp. <i>tricolor</i>	Hoary Sunray, Grassland Paper-daisy	E	Endemic to south-eastern Australia, where it is currently known from three geographically separate areas in Tasmania, Victoria and south-eastern NSW and ACT. In NSW it currently occurs on the Southern Tablelands adjacent areas in an area roughly bounded by Albury, Bega and Goulburn, with a few scattered localities known from beyond this region.  <b>Low - Subject land within known distribution. No associated vegetation communities present. No records within 10 km.</b>	No
<i>Swainsona recta</i>	Small Purple-pea, Mountain Swainson-pea, Small Purple Pea	E	Small Purple-pea was recorded historically from places such as Carcoar, Culcairn and Wagga Wagga where it is probably now extinct. Populations still exist in the Queanbeyan and Wellington-Mudgee areas. Over 80% of the southern population grows on a railway easement. It is also known from the ACT and a single population of four plants near	Yes



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<p>Chiltern in Victoria. Before European settlement Small Purple-pea occurred in the grassy understorey of woodlands and open-forests dominated by Blakely's Red Gum <i>Eucalyptus blakelyi</i>, Yellow Box <i>E. melliodora</i>, Candlebark Gum <i>E. rubida</i> and Long-leaf Box <i>E. gonicalyx</i>. Grows in association with understorey dominants that include Kangaroo Grass <i>Themeda australis</i>, poa tussocks <i>Poa spp.</i> and spear-grasses <i>Austrostipa spp.</i></p> <p><b>Moderate – Subject land within known distribution. Associated with PCT 1330. No records within 10 km.</b></p>	
<i>Thesium australe</i>	Austral Toadflax, Toadflax	V	<p>Austral Toad-flax is found in very small populations scattered across eastern NSW, along the coast, and from the Northern to Southern Tablelands. It is also found in Tasmania and Queensland and in eastern Asia. Although originally described from material collected in the SW Sydney area, populations have not been seen in a long time. It may persist in some areas in the broader region. Occurs in grassland on coastal headlands or grassland and grassy woodland away from the coast. Often found in association with Kangaroo Grass (<i>Themeda australis</i>). A root parasite that takes water and some nutrient from other plants, especially Kangaroo Grass.</p> <p><b>Low - Subject site outside known and predicted distributions. No associated vegetation communities present. No records within 10 km.</b></p>	No
<i>Zieria obcordata</i>	Granite Zieria	E	<p>Occurs at two sites with a geographic range of 105 km. These are in the Wuuluman area near Wellington, comprising of a single subpopulation over 3 sites comprising up to 200 plants and Crackerjack Rock/Rock Forests area NW of Bathurst, with a subpopulation comprising of 14 sites, totaling to approximately 700 adult plants after good seasons.</p> <p><b>Moderate – Subject land within known distribution. No associated vegetation communities present. Sixty-six records within 10 km.</b></p>	Yes
<i>Aprasia parapulchella</i>	Pink-tailed Worm-lizard, Pink-tailed Legless Lizard	V	<p>There is a concentration of populations in the Canberra/Queanbeyan Region Other populations have been recorded near Cooma, Yass, Bathurst, Albury and West Wyalong. This species is also found in the Australian Capital Territory. Inhabits sloping, open woodland areas with predominantly native grassy groundlayers, particularly those dominated by Kangaroo Grass (<i>Themeda australis</i>). Sites are typically well-drained, with rocky outcrops or scattered, partially buried rocks. Commonly found beneath small, partially embedded rocks and appear to spend considerable time in burrows below these rocks; the burrows have been constructed by and are often still inhabited by small black ants and termites.</p> <p><b>Moderate - Subject land within known distribution. Associated vegetation community</b></p>	Yes



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<b>present (1330). No records within 10 km.</b>	
<i>Delma impar</i>	Striped Legless Lizard, Striped Snake-lizard	V	<p>The Striped Legless Lizard occurs in the Southern Tablelands, the South West Slopes, the Upper Hunter and possibly on the Riverina. Populations are known in the Goulburn, Yass, Queanbeyan, Cooma, Muswellbrook and Tumut areas. Also occurs in the ACT, Victoria and south-eastern South Australia. Found mainly in Natural Temperate Grassland but has also been captured in grasslands that have a high exotic component. Also found in secondary grassland near Natural Temperate Grassland and occasionally in open Box-Gum Woodland. Habitat is where grassland is dominated by perennial, tussock-forming grasses such as Kangaroo Grass <i>Themeda australis</i>, spear-grasses <i>Austrostipa</i> spp. and poa tussocks <i>Poa</i> spp., and occasionally wallaby grasses <i>Austrodanthonia</i> spp. Sometimes present in modified grasslands with a significant content of exotic grasses. Sometimes found in grasslands with significant amounts of surface rocks, which are used for shelter.</p> <p><b>Low - Subject land outside known distribution. No associated vegetation communities present, though habitat broadly suitable. No records within 10 km.</b></p>	No
<i>Apus pacificus</i>	Fork-tailed Swift	Migratory	<p>The Fork-tailed Swift is a non-breeding visitor to all states and territories of Australia. In NSW, the Fork-tailed Swift is recorded in all regions. Many records occur east of the Great Divide, however, a few populations have been found west of the Great Divide. These are widespread but scattered further west of the line joining Bourke and Dareton. Sightings have been recorded at Milparinka, the Bulloo River and Thurloo Downs. The Fork-tailed Swift is almost exclusively aerial, flying from less than 1 m to at least 300 m above ground and probably much higher.</p> <p><b>Low – the species is almost exclusively aerial and does not breed in Australia.</b></p>	No
<i>Myiagra cyanoleuca</i>	Satin Flycatcher	Migratory	<p>The Satin Flycatcher is widespread in eastern Australia and vagrant to New Zealand (Blakers et al. 1984; Coates 1990a). In Queensland, it is widespread but scattered in the east, being recorded on passage on a few islands in the western Torres Strait. It is patchily recorded on Cape York Peninsula, from the Cape south to a line between Aurukun and Coen. The species is more widespread farther south, though still scattered, from Musgrave Station south to c. 24° S, mostly in coastal areas, but also on the Great Divide, and occasionally further west (Blakers et al. 1984). Satin Flycatchers are widespread in south-eastern Queensland, in the area from Fraser Island, west to Goombi and south to the NSW border. Satin Flycatchers inhabit heavily vegetated gullies in eucalypt-dominated forests and taller woodlands, and on migration, occur in coastal forests, woodlands, mangroves and drier woodlands and open forests.</p> <p><b>Moderate – Subject land within known distribution. Suitable habitat present.</b></p>	Yes
<i>Monarcha</i>	Black-faced	Migratory	The Black-faced Monarch is widespread in eastern Australia. It is vagrant to Western	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>melanopsis</i>	Monarch		<p>Australia; a single bird was detected 16 km east-north-east of Mt Brookes, June 1987. In New South Wales and the Australian Capital Territory, the species occurs around the eastern slopes and tablelands of the Great Divide, inland to Coutts Crossing, Armidale, Widden Valley, Wollemi National Park, Wombeyan Caves and Canberra. It is rarely recorded farther inland (e.g. Munghorn Gap Nature Reserve, January 1995, and Maules Creek, 50 km south-east of Narrabri, December 1994). The Black-faced Monarch mainly occurs in rainforest ecosystems, including semi-deciduous vine-thickets, complex notophyll vine-forest, tropical (mesophyll) rainforest, subtropical (notophyll) rainforest, mesophyll (broadleaf) thicket/shrubland, warm temperate rainforest, dry (monsoon) rainforest and (occasionally) cool temperate rainforest.</p> <p><b>Low – No suitable habitat for this species occurs within the subject land.</b></p>	
<i>Motacilla flava</i>	Yellow Wagtail	Migratory	<p>Minimal ecological information is available regarding the species. The species utilises continental Europe and Asia as residence and breeding and is a non-breeding visitor to Africa, using parts of northern Africa as passage between these areas. It is considered migratory Australia with minimal information available as to its use of the continent.</p> <p><b>Low – Little is known about this species; however, it does not breed in Australia. Individuals may forage at the site.</b></p>	No
<i>Rhipidura rufifrons</i>	Rufous Fantail	Migratory	<p>The Rufous Fantail occurs in coastal and near coastal districts of northern and eastern Australia. <i>Rhipidura rufifrons rufifrons</i> has breeding populations occurring from about the South Australia-Victoria border, through south and central Victoria, on and east of the Great Divide in New South Wales (NSW), and north to about the NSW-Queensland border; and <i>R. r. intermedia</i> has breeding populations occurring on and east of the Great Divide, from about the NSW-Queensland border, north to the Cairns-Atherton region, Queensland. Both subspecies winter farther north from Cape York Peninsula in Queensland to Torres Strait and southern Papua New Guinea. The two subspecies intergrade in a zone between the Queensland-NSW border ranges and the Clarence-Orara rivers in NSW. In east and south-east Australia, the Rufous Fantail mainly inhabits wet sclerophyll forests, often in gullies dominated by eucalypts such as Tallow-wood (<i>Eucalyptus microcorys</i>), Mountain Grey Gum (<i>E. cypellocarpa</i>), Narrow-leaved Peppermint (<i>E. radiata</i>), Mountain Ash (<i>E. regnans</i>), Alpine Ash (<i>E. delegatensis</i>), Blackbutt (<i>E. pilularis</i>) or Red Mahogany (<i>E. resinifera</i>); usually with a dense shrubby understorey often including ferns. They also occur in subtropical and temperate rainforests; for example near Bega in south-east NSW, where they are recorded in temperate Lilly Pilly (<i>Acmena smithi</i>) rainforest, with Grey Myrtle (<i>Backhousia myrtifolia</i>), Sassafras (<i>Doryphora sassafras</i>) and Sweet Pittosporum (<i>Pittosporum undulatum</i>) subdominants. They occasionally occur in secondary regrowth, following logging or disturbance in forests or rainforests. When on passage, they are sometimes recorded in drier sclerophyll forests and woodlands, including Spotted Gum (<i>Eucalyptus maculata</i>), Yellow</p>	Yes



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
			<p>Box (<i>E. melliodora</i>), ironbarks or stringybarks, often with a shrubby or heath understorey. They are also recorded from parks and gardens when on passage. In north and north-east Australia, they often occur in tropical rainforest and monsoon rainforests, including semi-evergreen mesophyll vine forests, semi-deciduous vine thickets or thickets of Paperbarks (<i>Melaleuca</i> spp.).</p> <p><b>Moderate – Subject land within known distribution. May make use of the subject land while on passage.</b></p>	
<i>Calidris acuminata</i>	Sharp-tailed Sandpiper	Migratory	<p>The Sharp-tailed Sandpiper is a summer migrant from Arctic Siberia, being found on wetlands throughout Australia. It is also found in Indonesia, Papua New Guinea, the Solomon Islands, New Caledonia and New Zealand. It is a vagrant to India, Europe, western North America, Fiji and other parts of the central Pacific region. The species predominant threats are global habitat loss, reduction of water quality, disturbance, climate change and hunting practises. Within Australia the species is impacted by habitat loss and degradation. The Sharp-tailed Sandpiper spends the non-breeding season in Australia with small numbers occurring regularly in New Zealand. Most of the population migrates to Australia, mostly to the south-east and are widespread in both inland and coastal locations and in both freshwater and saline habitats. Many inland records are of birds on passage, taking advantage of Australia's boom-and-bust ecology (BirdLife Australia). The Sharp-tailed Sandpiper prefers the grassy edges of shallow inland freshwater wetlands. It is also found around sewage farms, flooded fields, mudflats, mangroves, rocky shores and beaches. They forage at the edge of the water of wetlands or intertidal mudflats, either on bare wet mud or sand, or in shallow water. They also forage among inundated vegetation of saltmarsh, grass or sedges. They forage in sewage ponds, and often in hypersaline environments. After rain, they may forage in paddocks of short grass, well away from water.</p> <p><b>Low – No suitable habitat for this species occurs within the subject land.</b></p>	No
<i>Calidris ferruginea</i>	Curlew Sandpiper	CE Migratory	<p>The Curlew Sandpiper is distributed around most of the Australian coastline (including Tasmania). It occurs along the entire coast of NSW, particularly in the Hunter Estuary, and sometimes in freshwater wetlands in the Murray-Darling Basin. Inland records are probably mainly of birds pausing for a few days during migration. The Curlew Sandpiper breeds in Siberia and migrates to Australia (as well as Africa and Asia) for the non-breeding period, arriving in Australia between August and November, and departing between March and mid-April. Generally, the species occupies littoral and estuarine habitats, and in New South Wales is mainly found in intertidal mudflats of sheltered coasts. It also occurs in non-tidal swamps, lakes and lagoons on the coast and sometimes inland.</p> <p><b>Low – No suitable habitat for this species occurs within the subject land.</b></p>	No
<i>Calidris</i>	Pectoral	Migratory	The Pectoral Sandpiper breeds in northern Russia and North America. Within Australasia,	No



Threatened and Migratory Species				
Species name	Common Name	Status	Habitat Assessment	Assessment of Significance required (Yes/No)
<i>melanotos</i>	Sandpiper		<p>the Pectoral Sandpiper prefers shallow fresh to saline wetlands. In New South Wales (NSW), the Pectoral Sandpiper is widespread, but scattered. Records exist east of the Great Divide, from Casino and Ballina, south to Ulladulla. West of the Great Divide, the species is widespread in the Riverina and Lower Western regions. The species is usually found in coastal or near coastal habitat but occasionally found further inland. It prefers wetlands that have open fringing mudflats and low, emergent or fringing vegetation, such as grass or samphire. The species has also been recorded in swamp overgrown with lignum. They forage in shallow water or soft mud at the edge of wetlands.</p> <p><b>Low – No suitable habitat for this species occurs within the subject land.</b></p>	
<i>Gallinago hardwickii</i>	Latham's Snipe, Japanese Snipe	Migratory	<p>Latham's Snipe breed in Japan and far eastern Russia during the northern hemisphere summer. They migrate south after the breeding season, travelling across Papua New Guinea to winter in eastern Australia. They're range extends throughout Queensland and west of the Great Dividing Range in NSW and Tasmania. Within Australia, Latham's Snipe occurs in permanent and ephemeral wetlands up to 2000 m above sea-level. They usually inhabit open, freshwater wetlands with low, dense vegetation (e.g. swamps, flooded grasslands or heathlands, around bogs and other water bodies). However, they can also occur in habitats with saline or brackish water, in modified or artificial habitats, and in habitats located close to humans or human activity. Latham's Snipe does not breed within Australian jurisdiction. The breeding range is confined to Japan and far eastern Russia.</p> <p><b>Low – No suitable habitat for this species occurs within the subject land.</b></p>	No
<i>Numenius madagascariensis</i>	Eastern Curlew, Far Eastern Curlew	CE Migratory	<p>Within Australia, the Eastern Curlew has a primarily coastal distribution. The species is found in all states, particularly the north, east, and south-east regions including Tasmania. Eastern Curlews are rarely recorded inland. In NSW the species occurs across the entire coast but is mainly found in estuaries such as the Hunter River, Port Stephens, Clarence River, Richmond River and ICOLLs of the south coast. The Eastern Curlew breeds in Russia and north-eastern China but its distribution is poorly known. During the non-breeding season a few birds occur in southern Korea and China, but most spend the non-breeding season in north, east and south-east Australia. The birds may delay breeding until three to four years of age. Within Australia, immature birds, which do not migrate, move northward in winter.</p> <p><b>Low - The subject land is outside of the species known range. There are no records within 10 km of the subject land. The species is not associated with the PCTs present.</b></p>	No



## Appendix G: EPBC Act Tests of Significance

### EPBC Act-listed Critically Endangered and Endangered Species

#### Regent Honeyeater (*Anthochaera phrygia*)

Significant Impact Guideline	Assessment
Lead to a long-term decrease in the size of a population	The proposal will impact up to 1.22 ha of PCT 1330, of which only 0.06 ha contains woody vegetation with a substantially native understorey. The loss of 0.06 ha of potential foraging habitat immediately adjacent to human habitation is unlikely to have a significant impact on the population size of this species.
Reduce the area of occupancy of the species	Yes. The proposal will remove 0.06 ha of habitat for this species, which represents 0.05% of the total mapped extent of this PCT within the study area. The proposal will reduce the potential area of occupancy of this species, however, as the reduction is so small in scale, this is unlikely to have a significant impact.
Fragment an existing population into two or more populations	The proposal is unlikely to exacerbate landscape fragmentation. Mitigation measures will be implemented to reduce habitat fragmentation wherever possible (see <b>Section 7.2</b> ).
Adversely affect habitat critical to the survival of a species	The subject site is unlikely to constitute habitat critical to the survival of the species, as the site offers minimal nesting and foraging habitat.
Disrupt the breeding cycle of a population	If present, the number of individuals and the proportion of the local population affected is likely to be relatively small. The proposal is unlikely to impact the breeding cycle of the species at a regional population scale.
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove/modify up to 0.06 ha of suitable habitat for the species. The proposal will not exacerbate existing fragmentation of foraging habitat for this species, as previously discussed.
Result in invasive species that are harmful to a critically endangered or endangered species becoming established in the endangered or critically endangered species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal is unlikely to facilitate the movement of these species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	A small-scale impact of this kind is unlikely to interfere with the recovery of this species.
Conclusion	Non-significant impact



**Swift Parrot (*Lathamus discolor*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of a population	The proposal will impact up to 1.22 ha of PCT 1330, of which only 0.06 ha contains woody vegetation with a substantially native understorey. The loss of 0.06 ha of potential foraging habitat immediately adjacent to human habitation is unlikely to have a significant impact on the population size of this species.
Reduce the area of occupancy of the species	Yes. The proposal will remove 0.06 ha of habitat for this species, which represents 0.05% of the total extent of this PCT within the study area. The proposal will reduce the potential area of occupancy of this species; however, as the reduction is so small in scale, this is unlikely to have a significant impact.
Fragment an existing population into two or more populations	The proposal is unlikely to exacerbate landscape fragmentation. Mitigation measures will be implemented to reduce habitat fragmentation wherever possible (see <b>Section 7.2</b> ).
Adversely affect habitat critical to the survival of a species	The subject site is unlikely to constitute habitat critical to the survival of the species, as the site offers minimal nesting and foraging habitat.
Disrupt the breeding cycle of a population	If present, the number of individuals and the proportion of the local population affected is likely to be relatively small. The proposal is unlikely to impact the breeding cycle of the species at a regional population scale.
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove/modify up to 0.06 ha of suitable habitat for the species. The proposal will not exacerbate existing fragmentation of foraging habitat for this species, as previously discussed.
Result in invasive species that are harmful to a critically endangered or endangered species becoming established in the endangered or critically endangered species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal is unlikely to facilitate the movement of these species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	A small-scale impact of this kind is unlikely to interfere with the recovery of this species.
Conclusion	Non-significant impact



**Spot-tailed Quoll, southeastern mainland population (*Dasyurus maculatus maculatus*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of a population	The proposal will impact up to 1.22 ha of PCT 1330, of which only 0.06 ha contains woody vegetation with a substantially native understorey. The loss of 0.06 ha of potential foraging habitat immediately adjacent to human habitation is unlikely to have a significant impact on the population size of this species.
Reduce the area of occupancy of the species	Yes. The proposal will remove 0.06 ha of habitat for this species, which represents 0.05% of the total extent of this PCT within the study area. The proposal will reduce the potential area of occupancy of this species; however, as the reduction is so small in scale, this is unlikely to have a significant impact.
Fragment an existing population into two or more populations	The proposal is unlikely to exacerbate landscape fragmentation. Mitigation measures will be implemented to reduce habitat fragmentation wherever possible (see <b>Section 7.2</b> ).
Adversely affect habitat critical to the survival of a species	The subject site is unlikely to constitute habitat critical to the survival of the species, as the site offers minimal nesting and foraging habitat.
Disrupt the breeding cycle of a population	If present, the number of individuals and the proportion of the local population affected is likely to be relatively small. The proposal is unlikely to impact the breeding cycle of the species at a regional population scale.
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove/modify up to 0.06 ha of suitable habitat for the species. The proposal will not exacerbate existing fragmentation of foraging habitat for this species, as previously discussed.
Result in invasive species that are harmful to a critically endangered or endangered species becoming established in the endangered or critically endangered species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal is unlikely to facilitate the movement of these species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	A small-scale impact of this kind is unlikely to interfere with the recovery of this species.
Conclusion	Non-significant impact



**Small Purple-pea (*Swainsona recta*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of a population	This species is known to occur within PCT 1330. It is unlikely to tolerate the degree of disturbance observed in the degraded vegetation zone but may be present within the 0.06 ha remnant zone. The survey was not carried out during the optimal season for the detection of this species; consequently, a small population may be present but undetected. The loss of 0.06 ha of habitat for this species is unlikely to lead to a long-term decrease in the size of any local population as large areas of higher-quality habitat were observed outside the impact footprint.
Reduce the area of occupancy of the species	Yes. The proposal will remove 0.06 ha of habitat for this species, which represents 0.05% of the total extent of this PCT within the study area. The proposal will reduce the potential area of occupancy of this species, however, as the reduction is so small in scale, this is unlikely to have a significant impact.
Fragment an existing population into two or more populations	The proposal is unlikely to exacerbate landscape fragmentation. Mitigation measures will be implemented to reduce habitat fragmentation wherever possible (see <b>Section 7.2</b> ).
Adversely affect habitat critical to the survival of a species	The subject site is unlikely to constitute habitat critical to the survival of the species, as the site offers minimal nesting and foraging habitat.
Disrupt the breeding cycle of a population	If present, the number of individuals and the proportion of the local population affected is likely to be relatively small. The proposal is unlikely to impact the breeding cycle of the species at a regional population scale.
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove/modify up to 0.06 ha of suitable habitat for the species. The proposal will not exacerbate existing fragmentation of foraging habitat for this species, as previously discussed.
Result in invasive species that are harmful to a critically endangered or endangered species becoming established in the endangered or critically endangered species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal is unlikely to facilitate the movement of these species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	A small-scale impact of this kind is unlikely to interfere with the recovery of this species.
Conclusion	Non-significant impact



**Granite Zieria (*Zieria obcordata*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of a population	This species is not known to occur within PCT 1330 and was not detected during the site survey; it is therefore unlikely to be impacted by this proposal. Local records of this species are from areas mapped to PCT 287, though this community does border PCT 1330 through much of the landscape. As the species is unlikely to tolerate the degree of disturbance observed in the degraded zone, the proposal will result in the loss of at most 0.06 ha of doubtfully suitable habitat, from which the species was apparently absent.
Reduce the area of occupancy of the species	Unlikely. The proposal will remove 0.06 ha of doubtfully suitable habitat for this species, which represents 0.05% of the total extent of this PCT within the study area. The proposal will reduce the potential area of occupancy of this species; however, as the reduction is so small in scale and species so unlikely to be present, this will not have a significant impact.
Fragment an existing population into two or more populations	The proposal is unlikely to exacerbate landscape fragmentation. Mitigation measures will be implemented to reduce habitat fragmentation wherever possible (see <b>Section 7.2</b> ).
Adversely affect habitat critical to the survival of a species	The subject site is unlikely to constitute habitat critical to the survival of the species, as the site offers minimal nesting and foraging habitat.
Disrupt the breeding cycle of a population	If present, the number of individuals and the proportion of the local population affected is likely to be relatively small. The proposal is unlikely to impact the breeding cycle of the species at a regional population scale.
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove/modify up to 0.06 ha of suitable habitat for the species. The proposal will not exacerbate existing fragmentation of foraging habitat for this species, as previously discussed.
Result in invasive species that are harmful to a critically endangered or endangered species becoming established in the endangered or critically endangered species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal is unlikely to facilitate the movement of these species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	A small-scale impact of this kind is unlikely to interfere with the recovery of this species.
Conclusion	Non-significant impact



## EPBC Act-listed Vulnerable Species

Painted Honeyeater (*Grantiella picta*)

Significant Impact Guideline	Assessment
Lead to a long-term decrease in the size of an important population of a species	This species has not been detected within 10 km of the subject land. The subject land also lacked mistletoes, which are a key component of the habitat requirement of this species. Consequently, it is highly unlikely that an important population exists within or is dependent on the subject land.
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The proposal will remove up to 0.06 ha of potential habitat for the species. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes, however, not to the extent that it would impact the species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**White-throated Needletail (*Hirundapus caudacutus*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of an important population of a species	This species has not been detected within 10 km of the subject land. This, together with the small size and generally degraded condition of the subject land, suggests that it is unlikely to host an important population of this species.
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The proposal will remove up to 0.06 ha of potential habitat for the species. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	The subject land is likely already habitat for a range of pest species, including foxes ( <i>Vulpes vulpes</i> ), rabbits ( <i>Oryctolagus cuniculus</i> ), cats ( <i>Felis catus</i> ), goats ( <i>Capra hircus</i> ) and wild dogs ( <i>Canis lupus</i> ). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact the species.  Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.  However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b> ).
Introduce disease that may cause the species to decline, or	Machinery used on site can potentially act as a transport for biosecurity risks.  Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b> ).
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**Superb Parrot (*Polytelis swainsonii*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of an important population of a species	This species has not been detected within 10 km of the subject land. This, together with the small size and generally degraded condition of the subject land, suggests that it is unlikely to host an important population of this species.
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The proposal will remove up to 0.06 ha of potential habitat for the species. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact the species.</p> <p>Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.</p> <p>However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Introduce disease that may cause the species to decline, or	<p>Machinery used on site can potentially act as a transport for biosecurity risks.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b>).</p>
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**Large-eared Pied Bat (*Chalinolobus dwyeri*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of an important population of a species	This species has not been detected within 10 km of the subject land. This, together with the small size and generally degraded condition of the subject land, suggests that it is unlikely to host an important population of this species. Important habitat features, such as cliffs and rock outcrops, occur within the broader landscape but not on the subject land.
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The proposal will remove up to 0.06 ha of potential habitat for the species. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	The subject land is likely already habitat for a range of pest species, including foxes ( <i>Vulpes vulpes</i> ), rabbits ( <i>Oryctolagus cuniculus</i> ), cats ( <i>Felis catus</i> ), goats ( <i>Capra hircus</i> ) and wild dogs ( <i>Canis lupus</i> ). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact the species.  Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.  However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b> ).
Introduce disease that may cause the species to decline, or	Machinery used on site can potentially act as a transport for biosecurity risks.  Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b> ).
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**Koala (*Phascolarctos cinereus*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of an important population of a species	The Koala is known to occur within 10 km of the subject land but is generally confined to larger wooded remnants. It may make use of vegetation in or near the impact footprint for connectivity but it is unlikely to be significantly impacted by the proposal. No evidence of Koala activity within the subject land was noted and given the small size and marginal habitat value of the site (see <b>Appendix K</b> ), it is highly unlikely that an important population is dependent on the subject land.
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The site qualifies as critical habitat for the Koala (see <b>Appendix K</b> ) but only marginally so. The proposal will remove up to 0.06 ha of potential habitat for the Koala, as this species is unlikely to make use of the highly degraded pasture. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	The subject land is likely already habitat for a range of pest species, including foxes ( <i>Vulpes vulpes</i> ), rabbits ( <i>Oryctolagus cuniculus</i> ), cats ( <i>Felis catus</i> ), goats ( <i>Capra hircus</i> ) and wild dogs ( <i>Canis lupus</i> ). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact the species.  Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.  However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b> ).
Introduce disease that may cause the species to decline, or	Machinery used on site can potentially act as a transport for biosecurity risks.  Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b> ).
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**Grey-headed Flying-fox (*Pteropus poliocephalus*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of an important population of a species	This species has not been detected within 10 km of the subject land. This, together with the small size and generally degraded condition of the subject land, suggests that it is unlikely to host an important population of this species. The scarcity of woody vegetation on the subject land suggest that it would be inadequate to host a significant population of this species (e.g. a roosting camp).
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The proposal will remove up to 0.06 ha of potential habitat for this species, as flying foxes are unlikely to make extensive use of the highly degraded pasture. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	The subject land is likely already habitat for a range of pest species, including foxes ( <i>Vulpes vulpes</i> ), rabbits ( <i>Oryctolagus cuniculus</i> ), cats ( <i>Felis catus</i> ), goats ( <i>Capra hircus</i> ) and wild dogs ( <i>Canis lupus</i> ). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact the species.  Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.  However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b> ).
Introduce disease that may cause the species to decline, or	Machinery used on site can potentially act as a transport for biosecurity risks.  Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b> ).
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**Pink-tailed Worm-lizard (*Aprasia parapulchella*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Lead to a long-term decrease in the size of an important population of a species	This species has not been detected within 10 km of the subject land. This, together with the small size and generally degraded condition of the subject land, suggests that it is unlikely to host an important population of this species. As the species is said to favour areas with predominantly native groundlayers, only the remnant vegetation zone (0.06 ha) is likely to be suitable, along with scattered areas of minor surface or embedded rock.
Reduce the area of occupancy of an important population	No. The subject land is unlikely to host an important population (see above).
Fragment an existing important population into two or more populations	No. The subject land is unlikely to host an important population (see above).
Adversely affect habitat critical to the survival of a species	The proposal will remove up to 0.06 ha of habitat for this species, most of which is in a highly degraded condition. This habitat does not occur within an identified Priority Management Area for the species.
Disrupt the breeding cycle of an important population	No. The subject site is unlikely to host an important population (see above).
Modify, destroy, remove, isolate or decrease the availability or quality of habitat to the extent that the species is likely to decline	The proposal will remove 0.06 ha of potential habitat for this species. The proposal will not impact connectivity.
Result in invasive species that are harmful to a vulnerable species becoming established in the vulnerable species' habitat	The subject land is likely already habitat for a range of pest species, including foxes ( <i>Vulpes vulpes</i> ), rabbits ( <i>Oryctolagus cuniculus</i> ), cats ( <i>Felis catus</i> ), goats ( <i>Capra hircus</i> ) and wild dogs ( <i>Canis lupus</i> ). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact the species.  Additionally, priority weeds were recorded on the subject land. The proposal may spread these weeds or lead to the establishment of new weeds via earthworks, movement of soil, and attachment of seed (and other propagules) to vehicles and machinery.  However, environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b> ).
Introduce disease that may cause the species to decline, or	Machinery used on site can potentially act as a transport for biosecurity risks.  Environmental safeguards for the management of biosecurity risks will be implemented (see <b>Section 7.2</b> ).
Interfere with the recovery of the species.	The small-scale nature of the impacts suggests that the proposal will not interfere with the recovery of this species.
Conclusion	Non-significant impact



**EPBC Act-listed Migratory Species****Satin Flycatcher (*Myiagra cyanoleuca*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Substantially modify (including by fragmenting, altering fire regimes, altering nutrient cycles or altering hydrological cycles), destroy or isolate an area of important habitat for a migratory species	The Satin Flycatcher favours heavily vegetated gullies and is likely to make use of alternative habitats (including the subject land) only on migration. As the present proposal will not result in any fragmentation of this habitat, it is unlikely to have any impact on the movement of this species. Given the wide distribution of the species and the heavily modified nature of the local landscape, it is also unlikely that any important habitat occurs nearby.
Result in an invasive species that is harmful to the migratory species becoming established in an area of important habitat for the migratory species, or	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact this species.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Seriously disrupt the lifecycle (breeding, feeding, migration or resting behaviour) of an ecologically significant proportion of the population of a migratory species.	The small-scale nature of the proposal, which will not result in any fragmentation and will entail the removal of only two mature trees, suggests that no disruption is likely. It is very unlikely that an ecologically significant proportion of the population of this species is dependent on the subject land.
Conclusion	Non-significant impact



**Rufous Fantail (*Rhipidura rufifrons*)**

<b>Significant Impact Guideline</b>	<b>Assessment</b>
Substantially modify (including by fragmenting, altering fire regimes, altering nutrient cycles or altering hydrological cycles), destroy or isolate an area of important habitat for a migratory species	The Satin Flycatcher favours wet sclerophyll forests dominated by a range of canopy species that do not occur in or near the subject site. They are most likely to make of the subject land during migration. As the present proposal will not result in any fragmentation of this habitat, it is unlikely to have any impact on the movement of this species. Given the wide distribution of the species and the heavily modified nature of the local landscape, it is also unlikely that any important habitat occurs nearby.
Result in an invasive species that is harmful to the migratory species becoming established in an area of important habitat for the migratory species, or	<p>The subject land is likely already habitat for a range of pest species, including foxes (<i>Vulpes vulpes</i>), rabbits (<i>Oryctolagus cuniculus</i>), cats (<i>Felis catus</i>), goats (<i>Capra hircus</i>) and wild dogs (<i>Canis lupus</i>). The proposal would likely facilitate the movement of some of these species, which are known to use road corridors while traversing landscapes; however, not to the extent that it would impact this species.</p> <p>Environmental safeguards for the management of biosecurity risks will be implemented to reduce these risks to a low level (see <b>Section 7.2</b>).</p>
Seriously disrupt the lifecycle (breeding, feeding, migration or resting behaviour) of an ecologically significant proportion of the population of a migratory species.	The small-scale nature of the proposal, which will not result in any fragmentation and will entail the removal of only two mature trees, suggests that no disruption is likely. It is very unlikely that an ecologically significant proportion of the population of this species is dependent on the subject land.
Conclusion	Non-significant impact



## Appendix H: Key Threatening Processes

Key Threatening Processes (KTPs) relevant to the subject land and predictions as to whether they may be exacerbated by the proposal.

Class	Name	NSW status	Comm. status	Likelihood of Occurrence	Exacerbated by Proposal
<b>Threat</b>	<b>Aggressive exclusion of birds from woodland and forest habitat by abundant Noisy Miners, <i>Manorina melanocephala</i> (Latham, 1802)</b>	KTP	KTP	NO  While modification of vegetation assemblages can promote Noisy Miner activity, the degree of existing disturbance suggests that the present proposal is unlikely to have an appreciable impact on this KTP. Noisy Miners were detected in abundance in surrounding vegetation during the site survey.	NO IMPACT
<b>Threat</b>	<b>Alteration of habitat following subsidence due to longwall mining</b>	KTP		NO  The proposal does not include any mining activities.	NO IMPACT
<b>Threat</b>	<b>Alteration to the natural flow regimes of rivers and streams and their floodplains and wetlands</b>	KTP		NO  There are no mapped watercourses within the subject land and no impacts to watercourses outside this area are likely to result from proposal activities. There is a minor risk of unwanted run-off entering downslope watercourses, chiefly the Macquarie River, during construction activities. This is unlikely to be of such magnitude that it would alter the flow regime of the river.	NO IMPACT
<b>Threat</b>	<b>Anthropogenic Climate Change</b>	KTP	KTP	YES  Some unavoidable emissions that contribute to climate change will occur from construction machinery. The loss of vegetation from the subject land will result in a reduced carbon sequestration capacity.	NEGLIGIBLE
<b>Threat</b>	<b>Bushrock removal</b>	KTP		YES  Minor occurrences of bushrock were noted on the subject land, occurring as both loose surface material and embedded material. The removal of this rock will not result in a significant loss of habitat.	NO SIGNIFICANT IMPACT
<b>Threat</b>	<b>Clearing of native vegetation</b>	KTP	KTP	Yes  Up to 0.06 ha of regulated native vegetation will be cleared.	NO SIGNIFICANT IMPACT
<b>Threat</b>	<b>Competition and grazing by the feral European Rabbit, <i>Oryctolagus cuniculus</i></b>	KTP	KTP	NO  The project does not include any activities that might spread feral rabbits.	NO IMPACT
<b>Threat</b>	<b>Competition and habitat degradation by Feral Goats, <i>Capra hircus</i></b>	KTP	KTP	NO  Feral goats will not be introduced to the site as a result of the proposal	NO IMPACT



Class	Name	NSW status	Comm. status	Likelihood of Occurrence	Exacerbated by Proposal
<b>Threat</b>	Competition from feral honey bees, <i>Apis mellifera</i>	KTP		NO The proposal does not include any activities that might exacerbate the impacts of competition with honeybees,	NO IMPACT
<b>Threat</b>	Forest eucalypt dieback associated with over-abundant psyllids and Bell Miners	KTP		NO The proposal does not include any activities that would exasperate this threat.	NO IMPACT
<b>Threat</b>	Herbivory and environmental degradation caused by feral deer	KTP		NO The proposal does not include any activities that would exasperate this threat.	NO IMPACT
<b>Threat</b>	High frequency fire resulting in the disruption of life cycle processes in plants and animals and loss of vegetation structure and composition	KTP		NO Fire frequency are not expected to increase due to activities undertaken as part of the proposal.	NO IMPACT
<b>Threat</b>	Importation of Red Fire Ants <i>Solenopsis invicta</i>	KTP	KTP	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks	POTENTIAL
<b>Threat</b>	Infection by <i>Psittacine Circoviral</i> (beak and feather) Disease affecting endangered psittacine species and populations	KTP	KTP	NO The proposal does not include any activities that would exacerbate this threat.	NO IMPACT
<b>Threat</b>	Infection of frogs by amphibian chytrid causing the disease chytridiomycosis	KTP	KTP	POTENTIAL Three frog species were detected in a dam located slightly downslope of the proposal area. This dam falls outside of the subject land but may be exposed to unwanted run-off during construction and operation. Minimising impacts to this dam by managing run-off and sedimentation will reduce the risk of disease transmission or other adverse impacts on frog habitat.	POTENTIAL
<b>Threat</b>	Infection of native plants by <i>Phytophthora cinnamomi</i>	KTP	KTP	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks	POTENTIAL
<b>Threat</b>	Introduction of the Large Earth Bumblebee <i>Bombus terrestris</i>	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks	POTENTIAL
<b>Threat</b>	Invasion and establishment of exotic vines and scramblers	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks	POTENTIAL
<b>Threat</b>	Invasion and establishment of Scotch Broom ( <i>Cytisus scoparius</i> )	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks. This species has	POTENTIAL



Class	Name	NSW status	Comm. status	Likelihood of Occurrence	Exacerbated by Proposal
				been recorded within c. 20 km of the subject land.	
<b>Threat</b>	Invasion and establishment of the Cane Toad ( <i>Bufo marinus</i> )	KTP	KTP	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks.	POTENTIAL
<b>Threat</b>	Invasion of native plant communities by African Olive <i>Olea europaea</i> subsp. <i>cuspidata</i>	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks.	POTENTIAL
<b>Threat</b>	Invasion of native plant communities by <i>Chrysanthemoides monilifera</i>	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks.	POTENTIAL
<b>Threat</b>	Invasion of native plant communities by exotic perennial grasses	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks. Exotic perennial grasses already occur within the subject site. Disturbance to native vegetation may allow these species to spread.	POTENTIAL
<b>Threat</b>	Invasion of the Yellow Crazy Ant, <i>Anoplolepis gracilipes</i> into NSW	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks	NO IMPACT
<b>Threat</b>	Invasion, establishment and spread of <i>Lantana</i>	KTP		POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks. While there are no nearby records of <i>Lantana</i> , there is a small possibility that it may be introduced if appropriate measures are not taken.	POTENTIAL
<b>Threat</b>	Loss and degradation of native plant and animal habitat by invasion of escaped garden plants, including aquatic plants	KTP	KTP	POTENTIAL Machinery used on site can potentially act as a transport for biosecurity risks. Clearing of existing vegetation creates niches which may be exploited by invasive species.	POTENTIAL
<b>Threat</b>	Loss of Hollow-bearing Trees	KTP		NO No hollow-bearing trees were noted within the subject site.	NO IMPACT
<b>Threat</b>	Loss or degradation (or both) of sites used for hill-topping by butterflies	KTP		NO No sites known to be present.	NO IMPACT
<b>Threat</b>	Predation and hybridisation by Feral Dogs, <i>Canis lupus familiaris</i>	KTP		NO Ease of access for Feral Dogs will not be increased by the proposal.	NO IMPACT
<b>Threat</b>	Predation by <i>Gambusia holbrooki</i> (Plague Minnow or Mosquito Fish)	KTP		NO No impacts on watercourses are anticipated.	NO IMPACT
<b>Threat</b>	Predation by the	KTP	KTP	NO	NO IMPACT



Class	Name	NSW status	Comm. status	Likelihood of Occurrence	Exacerbated by Proposal
	<b>European Red Fox</b> <i>(Vulpes vulpes)</i>			<b>Ease of access for foxes will not be increased by the proposal.</b>	
<b>Threat</b>	Predation by the Feral Cat <i>Felis catus</i>	KTP	KTP	NO Ease of access for cats will not be increased by the proposal.	NO IMPACT
<b>Threat</b>	Predation, habitat degradation, competition and disease transmission by Feral Pigs	KTP	KTP	NO Ease of access for pigs will not be increased by the proposal.	NO IMPACT
<b>Threat</b>	Removal of dead wood and dead trees	KTP		YES Minor occurrences of fallen timber were noted and these will be removed by the proposal. A single dead stump will likewise be removed.	NO SIGNIFICANT IMPACT



## Appendix I: Terms and Abbreviations

Abbreviation	Terminology	Description
<b>BC Act</b>	Biodiversity Conservation Act 2016 (NSW)	<p>The purpose of this Act is to maintain a healthy, productive and resilient environment for the greatest well-being of the community, now and into the future, consistent with the principles of ecologically sustainable development.</p> <p>This Act contains schedules relating to the listing of threatened species, populations and communities in NSW. It also outlines the framework regulating development impact assessments in relation to biodiversity.</p>
	Biosecurity Act 2015 (NSW)	<p>The broad objectives for biosecurity in NSW are to manage biosecurity risks from animal and plant pests and diseases, weeds and contaminants by</p> <p>Preventing their entry into NSW</p> <p>Quickly finding, containing and eradicating any new entries</p> <p>Effectively minimising the impacts of those pests, diseases, weeds and contaminants that cannot be eradicated through robust management arrangements.</p> <p>The <i>Biosecurity Act 2015</i> provides a statutory framework to help achieve these objectives.</p>
<b>CAMBA</b>	China-Australia Migratory Bird Agreement	A bilateral migratory bird agreement with China entered into in 1986. It provides an important mechanism for pursuing conservation outcomes for migratory birds, including migratory waterbirds.
	Cumulative impacts	Impacts, when considered together, lead to a stronger impact than any impact in isolation.
	Direct impacts	Directly affect the habitat and individuals. They include, but are not limited to, death through predation, trampling, poisoning of the animal/plant itself and the removal of suitable habitat. When applying each factor, consideration must be given to all of the likely direct impacts of the proposed activity or development.
<b>DoEE</b>	Australian Government Department of Environment and Energy	The Department of the Environment designs and implements the Australian Government's policies and programmes to protect and conserve the environment, water and heritage and promote climate action.
<b>DP</b>	Deposited Plan	A plan of land deposited in Land and Property Information (part of the Land Management Authority) and used for legal identification purposes. They most commonly depict a subdivision of a parcel of land.
<b>EEC</b>	Endangered Ecological Community	An ecological community identified by relevant legislation likely to become extinct or is in immediate danger of extinction.
<b>EP&amp;A Act</b>	Environmental Planning and Assessment Act 1979 (NSW).	Provides the legislative framework for land use planning and development assessment in NSW.
<b>EPBC Act</b>	Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth).	Provides for the protection of the environment, especially matters of national environmental significance, and provides a national assessment and approvals process.
<b>FM Act</b>	Fisheries Management Act 1994 (NSW)	<p>The objects of this Act are to conserve, develop and share the fishery resources of the State for the benefit of present and future generations. This Act protects aquatic habitats and species which are not protected under the BC Act.</p>



Abbreviation	Terminology	Description
<b>IBRA</b>	Interim Biogeographic Regionalisation of Australia	The Interim Biogeographic Regionalisation for Australia (IBRA) is a biogeographic regionalisation of Australia developed by the Australian Government's Department of the Environment. Each region is a land area made up of a group of interacting ecosystems repeated in similar form across the landscape.
	Indirect impacts	Occur when project-related activities affect species, populations or ecological communities in a manner other than direct loss. Indirect impacts can include loss of individuals through starvation, exposure, predation by domestic and/or feral animals, loss of breeding opportunities, loss of shade/shelter, deleterious hydrological changes, increased soil salinity, erosion, inhibition of nitrogen fixation, weed invasion, fertiliser drift, or increased human activity within or directly adjacent to sensitive habitat areas. As with direct impacts, consideration must be given, when applying each factor, to all of the likely indirect impacts of the proposed activity or development.
<b>JAMBA</b>	Japan-Australia Migratory Bird Agreement	A bilateral migratory bird agreement with Japan entered into in 1974. It provides an important mechanism for pursuing conservation outcomes for migratory birds, including migratory waterbirds.
<b>KTP</b>	Key Threatening Process	A key threatening process is defined as a process that threatens, or may have the capability to threaten, the survival or evolutionary development of species, populations or ecological communities. A requirement of their listing on the TSC Act is that the process adversely affects two or more threatened species, populations or ecological communities, or may cause species, populations or ecological communities not threatened to become threatened.
	Local population (species)	<p>A local population of a threatened plant species comprises those individuals occurring in a defined area or a cluster of individuals extend into habitat adjoining and contiguous with the study area where the individuals could reasonably be expected to cross-pollinate.</p> <p>A local population of fauna species comprises those individuals known or likely to occur in a defined area, as well as any individuals occurring in adjoining areas (contiguous or otherwise) that are known or likely to utilise habitats in the study area.</p> <p>The local population of migratory or nomadic fauna species comprises those individuals likely to occur in the study area from time to time.</p>
	Local occurrence (EEC)	The ecological community present within the study area. However, the local occurrence may include adjacent areas if the ecological community on the study area forms part of a larger contiguous area of the ecological community and the movement of individuals and exchange of genetic material across the boundary of the study area can be clearly demonstrated.
	Low condition (vegetation)	<p>Vegetation in low condition means:</p> <p>a) woody native vegetation with native over-storey percent foliage cover less than 50% of the lower value of the over-storey percent foliage cover benchmark for that vegetation type, and where either:</p> <ul style="list-style-type: none"> <li>less than 50% of ground cover vegetation is indigenous species, or</li> <li>greater than 90% of ground cover vegetation is cleared</li> </ul> <p>OR</p> <p>b) native grassland, wetland or herbfield where either:</p> <ul style="list-style-type: none"> <li>less than 50% of ground cover vegetation is indigenous species, or</li> <li>more than 90% of ground cover vegetation is cleared</li> </ul>

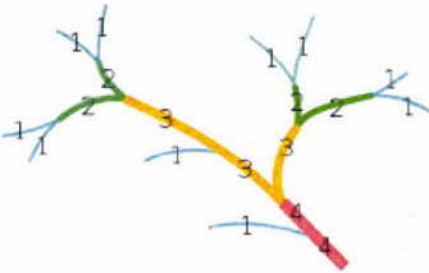


Abbreviation	Terminology	Description
		<p>If native vegetation is not in low condition, it is in moderate to good condition. The percentages for the ground cover calculations must be made in a season when the proportion of native ground cover vegetation compared to non-native ground cover vegetation in the area is likely to be at its maximum.</p> <p>NOTE: Clearing the habitat of threatened species, populations or communities for the purposes of reducing its condition prior to assessment under the methodology may be a breach of environmental legislation, including sections 118A and 118D of the <i>National Parks and Wildlife Act 1974</i> (NPW Act), the <i>Native Vegetation Act 2003</i> (NV Act) and/or the <i>Environmental Planning and Assessment Act 1979</i> (EP&amp;A Act).</p>
<b>MNES</b>	Matters of national environmental significance	Refers to the seven matters of national environmental significance outlined under the EPBC Act.
<b>NPW Act</b>	National Parks and Wildlife Act 1974 (NSW)	<p>The objects of this Act are as follows:</p> <p>The conservation of nature, including, but not limited to, the conservation of:</p> <p>habitat, ecosystems and ecosystem processes, and</p> <p>biological diversity at the community, species and genetic levels, and</p> <p>landforms of significance, including geological features and processes, and</p> <p>landscapes and natural features of significance including wilderness and wild rivers,</p> <p>The conservation of objects, places or features (including biological diversity) of cultural value within the landscape, including, but not limited to:</p> <p>places, objects and features of significance to Aboriginal people, and</p> <p>places of social value to the people of New South Wales, and</p> <p>places of historic, architectural or scientific significance,</p> <p>Fostering public appreciation, understanding and enjoyment of nature and cultural heritage and their conservation,</p> <p>Providing for the management of land reserved under this Act in accordance with the management principles applicable for each type of reservation.</p> <p>The objects of this Act are to be achieved by applying the principles of ecologically sustainable development.</p>
<b>OEH</b>	Office of Environment and Heritage	The Office of Environment and Heritage (OEH) is a separate agency within the Planning and Environment cluster. OEH was formed on 4 April 2011 and works to protect and conserve the NSW environment, including the natural environment, Aboriginal country, culture and heritage and our built heritage, and manages NSW national parks and reserves.
<b>PoEO Act</b>	Protection of the Environment Operations Act 1997	<p>The objects of this Act are as follows:</p> <p>to protect, restore and enhance the quality of the environment in New South Wales, having regard to the need to maintain ecologically sustainable development,</p> <p>to provide increased opportunities for public involvement and participation in environment protection,</p> <p>to ensure the community has access to relevant and meaningful information about pollution,</p> <p>to reduce risks to human health and prevent the degradation of the environment by the use of mechanisms promoting:</p> <p>pollution prevention and cleaner production,</p> <p>the reduction to harmless levels of the discharge of substances likely to cause harm to the environment,</p> <p>the elimination of harmful wastes,</p> <p>the reduction in the use of materials and the re-use, recovery or recycling of materials,</p>



Abbreviation	Terminology	Description
		<p>the making of progressive environmental improvements, including the reduction of pollution at source,</p> <p>the monitoring and reporting of environmental quality on a regular basis,</p> <p>to rationalise, simplify and strengthen the regulatory framework for environment protection,</p> <p>to improve the efficiency of administration of the environment protection legislation,</p> <p>to assist in the achievement of the objectives of the <i>Waste Avoidance and Resource Recovery Act 2001</i>.</p>
<b>RAMSAR</b>	Convention on Wetlands of International Importance	The Ramsar Convention's broad aims are to halt the worldwide loss of wetlands and to conserve, through wise use and management, those remaining. This requires international cooperation, policy making, capacity building and technology transfer.
	Risk of extinction	The likelihood that the local population will become extinct either in the short-term or in the long-term as a result of direct or indirect impacts on the viability of that population.
<b>ROKAMBA</b>	Republic of Korea-Australia Migratory Bird Agreement	A bilateral migratory bird agreement with the Republic of Korea entered into in 2007. It provides an important mechanism for pursuing conservation outcomes for migratory birds, including migratory waterbirds.
<b>RF Act</b>	Rural Fires Act 1997	<p>The objects of this Act are to provide.</p> <p>for the prevention, mitigation and suppression of bush and other fires in local government areas (or parts of areas) and other parts of the State constituted as rural fire districts, and</p> <p>for the co-ordination of bush firefighting and bush fire prevention throughout the State, and</p> <p>for the protection of persons from injury or death, and property from damage, arising from fires, and</p> <p>for the protection of infrastructure and environmental, economic, cultural, agricultural and community assets from damage arising from fires, and</p> <p>for the protection of the environment by requiring certain activities referred to in paragraphs (a)-(c1) to be carried out having regard to the principles of ecologically sustainable development described in section 6 (2) of the <i>Protection of the Environment Administration Act 1991</i>.</p>
<b>SEPP 44</b>	State Environmental Planning Policy No.44 – Koala Habitat	<p>This Policy aims to encourage the proper conservation and management of areas of natural vegetation with habitat for koalas to ensure a permanent free-living population over their present range and reverse the current trend of koala population decline:</p> <p>by requiring the preparation of plans of management before development consent can be granted in relation to areas of core koala habitat, and</p> <p>by encouraging the identification of areas of core koala habitat, and</p> <p>by encouraging the inclusion of areas of core koala habitat in environment protection zones.</p>
<b>Significant impact</b>		A 'significant impact' is an impact which is important, notable, or of consequence, having regard to its context or intensity.
<b>SIS</b>	Species Impact Statement	<p>A document included with an Environmental Impact Statement which details a full description of the action proposed, including its nature, extent, location, timing and layout and, to the fullest extent reasonably practicable, the information referred to in this section.</p> <p>The requirements as to the contents of an SIS for different categories of protected species are given in section 110 of the TSC Act.</p>
<b>Strahler stream order</b>		Strahler stream order and are used to define stream size based on a hierarchy of tributaries.



Abbreviation	Terminology	Description
		

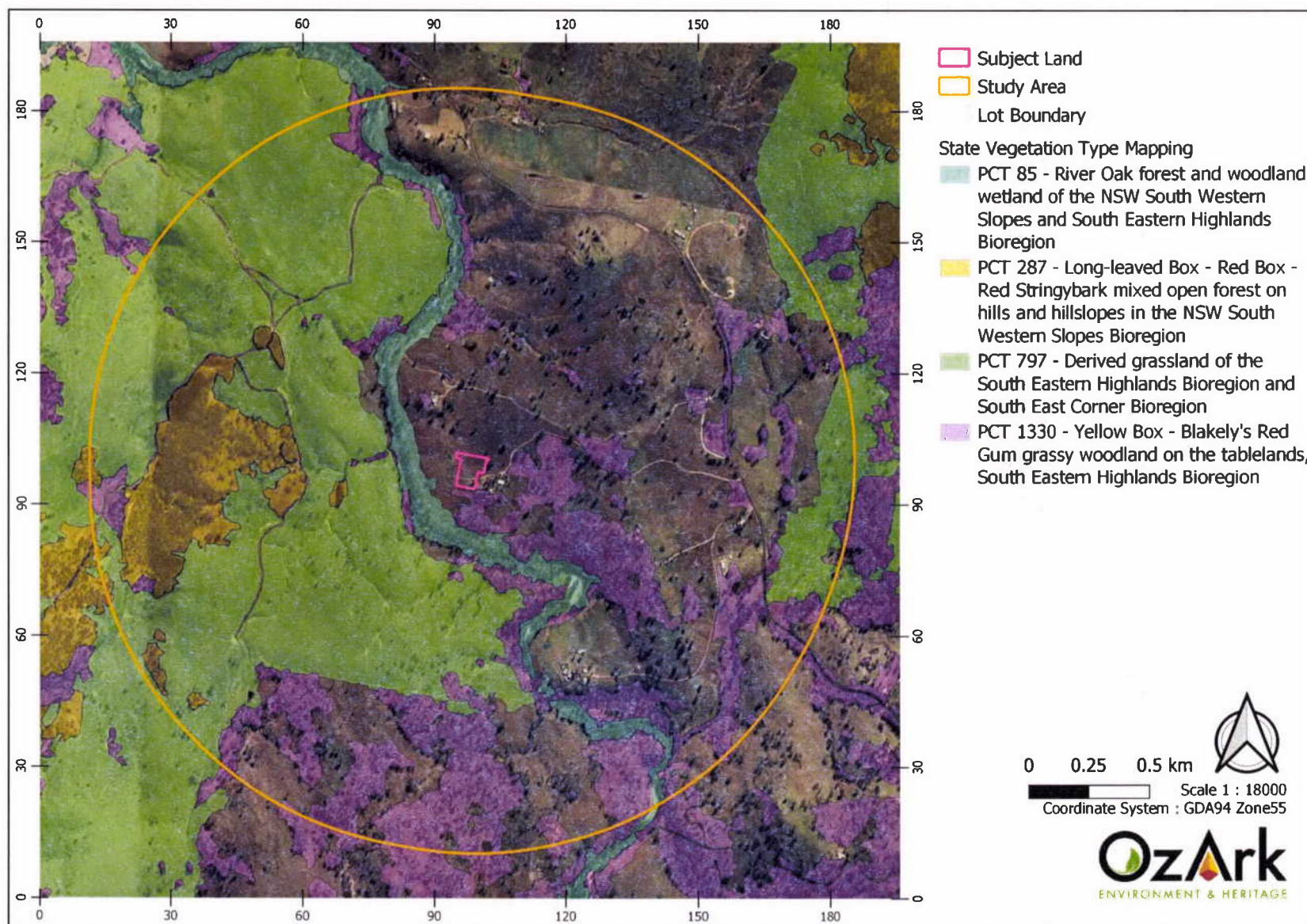


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## Appendix J: Vegetation Type Map: Central Tablelands Region Version 1.0. VIS\_ID 4778

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## Appendix K: EPBC Act Referral Guidelines for the Vulnerable Koala

Table 4: Koala habitat assessment tool

Attribute	Score	Inland	Coastal
Koala occurrence	+2 (high)	Evidence of one or more koalas within the last 5 years.	Evidence of one or more koalas within the last 2 years.
	+1 (medium)	Evidence of one or more koalas within 2 km of the edge of the impact area within the last 10 years.	Evidence of one or more koalas within 2 km of the edge of the impact area within the last 5 years.
	0 (low)	None of the above.	None of the above.
Vegetation composition	+2 (high)	Has forest, woodland or shrubland with emerging trees with 2 or more known koala food tree species, <b>OR</b> 1 food tree species that alone accounts for >50% of the vegetation in the relevant strata.	Has forest or woodland with 2 or more known koala food tree species, <b>OR</b> 1 food tree species that alone accounts for >50% of the vegetation in the relevant strata.
	+1 (medium)	Has forest, woodland or shrubland with emerging trees with only 1 species of known koala food tree present.	Has forest or woodland with only 1 species of known koala food tree present.
	0 (low)	None of the above.	None of the above.
Habitat connectivity	+2 (high)	Area is part of a contiguous landscape $\geq 1000$ ha.	Area is part of a contiguous landscape $\geq 500$ ha.
	+1 (medium)	Area is part of a contiguous landscape $< 1000$ ha, but $\geq 500$ ha.	Area is part of a contiguous landscape $< 500$ ha, but $\geq 300$ ha.
	0 (low)	None of the above.	None of the above.
Key existing threats	+2 (high)	Little or no evidence of koala mortality from vehicle strike or dog attack at present in areas that score 1 or 2 for koala occurrence.	Areas which score 0 for koala occurrence and have no dog or vehicle threat present.
	+1 (medium)	Evidence of infrequent or irregular koala mortality from vehicle strike or dog attack at present in areas that score 1 or 2 for koala occurrence, <b>OR</b> Areas which score 0 for koala occurrence and are likely to have some degree dog or vehicle threat present.	
	0 (low)	Evidence of frequent or regular koala mortality from vehicle strike or dog attack in the study area at present. <b>OR</b> Areas which score 0 for koala occurrence and have a significant dog or vehicle threat present.	
Recovery value	+2 (high)	Habitat is likely to be important for achieving the interim recovery objectives for the relevant context, as outlined in Table 1.	
	+1 (medium)	Uncertain whether the habitat is important for achieving the interim recovery objectives for the relevant context, as outlined in Table 1.	
	0 (low)	Habitat is unlikely to be important for achieving the interim recovery objectives for the relevant context, as outlined in Table 1.	

**Occurrence:** No records of the Koala exist within 2 km of the subject land. The nearest record, dating from between 1980 and 2006, is located c. 4.1 km east of the proposal area.

**Composition:** Most of the subject land lacks emerging trees. Only the 0.06 ha woodland remnant retains a canopy. Both tree species within this area, Yellow Box (*Eucalyptus melliodora*) and Blakely's Red Gum (*E. blakelyi*), are considered secondary food tree species.

**Composition:** While the landscape is heavily disturbed, there are no major barriers between the subject land and the nearby riparian corridor or other wooded remnants.

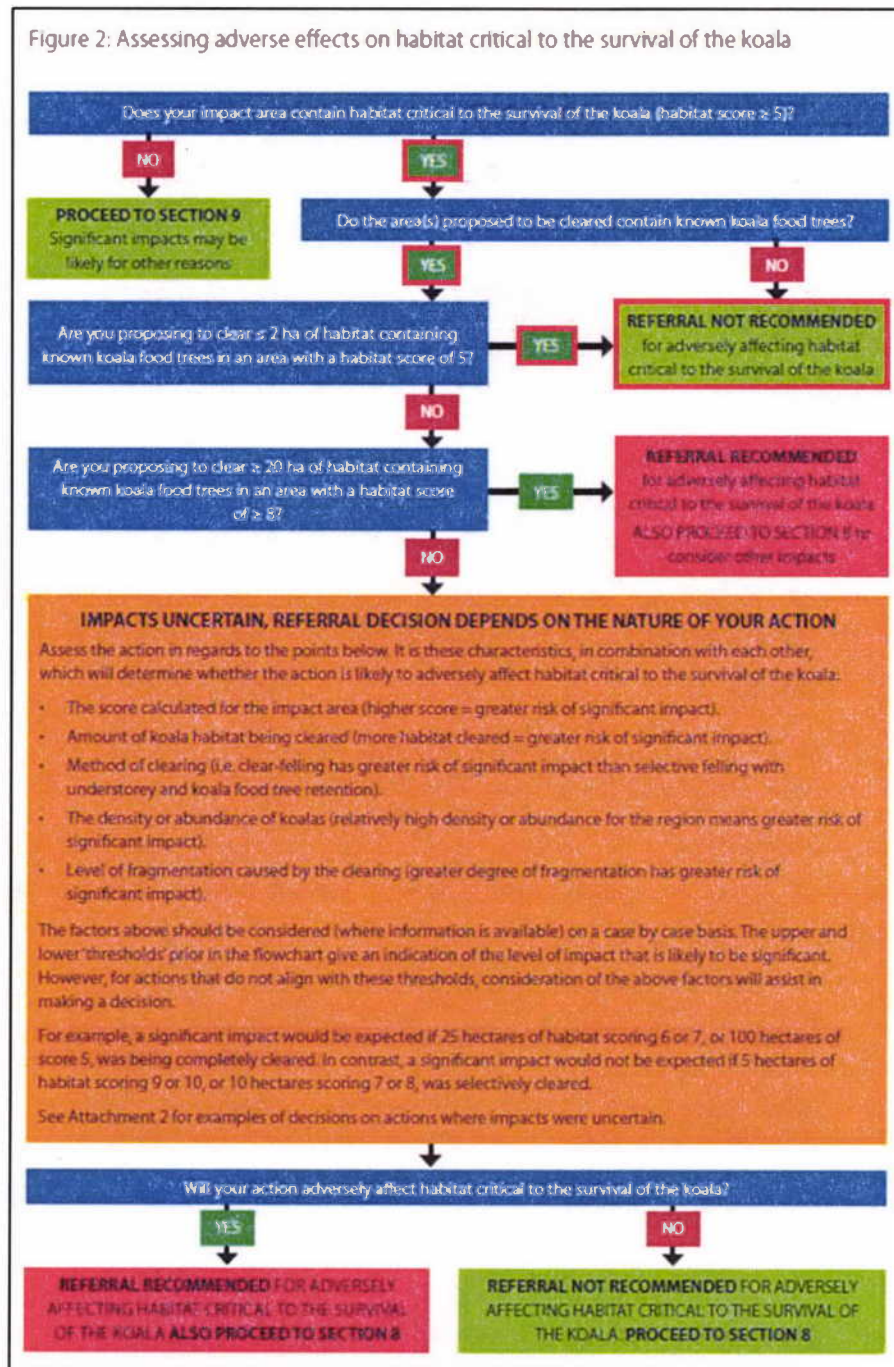
**Threats:** No mortality was noted. Some dog and vehicle threat are likely to be present.

**Recovery:** Owing to the limited size and generally poor condition of the site, as well as its proximity to human habitation, it is unlikely to be important to the recovery of the Koala.



**Habitat Score: 5.** The site constitutes critical habitat for the Koala (habitat score  $\geq 5$ ). Consideration of referral requirements is given below.

Figure 2: Assessing adverse effects on habitat critical to the survival of the koala



As indicated in the above flowchart, referral under the EPBC Act is not required in this case, as the habitat value of the site is marginal (score = 5) and the area impacted (0.06 ha of remnant woodland) is small.

Koalas are known to make use of surrounding wooded remnants and the greatest potential value of the site is in providing connectivity between these areas. As the proposal will not



alter connectivity, no significant impacts to the Koala are likely. The proposal will not increase the risks of dog attack as it will not be increasing access of dogs to wooded areas or areas used to move between wooded areas. Vehicle strikes will not be increased as a result of the proposal as existing roads will be used and speed limits will be enforced at 20 km per hour (or lower if required by Council), as per the safety requirements of the site. The project will not increase the spread of disease or pathogens through a koala population. Additionally, the proposal will not cause fragmentation or a significant decline in available habitat for the species. Relevant biosecurity measures are listed in **Section 7.2** and addressed within **Appendix H**. The hydrological processes of the habitat will not be impacted by the project. Based on these considerations, the project is not likely to interfere substantially with the recovery of the species.



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## Appendix L: Native Vegetation Regulatory Assessment

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The following factors were taken into consideration when determining whether the land within the subject site constitutes Category 1 – (Exempt) Land under the LLS Act, and therefore excluded from consideration when assessing whether the project would trigger the BOS:

1. Land zoning
2. Land usage
3. Woody vegetation extent
4. Evidence of historical clearing
5. Native vegetation cover.

Discussion of each of these factors and how they relate to the assessment of land categorisation is given here.

### 1. Land Zoning

Land categorisation applies to rural land, which is land zoned RU1, RU2, RU3, RU4, and RU6. The subject land is zoned RU1 and qualifies as rural land.

### 2. Land Usage

Land usage within the relevant lot is mapped as 3.2.0. *Grazing modified vegetation* (**Figure L-1**; DPIE 2017a). According to the *Native vegetation regulatory map: method statement* (DPIE 2017b), this usage is consistent with Category 1 – (Exempt) Land.

### 3. Woody Vegetation Extent

Within the subject land, woody vegetation is confined to the 0.06 ha remnant in the south-eastern corner. No extant woody vegetation was noted within the degraded pasture.

### 4. Evidence of Historical Clearing

Category 1 listing applies to land that was “cleared of native vegetation as at 1 January 1990, or land that was lawfully cleared between 1 January 1990 and 25 August 2017” (DPIE 2017b). Analysis of historical aerial mapping (NSW Spatial Services, 2021) determined that the subject land was cleared prior to 1990 (**Figure L-2**).

### 5. Native Vegetation Cover

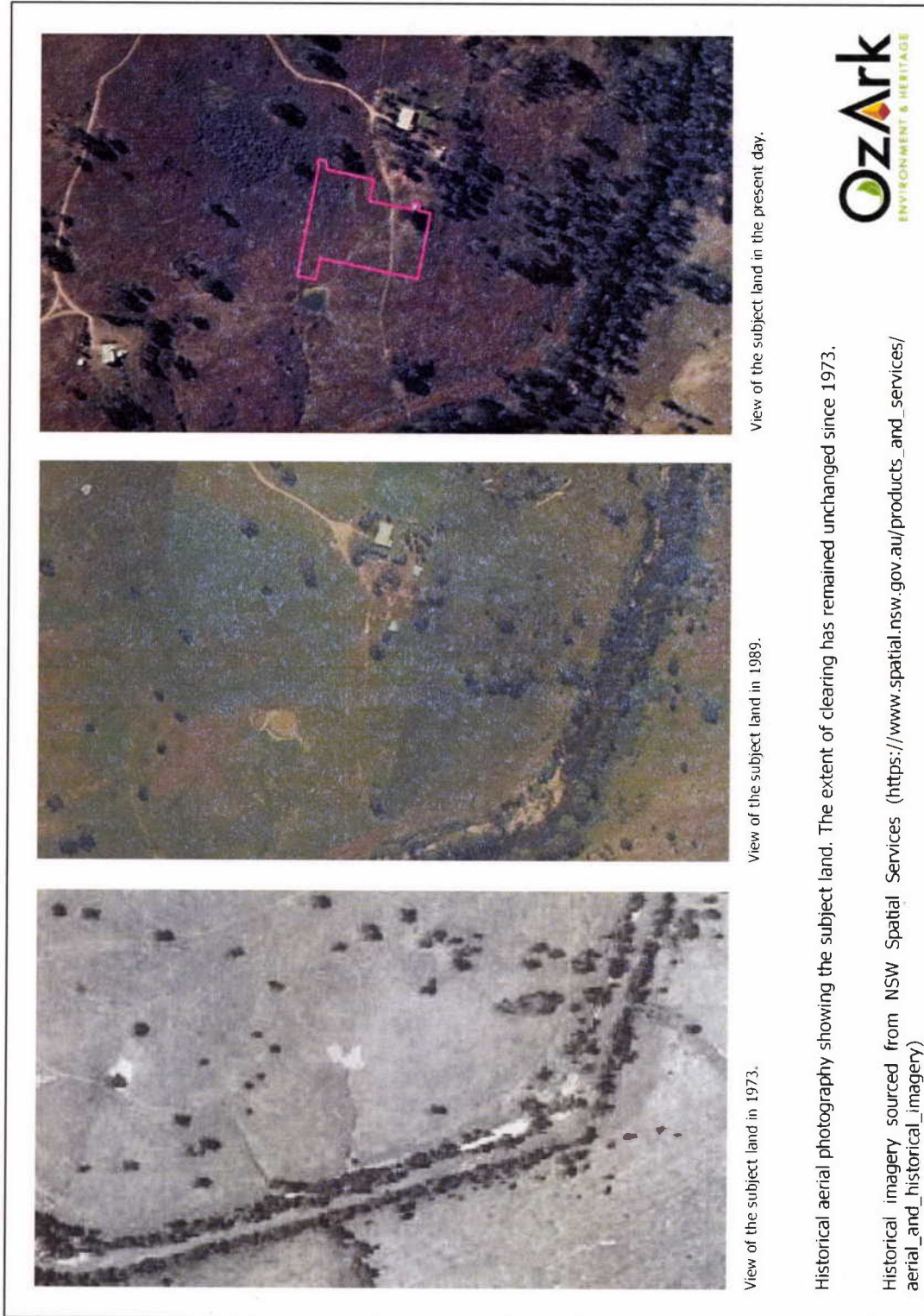
An estimate of native vegetation cover was obtained from BAM plots. Plots within the degraded pasture returned native cover values of 6.4% and 7.3%, for a mean of 6.85% (**Appendix C**). The subject land was dominated by High Threat Weeds, chiefly Saffron Thistle (*Carthamus lanatus*) and Blackberry (*Rubus fruticosus* species aggregate). This supports the categorisation as Category 1 – (Exempt) Land.





Figure L-1. Land use mapping within the subject land





**Figure L-2. Historical aerial photographs of the subject land**



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## Development Application Review

WEBCOPS Event No: E 85797166

RMS Reference No: D/2021/1419139

DA Reference No: Lot 6 DP 247662 DA 2021/560

Council: Bathurst Regional Council

Consulting Engineers: Calare Civil  
170 Rankin Street Bathurst NSW 2795  
PH: 02 63323343

Developer/Applicant: Blake O'Sullivan CEO - 0414080539  
Better Green Pty Ltd  
C/- FMX Group, Suite 2.07 150 Pacific Highway North Sydney.

Private Certifier: Not applicable

Property address: Better Green Cannabis 1673 Freemantle Rd Watton NSW 2795

### 1. Introduction

In line with section 4.15 of the New South Wales Planning & Assessment Act 1979 and the New South Wales Planning Guidelines, the below report has been conducted on Development Application 2021/560

### 2.1 Current environment

The existing site is situated on farmland and will encompass 10 acres of the existing property. The remainder is used as a hobby farm by the owner; however, generally no person lives on the farm. The existing dwellings will remain on site but will not be utilised by the business. There is a significant distance from the site to other farmland properties. The site is located approximately 30 kilometres from the city of Bathurst.

### 2.2 Proposed development

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The development will be referred to as an agricultural business with the construction of a Glass House to grow the medicinal cannabis, processing plant, packaging, and a vault for storage of the finished product. A 35space carpark for staff and visitors will be included in the development. Male and female amenities, office space, kitchen and additional security communications and utilities room are also included in the plans.

Entry into the premises will be via Freemantle Road and will be controlled by secure boom gates. A sealed driveway will be constructed from the front gates to the processing area. The premises will be secured by two perimeter fences, barriers around the entire building and a vault for the finished product.

The business will provide for approximately 50 operational jobs and will create employment in the construction industry during the build phase. The business will cater to an international market.

The applicant Blake O'Sullivan will oversee the operation for the first two years, ensuring the operation is running smoothly. There will be a Chief Operations Officer appointed to run the business daily.

### **Site Risk Rating**

The NSW Police Safer by Design Evaluation process is based upon Australia and New Zealand Risk Management Standard ANZS4360:1999. It is contextually flexible, transparent process that identifies and quantifies crime hazards and location risk. Evaluation measures include crime likelihood (statistical probability), consequence (crime outcome), distributions of reported crime (hotspot analysis), socio economic conditions (relative disadvantage), situational hazards and crime opportunity.

After conducting a Safer by Design Evaluation, based on the information supplied, the overall rating for the development has been identified as **Low Crime Risk**.

### **3. Crime risks and identified issues**

A basic CPTED plan has been submitted with the Development Application as follows:

- Reference to Access Control/ Communications
- Reference to Territorial Reinforcement.
- Reference to CCTV.

### **4. Recommendations**

There may be some recommendations made under the individual headings as per the Crime Prevention through Environmental Design (CPTED) model.

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**1. Lighting – Low risk****Surveillance/Technical –Low Risk**

Generally, lighting must meet the minimum Australian standard for public streets, car parks and pedestrian access. There is a proven correlation between poor lighting, fear of crime, the avoidance of public/private space and crime opportunity.

Due to the nature of this business lighting will be kept to a minimum. The agricultural component requires 12 hours of light and 12 hours of darkness. There will be no night-time operations at the site. If employees were to be on the premises during night hours, the following would be recommended.

- Lighting in the car park and at the entrance to the premises.
- Sensor lighting to all vestibule and walkways including parking bays and outdoor areas.
- Develop a lighting plan to maintain safety and security.

**Surveillance/Technical Supervision -Low risk**

Natural surveillance is achieved when normal space users can see and be seen by others. This highlights the importance of building layout, orientation, location, the strategic use of design, landscaping and lighting. Natural surveillance is a by-product of well-planned, well designed and well used space. Surveillance is achieved through mechanical/electronic measures such as CCTV, help points and mirrored building panels. Natural Surveillance is an important element and can be achieved through the tactical positioning of guardians, an example would be the use of an on-site manager/supervisor at higher risk locations.

Surveillance/CCTV has been broadly addressed in the application and the site will be monitored 24/7. Consider the services of a security company to make regular patrols.

Recommend the following security treatments:

- CCTV camera to be located at the front entrance Boom gates.
- CCTV cameras must be maintained throughout the premises, including processing plant, storage areas and all general areas accessible by staff and the public.
- CCTV cameras to cover the carpark.
- Camera views should not be obstructed by temporary or permanent structures, signage, or other impediments.
- Recordings should be retained for a period of 30 days before being reused or destroyed. The Owner/operator shall ensure that no person is able to delete or alter any recordings within a 30-day period.
- Immediate access to the CCTV systems and the ability to review recordings on the system is to be granted to members of the NSW Police force. The system shall be able to reproduce a copy of the recordings on compact disk, DVD or USB memory stick.

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- The CCTV system should be checked each day to ensure that it is fully operational and if not fully operational all reasonable steps must be taken to repair the system as soon as practical.
- The owner/operator to register (and supplies details) with the BIZKEYS program (after hours contacts register) at Bathurst Police Station.
- Install back to base security alarms around the perimeter of the complex and to the internal buildings.

## **2. Territorial Reinforcement- Low Risk**

Criminals rarely commit crime in areas where the risk of detection and challenges are high. People who have guardianship or ownership of areas are more likely to provide effective supervision and to intervene in crime than passing strangers.

Generally, access points should be clear, legible, and useful. Signage is best located at (or prior to) junctions requiring people to make decisions. Creative markings in carparks aid wayfinding. The business will have limited signage viewable by the public due to the nature of the operation.

Recommend the following additional treatments.

Signage:

- ***No signage denoting the business name be displayed at the entrance off Freemantle Road.***
- Internal signage be clearly displayed.
- Premises monitored by CCTV at entry/exit point.
- Speed limit signage in the driveway/carpark area. Max 10kph.
- "Trespassers will be prosecuted" signage clearly visible around entrance/exit points.
- Security patrol signage.
- All Fire/emergency exits be clearly signed.

## **3. Space/Activity Management (Environmental Maintenance) – Low Risk**

Area image can impact feelings of safety and danger: Landscaping can be used to enhance the appearance of the development and assist in reducing opportunities vandalism. However, landscaping can provide concealment and entrapment areas for people involved in criminal activities. Plants that block natural sight lines lessen natural surveillance.

The location of the business is farmland with native trees and foliage backing onto the Macquarie River

Recommend: Maintain existing farmland vegetation and develop a maintenance plan around the operational area of the business as well -maintained areas often exhibit strong territorial cues.

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**NSW Police Force****4. Access Control – Low Risk.**

Barriers help to restrict, channel, and encourage the movement of people and vehicles into and out of designated areas.

Recommend the additional following treatments

- Polycarbonates and impact resistant glass/glazing to all windows.
- Ensure all entry/exit doors to all buildings be fitted with single cylinder locksets or keypad entry and comply with the building code of Australia.

In addition to the above recommendations, the following should be considered.

- Training given to staff on the use of security cameras and security in general.
- Fire wardens trained in evacuation plans.
- WHS procedures/protocols implemented, and staff trained.

It is noted that traffic volumes on this country road are likely to increase during the construction phase and afterwards at full production.

- Light vehicles- 70 vehicles per day.
- Medium rigid – 1 truck per day.
- Small couriers – 4 vehicles per day.

It is recommended that this DA be referred to the Traffic Management Committee for comment.

**Disclaimer**

The New South Wales Police Force has a vital interest in ensuring the safety of members of the community and their property. By using the recommendations contained in this assessment, any person who does so acknowledges that:

- It is not possible to make all areas evaluated by the NSWPF entirely safe for members of the community or the security of their property.
- It is based upon the information provided to the NSWPF at the time the assessment was made.
- This assessment is a confidential document and is for use of the consent authority unless otherwise agreed.
- The contents of this assessment are not to be copied or circulated otherwise than for the purposes of the consent authority, unless otherwise agreed.

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**NSW Police Force**

The NSW Police Force hopes that by using the recommendations contained in this assessment, criminal activity will be reduced and the safety of members of the community and the security of their property will increase. However, it does not guarantee that all risks have been identified, or that the area assessed will be free from criminal activity if its recommendations are followed.

We would like to thank you for the opportunity of inspecting the plans for this development and should you require further information in relation to the evaluation please contact Senior Constable Sue Rose, Crime Prevention Officer, Chifley PD, Phone 02 63328699.

Yours sincerely,

Bob Noble  
Superintendent  
Commander Chifley PD  
29<sup>th</sup> December 2021

**SECTION/ Branch**

Bathurst Police Station -139 Howick Street Bathurst NSW 2795

**T** 02 63328699 **W** [www.police.nsw.gov.au](http://www.police.nsw.gov.au)

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**From:** [David Arkinstall](#)  
**To:** [Council](#)  
**Subject:** Development Application No 2021/560  
**Date:** Monday, 6 December 2021 3:52:18 PM

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R Denyer

Manager Development Assessment.

Dear Sir,

The documentation submitted with the application states, "the site is located adjacent to a busy road that receives a significant amount of traffic".

That is my concern. Due to the subdivision of several properties there has been much more traffic on Freemantle Rd.

The road between Billywillinga turn off and my property (1513) is winding and barely wide enough for two vehicles to pass safely. Without major realignment any increase in traffic is going to result in a serious accident.

It is also a school bus route and probably increased traffic from the proposed development would be at the same time the bus was picking up or setting down children.

As we go through these times of climate change any project with a high water requirement would have to be considered questionable. The Macquarie river is not a secure source for high water requirements.

With regard to security I think we should learn from the Victorian covid quarantine experience. It only takes one bad apple to mess it up.

Thank you for giving me the opportunity to make this submission. I do hope you will give it your consideration particularly the dangers of that road.

Yours Faithfully,

David Arkinstall,

1513 Freemantle Rd, Watton



**From:** [Sarah Weston](#)  
**To:** [Council](#)  
**Subject:** DA 2021/560 Letter  
**Date:** Thursday, 9 December 2021 9:00:48 AM

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**CAUTION:** This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

**From:** Jordan Barnard <jordan-b369@hotmail.com>  
**Sent:** Wednesday, 8 December 2021 7:24 PM  
**To:** Sarah Weston <Sarah.Weston@facns.gov.au>  
**Subject:** DA 2021/560 Letter

To whom it may concern,

We are the owners of 1683 Freemantle Road, Watton.

We are writing to express our concerns regarding the proposed development of a green house and processing facility at 1673, directly next to our residential property.

We have some questions that we would like answered before the application process proceeds further.

First and foremost, the road.

Given that the road is in quite a state as it is now from the regular traffic and recent rains, we are wondering how it will cope with the significant rise in traffic if the build goes ahead.

The blind corners, tight lane sizes, potholes and washouts are already a concern, without adding more drivers and large vehicles frequenting the proposed facility.

We are wondering if the applicant will be asked to help fund any sort of road upgrade, or if council have any plans to bring the road up to a suitable condition for not only the residence of billywillunga and onwards, but also the higher traffic flow and vehicle size that this build will incur.

Secondly, we are concerned for our property and our lifestyle.

We have concerns about the smell, sight and noise that the proposed development may cause.

We are unsure of how such an odour is going to be contained to the property and only the property as I'm sure that the greenhouse will need to be well ventilated. What kind of measures will be taken to prevent the surrounding residences from being impacted by the odour?

Is the site to be hidden from view of the neighbouring properties as it is from the road. As it has been set so far back that it shall not be seen from road. Will the same go for the neighbours?

What measures will be taken to restrict the view from the surrounding properties?

With the frequent traffic, staff, machinery, security and, no doubt, pumping from the river, what kind of noise prevention is proposed?

How will the applicant be made to reduce, recycle and reuse in the way of waste management and water use? What is the catching and holding capacity of the roofs and water tanks being used?

If the property is zoned R1, how does the processing facility meet these zoning restrictions?

Given that all of the surrounding properties are hobby farms and/or occupied residences.

What will the operating times and days of the facility be? Will they be working/ processing on weekends and holidays? If so, what measures will be implemented for reduced noise and disruption on these days?

Thirdly, we are concerned about the security of not only the property of the proposed development, but also our own.

The boarder fences of the property in question are almost none existent. With the feral wildlife



causing issues, as well as stock from neighbouring blocks, what measures will be taken to stop damage to fences or to prevent further security risks from fence damage?

Furthermore, the main reason for the feral animal problem is the fact that the property has been allowed to go almost entirely unmaintained, making it a prime location for pests. The front half of the property is overrun with blackberry, which has and will continue to attract the wild pigs, goats and kangaroos if they are allowed to continue to take over. Thus becoming an ongoing problem for fence maintenance, and therefore, property security.

We run a short stay accommodation on our property. This in itself poses a security risk, as we have hundreds of people stay a year, and have no way of knowing what they might get up to while staying. What kind of security measures will be taken to make sure that people won't be able to gain access through neighbouring properties?

What type of security will the facility require in the way of overnight watch? Guards, dogs, lighting, camera, etc? And how will this affect us? E.g Night security lighting in an otherwise pitch black area.

Lastly, we are concerned that this development will have a negative effect on our property value. If the development is accepted and the value of the surrounding properties is negatively effected, who will be responsible and what kind of compensation will be available?

On another note, what will this development do for the Watton community, apart from much needed road repairs?

What kind of incentives will the community receive for the long term negatives of living close to a commercial/industrial marijuana processing facility?

We thank you for your understanding of our circumstances and wait to hear back from a representative with some answers.

Regards,

Sarah and Jordan Barnard  
1683 Freemantle Rd, Watton

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Brad & Kate Woods  
1724 Freemantle Road  
WATTON NSW 2795  
M: 0415 194 286  
E: kate9390@live.com.au

**RE:** Development Application (10 - 2021 - 560 - 1)  
1673 Freemantle Road WATTON NSW 2795

To whom it may concern,

We are writing to express our concerns in relation to the above development application (DA) submitted to Bathurst Regional Council on 16/11/2021, to establish an "Intensive Plant Agriculture (medicinal cannabis), inclusive of greenhouse and processing facility".

We have a number of issues we would wish to raise with the council prior to this development being given approval to progress any further.

A major concern for us is the current conditions of the road; the DA documents advise that the facility will employ up to 50 people when fully operational, and the Statement of Environment Effects (SoEE), completed by Anthony Daintith outlines that the residents of Watton can expect a up to 70 light vehicles/ day, 1 medium rigid vehicle/ day and 4 small courier vehicles/ day (p. 28) – this is on top of the traffic already created by the residents of Mount Rankin, Billywillinga, Watton, Milkers Flat etc. The Freemantle road is littered with unsealed bitumen, pot holes, blind and tight corners and significant amounts of wildlife – with the above expectation of the increased traffic on our road, as a resident who utilizes this road frequently, we have substantial concerns about the potential for vehicle accidents. This road requires more safe proofing if the DA is to be approved; is that something the council is prepared to do?

As we live across the road from this proposed DA, we have concerns that the facility will emit a particularly malodorous smell, with potential to be identified and recognized from our property, possibly leading to issues of concern in the future if we were to ever attempt to sell our property. We are genuinely worried that the progression and establishment of this facility may negatively impact the value of our property. While we have no moral objection to the growing or use of medicinal cannabis, we have a concern that if we were to attempt to sell, utilize our property as equity – that the presence of an industrial size grow house across the road could impact on our financial security and future utilization of the land. If there was some indication that property value would not be negatively affected by the establishment of such a facility we would feel more at ease with the development.

Understandably it is an illicit substance being grown on a large scale, and while I understand the NSW Police have been consulted in relation to requirements pertaining to growing, harvesting and housing cannabis –



should we be concerned about any potential for criminogenic activity? We have a young family, and the thought of being vigilant for those wishing to view, intrude on the facility is a genuine worry for us, considering we are just across the road. We have questions about the security of our property considering there can be up to 50 people working at the proposed facility – with no indication submitted with the DA about working hours of employees, or security personnel. The SoEE states that the facility is not lit at night (p. 31), does this include any security fencing lights?

There is an indication in the SoEE that the majority of noise pollution will be from the air conditioning, is there a decibel rating for this? As you can appreciate, we live rural for the peace and quiet – it would be detrimental to all of us surrounding this property to have to hear the constant pumping of an air conditioning plant, and the proposed irrigation pump.

As far as the economic and social benefits that documents submitted with this DA outline, it does not seem many people in the Watton community are keen on this development. Again, as above stated – we have no moral objection to the use of medicinal cannabis, but we are concerned about the potential negative impacts on our neighbours, and our property.

Lets also consider it's \$15 million dollars worth of facility and works to be undertaken, there are a number of builders residing in Watton and close suburbs – are some of the social and economic benefits going to be divided up between their business to complete these works?

Regards

Brad & Kate Woods



**Marilyn and Stephen Rowland**

**PO Box 1468 Bathurst 2795**

**(Lot 501 DP 840363)**

## **OBJECTIONS TO DEVELOPMENT**

**APPLICATION DA 2021/560 (PAN-163990)**

**1673 FREEMANTLE ROAD, WATTON (LOT 6 DP247662)**

### **Preamble:**

Our objections to the proposal in the above development application are concerned with reasonable merit concerns and aspects of the application that lead to the proposed development being beyond the power of the consent authority to approve and/or capable of challenge.

### **Summary of Objections:**

We object to the above development application on the following grounds.

- That the application contains ambiguities as to the purpose and intention of the proposed development.
- That the application makes no reference to the status of medicinal cannabis as *“an internationally controlled drug under the Single Convention as it is not a normal tradable commodity as compared to other commercial products”*.
- That the application for development is, in fact, an application for development of a Heavy Industry storage establishment, Light Industry or High Technology Industry which are all not permitted on land zoned RU1.
- That the consent authority is prevented from adequately assessing the development application due to insufficient, inaccurate, ambiguous, highly conjectural and/or plainly incorrect and conflicting material provided in the application and that these features prevent the consent authority from properly assessing the application under various sections of the *Environmental Planning and Assessment Act 1979*.
- That the proposed development is not suitable for land zoned RU1 under the *Bathurst Regional Local Environmental Plan 2014* on the grounds that the proposed development is,
  - a. Not primarily and substantially a development that is an agricultural industry or intensive plant agriculture.
  - b. Of an industrial nature that is prohibited in zone RU1 Primary Industry.
  - c. Not in keeping with the accepted current land use in the Watton Area due to non-compliance with limits on building sizes, non-compliance with boundary/fence setback distances, and insufficient planning information to enable assessment of water run-off, effects from noise, odour, lighting and other matters.
  - d. ambiguous to the extent that Council cannot properly assess the application or consider relevant considerations under the *Environmental Planning and Assessment Act 1979*.



We believe that the development application proposes to place an inadequately described and poorly researched facility in the wrong location, namely an essentially, substantially, and primarily residential area in a rural setting.

#### A. General Nature of Objections:

Substantial features processes and functions of the proposed development will, once operating, fail to satisfy several of the zoning restrictions and permissions of the *Bathurst Regional Local Environmental Plan 2014* (BRLEP, 2014, Zone RU1 Primary Industry). In particular, the proposed development can be challenged on the basis that substantial elements of the proposal for the site,

1. Are more appropriately identified as “industry” (heavy industry, light industry, or high-technology industry). The stated purpose for the development of a facility for producing **medicinal** cannabis means that the development most appropriately satisfies the definition of “High Technology Industry” (see definition in ‘*Dictionary*’ in *BLEP 2014*) and therefore also “Light Industry” and “Industry”, all of which are prohibited under section 4 of the Zone RU1 Land Use Table in the Bathurst LEP 2014. Consent for the proposal is therefore beyond the power of the consent authority.
2. a. Are essential and central to the purpose of producing medicinal cannabis. The consenting authority is entitled to take all activities and processes implied, named and/or described in the application as equally necessary to the entire development. From point 1 above, the consenting authority is also entitled to view the proposed development as being neither wholly nor substantially a “rural industry”, nor wholly nor substantially an “agricultural produce industry”. The application for development should be assessed as an inappropriate application for a site on land zoned RU1 and should be refused.  
 b. By extension of pt. a. above, or alternately, the application for development does not indicate or designate any part of the development as an “ancillary” process or operation. A consenting authority is therefore entitled to take **the proposal** in the documentation as a development of a single enterprise connected with, and integrated in, the description of “agricultural produce” or “intensive plant agriculture”. In this description, all activities are essential to all other processes for the enterprise. Specifically, the application fails to indicate whether or which activities, such as cultivation, manufacture, production, packaging, transport, etc. are **ancillary** to the development. Following from point 1, above, it follows that, since no ancillary processes, activities or structures have been identified in the application, **any process** that may be deemed inappropriate for the site, such as the production of “pharmaceutical or medical goods” of any kind, may consequentially lead the consenting authority to deny consent for all processes described or implied in the application. The application should be refused.
3. Amount to the substantial and primary intended purpose of producing “medicinal cannabis” (see A. Daintith, Statement of Environmental Effects, 2021; p12), in relation to which the applicant has applied for consent to develop an “agricultural produce industry” (Daintith, p.12) and/or “medicinal marijuana facility” (OzArk, p.1) and/or an “intensive plant agriculture” facility (see [Bathurst Council - DA Tracker](#)



[nsw.gov.au](http://nsw.gov.au)). **The application is therefore ambiguous**, or the development **incorrectly characterised** in the application documentation. "Medicinal cannabis must be recognised as an internationally controlled drug under the Single Convention as it is not a normal tradable commodity as compared to other commercial products" (Australian Government Department of Health, Office of Drug Control, "*Risk management approach to the cultivation, production and manufacture of medicinal cannabis*", version 1.0; September 2021, page 7) This substantial and primary purpose is also recognised in limitations placed on intended operations required in producing medicinal cannabis by the *Narcotic Drugs Amendment Act 2016 (NGA Act, 2016)* (<http://www.commlaw.gov.au/> accessed at 9.02 pm, 2<sup>nd</sup> December 2021).

In addition, the production of medicinal cannabis very clearly involves the development with "medical goods" under the NDA Act. This being the case, the proposed development maybe characterised on the basis of this involvement as "High Technology Industry" and is this therefore prohibited on Zone RU1 land in the *Bathurst Local Environmental Plan 2014* (see Land Use tables for Zone RU1 "Primary Industry"). Incorrect or ambiguous statements of the purposes and/or nature of the development by the developer may well satisfy several land use criteria in several land use zones which are more appropriate for this development, such as zone IN1, in which buildings are permissible when used to carry out activities involving such things as medical goods, and which are prohibited in zone RU1. The application, or consent for the application, might be challenged on the grounds that such ambiguity and/or inaccuracy in the application should lead to the consent authority to determine that the application contains insufficient information, or that the application is an invalid application based on the consent authority's duty of care to determine and make decisions about the suitability of the development for the Zone Ru1 land described in the application or the public interest or the manner in which the proposed development is likely to impact on land uses currently existing in the area. **(Environmental Planning and Assessment Act 1979, Section 4.15 I ) (EPA 1979, 4.15 I b) (EPA 1979, 4.15 I d).** The application should be refused.

4. Do not conform to precedent principles established in approval decisions made by other approving authorities. In several other locations in NSW, approving authorities have given the objective of minimising "impacts on the environmental qualities of the land and avoid[-ing] land use conflicts" considerable weight. The size of rural holdings surrounding the precedent developments, proximity to other industry and commercial activities, and the scale of surrounding agricultural production and rural industry in these precedent cases provide a stark contrast to the context of that proposed in the subject development application for the Watton area in which residential land use has been and remains dominant and far less well-integrated with rural industry. Approving authorities in other locations have thereby been able to minimise the potential for challenging the use of RU1 land in providing sites for developments in which the scale and nature of enterprises more securely suit surrounding land use in the same zone. The application should therefore be refused.
5. Are supported by unreliable or insufficient documentation. Supporting documents admit to limited scientific investigation or even sampling of the area surrounding the development site. Several points in relation to access, transport, use of Freemantle Road and odour are made in the application by either assertion without supporting information, or ignored, dismissed without evidence or data as "minor" or omitted.



Details of processes to be established at the site on operation are not included. Information concerning operating times for personnel and machinery e.g., air conditioning, drying apparatus and the like are also not included. No attempt has been made in the documentation to assess impacts associated with the development of odour, effluent, or run-off from parking lots or the paved roads, or sub-surface run-off, for example. An approval made based on a number of unsupported assertions and without researched, objective data may be open to challenge. The application should be refused.

6. **Amount to a proposal that does not satisfy the Objectives of the Land Use Table for Zone RU1 Primary Production (see below)**

**Odours/Emissions**

In the absence of supporting material to the contrary in the application, and due to the stated goal of the development involving the production of material amounting to “medical goods”, this facility can be classed as ‘**an offensive storage establishment**’, requiring the secure storage and transport of offensive waste and the very strict management of any potential hazards (BRLEP 2014, ‘Dictionary’) which satisfies requirements for prohibition from RU1 land on the basis that the proposal qualifies as “Heavy Industry”.

We also note that the Bathurst Regional LEP 2014, develops the point about “Heavy Industry” being ‘a building or place that is used for the storage of goods, materials or products and that would, when all measures proposed to reduce or minimise its impact on the locality have been employed, emit high polluting discharge in a manner that would have a significant adverse impact in the locality....’ The key points here are that a consent authority may assume due to precedent developments elsewhere that reduction measures will not be sufficient to minimise noise, smell or pollution. (see <https://www.abc.net.au/news/2021-03-11/hemp-farm-in-red-cliffs-under-fire/13234526> , [Success story: state-of-the-art Armidale cannabis farm run by a private company | Newcastle Herald | Newcastle, NSW](#) ,

It is noted on page 12 of the proposed development plan that no filtration system is included to control odours. Research on similar facilities, both in Australia, Canada and America has established that even when a filtration system is included, there is still an odour, which is detectable many kilometres away.

*“Odours from processing organic material like industrial composting and remediation are difficult to manage”. In the cannabis industry in particular, any **greenhouse odour** solution needs to be both safe to use around people and effective at eliminating powerful odours that carry over long distances.*

*One of the reasons cannabis has such a distinct odour is its chemical complexity. Terpenoids and terpenes contain complex scent profiles with notes across the smell spectrum. This is why some strains have a distinct skunky smell while others have fruity notes.*

*When cannabis is grown and stored in large-scale facilities, like greenhouses, **greenhouse odour control** becomes necessary to reduce airborne nuisances for surrounding areas.*



*The odours associated with cannabis cultivation are often described as pungent, skunky, floral, fruit, even “sewer-like.” As the plant grows and is exposed to oxygen and preservatives, these processes cause a noticeable smell that can often be detected from miles away.*

*In places where new cannabis greenhouses have popped up, complaints from neighbouring residents and businesses can threaten their viability. Local governments have increasingly issued citations, fines, and other legal penalties on grow facilities who do not effectively control odours. In other places, citizens and businesses have sued greenhouses for the foul smells they produce.*

(see <https://ecosorbindustrial.com/industries/cannabis-cultivation/cannabis-greenhouse-odor-control/> and also [Cannabis company working on fix to 'skunk' odour coming from greenhouses | CBC News](#) )

Given the location, and the fact of the prevailing wind direction, those living east of the facility, in particular, would be affected by this odour 24/7. However, there would be ongoing adverse effects on all nearby residents, for which the council would be accountable.

At the very least, an odour control system that traps airborne odours and releases an odour-neutral scent into the air, which eliminates lingering odours should be mandatory.

#### **Lighting and Noise**

##### **a. Noise:**

As mentioned above, this facility will admit a polluting discharge such as noise, which would have a significant adverse impact in the locality.

The proposed development, states that air conditioning will be running 24/7. However, in the Bathurst Regional Local Environmental Plan, it states, 'That air conditioning must **not** be audible between the hours of 10 PM and 7:00 AM weekdays and 10 PM and 8:00 AM on Saturdays, Sundays and public holidays.

It is noted that the plan does not indicate how many air conditioning units are to be included, nor does it make any reference to the NSW Industrial Noise Policy 2017

Council should note that noise measurements of background levels have not been undertaken on this site, nor is there any proposal to manage noise levels on the site and property boundaries to ensure noise levels are reduced. The site is located within a rural residential area, characterised by hobby farm activities. The major contributor to noise in the vicinity of the site would be the occasional local traffic from the rural road. Therefore, it should be mandatory that there be an installation of baffles on the exhaust fans and high, dense vegetation along the boundaries.

As this is a quiet location, sound travels very easily, to the extent that conversations can be heard from over 500 metres away. A large facility such as this, with air conditioning running 24/7 would adversely affect all nearby properties, and the quiet environment, not to mention the affect it would have on the wildlife population, as well as surrounding farm animals.

The proposed development also stated that 'There is likely to be 75 vehicles a day going to the facility 24/7, ... And that any impacts from traffic noise would be minimal. However, as there have only ever been one or two cars at the property, the proposal



for 75 vehicles a day (Daintith, *“Statement of Environmental Effects”*, p.12), which includes trucks and vans, as well as cars, will have a huge impact on noise levels, and adversely affect the quality of lifestyle and sleep of all of those on surrounding properties.

### b. Lighting:

The vehicles travelling at night would have car lights shining directly into at least three nearby properties. This includes bedrooms where family members are trying to sleep. Both the noise of the vehicles and the lights from the cars would have an adverse effect on families.

In addition, the study dismisses impacts of combined noise and lighting from traffic, machinery and security installations on animals of any kind by saying that the area is “highly degraded” (p.41). Inexplicably, the report also argues that the investigations into the number and variety of impacts on animals was “not conducted” and yet concludes that *“The main areas of operational risk would be on the existing access road, which is not part of the present proposal”* (p.41). The access road has been proposed to be sealed as part of the development application and this contradiction is discussed in detail elsewhere in this submission. Reference to the impact of the access road in this biodiversity report for this development thus ignores any impact from the building and operation of structures, subsequent lighting and noise of any kind. Again, impacts on domestic animals, farm animals and native animals in regard to the lighting at the facility, even if it is muted lighting at night, especially on structures, cannot be determined on the basis of material in this application. To reiterate, the biodiversity study “conducted no targeted surveys...to determine the presence or absence of threatened species” (OzArk ***Biodiversity Assessment Report***; 2021, p.14) and, presumably, did not conduct surveys, targeted or otherwise, to determine the extent to which any animal species in the area, or in adjoining areas, might be forced into new ranges, or into conflict with the ranges of other species, by the influence of noise and lighting. Assessment of impacts on animals thus relies on an unverified internet “checklist”, completed remotely from the development site, without “boots-on-ground” verification of any substantial nature, dismissal of the impacts of noise and lighting from buildings and asserts that the major impacts would be on a road that is incorrectly described as “not being part of the present study.”

**The application for development should be refused** on the grounds that the consenting authority is not provided with a reliable, representative, verifiable set of information about noise and lighting impacts at the development site and therefore is prevented from appropriately meeting expectations under the duty of care required in assessing the degree of environmental or land use conflict. That 75 vehicles a day including trucks, vans and cars would have no impact on our quiet road.

### **Access and Transport**

This development proposes to use the existing access, located off Freemantle road, and according to the proposal ‘It is not expected that there will be any upgrades required’. However, with a generation of 75 vehicles a day, Freemantle Rd would require some upgrades, as there is a high speed limit, a narrow road, a blind bend and a crest near the property, making it unsafe for those travelling at speed down from the crest, or around the blind bend if 75 vehicles a day will be entering and exiting.



The proposal also states that, 'Any impacts from traffic noise would be minimal and considered in line with the surrounding area. It is noted that the site is located adjacent to a busy road that receives a significant amount of traffic.'(page 31)

However, neither the development application, nor any of the supporting documents provide any information that would indicate that an assessment has been made by the applicant of existing traffic conditions on Freemantle Rd. Assertions that Freemantle Road is a "busy road" have no basis in information provided by the applicant. The assertion, and any decision relying on this assertion would be capable of being challenged on the basis that the applicant has not provided information in the application sufficient for the consenting authority to appropriately meet expectations under the duty of care required in assessing the degree of environmental or land use conflict. (*Environmental Planning and Assessment Act 1979, Section 4.15 I*) or "the suitability of the site for development" (EPA 1979, 4.15 I b) or "the public interest" (i.e health concerns) (EPA 1979, 4.15 I d).

Given the absence of information described above, a decision to grant consent to this application for development would be prevented from accounting for future traffic loads on Freemantle Road. For example, in the absence of objective data on current traffic movements on the road, a consenting authority would be uninformed of the veracity of the assertion that "75 vehicles a day including trucks vans and cars would have no impact" on traffic levels. In this situation, it could be equally powerfully asserted that the addition of 75 more traffic movements per day on Freemantle Road may also require upgrades to the Billywillinga Road and Mount Rankin Road and Willow Tree lane intersections, sections of road on which the camber remains dangerous between Watton and Billywillinga and the widening of sections of road between Billywillinga and Mount Rankin and the provision of protected bus shelters for school children along the road. As **not even the most basic assessment** of traffic movements has been made, Council is prevented from carrying out its duty of care on behalf of residents along the length of Freemantle Road who may well equally dispute that "Freemantle Road is a busy road". It is important, therefore, that an independent study of traffic and transport issues be undertaken with a view to assisting the consent authority to resolve potential conflicts implied in the increase of the Freemantle Road traffic load and other established land uses.(*Environmental Planning and Assessment Act 1979, Section 4.15 I*) or "the suitability of the site for development" (EPA 1979, 4.15 I b) or "the public interest" (i.e health concerns) (EPA 1979, 4.15 I d).

## Security

**We have noted above that the proposed development is inappropriate for the Watton area. We feel that the development will unreasonably impact on our enjoyment of the amenity, scenery and rural character of our property and the wider environment.**

In particular, we would like to note that the proposed development is capable of being challenged as an inadequate proposal and, should consent be given, issues of related to security in the development are significant. We also note that, due to the nature of the proposed development, namely the growing of cannabis, crime prevention considerations have been incorporated in the design of the proposed facility. However, ***there is no security proposed for the adjoining properties*** which may prevent



intrusions that may occur due to the nature of the proposed facility. The current rural fences on the property have been, from time to time, inadequate in keeping stock in, or in preventing people from the house on site from trespassing onto adjoining properties, or even limiting access to properties in the Watton area from as far as Lewis Ponds by straying stock or by people in small vehicles, such as “quad bikes”. There are, therefore, several entry points through adjoining properties, as well as via the river that need to be kept safe from intrusion.

Therefore, a high security fence should be included around boundaries (see comments above), along with a fibre-optic fence, as implemented in other similar developments in Tamworth, Toowoomba and Armidale. In addition, screen hedging along all of the boundary fences should be incorporated to screen the buildings and fences from neighbouring properties.

CCTV should not be pointed in the direction of any adjoining property, so residents are able to enjoy the lifestyle they have had, and can continue to use their own paddocks for both hobby farm and recreational purposes without intrusion.

It has also not been stated in the proposal how many security personnel this will involve. Clarification is also needed as to whether the “perimeter fencing” mentioned on page 26 of Daintith, 2021, includes the total perimeter of the property or solely the perimeter of the development site.

### **Waste Control**

Likewise, there is no details mentioned of the destruction process of the unused plant, or where they will be disposed. This process is usually undertaken by a pharmaceutical waste incinerator located off site. The locked pharmaceutical waste garbage bins should be collected and transported to such a facility. Given the nature of the waste, police normally escort this to the licenced facility. Storage of any amount of any waste would be tantamount to storage of hazardous material and would therefore be prohibited under the Land Use Table for Zone RU1 Primary Production. Storage and transport of hazardous material may also qualify the development as a ‘heavy industrial storage establishment’. (see ‘Dictionary’, BRLEP 2014).

## **B. OBJECTIONS to Details of the Development Application and Proposal**

Substantial elements of the proposal for the site,

1. *Are more appropriately identified as “industry” (heavy industry, light industry, or high-technology industry). Consequently, the application is ambiguous in both content and intent. The application should therefore be refused.*
  - a. Council should note with significance the references to such features as “office space”, a storage “vault”, “distribution” and related features of the proposal to produce “medicinal cannabis” in *Daintith, 2021* (**Statement of Environmental Effects**, p. 12) and elsewhere through the documentation accompanying the



development application. Such features indicate that the proposed development will, when in operation, operate substantially as a commercial premises and substantially involve activities which satisfy definitions for “Heavy industrial storage establishment”, “Light industry” and “High Technology Industry” according to ***The Bathurst Regional Local Environmental Plan 2014***. For example, and for clarity, the **BLEP 2014** defines “High Technology Industry” as being,

*...a building or place predominantly used to carry out an industrial activity that involves...biological, pharmaceutical, medical or paramedical systems, goods or components.(see “Dictionary”).*

That production of medicinal cannabis is recognised as a uniquely risky and sensitive industry lies in the fact that the proposed development is already, or will be soon, very heavily regulated by the Australian Government “**Narcotic Drugs Amendment Act 2016, No.12, 2016.**” We would therefore ask Council to recognise and determine that the proposed development fails to satisfy the requirements of land use in zone RU1 as the development, once operating, amounts to a development substantially engaged in industry, specifically the pharmaceutical and medical industry, and is therefore prohibited under the BLEP 2014.

Among many features of the proposed development which are regulated because of potential risk under this Act are the following.

- b. The developer must possess current licences and permits from the Australian Government to obtain, cultivate and produce cannabis products including but not limited to supply, packaging, transport, storage possession, control, disposal or destruction of cannabis or cannabis plants or products (Part 2, page 15).
- c. In addition, the holder of a cannabis production licence must satisfy the Australian Government that the material produced is “***a medicinal cannabis product that is registered goods within the meaning of the Therapeutic Goods Act 1989.***”
- d. Presumably, the applicant for this development either holds, or intends to hold, a licence to produce cannabis and/or cannabis products which are in fact controlled to some degree under the Therapeutic Goods Act, as to do so otherwise would appear to be illegal.
- e. The proposed development will be, when in operation, in actuality, or *de facto*, a regulated activity in the pharmaceutical and medical industries and therefore prohibited from operating on land zoned RU1 (***Bathurst Regional Local Environmental Plan 2014, Part 2, Zone RU1 Primary Production, point 4.*** See also the definition of “restricted premises” in the dictionary appended to ***Bathurst Regional Environmental Plan 2014***). Evidence of this special regulation and restriction include the fact that employment in such developments and activities is restricted to individuals who have attained the age of 18 or more years of age. (*Narcotic Drugs Amendment Act 2016 No. 12 2016; section 10F, paragraph 1a, b, c, and d, page 35*)



- f. It is misleading to accept that the proposed development can be summarised as “intensive plant agriculture” and assumed to satisfy RU1 zoning requirements on that basis alone. Given that the points above are accepted for this proposed development, **the goals and purposes for the proposed facility can be more accurately and veraciously recognised as the commercial manufacture of “therapeutic goods” within the Pharmaceutical Industry**, rather than being primarily focussed on “agricultural produce” in a “rural industry” (see *Bathurst Regional Local Environmental Plan, 2014*; “Dictionary” definitions for “agricultural produce industry”, “industrial activity” and “rural industry”), or “primary industry”. Because of this, the most appropriate siting for the proposed facility is on land zoned IN1 (General Industrial). (see *Bathurst Regional Local Environment Plan 2014, Part 2, “Zone IN1 General Industrial”*).

2. *Are neither substantially a “rural industry” nor substantially an “agricultural produce industry”. The application for development is for an inappropriate development for a site on land zoned RU1 and should be refused.*

We object to the proposed development on the grounds that **the proposed development is not substantially or primarily “primary industry”, related to “agricultural produce” or an activity that could be unequivocally described as substantially or primarily “intensive plant agriculture”**.

Alternately, if accepted as substantially or primarily “primary industry”, related to “agricultural produce” or”, or an activity that could be unequivocally described as substantially or primarily “intensive plant agriculture, the development application in question includes proposals for the development of facilities, buildings and the like that appear to propose a primary and crucial focus on a number of additional **activities which are prohibited for Zone RU1** under Part 1 of the *Bathurst Regional Local Environmental Plan 2014*.

These proposed activities (A. Daintith, “*Statement of Environmental Effects*”, October 2021; p.12) amount to establishment of a Commercial premises, Warehousing, a Warehousing Centre, Distribution or Distribution centre, a Restricted Premises and storage of, trade in, and transport of wholesale supplies.

In support of this objection we say that,

- a. The proposed facility has a primary focus on producing high-risk, socially sensitive and legally restricted therapeutic medical goods for sale rather than “agricultural produce”. Operations likely to be crucial to the operational viability of the development, such as drying, processing, packaging and transport **will, in fact, be industrial and commercial processes** rather than strictly “agricultural industry”, “rural industry” or “intensive plant agriculture”. Such industrial and commercial processes, by their nature and by Australian Government legislation (see *Australian Government, Narcotic Drugs Amendment Act. 2016 No. 12 2016*), are not especially or particularly agricultural or rural in character, and are in fact **treated in the same way as other restricted processes and products in the pharmaceutical industry**. The statement in the development application that “seeks consent for the



purposes of an agricultural produce industry” on the proposed development site is therefore inadequate and misleading and may well be open to challenge should approval be granted.

- b. Precedents, or precedent principles, should not be applied from prior development approvals of medicinal cannabis production facilities by Councils in Toowoomba, Tamworth (Appleby and Kootingal) and Armidale. In these places cannabis production facilities are much larger (90 million dollars to 400 million dollars of investment, output of up to 500 tonnes and workforces of up to 350 people, as distinctly different from the published Watton proposal for 15 million dollars of investment, 8 tonnes of output and a workforce of 50 people) and have been located on land near airports (Tamworth and Toowoomba), near main roads and highways, in established industrial hubs (Toowoomba) and in established and extensive areas of plains land (Tamworth Toowoomba and Armidale). This plains land was already dominated either by the large-scale production, on large lots, of irrigated crops, extensive agriculture (Armidale) or other large scale and extensive rural industries. Also in these areas, residential land uses are integrated into these other activities do not dominate their respective areas. While some of this land is zoned RU1, all of the precedent sites are very different to the proposed Watton area site, comprised of small lots on valley, gorge, escarpment and granite outcrop country. This makes the proposed development a distinct exception to developments in other places. (References: Private conversations with Crs. Mark Rodda and Russell Webb of Tamworth Council 24<sup>th</sup> November 2021, “Anita” at Toowoomba Council offices 25<sup>th</sup> November 2021 and Google search on “Castle Doyle Road Armidale 2350” accessed 25<sup>th</sup> November 2021.)*
- 3. Do not conform to precedent principles (see point 2b above) established in approval decisions made by other approving authorities. In several other locations in NSW, approving authorities have given the objective of minimising “impacts on the environmental qualities of the land and avoid[-ing] land use conflicts” considerable weight. The size of rural holdings surrounding the precedent developments, proximity to other industry and commercial activities, scale of surrounding agricultural production and rural industry and integration of residential land use in these precedent cases provide a stark contrast to the context of that proposed in the subject development application for the Watton area in which residential land use has been and remains dominant and far less well-integrated with rural industry. Approving authorities in other locations have thereby been able to minimise the potential for challenging the use of RU1 land for cannabis production developments by consenting to development in areas where the scale and nature of enterprises more securely suit surrounding land use in the same zone. The application should therefore be refused.*

**We object to the proposed development** on the grounds that the proposed development is inappropriate due to the potential conflict in land use in a location where there are no commercially viable primary industry operations currently operating. In the Watton area there is also a predominance of residential land use in a rural setting largely because of natural limitations in the area and the number and size of lots.

Alternately, we say that a more appropriate location for the proposed development would be on land zoned IN1 (General Industrial).



In support of these objections we say that,

1. Lot sizes in the Watton area are of a nature that precludes the conduct of commercial agricultural activities and rural industries.
  - a. Lot sizes in the area are too small. Title documents for Lot 6 in DP 247662 at 1673 Freemantle Road Watton show a total of 9 lots adjoining or nearby the proposed development, varying in size, with a maximum of 55.98 ha. Several other small lots are located on the western side of the Macquarie River (see *OzArk Environment and Heritage, Biodiversity Assessment Report; 2021, page 5*) Since DP 247662 was approved and given effect, at least two other subdivisions have been approved on the lots referred to above, making the minimum lot size in the Watton area approximately 8 acres.
  - b. Carrying capacity of land in the area is insufficient to make small lots viable for many rural or agricultural activities. A larger property on Ophir Road, also 26 kilometres from Bathurst is advertised to have a carrying capacity of 2.2 DSE ([2027 Ophir Road, Bathurst, NSW 2795 - Property Details \(realestate.com.au\)](https://www.realestate.com.au/property/2795-2027-ophir-road-bathurst-nsw)). The land in the Watton area is of a very different character to the example Ophir Road property referred to above (see point 2 below) and would be unviable as commercial agricultural land or for rural enterprises or industries.
2. Topography, geology and vegetation attributes of the Watton area have limited landholders to **essentially and primarily rural residential** land uses and very small-scale rural, non-commercial activities.
  - a. In emphasis of point b, in 1 above, Council should note the difference in vegetation on the western (Ophir Road) and eastern (development site) sides of the Macquarie River in the image provided in the *Biodiversity Report (OzArk Environment and Heritage, October 2021, p191)* showing large areas dominated by forest ecosystems in the east, which includes much of the Watton and Billywillinga areas.
  - b. Further to this point, the geomorphology and topography of the Watton area makes commercial-scale agriculture and rural enterprises unviable. The area is typical of the Ophir-Hargreaves Plateau and Macquarie-Turon outcrops and characterised by forest communities of different types (*OzArk Environment and Heritage, October 2021, p16-17*) which reduces viable areas for agricultural and rural activities in the Watton area to very small pockets of uncommercial size.
3. In summary, we ask the Bathurst Council to consider points 1 and 2 above as substantial evidence that **the Watton area, including the nine properties neighbouring the proposed development, is not now, and has not been for very many years, of the class or character of land that meets the requirements of other rural land in the Bathurst Local Government Area that is more aptly zoned as RU1. Land use in the Watton area is, of necessity, predominantly residential with some small-scale, non-commercial agricultural industry, mostly related to livestock. Industry placed in this area would create a conflict of land use rather than minimise any such conflict.**
4. We also ask the Bathurst Council to accept, and regard as significant, the fact that **the primary and actual land use in the Watton area has been residential in a rural**



**setting and that the proposed development and enterprise is inappropriate for the Watton area** on the basis that the development is essentially industrial in nature, heavily regulated and restricted. The development also includes processes and activities such as commercial business, warehousing, a warehousing centre, distribution or distribution centre, a restricted premises and storage of, trade in, and transport of wholesale supplies, which would be prohibited, even under RU1 zoning and contrary to the aims of the Bathurst Regional Local Environment Plan 2014, aims 2 d ii, 2e, 2g and 2l.

5. We further ask Bathurst Council to consider and determine whether the proposed development is most appropriately sited in land zoned IN1 (General Industrial) in which intensive agriculture and the processes and activities above may be permitted without consent or with the consent of the Council (see **Bathurst Regional Local Environment Plan 2014, Part 2, "Zone IN1 General Industrial"**).

**We object to the proposed development** on the grounds that land use in the Watton area is predominantly rural residential in nature by virtue of small lot sizes, topography, geology, geomorphology and vegetation. It follows from this that Council has no obligation to "encourage diversity in primary industry enterprises and systems" (**BLEP, 2014; Land Use Table, Zone RU1 "Primary Production"**) in the Watton area.

Additionally, we say that there is no opportunity for substantial or commercially viable "agricultural industry" or "Primary Production" in the Watton area due to the size of lots, topography, geology and vegetation of the area which has **resulted in the existing predominance of residential land use**. Placement of "industry" in the area may open an opportunity for development consent to be challenged on the grounds that Council's aim of diversifying "*primary industry enterprises and systems appropriate for the area*" is not applicable, as there are no commercially viable primary industries in the area.

It may also be that additional challenges are possible in relation to **BLEP 2014** aims related to preservation of visual and aural (noise) amenity, impact of odours, traffic and physical or other encroachment upon the existing residential land use.

4. *Are supported by unreliable or insufficient documentation, of limited accuracy and informative value. Several points in relation to access, transport, use of Freemantle Road odour and other issues are made in the application by either assertion without supporting information, or ignored, or omitted. Details of processes to be established at the site after commencement of operations are not included. Information concerning operating times for personnel and machinery e.g., air conditioning, drying apparatus and the like are also not included. No attempt has been made in the documentation to assess the extent or impact of odour, effluent, or run-off from parking lots or the paved roads associated with the development, for example. Remedies to such matters are occasionally presented in the documents without any specific identification of the nature or scale of the problems to be remedied. An approval made based on a number of unsupported assertions and without researched, objective data may be open to challenge. Thus, there is evidence in the application of insufficient consideration of some of the goals of the BLEP 2014 in relation to land use in Zone RU1, namely,*
  - a. *"To minimise conflict between land uses within this zone..."*
  - b. *"To maintain the rural and scenic character of the land."*
  - c. *"To provide for a range of compatible land uses that are in keeping with the rural character of the locality, do not unnecessarily convert rural land to non-*



*agricultural uses, minimise impacts on the environmental qualities of the land and avoid land use conflicts.”*  
*Therefore, the application should be refused.*

**Table 1:** Objections to Watson Young, *Site Plan, Location Plan and other design plans.*

Statement	Reference	Objection
Document DA02 shows an existing dam on the development site within 40 metres of the proposed car park.	Document DA02	The document shows an existing dam located within the 40m of the proposed development. This conflicts with statement made in Calare Civil 2021 indicating the nearest dam is 68m W of the development. <b>This is misleading.</b>
Watercourse leading from the dam (referred to above) to the Macquarie River.	Document DA02	In other documents, the Macquarie River is listed as <b>the only</b> water course likely to be a “Minor Limitation” to development. (See Calare Civil, 2021 page 2) <b>This is misleading.</b>

**Table 2:** Objections to Calare Civil, *Effluent Disposal Investigation – 1673 Freemantle Road, Watton NSW 2795*

Statement	Reference	Objection
“One soil-observation pit was dug...Groundwater was not encountered during the fieldwork”	Page 1	<ul style="list-style-type: none"> <li>a. The pit was dug at an elevated section of the development site.</li> <li>b. There were no verifying cores or pits dug at any other part of the site.</li> <li>c. There was no investigation of the presence or frequency of subsurface water or water run-off over time, despite recent wet weather conditions prior to the investigation. (see images 3 and 4, below)</li> <li>d. Investigators did not include visual observations that could have been readily made within 150 metres of the sample site that attest to the presence of subsurface run-off, such as dams, gullies and the presence of hydrophytic macrophytes.</li> </ul>
“Closest property boundary approximately 146 m N”	Page 2	<p><b>This is an error of fact.</b> The closest boundary is with a neighbouring property at 1663 Freemantle Road, about 20m to the <b>south</b> of the site.</p> <p>Division 27.2 5biii of the Bathurst Local Environmental Plan 2014 sets the standard for the location of farm buildings at 30m from a side or rear boundary. <b>The proposed location of the development conflicts with the Bathurst Local Environmental Plan 2014.</b></p>
“Site Plan”	Page 5	<ul style="list-style-type: none"> <li>a. Shows “Area suitable for Effluent Disposal” including a dam and watercourse <b>but not the proposed car park</b>. Inclusion of the carpark as part of the development breaks the 40m buffer zone for dams and watercourses and would cause elements of the proposed plan to fail.</li> <li>b. Effluent disposal over the area could, depending on the amount and content of</li> </ul>



		<p>effluent, become a significant issue by triggering further regulation under other environmental protection legislation.</p> <p>c. The "Area Suitable for Effluent Disposal" extends to the extreme SW end of the development area abutting Lot 5. Sub-surface run-off in this area is already a significant problem on both properties (see images below). Potential risks to human health, the Macquarie River ecosystem, wildlife and stock in the area, as well as downstream, remain real especially at times of high rainfall.</p>
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**Table 3:** Objections to Anthony Daintith, *Statement of Environmental Effects*, October 2021.

Statement	Reference	Objection
"There are no other waterways present on the land"	Page 7	There is a watercourse within the development area marked on the map provided on page 6 of the document and there is no investigation of sub-surface run-off at all in this document.
"Construction of a 4350 sq metre glass house building"	Page 12	<p>Since the proposed development does not include a dwelling, the proposed structure is in conflict with Bathurst Local Environmental Plan 2014 regulations in Division 27, 4, which sets the standard for farm buildings and structures at a <b>maximum floor area</b> on a lot of greater than 4ha at <b>350 square metres</b>.</p> <p><i>The proposal conflicts with standards set out in the Bathurst Local Environmental Plan 2014.</i></p>
"Construction of a building occupying an area of 1860 sq. m. to be utilised as a processing area."	Page 12	<p>Since the proposed development does not include a dwelling, the proposed structure is in conflict with Bathurst Local Environmental Plan 2014 regulations in Division 27, 4, which sets the standard for farm buildings and structures at a <b>maximum floor area</b> on a lot of greater than 4ha at <b>350 square metres</b>.</p> <p><i>The proposal conflicts with standards set out in the Bathurst Local Environmental Plan 2014.</i></p>
"Construction of an office space occupying an area of approximately 390 sq.m."	Page 12	<p>Since the proposed development does not include a dwelling, the proposed structure is in conflict with Bathurst Local Environmental Plan 2014 regulations in Division 27, 4, which sets the standard for farm buildings and structures at a <b>maximum floor area</b> on a lot of greater than 4ha at <b>350 square metres</b>.</p> <p><i>The proposal conflicts with standards set out in the Bathurst Local Environmental Plan 2014.</i></p>
"The energy source will be a mixture of electricity and solar..."	Page 13	<p>Advice from Essential Energy (3/12/2021) is that the electricity supply line may need to be upgraded, including a new transformer to the value of approximately \$15000 to account for increased capacity. While this is possible, the present line to the development property was described as a "typical rural line" subject to frequent outages due to storm damage and maintenance and "not like your typical line in Penrith or Parramatta". <i>Essential Energy advises that any upgrade would be at the developer's expense.</i></p>
"...irrigation of the crops with water from the Macquarie River. High yield requires"	Page 13	<p>The document contains no evidence of investigations of water quality of the Macquarie River, which would seem to be basic, high priority preparatory research for a proposed irrigation enterprise. This is especially alarming, given that upstream of the proposed site are properties using agricultural fertilizers and chemicals, herbicides and grazing livestock.</p>



high quality water"		<p>Most importantly, a sewage treatment works adds nutrients to the Macquarie River that create algal blooms. In dry times, stagnant water can become a risk, or even toxic to humans.</p> <p>Though water use data for the proposal is provided elsewhere, the particular nature of water filtration and waste disposal is not specified sufficiently to be able to satisfy the consent authority in order to determine <i>"the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality."</i> (Environmental Planning and Assessment Act 1979, Section 4.15 l ) or <i>"the suitability of the site for development"</i> (EPA 1979, 4.15 l b) or <i>"the public interest"</i> (i.e health concerns) (EPA 1979, 4.15 l d)</p> <p>In addition to the above, no study has been made of the reliability of the Macquarie River as a source for long-term irrigation. Local experience is that flows in the Upper Macquarie catchment, particularly downstream of Bathurst, has been highly variable to the point of doing damage to sensitive elements of river ecology. (See images 1 and 2 below which depict the cessation of water flow in the Macquarie River near the site. See also, in images 3 and 4 below depictions of generous subsurface run-off at a different time. See also, <a href="https://www.abc.net.au/news/2021-07-13/bathurst-regional-council-blamed-for-platypus-decline/100286148">https://www.abc.net.au/news/2021-07-13/bathurst-regional-council-blamed-for-platypus-decline/100286148</a> )</p>
"The proposed activity is characterised as an 'Agricultural Produce Industry' as defined under the Bathurst Regional Local Environmental Plan 2014"	Page 18	<p>This characterisation is the developer's characterisation and represents a choice from among several possibilities.</p> <p>The consenting authority is bound, through its duty of care, to consent, or deny consent, to a development according to the primary and substantial purpose of the development.</p> <p>Since the purpose stated in the application is to produce "medicinal cannabis", more veracious characterisations of the development, such as a "High Technology Industry", whose purpose is to be involved with biological, pharmaceutical, medical or paramedical systems, goods or components" (BLEP 2014, 'Dictionary') are arguably more encompassing.</p> <p>Given a number of features of the proposal (see submissions elsewhere in this document), additional characterisations of the project as "light Industry", "heavy industrial storage" or a "commercial premises" are arguably more circumspect than the characterisation provided in the document.</p> <p><b><u>Characterisation of the development as an "Agricultural Produce Industry" is an insufficient description.</u></b></p> <p>To compound the insufficiency, the development is also subject to the Australian Government's <b><i>Narcotic Drugs Amendment Act 2016, and also identifies the special nature of cultivating, manufacturing and producing medicinal cannabis as an activity to be heavily and strictly regulated because of its high risk to the public interest and for other reasons.</i></b></p> <p><b><i>It is important to note that nowhere in the documentation provided in support of this application is it mentioned that the development is also subject to this legislation. This is also a source of inadequacy and ambiguity in the application which may lead to challenge should consent be granted for the development.</i></b></p> <p>The particular nature of medicinal cannabis production is not specified sufficiently in the application to be able to satisfy the consent authority of the PRIMARY PURPOSE of the development in order to determine <i>"the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality."</i> (Environmental Planning and Assessment Act 1979, Section 4.15 l ) or <i>"the suitability of the site for development"</i> (EPA 1979, 4.15 l b) or <i>"the public interest"</i> (i.e health concerns) (EPA 1979, 4.15 l d)</p>
"The proposed development is consistent"	Page 19	<p>This is open to challenge given that the development has the stated goal of producing medicinal cannabis which, of itself would make the development subject to the requirements of a number of other land use zones, prohibit the development from the RU1 zone and trigger</p>



with the RU1 zone objectives"		controls described in the Narcotic Drugs Amendment Act 2016 See comments above and in other objections submitted in this document.
"Appropriate stormwater management controls to be installed as part of the construction of the facility"	Page 20	<p>No study has been made of the impact to stormwater run-off In particular, no investigation of stormwater run-off from the proposed paved access road or increased sub-surface run-off has been carried out.</p> <p>On the basis that the development will receive an average, annual rainfall of 72.4mm (OzArk, <b>Biodiversity Assessment Report</b>, 2021, p.14), on a paved access road 6m wide and 1km long, the development will generate 4,344 tonnes, or 4.344 million litres, of additional stormwater run-off each year. Added to the fact that paved areas generate run-off more quickly than unpaved areas, paddocks, structures and roads are likely to be inundated to a greater degree, more frequently and erosion is likely to be more damaging due to the speed of run off.</p> <p>In images 5-9 below it is possible to see the current situation in relation to the edges of Freemantle Road near the development site. Freemantle Road had been upgraded only recently prior to the photos being taken and the access road at 1673 Freemantle Road was unpaved at the time.</p> <p>The addition of extra run-off from the paved access road is likely to impact on neighbouring access roads and Freemantle Road to a far greater degree.</p> <p>Should consent be given to this development , normal duty of care would require that,</p> <ol style="list-style-type: none"> <li><b>Bathurst Council ensure</b> that the proposed paved access road on the development is upgraded to the standard of a public road.</li> <li>The paved access road be equipped with concrete gutters, drains and cisterns to direct, slow and collect water flow onto Freemantle Road and adjacent properties.</li> <li>The paved access road be equipped with concrete gutters, drains and cisterns to direct, slow and collect water flow onto the development site and adjacent properties and to maintain sub-surface run-off at pre-development levels.</li> <li><b>Bathurst Council ensure that</b> Freemantle Road be equipped with concrete gutters, drains and cisterns to direct, slow and collect water between and including the access to 1673 Freemantle Road Spring Creek.</li> </ol>
Access, Entrances and Fencing	Page 24	<p>See comments about access and entrances above.</p> <p>Fencing proposed for the development is not adequate Without perimeter fencing on the property sufficient to prevent trespassers entering the property, the development site cannot be totally secure because of the following.</p> <ul style="list-style-type: none"> <li>Access onto the development property can be achieved, especially at night, from any direction, including from the west side of the Macquarie River</li> <li>Given that the distance from town and the nature of Freemantle road may make a police response impossible for at least 30 minutes, trespassing or other incidents may not be resolved before assistance arrives.</li> <li>The development area is not visible from Freemantle Road, or from about half the property. Thus, any trespassers can gain relatively close access to the site before being detected.</li> <li>Access gained to the development site via adjoining properties may add to the potential for accidents with vehicles and firearms and heighten concerns about personal and property safety in the area This would represent a significant reduction in residents' amenity of use.</li> </ul> <p>We believe that properly securing this particular site is impractical without fencing that would intrude into the visual qualities of the</p>



		landscape. However, should the develop receive consent, we believe that a perimeter fence on the property should be built to a height and a standard that would prevent human intrusion and deter attempts at access from neighbouring properties.
"The proposal is within the context of the locality and Council's current planning provisions".	Page 28	This is an assertion without evidence or data provided. Various provisions of the table of land use prohibit several activities proposed for this site as outlined above and below in this document.
Access and Transport	Page 28	<ul style="list-style-type: none"> <li>• Due to the generation of substantial run-off from the development (see above), Freemantle Road will be in further need of upgrades to drainage.</li> <li>• There is no evidence of a traffic study or research being done on Freemantle Road. There is no justification to assert that 75 extra vehicles per day will, or will not, require upgrades to Freemantle Road. Bathurst Council should refer this matter to the developer for further research an explanation, or deny consent for the application. (<i>Environmental Planning and Assessment Act 1979, Section 4.15 l</i>) <b>or "the suitability of the site for development" (EPA 1979, 4.15 l b) or "the public interest" (i.e health concerns) (EPA 1979, 4.15 l d)</b></li> </ul>
Flora and Fauna	Page 30	<p>The investigation of the impacts on Flora and Fauna provided information that resulted from "Desktop searches" of "databases" and a field survey over a <b>single day</b>.( <i>OzArk Environment and Heritage, Biodiversity Assessment Report</i>, pages 9 and 14.)</p> <p>Significantly, "No targeted surveys were conducted to determine the presence or absence of threatened species" and "Surveys were conducted in fine weather" and in daylight hours.</p> <p>Thus, the report makes no mention of the presence or absence of platypus, echidna, or other nocturnal animals, or animals that might be sensitive to noise. There is also no reference to the Watton area being included in the expected ranges inhabited by platypus, or to local platypus sightings recorded by the Australian Platypus Conservancy or other relevant bodies, such as the Australian Museum. <a href="#">Distribution &amp; Numbers – Australian Platypus Conservancy</a></p> <p>The researchers did not investigate and did not investigate at a time or over a period in which there was a reasonable possibility of detection. Presumably, this is also the case with results for other species such as Murray Cod, Echidna, frogs, bats, emu, eagles, Sugar Gliders and the like. <b>ALL OF THESE SPECIES HAVE BEEN SIGHTED IN AND AROUND THE PROPOSED DEVELOPMENT SITE SINCE THE STUDY WAS CONDUCTED.</b></p> <p>It is also inexcusable that no particular effort was made to specifically detect or confirm presence or the absence of <b>species that are sensitive to light and noise</b>, given that both these elements are under consideration elsewhere in the reports.</p> <p>The nature of the information discovered in the desktop searches is almost without exception connected with state-wide distributions, rather than case studies or species audits of wildlife in the immediate area of the development site.</p> <p>The information is also <b>not related to particular concerns</b> about species in the greater Bathurst area (see <i>Desktop Review</i>, page 10) and about which concerns remain heightened. (<a href="#">Wombat mange is killing the marsupials   Western Advocate   Bathurst, NSW</a> and <a href="https://www.westernadvocate.com.au/story/7158755/mismanagement-caused-platypus-extinction-in-winburndale-rivulet-says-goldney/">https://www.westernadvocate.com.au/story/7158755/mismanagement-caused-platypus-extinction-in-winburndale-rivulet-says-goldney/</a> )</p> <p>Much of the reporting in the OzArk Biodiversity Assessment Report is thus reduced to the status of scientific generalisation based on surmises from much broader data. As such, particularly the comments about the presence or absence of threatened species are <b>severely misleading due to an unwarranted impression of rigour and thoroughness in this aspect of the investigation.</b></p> <p><b>Approval should not be granted to this development until such times as a study of biodiversity and impacts on the local environment can</b></p>



		be conducted with suitable professional, scientific rigour and confidence. ( <i>Environmental Planning and Assessment Act 1979, Section 4.15 I</i> ) or "the suitability of the site for development" ( <i>EPA 1979, 4.15 I b</i> ) or "the public interest" (i.e health concerns) ( <i>EPA 1979, 4.15 I d</i> )
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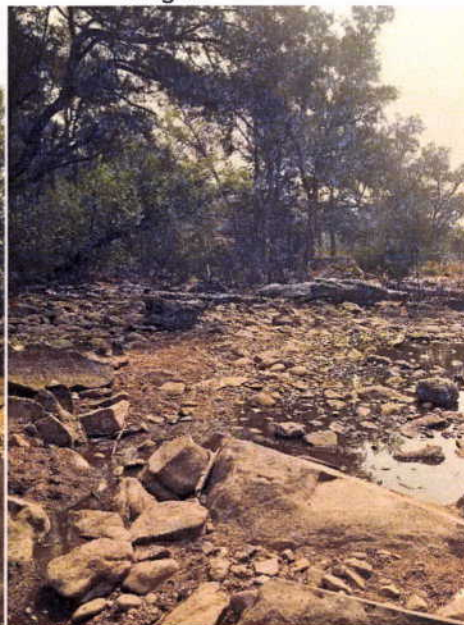
**Table 3:** Objections to , *Statement of OzArk Environment and Heritage, Biodiversity Assessment Report*, October 2021.

"The main areas of operational risk would be on the existing access road, which is not part of the present proposal"	Page 41	Contradicted by <i>Daintith</i> ; 2021, p.24, who says that "The internal road is proposed to be sealed from Freemantle Road to the development area".  This is evidence of misleading reporting.
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**Image1**



**Image 2**



**Images 1 and 2**, showing Macquarie River water levels in January 2020. Image 2 shows the riverbed and bank near the current site of water extraction for Lot 6 near the proposed development site.



*Image 3*



*Image 4*



**Images 3 and 4** showing the degree of sub-surface water flow across Lot 5 coming from Lot 6. The flow is sufficient to cause a bog **more than 15 inches deep**. The site is a minor depression and is not marked on any map as any kind of waterway. Waterlogging has caused soils to become acid which in turn prevents tree growth.



**Images 5 to 9** show erosion caused by water runoff on the western side of Freemantle Road between the access to Lot 6 (containing the proposed development site) and Spring Creek. At this point an upgrade to Freemantle Road had been completed only months earlier. **Image 5** shows soil at the shoulder lying over clay and rock, which is typical for the area.

**Image 5**



**Image 6**



**Image 7**



**Images 8 and 9** show detail of the effect of subsurface water flow from Lot 6 onto Freemantle Road which contribute to erosion of the road shoulder. Channels so close to the road surface make passing and overtaking dangerous in places.



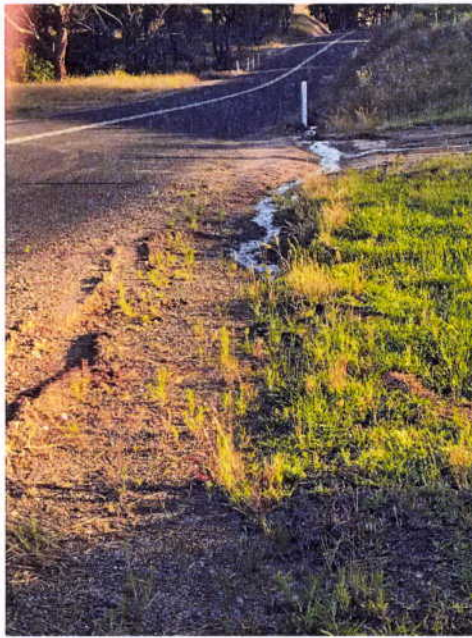


Image 8



Image 9







Our Ref: TM:OO:12793  
Your Ref: DA2021/560

23 December 2021

**Attention: Tamsin McIntosh**

The General Manager  
Bathurst Regional Council  
Private Bag 17  
BATHURST NSW 2795

**By Email:** [council@bathurst.nsw.gov.au](mailto:council@bathurst.nsw.gov.au)

Dear Sir

**DA2021/560**  
**Property: 1673 Freemantle Road, Watton**  
**Lot 6 DP 247662**

We refer to our earlier letter dated 9 December 2021 and confirm that we continue to act for Stephen and Marilyn Rowland, the owners and occupiers of Lot 501 DP 840363 known as 1663 Freemantle Road, Watton, which adjoins the site of the above development directly to the south.

Our clients maintain the submissions set out in our earlier letter of 9 December 2021. Further, we write to raise in further detail submissions that our client wishes to put forward in respect of their opposition to the development application (DA).

### Summary of submission

Our client submits that:

1. The development is not characterised as an “*agricultural produce industry*” as contended in the DA documentation. Rather, it is appropriately characterised for three separate uses for the purposes of “*intensive plant agriculture*”, “*office premises*” and a form of “*industry*” (either a “*high technology industry*” or a “*heavy industry*”).
2. The development is prohibited because “*office premises*” are prohibited in the subject zone.
3. There is insufficient information to determine whether the processing component of the proposal is appropriately characterised as a “*high technology industry*” or a “*heavy industry*”. In circumstances where “*heavy industry*” is prohibited, Council is unable to determine on the application whether the processing component could be approved or is prohibited.
4. The site selection is unsatisfactory, leads to inconsistency with the objectives of the RU1 zone, and results in an unjustifiable non-compliance with the DCP setback controls.



5. A crime risk assessment and comments from NSW Police should be considered before any determination of the application.

### Characterisation

Having regard to the subject RU1 zoning, the following uses as defined under the *Bathurst Regional Local Environmental Plan 2014 (LEP)* are of significance:

1. “*agricultural produce industry*”, “*high technology industry*” and “*intensive plant agriculture*” which are permissible in the zone;
2. “*office premises*” (a species of “*commercial premises*”) and “*industry*” (including “*heavy industry*”) which are prohibited in the zone.

The Statement of Environmental Effects (**SEE**) lodged in support of the application characterises the proposed development as an “*agricultural produce industry*”. It is submitted that this is an incorrect characterisation of the proposal for the following reasons:

1. the industrial component of the proposal better fits within the definition of “*high technology industry*” of “*industry*”; and
2. it is not an appropriate level of characterisation to characterise the entire use as an industry, in circumstances where there are also separate independent uses for the purposes of “*intensive plant agriculture*” and “*office premises*”.

Our client’s position on these two matters is set out in further detail below.

#### *Characterisation of industrial component of use*

We respectfully submit that the industrial component of the proposal, which involves a processing area of some 1860 m<sup>2</sup>, is most appropriately characterised as a “*high technology industry*” rather than “*agricultural produce industry*” for the following reasons:

1. the definition of “*agricultural produce industry*” relates to “*produce from agriculture (including dairy products, seeds, fruit, vegetables or other plant material)*”;
2. the definition of “*high technology industry*” relates to an “*industrial activity that involves ... pharmaceutical [or] medical ... goods*”;
3. given that the processing facility is to produce medicinal marijuana, the products are more appropriately described as “*pharmaceutical*” or “*medical*” goods and it must follow that the “*high technology industry*” characterisation applies;
4. that interpretation is supported by the context. In particular, the listed examples of “*produce from agriculture*” within the definition of “*agricultural produce industry*” are restricted to products generally produced for the purposes of consumption as food or drink (ie. dairy products, seeds, fruit and vegetables) rather than industrial purposes (e.g. fibre, forest and energy crops, rubber and resins, or cultivated medicinal plants). While the term “*other plant material*” is also listed within the express examples, we consider that the better interpretation is that the *ejusdem generis* rule of statutory interpretation would apply. (That rule of construction provides that where particular words are followed by general words, the general words are limited to the same kind or genus as the particular words.)



*Appropriate level of characterisation*

We submit that it is incorrect to characterise the development as an overall development for the purposes of any form of industry or rural industry (which would include, as contended in the SEE, an “agricultural produce industry”).

The characterisation of the purpose of a use of land is to be done at a level or generality which is necessary and sufficient to cover the individual activities, transactions or processes carried on, not in terms of the detailed activities, transactions or processes: *Royal Agricultural Society of NSW v Sydney City Council* (1987) 61 LGRA 305 at 310. The characterisation of development must also be done in a common sense and practical way (*Chamwell Pty Limited v Strathfield Council* [2007] NSWLEC 114). It is relevant to consider what would appeal to practical minds as appropriate in the context of town planning legislation (*Shire of Perth v O’Keefe* (1964) 110 CLR 529).

It is also relevant to consider that subordinate purposes can be characterised as ancillary to a dominant use and thus characterised for the purposes of that dominant use (*Foodbarn Pty Ltd v Solicitor-General (NSW)* (1975) 32 LGRA 157).

The question of whether a use is dominant is however a question of fact and degree. In *Baulkham Hills Shire Council v O’Donnell* (1990) 69 LGRA 404, Meagher JA said at 409-410 (our emphasis):

*Notwithstanding the principles laid down in Foodbarn, it does not follow that a use which can be said to be ancillary to another use is thereby automatically precluded from being an independent use of the land. It is question of fact and degree in all the circumstances of the case whether such a result ensues or not. When a resident uses his land to park his motor car at his house, he is no doubt not conducting an independent use of car parking; when an employer installs at his factory a canteen for his workers, no doubt he is not conducting an independent use of running a restaurant; when the Clarks grew vegetables for their table they were not conducting an independent use of vegetable growing. But when one use of the land is by reason of its nature and extent capable of being an independent use it is not deprived of that quality because it is "ancillary to", or related to, or interdependent with, another use. If a book publisher opens a sales room at his publishing house to sell his products, the selling of books is an independent use although ancillary to the use of publishing. The series of cases dealing with dual uses (of which the decision of this Court in *Warringah Shire Council v Caltex Oil (Australia) Pty Ltd* (1989) 68 LGRA 206 is an example) illustrate the point: they show that a "convenience store" and a petrol station are two independent uses, although the former is clearly ancillary to the latter.*

Characterising the uses at an appropriate level of generality, we submit that there are separate independent uses which, having regard to their scale, would not appropriately be characterised as ancillary to any dominant use for an industry.

It would be artificial to characterise the cultivation of marijuana as being ancillary to the overall industrial use. Cultivation of plants does not fit within any potentially relevant definition of industry (the definition of “agricultural produce industry”, for example, only relates to “handling, treating processing or packing” and makes no reference to cultivation). And in the subject application the cultivation of plants is



proposed over an area of 4350 m<sup>2</sup> whereas the industrial processing area is proposed over a significantly smaller area of 1860 m<sup>2</sup> (less than half of the area used for cultivation).

Moreover, it is submitted that the extent of the separate uses are so significant as to constitute independent uses rather than being subsumed as ancillary uses characterised for any single purpose.

In that regard, at an appropriate level of characterisation, it is submitted that there are three proposed uses. In addition to the processing area involving a use for an “industry” (which would either be a “*high technology industry*” or a “*heavy industry*”, depending on the amenity impacts which are not properly assessed in the DA – see analysis below), there are two further separate uses.

The second use would be for the purposes of “*intensive plant agriculture*” which is defined as follows:

***Intensive plant agriculture means any of the following:-***

*(a) the cultivation of irrigated crops for commercial purposes (other than irrigated pasture or fodder crops);*

We consider that the cultivation of marijuana fits within that definition because it involves a significant cultivation of marijuana over some 4350 m<sup>2</sup> in area which is to be irrigated from water from the Macquarie River (see page 13 of the SEE). The cultivation is not reliant on any of the other uses (ie. office or industry).

The third use would be for the purposes of “*office premises*” which is defined as follows:

***office premises means a building or place used for the purpose of administrative, clerical, technical, professional or similar activities that do not include dealing with members of the public at the building or place on a direct and regular basis, except where such dealing is a minor activity (by appointment) that is ancillary to the main purpose for which the building or place is used.***

It is clear that the office component of the proposal fits within that definition because its purpose is clearly for “*administrative, clerical, technical ... or similar activities that do not include dealing with members of the public .. on a ... regular basis*”. The only question that arises is whether the use for the purposes of an “*office premises*” might be classified as ancillary to any other use.

We respectfully submit that it is not ancillary, and constitutes a separate and independent use, for the following reasons:

1. it is appropriately characterised as independent having regard to its scale which relevantly incorporates:
  - a. a large number of facilities including a waiting area at the entry, a boardroom, an additional meeting room, a collaboration space, an open office area incorporating 12 workstations, a kitchen/break out room for workers with a large area available both inside and outside;
  - b. corresponding car parking to accommodate some 12 office staff; and



- c. a floor area of some 390 m<sup>2</sup>;
- 2. The office facilities are so extensive they should be characterised as independent. The provision of workstations for some 12 people is significant. There would be no question that such a large office space would be considered to be an *"office premises"* if it were located within a large building in a commercial, employment, industrial or business zoned land. An office of this size would be sufficient to sustain a small to medium sized office type business on its own. Given its size, the facility must be intended for uses that are not directly ancillary or interdependent with the cultivation or industrial use. One would expect with a facility of this size, for example, that office activities such as human resource management, marketing and payroll would be carried out.
- 3. While it is acknowledged that the office premises needs to be considered in the context of the overall facility, we cannot see how it could be ancillary to any particular use. As set out above, we submit that there is more than one use the subject of the DA given the scale and scope of the uses for an *"industry"* and *"intensive plant agriculture"*. While it could be said that part of the office premises serves both of those significant uses, it could not realistically be said to be ancillary or subservient to only one of those uses. In other words, the *"office premises"* could not be considered to be ancillary to the processing facility because it also services the significant cultivation facility, and vice versa.

While use for the purposes of *"high technology industry"* and *"intensive plant agriculture"* are permissible, any use for the purposes of an *"office premises"* is prohibited because that use is a species of *"commercial premises"*, a use which is expressly prohibited in the zone. Further, there is insufficient information to assess whether the use is for the purposes of a *"high technology industry"* or a *"heavy industry"*, the latter use being a use which is prohibited in the zone (see analysis below).

In light of the above, it is submitted that the proposal cannot be approved by Council because it incorporates development for a prohibited purpose (at the very least, the proposed use for the purposes of an *"office premises"*).

### **Characterisation of industrial use**

As set out above, we submit that the better characterisation of the proposed industrial use is for the purposes of a *"high technology industry"* rather than an *"agricultural produce industry"* or any other form of *"rural industry"*.

Importantly, though, this is contingent on the proposal not interfering with the amenity of the neighbourhood. In particular, the processing use could only be characterised as a *"high technology industry"* if it did not fall within the following description of uses that are excluded from that definition:

*"[a use which] because of the scale and nature of the processes involved, interferes with the amenity of the neighbourhood".*

If that description were to apply, in our view, the proposal would fit within the definition of a *"heavy industry"*, which is defined to be *"an industrial activity that requires separation from other development because of the nature of the processes involved, or the materials used, stored or produced"*, which is a prohibited use in the zone.



For the reasons set out in our earlier letter to Council of 9 December 2021, we do not consider that there is sufficient information in the application to determine these matters. In particular, insufficient information is provided to determine:

1. noise impacts (including traffic noise impacts);
2. traffic impacts (including number and frequency of passenger vehicles and heavy vehicles);
3. the extent of any impacts from wastewater or disposal of waste;
4. whether there will be any fumes or smoke emitted from the cultivation of marijuana and/or disposal of waste material.

Without an assessment of this information, Council is unable to determine whether the separate use for processing is permissible.

### Site selection

As referred to in the SEE, there is a significant non-compliance with the 50 metre building setback control. Whereas the DCP standard is 50 metres from all boundaries (clause 6.2.4), there is a setback of only 18 metres proposed from our client's boundary. The size of the lot the subject of development is significant and there is no reasonable justification provided on page 23 of the SEE. In particular:

1. There is no justification provided as to why the development has been designed in such close proximity to our client's boundary when the lot the subject of the proposal is of a significant size and could readily accommodate the 50 metre setbacks from each side of the buildings.
2. Given the size of the proposal, there is no reasonable justification for reducing the setback. If anything, there are strong merit grounds to require the proposal to incorporate setbacks that are equal to or, preferably greater than, 50 metres. Unlike most other forms of comparable development permissible in the zone, the proposal must incorporate security fences as proposed which further exacerbates the adverse visual impact of the proposal in the context of the rural setting. The impact of those fences should not be allowed to be further exacerbated through the construction of industrial style buildings in close proximity to the boundary;
3. the proposal is in effect depriving our client's property of its full development potential and appropriate visual buffer distances without reasonable justification. While it is acknowledged that our client's existing dwelling is located further to the east, the lot should not be unjustifiably deprived of the potential for other forms of permissible residential development (such as secondary dwellings) or tourist and visitor accommodation (such as farm stay accommodation). Such uses may well occur in the vicinity of the proposed development site in the future to take advantage of the proximity to the scenic parts of our client's property adjoining the Macquarie River.

The site selection and design also leads to inconsistency with the objectives of the zone, including "*minimis[ing] conflict between land uses within [the] zone*", the maintenance of "*rural and scenic character of the land*" and providing compatible land uses that are "*in keeping with the rural character of the locality*" that "*avoid land use conflicts*".



**Risk Management and Crime Prevention**

Given the need for significant security, it is submitted that as a matter of merit Council ought to require a crime risk assessment to be submitted in order that Council can properly assess the application. The crime risk assessment should address all relevant information required under Part 15 of Bathurst DCP 2014. It is also submitted that the application should be referred to the NSW Police for comment before any determination.

It is also submitted that the applicant should be required to submit an overall risk management assessment addressing the risk management factors included in the document published by the Commonwealth Government Department of Health entitled "*Risk management approach to the cultivation, production and manufacture of medicinal cannabis*" such as the suitability of staff, the type and size of crop and the security and size of the site. It is submitted that these matters are relevant in assessing social impact under section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979*.

We thank Council for its consideration of our clients' further submission.

Yours faithfully

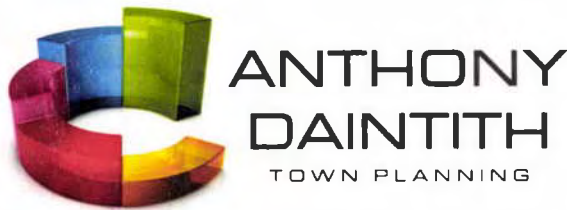
**MESSENGER & MESSENGER**



Tom Messenger

Encl.





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Our Ref: 2021-189  
Your Ref: DA 2021/560

1 April 2022

Bathurst Regional Council  
Private Mail Bag 17  
Bathurst NSW 2795

Attention: Tamsin McIntosh

Dear Ms McIntosh

**RE: DEVELOPMENT APPLICATION NO. 2021/560  
LOT 6 DP 247662, 1673 FREEMANTLE ROAD, WATTON**

Reference is made to Council's letters of the 15 & 21 December 2021, requesting additional information and a response to the submissions received during the exhibition period. The recent Teams meeting was quite useful to discuss the project and further explain/clarify various aspects.

**The applicant provides the following comments regarding the background to the proposal:**

*We thank you for the opportunity to respond to concerns raised by members of the (Bathurst) Watton community.*

*We acknowledge and applaud the transparency of the Bathurst Regional Community Participation Plan (CPP) that sets out when and how Council will engage with its communities across all the planning functions it performs.*

*Better Green will demonstrate, through our considered and respectful responses, that the growing and harvesting of medical cannabis, is within the appropriate local government zoning criteria of the Bathurst Council's LEP.*

*Further, this response document, will demonstrate the proposed Developmental Application (DA) at 1673 Freemantle Road aligns with the provisions of the Local Environmental Plan and Development Control Plan that provides the detailed development standards for various types of developments within the Bathurst region, such as the Better Green farm DA currently with Council seeking approval.*

*Better Green's over-arching objective is to assist people's health choices and their well-being in their personal management of pain relief to lead a healthy life style.*



We, (Chief Executive Officer of Better Green, Mr Blake O'Sullivan, Board Chairman of Better Green, Mr Peter O'Sullivan, Chief Operations Officer of Better Green, Mr Connor Martin, Counsel for Better Green, Mr Matthew May, Advisor to Better Green, USA Headwaters CEO, Mr Tristan Struss) all support and unanimously agree on the benefits of growing medical cannabis.

In light of the evidence and the growing recognition of major mental health disorders, terminally ill patients, cancer treatments and the need for more treatment options for chronic pain, sleep disorders, anxiety, epilepsy, multiple sclerosis nausea and vomiting. We believe evidence-based, and properly registered, medicinal cannabis treatments have massive growth potential across global healthcare jurisdictions."

Ms Jennifer Martin is Professor of Medicine and Chair of Clinical Pharmacology at the University of Newcastle and Ms Karen Lucas is a clinical pharmacologist, at the University of Newcastle. Agree and support the alternate use of Medical cannabis in the treatment of various health issues.

Go to: <https://theconversation.com/its-legal-to-buy-over-the-counter-cannabis-in-australia-but-its-still-a-long-way-from-your-local-chemist-172399>

The Therapeutic Goods Administration (TGA) has developed more detailed clinical guidance documents for the use of medicinal cannabis products in treating:

- [chemotherapy induced nausea and vomiting](#)
- [epilepsy](#)
- [multiple sclerosis](#)
- [pain](#)
- [palliative care.](#)

Bathurst Councillors can find these documents and an overview guidance at the TGA website, which also includes more information on the use of medicinal cannabis products.

Go to: [Access to medicinal cannabis products](#)

The Australian Government's Office of Drug Control provides useful information for cultivators, manufacturers, importers and exporters, and patients.

Go to: [Medicinal Cannabis](#)

Furthermore, on a community level, Better Green organisation will be beneficial to the Bathurst region and be a positive contributing member to the Watton community, through employment, buying local products, community sponsorship and involvement in the enhancing and maintaining an eco-friendly environment.

Better Green will also focus on supporting the NSW State and Federal Governments and international communities relating to growing the best medical genetic cannabis in Australia, in the management of alternate pain relief avenues.

This will be done by using the modern growing techniques and plant genetics from the USA. The outcome of this modern farming facility will support the Federal Health Minister, Greg Hunt's recent statement, that "... **Australia is poised to become a recognised leader in the global supply of the highest-quality medicinal cannabis products**". (source: <https://www.abc.net.au/news/2021-12-14/cannabis-oil-over-the-counter-legal-chemist/100696870> )



*Therefore, we hope that the responses below are appropriate to satisfy the Bathurst Council by being fully transparent and forthcoming and therefore, granting approval to the DA to build and operate a Medical Cannabis farming indoor plant nursery.*

*As mentioned, our aim is to seamlessly integrate into the community, benefiting the community with 50+ positions initially, that will be offered to Bathurst region youth at the university and professionals with agricultural expertise. We also have operational plans to build partnerships with local universities for Research and Development projects. Furthermore, we can also benefit other local agriculture businesses with plans to share our intellectual property in industry leading cultivation methods that can be applied to other similar agriculture, such as tomato cultivators and flower nurseries in the region.*

The following comments are made with respect to Council's letter of the 21 December 2021:

**1      A Waste Management Plan is required to be submitted that includes but is not limited to the methods of disposal of excess plant material and general cannabis production, odour management, general industrial waste from production of medical grade cannabis extract, dust, and wastewater.**

The nature of the proposal is that there is not a considerable amount of waste generated by the proposal. Following is an overview of the type of wastes generated and their proposed methods of disposal:

- Effluent water that is generated from the growing of the plants (and not from the processing itself) gets irrigated within the effluent irrigation zone and is also used to fill the fire sprinkler tank without any further processing. There are no toxins, pesticides or additives to this effluent waste that require any special treatment. The process involves a neutral water balance.
- It is estimated that there will be approximately 3ML of effluent water generated per year (from the 4ML irrigated on the crop) that will be further irrigated onsite (refer to the Effluent Disposal Plan) and to be used to fill the fire sprinkler tank.
- Off cuts from the cannabis plant are professionally trimmed and removed and then are disposed of offsite. A waste management company (Cleanway Environmental Services) have been engaged to undertake this process (a letter of intent has been executed). It is noted that the stem and leaves are the waste portion of the plant (similar to that of a tomato).
- It is noted that there is no waste generated from the drying process.
- Odour management – refer to later section.



- As there are no extracts – so no waste.
- The proposal will have a Good Manufacturing Practice certification (i.e., the building has been designed to ensure that dust, odours, contaminants cannot enter the building and accordingly cannot get out.

The proposed agricultural processing does not require licensing under the *Protection of the Environment Operations Act 1997* as there is less than 30,000 tonnes of agricultural produce per year.

In addition, it is understood that the Designated Development provisions are not triggered in this instance – there will be no release of effluent, sludge or other waste in or within 100m of a natural waterbody (agricultural produce industry) – refer to the Effluent Disposal Plan to the location of effluent irrigation zone. It is further noted that the facility will produce significantly less than 30,000 tonnes of agricultural produce per year. It is understood that the subject land is not within an area of high watertable, highly permeable soils or acid sulphate, sodic or saline soils.

**2 A Noise Management Plan is required that assesses the noise that may be generated by refrigerated cool rooms, irrigation pumping and general noise related to the processing of the product. This assessment should include any ongoing noise that may be carried out outside of operating hours.**

It is noted that there are no refrigerated cool rooms on the site.

Water is already pumped on site from the Macquarie River to the farm dam – so there will be no additional impact than currently experienced.

General noise relating to the facility mostly impacted from plant and equipment. We understand that the biggest noise contributing plant would potentially be the backup generator which will only start up during the event of a power outage which will be rare (and only for the duration of the outage), air conditioning units on the roof and mechanical plant fans.

**The following comments are provided by the client:**

*Noise pollution attenuation has been completed very successfully in several industries requiring mechanical plant that runs 24/7, that are neighboured by residential areas. Better Green has an agreement with the property owner to ensure that sound attenuation methods are in place. As it stands, we included in our 20% design brief the need for noise pollution attenuation, and will utilise the following methods:*

- *Acoustic barrier around mechanical plant and generator*
- *Silencer on fan units*
- *Reduced rigid connections to minimise vibration*



*The design is not progressed enough to determine exact noise attenuation, but it has already been noted in the design brief for the D&C Contractor to be addressed and installed fit for purpose.*

*Regarding noise pollution from workers, vehicles and moving plant and equipment, all work is contained within the building envelope with no heavy machinery required to complete the cultivation. Vehicles of workers are only to be used to and from work, and product transport vehicles are minimal per day and no more than if a surrounding farm had to maintain and transport livestock.*

### **REFERENCE NOISE LEVELS**

*Type of Vehicle Noise Level Lmax (dB) Auto 50 (at 30 metres) Ute or small van 75 (at 20 metres) Tractor 84 (at 15 metres Reference: Construction Noise Impact Assessment <https://www.nrc.gov/docs/ML1225/ML12250A723.pdf> Table F, above, shows noise levels for typical vehicles and agricultural support equipment that will be used at the Site.*

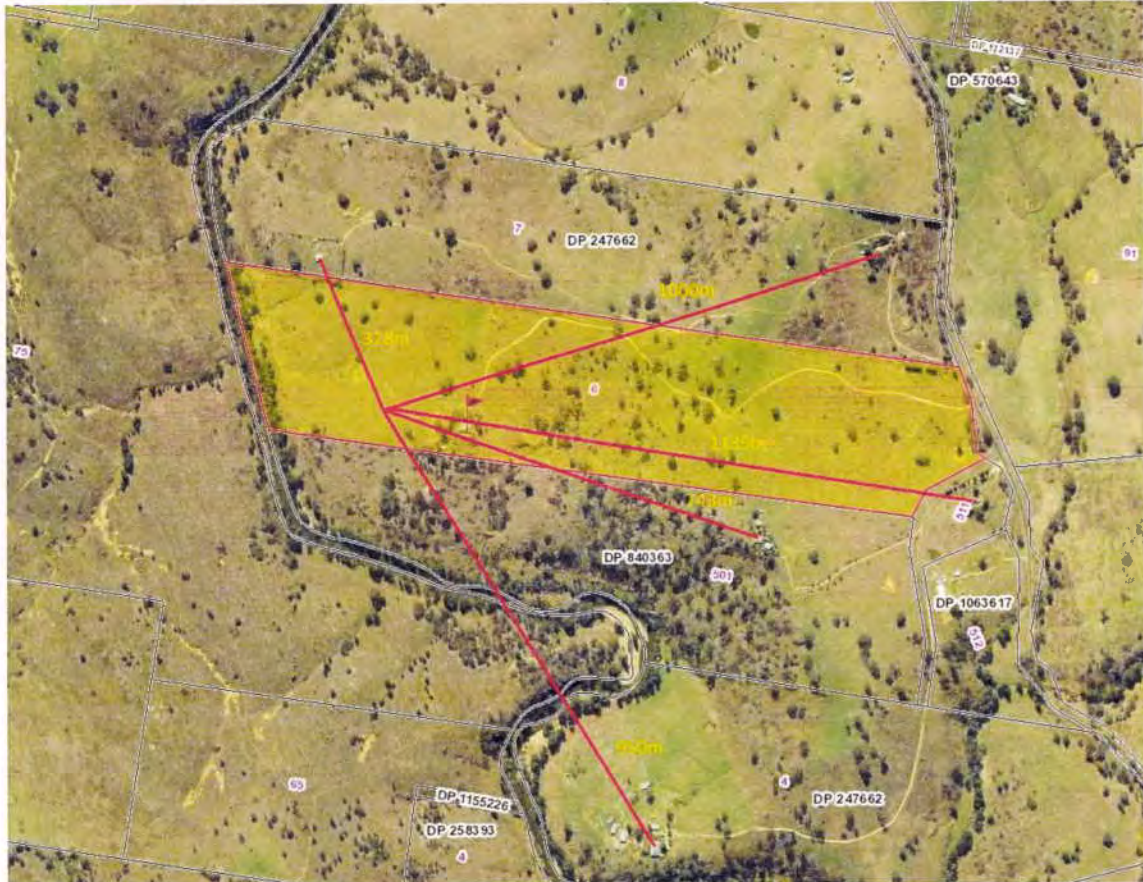
*Based on these measurements, noise levels from Project activities are expected be below the "normally acceptable" or "clearly acceptable" level by the time they reach the nearest property. Based on the types of equipment to be utilised by the Project, and the distance to nearby receptors, impacts related to noise are expected to be less than significant. Negligible impact would be anticipated.*

*Lastly, the location of the development is well hidden away in the valley and positioned at the furthest possible point from any neighbouring residence, many of which have natural thick vegetation for further noise attenuation. The surrounding vicinity is sparsely populated. Further, the Project proposes agricultural activities consistent with the current and historical use of RU1 Primary Production Zone under the LEP, and no uses are proposed that would generate excessive ground borne vibration. Negligible impact would be anticipated.*

Without a DA in place, the further design of the development and further identification of noise management strategies cant progress at this stage. The applicant is prepared to accept a reasonable condition of consent relating to this matter and the submission of further information as part of the Construction Certificate documentation.

The figure below indicates the location of nearby houses – as can be seen they are a considerable distance from the proposed development and due to the topography are also out of direct sight. There is a secondary dwelling approximately 328m north of the site that has its view of the site obscured by mature vegetation on the property.





**3 An Air Quality assessment report is required to assess any potential impacts on air quality, including odour that may be emitted from the proposed development.**

The following discussion is provided by the client:

*We understand from the responses that the responders are concerned the odour will carry to their properties and negatively impact quality of air and equity on their properties, particularly the neighbours bordering the proposed development.*

*We understand that odour emission may be a concern for neighbouring properties and is something that we have already considered to ensure odour is diminished and non-impacting to our neighbours.*

*Steps we have taken in our design to attenuate odour, which were not highlighted due to the high-level nature of the submission, are as follows:*

- Airtight building envelope, per GMP certification requirements
- HEPA filtration on all mechanical plant and equipment
- Carbon filtration on all mechanical plant and equipment
- Building is lower than surrounding dwellings and located in a valley, which provides natural ventilation and odour attenuation

*The above odour attenuation has been tried and proven at our US Cultivation Partners cannabis farms, which border residential areas in Carpinteria CA. It has proven to be*



*effective in little to no odour emitted from the farm and can only be smelt when inside the Better Green indoor property's facilities.*

*Furthermore, due to the strict parameters to be met for an approved facility GMP certification, which are in place to avoid any contaminants entering the building, odour outside of the development is almost fully eliminate as a by-product to achieving the certification.*

The applicant is happy to accept a condition on the DA consent relating to the control of dust (especially during construction of the facility). It is noted that the internal road will be sealed. Water trucks will be used as required for dust suppression.

There is a very minor odour from the plant themselves, however, this would only be noticeable within the facility itself.

**4 Consideration of State Environmental Planning Policy No 33—Hazardous and Offensive Development guidelines should be made and an assessment should be made as to whether or not the proposed development is hazardous, offensive or whether the development involves the use, storage or manufacture of dangerous goods.**

There are no dangerous goods on site that would trigger SEPP 33 – there will be just agricultural chemicals like any other farm.

All chemicals will be stored in a cage in a separate room under normal Health and Safety guidelines on each chemical data sheet.

Reverse Osmosis Chemicals:

- calcium carbonate
- calcium sulfate
- strontium sulfate
- barium sulfate
- calcium fluoride
- silica and silicates

Cultivation Chemicals:

- Aqua-gro L
- Diatomaceous Earth
- Gradevo WDG Bioinsecticide
- Rootshield WP
- Mycontrol
- Mycorrhiza
- Virkon S



- 5 The submitted Statement of Environmental Effects states that the internal access road is proposed to be upgraded to bitumen. This upgrade is required to be shown on the plans and should comply with any engineering and RFS requirements.**

Refer to the revised plans.

- 6 An earthworks plan is required to be submitted for any cut or fill that will be required. The plan should include the cut/fill required for the upgrading of the internal access road and any cut/fill associated with the installation of a water pump/irrigation system.**

There will be approximately 6000m<sup>3</sup> of cut and fill to facilitate the construction of the buildings, and to balance to create a plat pad, see attached sketch.

Very minimal cut and fill is likely for the internal road upgrade.

No cut and fill required for the installation of the water pump/irrigation system

- 7 The submitted Biodiversity Assessment Report does not take into consideration any clearing that may be required for the upgrading of the internal access road, the proposed fencing (other than those proposed around the facility itself), the location of the proposed wastewater disposal area, or for any clearing that may be required to install a water pump/irrigation system that is connected to the Macquarie River. The report should be amended to assess the clearing required for these aspects and whether or not the BOS is triggered.**

The following comments are made with respect to biodiversity:

- It is proposed to utilise and upgrade the existing access road to the site of the proposed development, which is regularly graded.
- The road is already cleared with no vegetation removal proposed nor required.
- There is no additional fencing proposed outside of the facility itself.
- There is no proposed clearing in the wastewater disposal area.
- As stated above it is proposed to utilise the existing water pump/irrigation system from the Macquarie River.



**8 If any upgraded/new boundary fencing is proposed, the plans should be amended accordingly.**

Any proposed fencing is shown on the plans.

**Comment from the client:**

*We understand that one of the responses referred to ongoing issues regarding fencing and fence maintenance. There was also mention of feral animals and pests due to fencing issues and maintenance of the property.*

*Better Green has (2) two security fences around the 10 acre land plot that is leased to the company. Our bordering fences to neighbouring property will be maintained as necessary to keep them in good working order. Furthermore, as part of our agreement with the property owner, we are to maintain the adjacent property, which in turn minimizes foreign particles for our agricultural site.*

**9 The location of the proposed effluent disposal and wastewater system is on land identified as containing moderately high groundwater vulnerability. It is likely that a proposed irrigation system, including water pump at the Macquarie River will also be located on land identified as containing moderately high groundwater vulnerability. An environmental report is required to address the requirements of Chapter 9.5 of the DCP.**

As discussed above, the facility will generate approximately 3 ML per annum of effluent water, which over a year is considered negligible (also 1ML likely to be used for the fire tanks – therefore 2ML max will be applied to the site as per the Effluent Management Plan – this also doesn't account for further loss through evaporation.

Refer to comments under waste management – there is no identified trigger for designated development or licensing under the *Protection of the Environment Operations Act 1997*. All waste water to be disposed of outside of 100m from any water body as per the Effluent Disposal Plan.



**RESPONSE TO SUBMISSIONS**

<b>Concern</b>	<b>Response</b>
That Freemantle Road is not suitable to handle the additional traffic generated by the proposed development	<p>It is likely that the proposed development (at full production) will generate the following:</p> <p>Light vehicles (cars etc) – 70 vehicle movements per day  Medium rigid vehicle – 1 truck per day (harvest periods)  Small couriers – 4 vehicles per day (harvest periods)</p> <p>Carpooling of workers will be encouraged to reduce the impact on the road system and options relating to the use of a bus will be explored.</p> <p>Based on the production of only 8000kg per annum, the number of commercial vehicle movements as shown above is very small.</p> <p>It is noted that the additional traffic loading on Freemantle Road is predominantly light vehicles, which will have minimal impact on the road network.</p> <p>The internal road will be upgraded to a sealed surface.</p>
The potential odour impact that the development may generate and the measures proposed to mitigate any impact.	Refer to comments above.
The potential noise impact that the development may generate and the measures proposed to mitigate any impact.	Refer to comments above.
What are the hours of operation?	<p>Monday – Friday 7:00am to 5:00pm  Saturday – Sunday 7:00am to 3:00pm</p>
What are the proposed fencing arrangements? There is a feral animal problem on the subject land that needs to be addressed	<p>We understand that one of the responses referred to ongoing issues regarding fencing and fence maintenance. There was also mention of feral animals and pests due to fencing issues and maintenance of the property.</p> <p>Better Green has (2) two security fences around the 10 acre land plot that is leased to the company. Our bordering fences to neighbouring property will be maintained as necessary to keep them in good working order. Furthermore, as part of our agreement with the property owner, we are to maintain the adjacent property, which in turn minimizes foreign particles for our agricultural site.</p>
The potential visual impact from the development on neighbouring properties.	Better Green feels there is negligible impact on any views from any of the neighbouring properties or any adjacent land. The development is hidden in a valley and cannot be seen from the road, nor can it be seen as direct line of site due to dense vegetation between direct neighbouring houses and the proposed development.



	<p>Furthermore, we have used an earthy palette for the façade and will introduce vegetation around the boarder of the property, should there be any impact to the view, which is per our agreement with the land owner.</p>
Potential security impacts of the development?	<p>We understand that the responses related to security and crime prevention relate to the nature of what is being cultivated on the property, which is to be sold to pharmaceutical companies, and the like, as a controlled substance. This is related to the risk to neighbouring properties and an inferred increase of crime in the area.</p> <p>Security and risk mitigation is a high priority of Better Green's during our planning and license application with the Federal governing body, the Office of Drug Control (ODC). Better Green has engaged an experienced security consultant and met all strict requirements of the ODC, with regards to security and crime prevention. This involves an approved security schematic drawing and security management plan, which includes all ODC specified barriers, security cameras and detection equipment and Standard Safety Operation procedures.</p> <p>As these security documents are highly confidential and cannot be released to the public, we are unable to provide this in our application. However, I would like to highlight the following:</p> <ul style="list-style-type: none"> <li>• A minimum (2) two barriers are maintained, with two fences employed as deterrents and a secure building with a vault for finished produce</li> <li>• No blind spots for CCTV system</li> <li>• Razor wire on fencing</li> <li>• Early detection systems on fencing</li> <li>• Back to base security system that is monitored 24/7</li> <li>• Workers are given overalls with no pockets to avoid theft and illegal use of produce</li> <li>• Track and trace system is in place to avoid theft and illegal use of produce</li> <li>• Strict access control for authorized personnel</li> <li>• Dual gate system to ensure no truck and trailer from unauthorized vehicles</li> <li>• Manned security during operational hours</li> </ul> <p>The Better Green internal safety measures to alleviate internal theft and overflow of emergencies to staff and local community. These measures include safety protocols and safety training relevant to specific job functions.</p> <p>Training topics may include:</p> <ol style="list-style-type: none"> <li>1. Emergency contact list which includes at a minimum, operation manager contacts, emergency responder contacts, and poison control contacts</li> <li>2. Emergency action response planning</li> <li>3. Employee accident reporting and investigation policies</li> </ol>



	<p>4. Fire prevention</p> <p>5. Hazard communication policies, including maintenance of material safety data sheets (MSDS)</p> <p>6. Materials handling policies and Job hazard analyses</p> <p>8. Personal protective equipment policies, including respiratory protection.</p> <p><b>Important to Note:</b>          Better Green, CEO (Mr Blake O'Sullivan), has been in regular contact with the Bathurst Police during the design process and will continue to work closely with Police to protect against theft and diversion not only from intruders, but also from staff members and appropriate approved visitors. This will be accomplished by regularly meetings with the Police and by monitoring by police when required. Strict inventory control measures will also be employed to prevent and detect diversion.</p> <p>It is also noteworthy that our efforts in being transparent with the <u>Bathurst Regional Police Commander has resulted in endorsement</u> of the proposed development, as documented in the SEE.</p> <p>Better Green is in a strong position in the deterrent of a break and enter, due to the numerous measures in place. The community should feel safe, due to any criminal activity in the area will be caught, with so many deterrents and early detection in place.</p>
The potential for lighting at night of the facility that may impact on neighbouring properties.	<p>We understand that from a majority of the responses question what lighting will be applied for the farm and at what times. The reason for the concern is to ensure no undue light pollution to the neighbouring properties. We also note, there was concern to the power availability for the property and how it will be sourced.</p> <p>Firstly, lighting will only be applied during operating hours to the offices and the processing rooms. Therefore, there will be no impact to light pollution from these areas of the property.</p> <p>Regarding the green house, this area is to only be lit by lights when there is not sufficient light from the sun. That being said, the growing method requires 12 hours of sunlight and 12 hours of light deprivation for the plants, which results in no light pollution impact over the course of the evening or night.</p> <p>Lastly, there will be no lighting applied as part of security measures and will not be applied to any outdoor areas apart from entrance ways, when required.</p>
The potential negative impact on property values.	Not a valid planning consideration
The development has been incorrectly characterised and accordingly is prohibited in the RU1	Based on the nature of the development and in consultation with Council, it is considered that the most appropriate definition of the proposal is as follows which is permitted in the RU1 zone:



<p>zone and is more of an industrial nature.</p>	<p>"Intensive Plant Agriculture (medicinal cannabis), inclusive of greenhouse and processing facility".</p> <p>It is noted that the processing of the cannabis is relatively minor in that the plant which is grown on the site is de-leafed and dried (the end customer buys the dried product). There is nothing added to the plant or change to its properties.</p> <p>Offices, amenities, utilities and the like are considered ancillary and the primary purpose as outlined above. There are no other independent land uses associated with the proposed development that would necessitate a broadening of the characterisation.</p> <p>It is noted that there will only be approximately 8000kg (or 8 tonnes) of product produced per annum.</p> <p>Any other definition or characterisation suggested by the objectors (i.e., heavy industry, light industry or high technology industry) is not considered reasonable. As stated throughout the application and this response submission, the processing element of the overall development is relatively minor. The development involves the growing of a plant on the site and the minor processing of it to create an end product for further processing off site.</p>
<p>Inconsistent with the objectives of the zone.</p>	<p>The proposed development is consistent with the RU1 zone objectives as it:</p> <ul style="list-style-type: none"> <li>• Encourages sustainable primary industry production including growing and harvesting plant materials through better utilisation of primary production land.</li> <li>• Provides alternative enterprise in addition to traditional primary production in the area.</li> <li>• Fragments the land to provide better utilisation of the land resources to assist in the primary production process without increasing dwelling entitlements on the site.</li> <li>• Provides a use which is consistent with surrounding primary production activities.</li> <li>• Seeks to maintain the rural and scenic character of the land through considered and sympathetic building placement on the site and more broadly the general area.</li> <li>• The proposed development fundamentally is seeking to utilise the land for agricultural purposes and is not expected to generate any associated land use conflicts.</li> </ul>
<p>Negative impacts on surrounding land uses.</p>	<p>The predominant land uses in the vicinity of the proposed development include agricultural holdings that are used for grazing, natural wild life habitat, agricultural operations, with mixed commercial, agricultural and residential uses in the vicinity. There are no known schools, places of worship, public parks, or tribal cultural resources within close proximity of the proposed development.</p> <p>A number of responses have concerns related to the proposed development impacting the landscape view.</p>



	<p>Better Green feels there is negligible impact on any views from any of the neighbouring properties or any adjacent land. The development is hidden in a valley and cannot be seen from the road, nor can it be seen as direct line of site due to dense vegetation between direct neighbouring houses and the proposed development.</p> <p>Furthermore, we have used an earthy palette for the façade and will introduce vegetation around the boarder of the property, should there be any impact to the view, which is per our agreement with the land owner.</p> <p>The suggestion that the surrounding locality is rural-residential is not considered accurate (and is a considerable distance from Large Lot Residential zoned land).</p>
The Macquarie River is not a secure water source for the proposal	<p>It is noted that water is currently been pumped from the river for stock and domestic purposes.</p> <p>The applicant is currently in the process of securing the necessary licences for the proposed development.</p> <p>The development will only require 4ML per annum which is considered relatively modest.</p>
Location of the proposed development on the site close to boundaries.	<p>Agricultural produce industry is a type of rural industry that requires a setback of 50m from any side or rear boundary.</p> <p>The proposed glasshouse as part of the development, is to be setback 18m off the southern boundary to meet BCA requirements. All buildings are considerably more than 50 metres from every other boundary to the site.</p> <p>Accordingly, a variation to this setback control is proposed.</p> <ul style="list-style-type: none"> <li>• The area within the 50m setback is glasshouse that is required as part of the crop growing (glasshouse).</li> <li>• The processing and office areas are setback a considerable distance from the southern boundary.</li> <li>• There is no identifiable development on the neighbouring land to the south that will be negatively impacted upon.</li> <li>• The house on the southern neighbouring lot is over 750m from the development site towards the east and does not have any direct line of site.</li> </ul> <p>There is no surrounding land uses that require an increased building setback.</p>



Further comments below relating to the Rowland submission:

**Table 1:** Objections to Watson Young, *Site Plan, Location Plan and other design plans*.

Statement	Reference	Objection	RESPONSE
Document DA02 shows an existing dam on the development site within 40 metres of the proposed car park.	Document DA02	The document shows an existing dam located within the 40m of the proposed development. This conflicts with statement made in Calare Civil 2021 indicating the nearest dam is 68m W of the development. <i>This is misleading.</i>	The small dam is located just outside of the development site.
Watercourse leading from the dam (referred to above) to the Macquarie River.	Document DA02	In other documents, the Macquarie River is listed as <b>the only</b> water course likely to be a "Minor Limitation" to development. (See Calare Civil, 2021 page 2) <i>This is misleading.</i>	It is noted that the Macquarie River is located just to the west of the proposed development and is outside the distance that would identify any environmental triggers

Statement	Reference	Objection	Response
"One soil-observation pit was dug...Groundwater was not encountered during the fieldwork"	Page 1	<ul style="list-style-type: none"> <li>a. The pit was dug at an elevated section of the development site.</li> <li>b. There were no verifying cores or pits dug at any other part of the site.</li> <li>c. There was no investigation of the presence or frequency of subsurface water or water run-off over time, despite recent wet weather conditions prior to the investigation. (see images 3 and 4, below)</li> <li>d. Investigators did not include visual observations that could have</li> </ul>	The report has been prepared by Calare Civil to provide guidance for onsite effluent disposal for the proposed development in accordance with the applicable legislation and guidelines. Council has not requested any clarification of the report submitted. Also refer to the Effluent Disposal Plan for greater detail.



		<p>been readily made within 150 metres of the sample site that attest to the presence of subsurface run-off, such as dams, gullies and the presence of hydrophytic macrophytes.</p>	
"Closest property boundary approximately 146 m N"	Page 2	<p>This is an <b>error of fact</b>. The closest boundary is with a neighbouring property at 1663 Freemantle Road, about 20m to the <b>south</b> of the site. Division 27.2 5biii of the Bathurst Local Environmental Plan 2014 sets the standard for the location of farm buildings at 30m from a side or rear boundary. <b>The proposed location of the development conflicts with the Bathurst Local Environmental Plan 2014.</b></p>	<p>The closest boundary of the development is to the south.</p> <p>The reference to the LEP is incorrect.</p> <p>A variation request has been made to the DCP setback requirement.</p>
"Site Plan"	Page 5	<p>a. Shows "Area suitable for Effluent Disposal" including a dam and watercourse <u>but not the proposed car park</u>. Inclusion of the carpark as part of the development breaks the 40m buffer zone for dams and watercourses and would cause elements of the proposed plan to fail. Effluent disposal over the area could, depending on the</p>	<p>The findings of the effluent report and requirements of Bathurst Regional Council to be followed as part of the operation of the development. Refer to the Effluent Disposal Plan for greater detail.</p>



		<p>amount and content of effluent, become a significant issue by triggering further regulation under other environmental protection legislation.</p> <p>c. The "Area Suitable for Effluent Disposal" extends to the extreme SW end of the development area abutting Lot 5. Sub- surface run-off in this area is already a significant problem on both properties (see images below). Potential risks to human health, the Macquarie River ecosystem, wildlife and stock in the area, as well as downstream, remain real especially at times of high rainfall.</p>	
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**Table 3:** Objections to Anthony Daintith, *Statement of Environmental Effects*, October 2021.

Statement	Reference	Objection	Response
"There are no other waterways present on the land"	Page 7	There is a watercourse within the development area marked on the map provided on page 6 of the document and there is no investigation of sub-surface run-off at all in this document.	It is not proposed to undertake any works within this watercourse.  The applicant will comply with any conditions relating to the control of runoff around the facility and along the access road (to be upgraded).
"Construction of a 4350 sq metre glass house building"	Page 12	Since the proposed development does not include a dwelling, the proposed structure is in conflict with Bathurst Local Environmental Plan 2014 regulations in Division 27, 4, which sets the standard for farm buildings and structures at a <b>maximum floor area</b> on a lot of greater than 4ha at <b>350 square metres</b> . <i>The proposal conflicts with standards set out in the Bathurst Local Environmental Plan 2014.</i>	This applies to Exempt Development which is not applicable in this instance as a DA has been lodged.
"Construction of a building occupying an area of 1860 sq. m. to be utilised as a processing area."	Page 12	Since the proposed development does not include a dwelling, the proposed structure is in conflict with Bathurst Local Environmental Plan 2014 regulations in Division 27, 4, which sets the standard for farm buildings and structures at a <b>maximum floor area</b> on a lot of greater than 4ha at <b>350 square metres</b> .	This applies to Exempt Development which is not applicable in this instance as a DA has been lodged.



		<b>The proposal conflicts with standards set out in the Bathurst Local Environmental Plan 2014.</b>	
"Construction of an office space occupying an area of approximately 390 sq.m.	Page 12	<p>Since the proposed development does not include a dwelling, the proposed structure is in conflict with Bathurst Local Environmental Plan 2014 regulations in Division 27, 4, which sets the standard for farm buildings and structures at a <b>maximum floor area</b> on a lot of greater than 4ha at <b>350 square metres</b>.</p> <p><b>The proposal conflicts with standards set out in the Bathurst Local Environmental Plan 2014.</b></p>	<p>This applies to Exempt Development which is not applicable in this instance as a DA has been lodged.</p> <p>The application is not for a farm building.</p>
"The energy source will be a mixture of electricity and solar..."	Page 13	<p>Advice from Essential Energy (3/12/2021) is that the electricity supply line may need to be upgraded, including a new transformer to the value of approximately \$15000 to account for increased capacity.</p> <p>While this is possible, the present line to the development property was described as a "typical rural line" subject to frequent outages due to storm damage and maintenance and "not like your typical line in Penrith or Parramatta". <b>Essential Energy advises that any upgrade would be at the developer's expense.</b></p>	<p>Noted – any upgrading would be at the developers expense.</p>



<p>"...irrigation of the crops with water from the Macquarie River. High yield requires high quality water"</p>	<p>Page 13</p>	<p>The document contains no evidence of investigations of water quality of the Macquarie River, which would seem to be basic, high priority preparatory research for a proposed irrigation enterprise. This is especially alarming, given that upstream of the proposed site are properties using agricultural fertilizers and chemicals, herbicides and grazing livestock.</p> <p>Most importantly, a sewage treatment works adds nutrients to the Macquarie River that create algal blooms. In dry times, stagnant water can become a risk, or even toxic to humans. Though water use data for the proposal is provided elsewhere, the particular nature of water filtration and waste disposal is not specified sufficiently to be able to satisfy the consent authority in order to determine <i>"the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality."</i> (Environmental Planning and Assessment Act 1979, Section 4.15 I ) <b>or</b> <i>"the suitability of the site for development"</i> (EPA 1979, 4.15 I b) <b>or</b> <i>"the public interest"</i> (i.e health concerns) (EPA 1979, 4.15 I d)</p> <p>In addition to the above, no study has been made of the reliability of the Macquarie River as a source for</p>	<p>Appropriate water quality measures will be put in place for proposed irrigation of the crop and subsequent irrigation of pastures.</p> <p>Refer to previous comments in the body of this response and specialist reports.</p> <p>It is noted that the water demand for the project is relatively low.</p>
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		<p>long-term irrigation. Local experience is that flows in the Upper Macquarie catchment, particularly downstream of Bathurst, has been highly variable to the point of doing damage to sensitive elements of river ecology. (See images 1 and 2 below which depict the cessation of water flow in the Macquarie River near the site. See also, in images 3 and 4 below depictions of generous subsurface run-off at a different time. See also, <a href="https://www.abc.net.au/news/2021-07-13/bathurst-regional-council-blamed-for-platypus-decline/100286148">https://www.abc.net.au/news/2021-07-13/bathurst-regional-council-blamed-for-platypus-decline/100286148</a> )</p>	
<p>"The proposed activity is characterised as an 'Agricultural Produce Industry' as defined under the Bathurst Regional Local Environmental Plan 2014"</p>	<p>Page 18</p>	<p>This characterisation is the <b>developer's</b> characterisation and represents a choice from among several possibilities. The consenting authority is bound, through its duty of care, to consent, or deny consent, to a development according to the primary and substantial purpose of the development. Since the purpose stated in the application is to produce "medicinal cannabis", more veracious characterisations of the development, such as a "High Technology Industry", whose purpose is to be involved with biological, pharmaceutical, medical or paramedical systems, goods or</p>	<p>Refer to the body of this response document relating to the characterisation of the development.</p> <p>Based on the nature of the development and in consultation with Council, it is considered that the most appropriate definition of the proposal is as follows which is permitted in the RU1 zone:</p> <p>"Intensive Plant Agriculture (medicinal cannabis), inclusive of greenhouse and processing facility".</p>



		<p>components" (BLEP 2014, 'Dictionary') are arguably more encompassing. Given a number of features of the proposal (see submissions elsewhere in this document), additional characterisations of the project as "light Industry", "heavy industrial storage" or a "commercial premises" are arguably more circumspect than the characterisation provided in the document.</p> <p><b><u>Characterisation of the development as an "Agricultural Produce Industry" is an insufficient description.</u></b></p> <p>To compound the insufficiency, the development is also subject to the Australian Government's <b><i>Narcotic Drugs Amendment Act 2016, and also identifies the special nature of cultivating, manufacturing and producing medicinal cannabis as an activity to be heavily and strictly regulated because of its high risk to the public interest and for other reasons.</i></b></p> <p><b><i>It is important to note that nowhere in the documentation provided in support of this application is it mentioned that the development is also subject to this legislation. This is also a source of inadequacy and ambiguity in the application which may lead to challenge should consent be granted for the development.</i></b></p> <p>The particular nature of medicinal</p>	
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		cannabis production is not specified sufficiently in the application to be able to satisfy the consent authority of the PRIMARY PURPOSE of the development in order to determine "the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality." ( <b>Environmental Planning and Assessment Act 1979, Section 4.15 I</b> ) or "the suitability of the site for development" ( <b>EPA 1979, 4.15 I b</b> ) or "the public interest" (i.e health concerns) ( <b>EPA 1979, 4.15 I d</b> )	
"The proposed development is consistent with the RU1 zone objectives"	Page 19	This is open to challenge given that the development has the stated goal of producing medicinal cannabis which, of itself would make the development subject to the requirements of a number of other land use zones, prohibit the development from the RU1 zone and trigger controls described in the Narcotic Drugs Amendment Act 2016. See comments above and in other objections submitted in this document.	Refer to the comment above regarding characterisation of the development.
"Appropriate stormwater management controls to be installed as part of the construction of the facility"	Page 20	No study has been made of the impact to stormwater run-off. In particular, no investigation of stormwater run-off from the proposed paved access road or increased sub-surface run-off has been carried out. On the basis that the development	The applicant will comply with any conditions relating to the control of runoff around the facility and along the access road (to be upgraded).  It is noted that the existing access road is already gravel.



		<p>will receive an average, annual rainfall of 72.4mm (OzArk, <b>Biodiversity Assessment Report</b>; 2021, p.14), on a paved access road 6m wide and 1km long, the development will generate 4,344 tonnes, or 4.344 million litres, of additional stormwater run-off each year. Added to the fact that paved areas generate run-off more quickly than unpaved areas, paddocks, structures and roads are likely to be inundated to a greater degree, more frequently and erosion is likely to be more damaging due to the speed of run off.</p> <p>In images 5-9 below it is possible to see the current situation in relation to the edges of Freemantle Road near the development site. Freemantle Road had been upgraded only recently prior to the photos being taken and the access road at 1673 Freemantle Road was unpaved at the time.</p> <p>The addition of extra run-off from the paved access road is likely to impact on neighbouring access roads and Freemantle Road to a far greater degree.</p> <p>Should consent be given to this development , normal duty of care would require that,</p> <ol style="list-style-type: none"> <li><b>Bathurst Council ensure</b> that the proposed paved access road on the development is upgraded to the standard of</li> </ol>	<p>The development will comply with any requirements for road upgrading. It is noted that nearly all vehicle movements to and from the site are from light vehicles.</p>
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		<p>a public road.</p> <p>b. The paved access road be equipped with concrete gutters, drains and cisterns to direct, slow and collect water flow onto Freemantle Road and adjacent properties.</p> <p>c. The paved access road be equipped with concrete gutters, drains and cisterns to direct, slow and collect water flow onto the development site and adjacent properties and to maintain sub-surface run-off at pre-development levels.</p> <p><b>Bathurst Council ensure that</b> Freemantle Road be equipped with concrete gutters, drains and cisterns to direct, slow and collect water between and including the access to 1673 Freemantle Road Spring Creek.</p>	
Access, Entrances and Fencing	Page 24	<p>See comments about access and entrances above.</p> <p>Fencing proposed for the development is not adequate. Without perimeter fencing on the property sufficient to prevent trespassers entering the property, the development site cannot be totally secure because of the following.</p> <ul style="list-style-type: none"> <li>Access onto the development property can be achieved, especially at</li> </ul>	<p>There is a significant amount of security fencing proposed around the facility to comply with various legislative requirements.</p> <p>The applicant has worked closely with NSW Police and Government Agencies to ensure that the design is compliant.</p>



		<p>night, from any direction, including from the west side of the Macquarie River.</p> <ul style="list-style-type: none"> <li>• Given that the distance from town and the nature of Freemantle road may make a police response impossible for at least 30 minutes, trespassing or other incidents may not be resolved before assistance arrives.</li> <li>• The development area is not visible from Freemantle Road, or from about half the property. Thus, any trespassers can gain relatively close access to the site before being detected.</li> <li>• Access gained to the development site via adjoining properties may add to the potential for accidents with vehicles and firearms and heighten concerns about personal and property safety in the area. This would represent a significant reduction in residents' amenity of use.</li> </ul> <p>We believe that properly securing this particular site is impractical without fencing that would intrude into the visual qualities of the landscape. However, should the develop receive consent, we believe that a perimeter</p>	
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		fence on the property should be built to a height and a standard that would prevent human intrusion and deter attempts at access from neighbouring properties.	
"The proposal is within the context of the locality and Council's current planning provisions".	Page 28	This is an assertion without evidence or data provided. Various provisions of the table of land use prohibit several activities proposed for this site as outlined above and below in this document.	The proposed development is permitted with consent in the zone and has been demonstrated to be consistent with the objectives of the zone.
Access and Transport	Page 28	<p>□ Due to the generation of substantial run-off from the development (see above), Freemantle Road will be in further need of upgrades to drainage.</p> <p>□ There is no evidence of a traffic study or research being done on Freemantle Road. There is no justification to assert that 75 extra vehicles per day will, or will not, require upgrades to Freemantle Road. Bathurst Council should refer this matter to the developer for further research an explanation, or deny consent for the application. (Environmental Planning and Assessment Act 1979, Section 4.15 I)</p> <p><b>or</b> "the suitability of the site for development" (EPA 1979, 4.15 I b)</p> <p><b>or</b> "the public interest" (i.e health concerns) (EPA 1979, 4.15 I d)</p>	Information relating to traffic generation from the development has been provided to Council. A traffic study has not been requested and not considered necessary in this instance.



Flora and Fauna	Page 30	<p>The investigation of the impacts on Flora and Fauna provided information that resulted from "Desktop searches" of "databases" and a field survey over a single day. (OzArk Environment and Heritage, <b>Biodiversity Assessment Report</b>, pages 9 and 14.)</p> <p>Significantly, "No targeted surveys were conducted to determine the presence or absence of threatened species" and "Surveys were conducted in fine weather" and in daylight hours.</p> <p>Thus, the report makes no mention of the presence or absence of platypus, echidna, or other nocturnal animals, or animals that might be sensitive to noise. There is also no reference to the Watton area being included in the expected ranges inhabited by platypus, or to local platypus sightings recorded by the Australian Platypus Conservancy or other relevant bodies, such as the Australian Museum. <a href="#">Distribution &amp; Numbers – Australian Platypus Conservancy</a></p> <p>The researchers did not investigate and did not investigate at a time or over a period in which there was a reasonable possibility of detection. Presumably, this is also the case with results for other species such as Murray Cod, Echidna, frogs, bats, emu, eagles, Sugar Gliders and the like. <b>ALL OF THESE SPECIES HAVE</b></p>	<p>The biodiversity report has been submitted to Council – a response has been provided in the main part of this report with respect to questions raised by Council. It is understood that issues surrounding biodiversity have been addressed and acceptable to Council.</p>
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		<p>BEEN SIGHTED IN AND AROUND THE PROPOSED DEVELOPMENT SITE SINCE THE STUDY WAS CONDUCTED.</p> <p>It is also inexcusable that no particular effort was made to specifically detect or confirm presence or the absence of <b>species that are sensitive to light and noise</b>, given that both these elements are under consideration elsewhere in the reports.</p> <p>The nature of the information discovered in the desktop searches is almost without exception connected with state-wide distributions, rather than case studies or species audits of wildlife in the immediate area of the development site.</p> <p>The information is also <u>not related to particular concerns</u> about species in the greater Bathurst area (see <b>Desktop Review</b>, page 10) and about which concerns remain heightened. (<u>Wombat mange is killing the marsupials   Western Advocate   Bathurst, NSW</u> and <a href="https://www.westernadvocate.com.au/story/7158755/mismanagement-caused-platypus-extinction-in-winburndale-rivulet-says-goldney/">https://www.westernadvocate.com.au/story/7158755/mismanagement-caused-platypus-extinction-in-winburndale-rivulet-says-goldney/</a> )</p> <p>Much of the reporting in the OzArk Biodiversity Assessment Report is thus reduced to the status of scientific generalisation based on surmises from much broader data. As such,</p>	
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		<p>particularly the comments about the presence or absence of threatened species are severely misleading due to an unwarranted impression of rigour and thoroughness in this aspect of the investigation. Approval should not be granted to this development until such times as a study of biodiversity and impacts on the local environment can be conducted with suitable professional, scientific rigour and confidence. <b>(Environmental Planning and Assessment Act 1979, Section 4.15 l ) or "the suitability of the site for development" (EPA 1979, 4.15 l b) or "the public interest" (i.e health concerns) (EPA 1979, 4.15 l d)</b></p>	
--	--	---	--

**Table 3:** Objections to **Statement of OzArk Environment and Heritage, Biodiversity Assessment Report**, October 2021.

"The main areas of operational risk would be on the existing access road, which is not part of the present proposal"	Page 41	<p>Contradicted by <b>Daintith</b>; 2021, p.24, who says that "The internal road is proposed to be sealed from Freemantle Road to the development area".</p> <p>This is evidence of misleading reporting.</p>	The proposed internal road is to be bitumen sealed from the entrance gate to the development site on the property.
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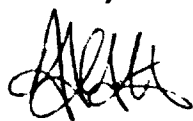
We believe the above responses, clarifies the responders' submissions on the proposed farm use and satisfies the Bathurst Council objectives of the land use for Zone RU1 Primary Production.

Therefore, this as an appropriate submission for the proposed site on land zoned RU1 and we seek the Bathurst Council's approval of the development application 2021/560 – Lot 6 DP 247662, at 1673 Freemantle Road, Watton.

Should you have any questions with respect to this matter, please contact the office on 63624523.

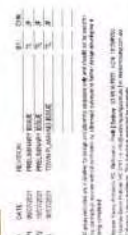
Yours faithfully

**Anthony Daintith Town Planning Pty Ltd**

A handwritten signature in black ink, appearing to read 'Anthony Daintith', written over a horizontal line.

Anthony Daintith  
**Principal**





DEVELOPMENT ANALYSIS	
BUILDING (APPROX.)	35
GLASSHOUSE	2 790m <sup>2</sup>
CLASSROOM	1 831m <sup>2</sup>
CLASSROOM	1 831m <sup>2</sup>
OFFICE	6 607m <sup>2</sup>
TOTAL AREA	2 790m <sup>2</sup>
EXTERNAL AREAS (APPROX.)	
LIGHT DUTY	40 440m <sup>2</sup>
CRUISED ROCK	6 730m <sup>2</sup>
TOTAL BUILDING FOOTPRINT	14 370m <sup>2</sup>
FARMING	
PASTURES PROVIDED	
SITE COVERAGE	
TOTAL BUILDING SITE AREA	
TOTAL SITE AREA	
SITE COVERAGE	

## NOTES

[illegible]

DATE	RECEIVED	BY	TIME
10/25/2011	PRO-SHIPMENT	1	10
10/25/2011	PRO-SHIPMENT	2	10
10/25/2011	PRO-SHIPMENT	3	10

DATE JANUARY 2021  
DRAWN BY Author  
SCALE 1:2000 @A1  
SCALE 1:4000 @A3



BETTERGREEN



## EFFLUENT DISPOSAL PLAN

Better Green Cannabis  
1673 Freemantle Rd, Watton, NSW, 2795





View southeast across the study area.

## **ABORIGINAL DUE DILIGENCE ASSESSMENT REPORT**

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### **BETTERGREEN DEVELOPMENT**

WATTON, BATHURST LGA

SEPTEMBER 2021

Report prepared by  
OzArk Environment & Heritage  
for BetterGreen



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## DOCUMENT CONTROLS

Proponent	BetterGreen
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Prepared for	Prepared by
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<p style="text-align: center;">COPYRIGHT</p> <p style="text-align: center;">© OzArk Environment &amp; Heritage 2021 and © BetterGreen 2021</p> <p style="text-align: center;">All intellectual property and copyright reserved.</p> <p>Apart from any fair dealing for private study, research, criticism, or review, as permitted under the Copyright Act, 1968, no part of this report may be reproduced, transmitted, stored in a retrieval system or adapted in any form or by any means (electronic, mechanical, photocopying, recording or otherwise) without written permission.</p> <p style="text-align: center;">Enquiries should be addressed to OzArk Environment &amp; Heritage.</p>	



### **Acknowledgement**

OzArk acknowledge Traditional Owners of the area on which this assessment took place and pay respect to their beliefs, cultural heritage and continuing connection with the land. We also acknowledge and pay respect to the post-contact experiences of Aboriginal people with attachment to the area and to the elders, past and present, as the next generation of role models and vessels for memories, traditions, culture and hopes of local Aboriginal people.



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## EXECUTIVE SUMMARY

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OzArk Environment & Heritage (OzArk) has been engaged by BetterGreen (the proponent) to complete an Aboriginal due diligence heritage assessment for the proposed medicinal marijuana production facility (the proposal).

The study area comprises approximately 1.5 hectares (ha) of land situated on undulating mid-slopes 250 metres (m) east of the Macquarie River. The proposal would include the construction of a carpark, office, site entry, hardstand, processing area, and glasshouse.

The visual inspection of the study area was undertaken by OzArk Cultural Heritage Specialist Harrison Rochford, on 18 August 2021. No Aboriginal community representatives participated in the visual inspection.

No Aboriginal objects or potential subsurface deposits were identified during the assessment.

The undertaking of the due diligence process resulted in the conclusion that the proposed works will have an impact on the ground surface, however, no Aboriginal objects or intact archaeological deposits will be harmed by the proposal. This moves the proposal to the following outcome:

*Aboriginal Heritage Impact Permit (AHIP) application not necessary. Proceed with caution. If any Aboriginal objects are found, stop work, and notify Heritage NSW (02 9873 8500 (heritagemailbox@environment.nsw.gov.au). If human remains are found, stop work, secure the site, and notify NSW Police and Heritage NSW.*

To ensure the greatest possible protection to the area's Aboriginal cultural heritage values, the following recommendations are made:

- 1) The proposed work associated with the proposal may proceed without further archaeological investigation under the following conditions:
  - a) All land and ground disturbance activities must be confined to within the study area, as this will eliminate the risk of harm to any Aboriginal objects in unassessed landforms. Should the parameters of the proposal extend beyond the assessed areas, then further archaeological assessment may be required.
  - b) All staff and contractors involved in the proposed work should be made aware of the legislative protection requirements for all Aboriginal sites and objects.
- 2) This assessment has concluded that there is a low likelihood that the proposed work will adversely harm Aboriginal cultural heritage items or sites. If during works, however, Aboriginal artefacts or skeletal material are noted, all work in the immediate area should cease and the procedures in the *Unanticipated Finds Protocol* (**Appendix 2**) will be followed.



- 3) Inductions for work crews should include a cultural heritage awareness procedure to ensure they recognise Aboriginal artefacts (see **Appendix 3**) and are aware of the legislative protection of Aboriginal objects under the *National Parks and Wildlife Act 1974* (NPW Act) and the contents of the *Unanticipated Finds Protocol*.
- 4) The information presented here meets the requirements of the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales*. It should be retained as shelf documentation for five years as it may be used to support a defence against prosecution in the event of unanticipated harm to Aboriginal objects.



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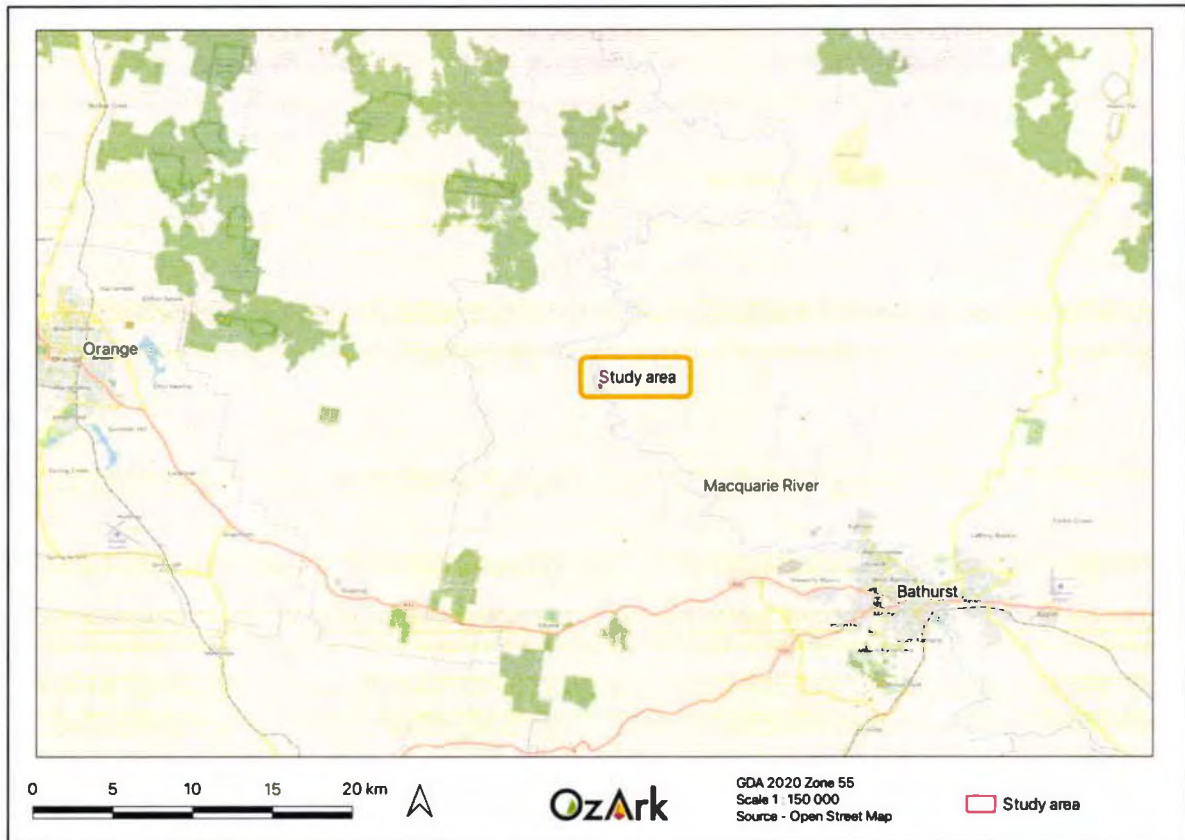


## 1 INTRODUCTION

### 1.1 BRIEF DESCRIPTION OF THE PROPOSAL

OzArk Environment & Heritage (OzArk) has been engaged by BetterGreen (the proponent) to complete an Aboriginal due diligence heritage assessment for the proposed medicinal marijuana production facility (the proposal). The proposal is in the Bathurst Local Government Area (LGA) (Figure 1-1).

Figure 1-1. Map showing the location of the study area.



### 1.2 THE STUDY AREA

The study area is within the proposed site and refers to all areas within the proposed site where impacts associated with the proposal will be located. The proposed site is shown on Figure 1-2.

The study area is within the proposed site and comprises approximately 1.5 hectares (ha) of land situated on undulating mid-slopes 250 metres (m) east of the Macquarie River. The study area is shown on Figure 1-3.

The study area does not include the existing access track from Fremantle Road.



Figure 1-2: Aerial showing the location of the proposed site.



Figure 1-3: Aerial showing the study area.





### 1.3 PROPOSED WORK

The proposal would include the construction of a carpark, office, site entry, hardstand, processing area and glasshouse (Figure 1-4). All components of the proposed work are within the study area.

Figure 1-4: Conceptual plan of the proposed work.



### 1.4 ASSESSMENT APPROACH

The desktop and visual inspection component for the study area follows the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* (due diligence; DECCW 2010). The field inspection followed the *Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in New South Wales* (OEH 2011).



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## 2 ABORIGINAL DUE DILIGENCE ASSESSMENT

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### 2.1 INTRODUCTION

Section 57 of the National Parks and Wildlife Regulation 2019 (NPW Regulation) made under the *National Parks and Wildlife Act 1974* (NPW Act) advocates a due diligence process to determining likely impacts on Aboriginal objects. Carrying out due diligence provides a defence to the offence of harming Aboriginal objects and is an important step in satisfying Aboriginal heritage obligations in NSW.

### 2.2 DEFENCES UNDER THE NPW REGULATION 2019

#### 2.2.1 Low impact activities

The first step before application of the due diligence process itself is to determine whether the proposed activity is a “low impact activity” for which there is a defence in the NPW Regulation. The exemptions are listed in Section 58 of the NPW Regulation (DECCW 2010: 6).

The proposal will involve excavation, earthworks and construction that are not considered low impact activities under the legislation, so the due diligence process must be applied.

#### 2.2.2 Disturbed lands

Relevant to this process is the assessed levels of previous land-use disturbance.

The NPW Regulation Section 87 (DECCW 2010: 18) define disturbed land as follows:

*Land is disturbed if it has been the subject of a human activity that has changed the land's surface, being changes that remain clear and observable.*

*Examples include ploughing, construction of rural infrastructure (such as dams and fences), construction of roads, trails and tracks (including fire trails and tracks and walking tracks), clearing vegetation, construction of buildings and the erection of other structures, construction or installation of utilities and other similar services (such as above or below ground electrical infrastructure, water or sewerage pipelines, stormwater drainage and other similar infrastructure) and construction of earthworks.*

Some sections of the proposed work are in previously cleared landforms which contain established farm buildings including a shed and stock yards. However, the entire study area could not be considered disturbed land, and the due diligence assessment will applied to all land within the study area.

In summary, it is determined that the proposal must be assessed under the Due Diligence Code. The reasoning for this determination is set out in **Table 2-1**.



**Table 2-1: Determination of whether Due Diligence Code applies.**

Item	Reasoning	Answer
Is the activity a Part 3A project declared under section 75B of the EP&A Act?	The proposal is assessed under Part 4 of the EP&A Act.	No
Is the activity exempt from the NPW Act or NPW Regulation?	The proposal is not exempt under this Act or Regulation.	No
Do either or both of these apply: Is the activity in an Aboriginal place? Have previous investigations that meet the requirements of this Code identified Aboriginal objects?	The activity will not occur in an Aboriginal place. No previous investigations have been conducted.	No
Is the activity a low impact one for which there is a defence in the NPW Regulation?	The proposal is not a low impact activity for which there is a defence in the NPW Regulation.	No
Is the activity occurring entirely within areas that are assessed as 'disturbed lands'?	The proposal is not entirely within areas of high modification.	No
Due Diligence Code of Practice assessment is required		

## 2.3 APPLICATION OF THE DUE DILIGENCE CODE OF PRACTICE TO THE PROPOSAL

To follow the generic due diligence process, a series of steps in a question/answer flowchart format (DECCW 2010: 10) are applied to the proposed impacts and the study area, and the responses documented.

### 2.3.1 Step 1

Will the activity disturb the ground surface or any culturally modified trees?

**The proposal will impact the ground surface and may impact culturally modified tree.**

The proposed construction works will involve ground disturbance across the study area. The study area has been cleared except for one tree. While it is unlikely that the only tree in the study area will have been culturally modified, it remains possible.

### 2.3.2 Step 2a

Are there any relevant confirmed site records or other associated landscape feature information on AHIMS?

**No, there are no previously recorded sites within the study area.**

A search of the Aboriginal Heritage Information Management System (AHIMS) database conducted on 9 August 2021 returned 119 results across a 30-kilometre (km) x 30 km search area centred on the study area (GDA Zone 55, Eastings: 708084–738166, Northings: 6298120–6328154.0).

**Figure 2-1** shows all previously recorded sites in relation to the study area and **Table 2-2** shows the types of sites that are close to the study area.



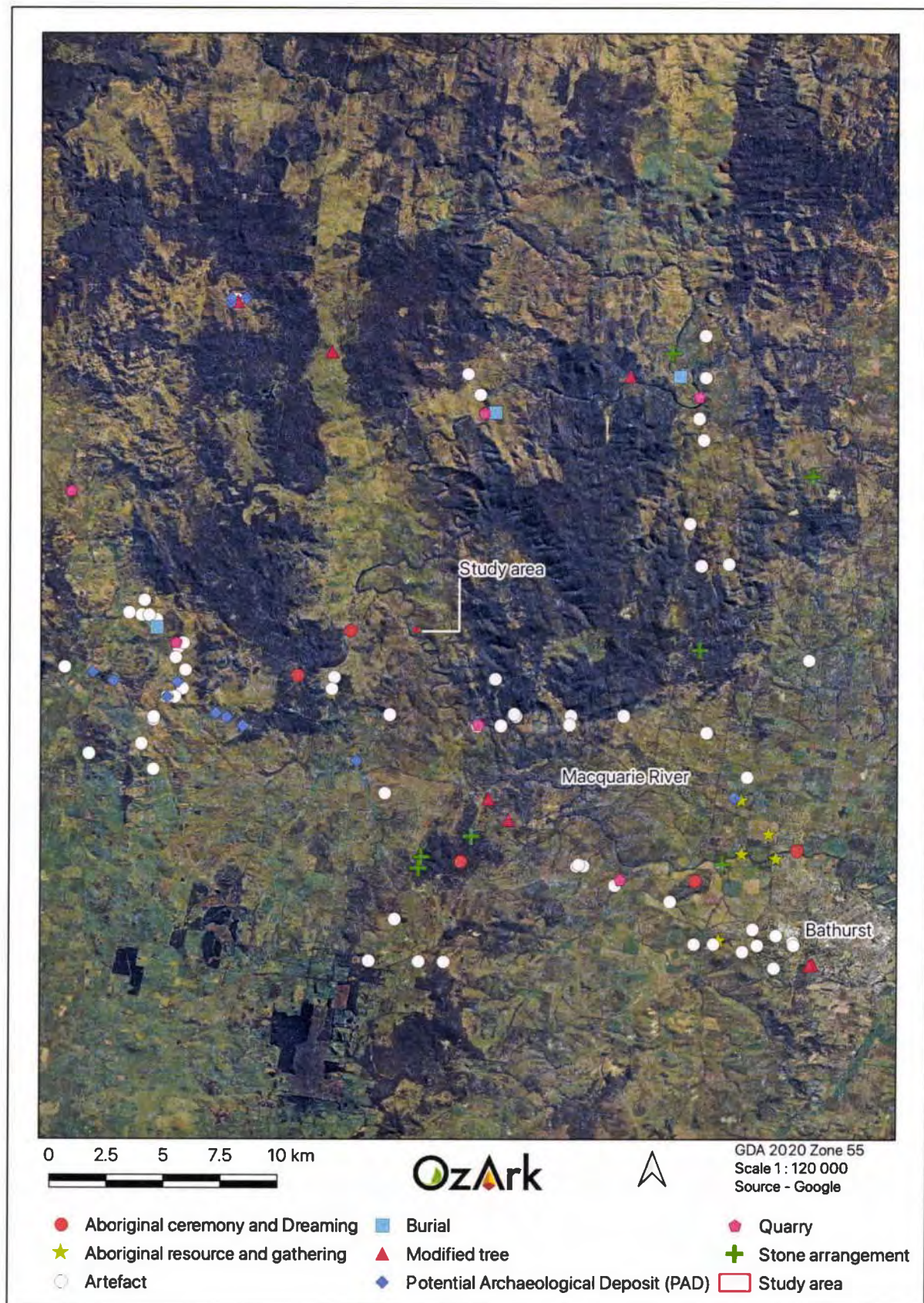
**Table 2-2: Site types and frequencies of AHIMS sites near the study area.**

Site Type	Number	% Frequency
Artefact	68	57
Potential Archaeological Deposit (PAD)	18	15
Modified tree	7	6
Stone arrangement	7	6
Quarry	6	5
Aboriginal ceremony and Dreaming	5	4
Aboriginal resource and gathering	5	4
Burial	3	3
<b>Total</b>	<b>119</b>	<b>100</b>

Artefact sites are the most frequent site type recorded across the search area (57%) followed by potential archaeological deposits (PADs, 15%). Based on the results, the most likely site types to be recorded at the study area would be artefact sites. Modified trees are relatively uncommon across the search area, and the study area has been largely cleared of vegetation, rendering this site type unlikely to be present. Uncommon site types such as stone arrangements and quarries may be present at the study area if suitable geological resources are present.



Figure 2-1: Previously recorded sites in relation to the study area.





### 2.3.3 Step 2b

Are there any other sources of information of which a person is already aware?

**No, there are no other sources of information that would indicate the presence of Aboriginal objects in the study area.**

The study area is in the traditional territory of the Wiradjuri tribal group. The Wiradjuri lived in extended family groupings, or clans, of around thirty to fifty men, women, and children. They moved between different campsites across their traditional lands, occasionally converging with other clans to trade, hunt, fight, feast, arrange marriages, resolve disputes, and share information (Extent 2017: 25).

#### Regional archaeological studies

The study area is in the upper Macquarie River region that was the focus of a study undertaken by Pearson (1981). According to Pearson, archaeological sites could be divided into two main categories, occupation sites and non-occupation sites (which included grinding grooves, scarred or carved trees, ceremonial and burial sites etc.). An analysis of the location of these sites led him to build a model for site prediction along the following lines (Pearson 1981: 101):

- Site distance to water varied from 10 to 500 m, but in general larger sites are found closer to water
- Good soil drainage and views over watercourses are important site location criteria
- Most sites were in contexts which would originally have supported open woodlands
- Ceremonial sites such as earth rings ("bora grounds") were located away from campsites
- Stone arrangements were also located away from campsites in isolated places and tended to be associated with small hills or knolls or were on flat land
- Quarry sites were located where stone outcrops with desirable working qualities were recognised and were reasonably accessible.

Based on ethnohistoric information, Pearson suggests that Aboriginal campsites were seldom used for longer than three nights and that large archaeological sites probably represent accumulations of material over a series of short visits. The location of non-occupation sites was dependent on various factors relating to site function. For example, grinding grooves only occur where there is appropriate outcropping sandstone, but as close to the occupation site as possible. Scarred trees were variably located with no obvious patterning, other than proximity to watercourses, where camps were more frequently located.

More recently, Extent Heritage completed a heritage study in 2017 of over 220 Aboriginal sites recorded on the AHIMS database across the Bathurst LGA (Extent 2017). 55% of these sites are



artefact based open sites (i.e., sites not within closed contexts, such as a cave or rock shelter). Modified trees are the next most prolific site type, followed by stone arrangements.

The predictive model noted that there was a comparatively small number of AHIMS recordings in the Bathurst LGA (one site per 19 square kilometres [km<sup>2</sup>]) (Extent 2017: 45). With a limited sample, the model focused on comparing this data with the Aboriginal Sites Decision Support Tool (ASDST, Department of Planning, Industry and Environment) cumulative model. Extent concluded that the Bathurst LGA had areas of flats and slopes with higher archaeological site potential than the previous ASDST modelling would suggest.

#### Archaeological investigations near the study area

In 2012, Navin Officer undertook an archaeological assessment for the proposed Macquarie River Pipeline from the Macquarie River to Orange. During the assessment, 17 Aboriginal sites were recorded (three artefact scatters, seven artefact scatters with PAD, four isolated finds, two isolated finds with PAD, and one scarred tree). Five areas of PADs were also identified and two previously recorded sites were located.

Navin Officer (2014) conducted an archaeological assessment of the Line 944 Wallerawang to North Orange 132kV transmission line. During the survey, 33 Aboriginal sites were recorded consisting of eight surface artefact scatters, 17 surface artefact scatters with PAD, one Aboriginal scarred tree, and seven PADs. The artefact types recorded during the assessment included mostly flakes, flaked pieces and retouched flakes. Cores, hammer stones and grinding stones were also recorded; but at a much lower frequency. The raw materials of the artefacts included tuff, volcanic material, silcrete, quartz, and chert.

OzArk completed an archaeological assessment at Dixons Long Point Crossing, 30 km northwest of the study area (OzArk 2021a). Twenty sites were recorded, with the majority on an elevated rolling hills landform (n=16), though the site with the greatest density of artefacts recorded is on the crest of spur line. All sites are within approximately 500 m of the Macquarie River, although sites with higher density tended to be on elevated crests and ridges further from the river.

Further upstream along the Macquarie River and 20 km east of the study area, OzArk recorded fourteen Aboriginal sites during the survey for the Eglinton Solar Farm (OzArk 2021b). These recordings included eight isolated finds and six artefact scatters. All the sites identified were within 200 m of water and most were directly adjacent to minor tributaries to Saltram Creek. The sites are located on relatively flat landforms, all within areas of erosion.

#### Summary

Although there have been few archaeological assessments close to the study area, the archaeological characteristics of the upper Macquarie Valley have been well documented. As in



most regions, proximity to water is a key predictor of site locations. However, sites also tend to be associated with crest/ridge landforms.

#### 2.3.4 Step 2c

Are there any landscape features that are likely to indicate presence of Aboriginal objects?

**No portions of the study area contain landforms with identified archaeological sensitivity.**

The study area is located on the Ophir-Hargraves Plateau landscape category (Mitchell 2002: 98). The Ophir-Hargraves Plateau features low strike ridges with elevations between 500 m and 1000 m above sea level. Soils tend to be shallow and stony on slopes with abundant outcropping rock. The study area is situated on a mid-slope landform.

Vegetation at the study area would have consisted of open eucalypt woodland with broad-leaved peppermint, scribbly gum and stringybark species prominent.

The study area is 250 m northeast of the Macquarie River at its closest point. The study area is therefore not within landforms within 200 m of 'waters' that are identified in the due diligence guidelines as having archaeological sensitivity. Although the study area does not meet the criteria for a sensitive landform under the due diligence guidelines, proximity to a major waterway such as the Macquarie River suggests that there is a higher likelihood of Aboriginal objects being present in the study area when compared to other landforms at a comparable distance from smaller waterways.

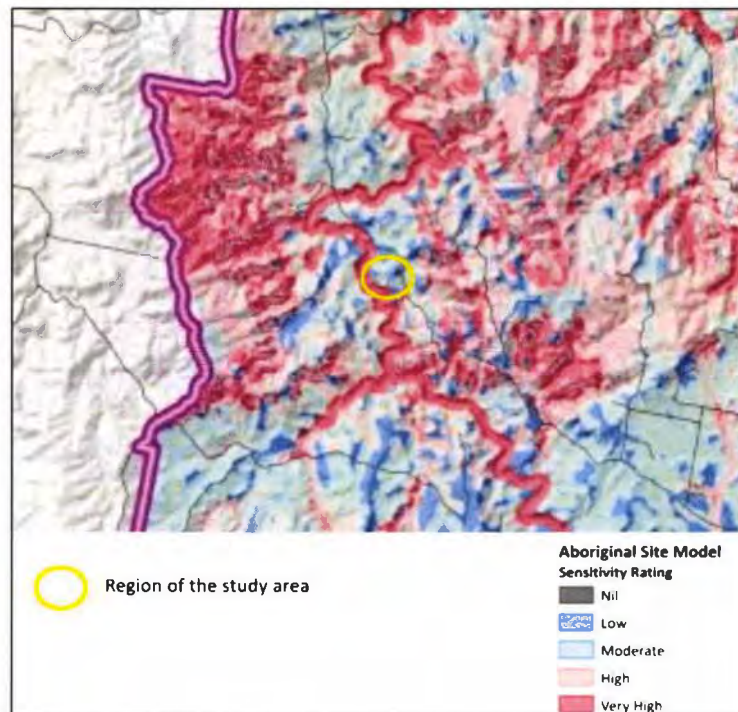
The proximity of the study area to the Macquarie River suggests that the most likely site types to be identified would be artefact sites. The likelihood of their occurrence would be moderate–high if the slope landform of the study area not too steep or stony, as these features would have been both less favourable for habitation and are less likely to retain artefact deposits over time.

Extent 2007 (figure 12) maps the archaeological sensitivity of the Bathurst LGA. When the location of the study area is compared to this mapping it can be seen that the study area is in an area of generally very high to moderate archaeological sensitivity (**Figure 2-2**).

Although not required by the due diligence process, the proponent elected to apply the precautionary principle and proceed to visual inspection of the study area (**Section 2.3.6**) in order to ground-truth the findings of the above desktop level assessment and because the study area is in a generally heightened area of archaeological sensitivity.



**Figure 2-2: Predicative modelling of archaeological sensitivity near the study area (base map: Extent 2017: Figure 12).**



### 2.3.5 Step 3

Can harm to Aboriginal objects listed on AHIMS or identified by other sources of information and/or can the carrying out of the activity at the relevant landscape features be avoided?

**Yes, there are no AHIMS sites or sensitive landforms that will be impacted by the proposal.**

The search of the AHIMS register (**Section 2.3.2**) indicates that there are no known Aboriginal objects in the study area. An examination of the archaeological context of the study area indicates that it is not in any of the landforms identified in the due diligence guidelines as having archaeological sensitivity (**Section 2.3.4**).

However, as the study area is in an area of heightened archaeological sensitivity, mostly due to the proximity of the Macquarie River (**Figure 2-2**), the proponent elected to apply the precautionary principle and proceed to visual inspection of the study area (**Section 2.3.6**).

### 2.3.6 Step 4

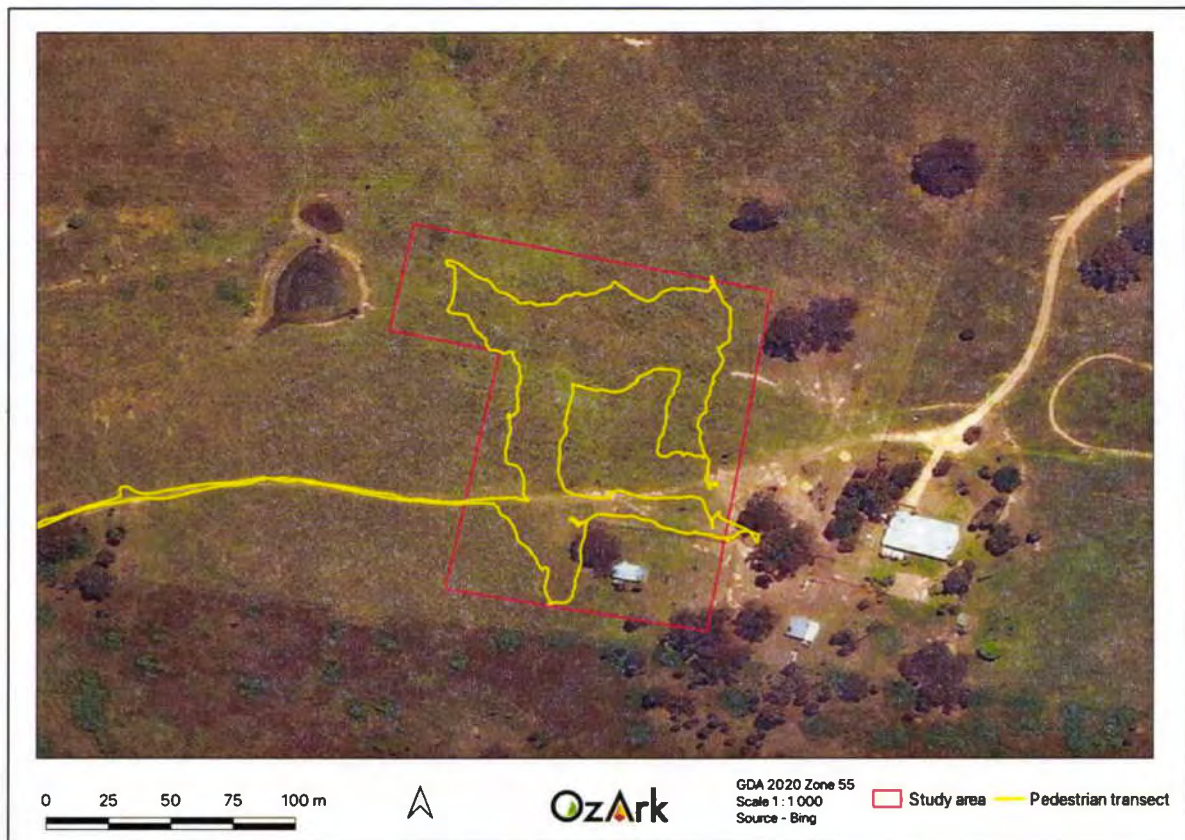
Does a desktop assessment and visual inspection confirm that there are Aboriginal objects or that they are likely?

**No Aboriginal objects were identified within the study area and the likelihood of subsurface deposits was assessed as low.**



The visual inspection of the study area was undertaken by OzArk Cultural Heritage Specialist Harrison Rochford, on 18 August 2021. The entirety of the study area was assessed on foot and there were no significant constraints to the visual inspection (**Figure 2-3**). No Aboriginal community representatives participated in the visual inspection.

**Figure 2-3: Survey coverage within the study area.**



## **Discussion**

No Aboriginal objects or potential subsurface deposits were identified. Ground surface visibility (GSV) was very low across most of the study area due to high levels of grass and weed cover (**Plate 1**). Outcroppings of quartz and granite were noted, predominantly at the southern end of the study area. Soils were thin and waterlogged at the northern end of the study area and thinner to the south. All mature vegetation was inspected for cultural modification.

Disturbances noted across the study area included drainage modification resulting from the dam to the west and the construction of agricultural infrastructure such as a shed and fencing (**Plate 2**). Erosion along the vehicle track that transects the study area was also noted.

The absence of sites from the small study area conforms with the predictive model discussed in **Section 2.3.4**. Although the study area is close to the Macquarie River, the mid-slope landform of the study area is unlikely to have been a favoured habitation location. Due to the shallow soil



profile and disturbances at the flatter portions at the southern end of the study area, the potential for subsurface deposits was determined to be low.

## 2.4 CONCLUSION

The due diligence process has resulted in the outcome that an Aboriginal Heritage Impact Permit (AHIP) is not required. The reasoning behind this determination is set out in **Table 2-3**.

**Table 2-3: Due Diligence Code application.**

Item	Reasoning	Answer
Will the activity disturb either of the following. <ul style="list-style-type: none"> <li>the ground surface where archaeological deposits are likely</li> <li>mature, native trees that may be culturally modified.</li> </ul>	The proposed works would disturb the ground surface through excavation and construction. However, these works will not impact Aboriginal objects of subsurface archaeological deposits. Mature, native vegetation may be impacted by the proposal, however the survey confirmed that none are culturally modified	No
Are there any relevant records of Aboriginal heritage on site (AHIMS or from other sources), or landscape features that are likely to indicate presence of Aboriginal objects?	AHIMS indicated no Aboriginal sites within the study area. No landscape features in the study area indicate the likely presence of Aboriginal objects.	No
Will the activity impact Aboriginal objects or landforms with archaeological potential?	There are no known items of Aboriginal significance present in the study area, and landforms with identified archaeological sensitivity are not present.	No
Does the desktop and/or visual assessment confirm that Aboriginal objects will be harmed?	The visual inspection of the study area recorded no items of Aboriginal heritage in the study area. It is assessed that there is a low likelihood of there being subsurface archaeological deposits within the study area.	No
AHIP not necessary. Proceed with caution.		



### 3 MANAGEMENT RECOMMENDATIONS

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The undertaking of the due diligence process resulted in the conclusion that the proposed works will have an impact on the ground surface, however, no Aboriginal objects or intact archaeological deposits will be harmed by the proposal. This moves the proposal to the following outcome:

*AHIP application not necessary. Proceed with caution. If any Aboriginal objects are found, stop work, and notify Heritage NSW (02 9873 8500 (heritagemailbox@environment.nsw.gov.au) . If human remains are found, stop work, secure the site, and notify NSW Police and Heritage NSW.*

To ensure the greatest possible protection to the area's Aboriginal cultural heritage values, the following recommendations are made:

- 1) The proposed work associated with the proposal may proceed without further archaeological investigation under the following conditions:
  - a) All land and ground disturbance activities must be confined to within the study area, as this will eliminate the risk of harm to any Aboriginal objects in unassessed landforms. Should the parameters of the proposal extend beyond the assessed areas, then further archaeological assessment may be required.
  - b) All staff and contractors involved in the proposed work should be made aware of the legislative protection requirements for all Aboriginal sites and objects.
- 2) This assessment has concluded that there is a low likelihood that the proposed work will adversely harm Aboriginal cultural heritage items or sites. If during works, however, Aboriginal artefacts or skeletal material are noted, all work in the immediate area should cease and the procedures in the *Unanticipated Finds Protocol* (**Appendix 2**) should be followed.
- 3) Inductions for work crews should include a cultural heritage awareness procedure to ensure they recognise Aboriginal artefacts (see **Appendix 3**) and are aware of the legislative protection of Aboriginal objects under the NPW Act and the contents of the *Unanticipated Finds Protocol*.
- 4) The information presented here meets the requirements of the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales*. It should be retained as shelf documentation for five years as it may be used to support a defence against prosecution in the event of unanticipated harm to Aboriginal objects.



## REFERENCES

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Burra Charter 2013	International Council on Monuments and Sites 2013. <i>The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance</i> .
DECCW 2010	DECCW. 2010. <i>Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW</i> . Department of Environment, Climate Change and Water, Sydney.
Extent 2017	Extent Heritage Advisors. 2017. <i>Bathurst Regional Local Government Area Aboriginal heritage study</i> . Report to Bathurst Regional Council.
Mitchell 2002	Mitchell, Dr. Peter. 2002. <i>Description for NSW (Mitchell) Landscapes Version 2</i> . Department of Environment and Climate Change NSW.
Navin Officer 2012	Navin Officer Heritage Consultants. 2012. <i>Macquarie River to Orange Pipeline Project: Cultural Heritage Assessment</i> . Report to Orange City Council.
Navin Officer 2014	Navin Officer Heritage Consultants. 2014. <i>Wallerawang to Orange 132 kV Transmission Line Reconstruction Project: Cultural Heritage Assessment</i> . Report to GHD.
OEH 2011	Office of Environment and Heritage. 2011. <i>Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in New South Wales</i> . Department of Environment, Climate Change and Water, Sydney.
OzArk 2021a	OzArk Environment and Heritage. <i>Aboriginal Cultural Heritage Assessment Report: Dixons Long Point Crossing</i> . Report to Mid-West Regional Council.
OzArk 2021b	OzArk Environment and Heritage. <i>Aboriginal Cultural Heritage Assessment Report: Eglinton Solar</i> . Report to Neoen Australia.
Pearson 1981	Pearson, M. 1981 <i>Seen through Different Eyes: Changing Land Use and Settlement Patterns in the Upper Macquarie River Region of NSW from Prehistoric Times to 1860</i> . PhD thesis, Department of Prehistory and Anthropology, The Australian National University.



## PLATES



Plate 1: View southeast across the study area.



Plate 2: View east from south-western edge of the study area showing shed and fencing to the right and outcropping rock along the track to the left.



**APPENDIX 1: AHIMS SEARCH RESULTS**

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**APPENDIX 2: ABORIGINAL HERITAGE: UNANTICIPATED FINDS PROTOCOL**

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An Aboriginal artefact is anything which is the result of past Aboriginal activity. This includes stone (artefacts, rock engravings etc.), plant (culturally scarred trees) and animal (if showing signs of modification; i.e. smoothing, use). Human bone (skeletal) remains may also be uncovered while onsite.


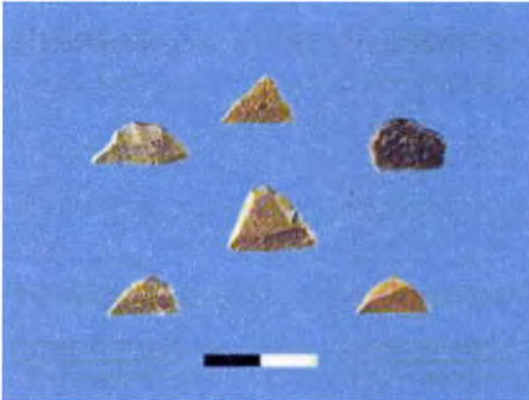

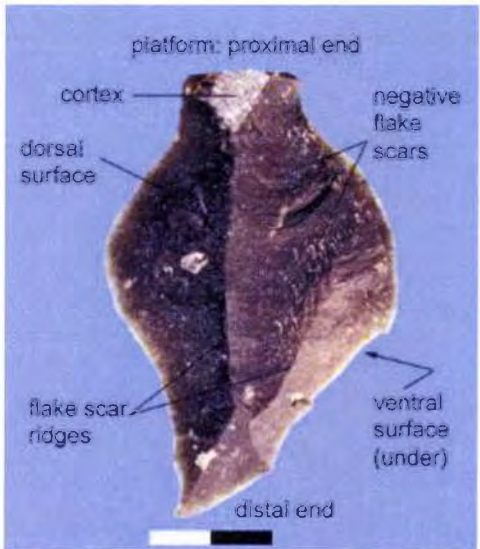

Cultural heritage significance is assessed by the Aboriginal community and is typically based on traditional and contemporary lore, spiritual values, and oral history, and may also consider scientific and educational value.

Protocol to be followed if previously unrecorded or unanticipated Aboriginal object(s) are encountered:

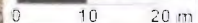
1. If any Aboriginal object is discovered and/or harmed in, or under the land, while undertaking the proposed development activities, the proponent must:
  - a. Not further harm the object
  - b. Immediately cease all work at the particular location
  - c. Secure the area so as to avoid further harm to the Aboriginal object
  - d. Notify Heritage NSW as soon as practical on (02) 9873 8500 (heritagemailbox@environment.nsw.gov.au), providing any details of the Aboriginal object and its location
  - e. Not recommence any work at the particular location unless authorised in writing by Heritage NSW.
2. If Aboriginal burials are unexpectedly encountered during the activity, work must stop immediately, the area secured to prevent unauthorised access and NSW Police and Heritage NSW contacted.
3. Cooperate with the appropriate authorities and relevant Aboriginal community representatives to facilitate:
  - a. The recording and assessment of the find(s)
  - b. The fulfilment of any legal constraints arising from the find(s), including complying with Heritage NSW directions
  - c. The development and implementation of appropriate management strategies, including consultation with stakeholders and the assessment of the significance of the find(s).
4. Where the find(s) are determined to be Aboriginal object(s), recommencement of work in the area of the find(s) can only occur in accordance with any consequential legal requirements and after gaining written approval from Heritage NSW (normally an Aboriginal Heritage Impact Permit).



## APPENDIX 3: ABORIGINAL HERITAGE: ARTEFACT IDENTIFICATION

	
Retouched blades (scale = 1cm)	Flakes
	
Microliths (scale = 1cm)	Scraper (scale = 1cm)
	
Flake characteristics (scale = 1cm)	Core from which flakes have been removed (scale = 1cm)





**Bathurst Regional Council**  
PMB 17  
158 Russell Street  
BATHURST NSW 2795  
Telephone: 02 6333 6111  
Fax: 02 6331 7211  
Email: [council@bathurst.nsw.gov.au](mailto:council@bathurst.nsw.gov.au)

**Important Notices:**

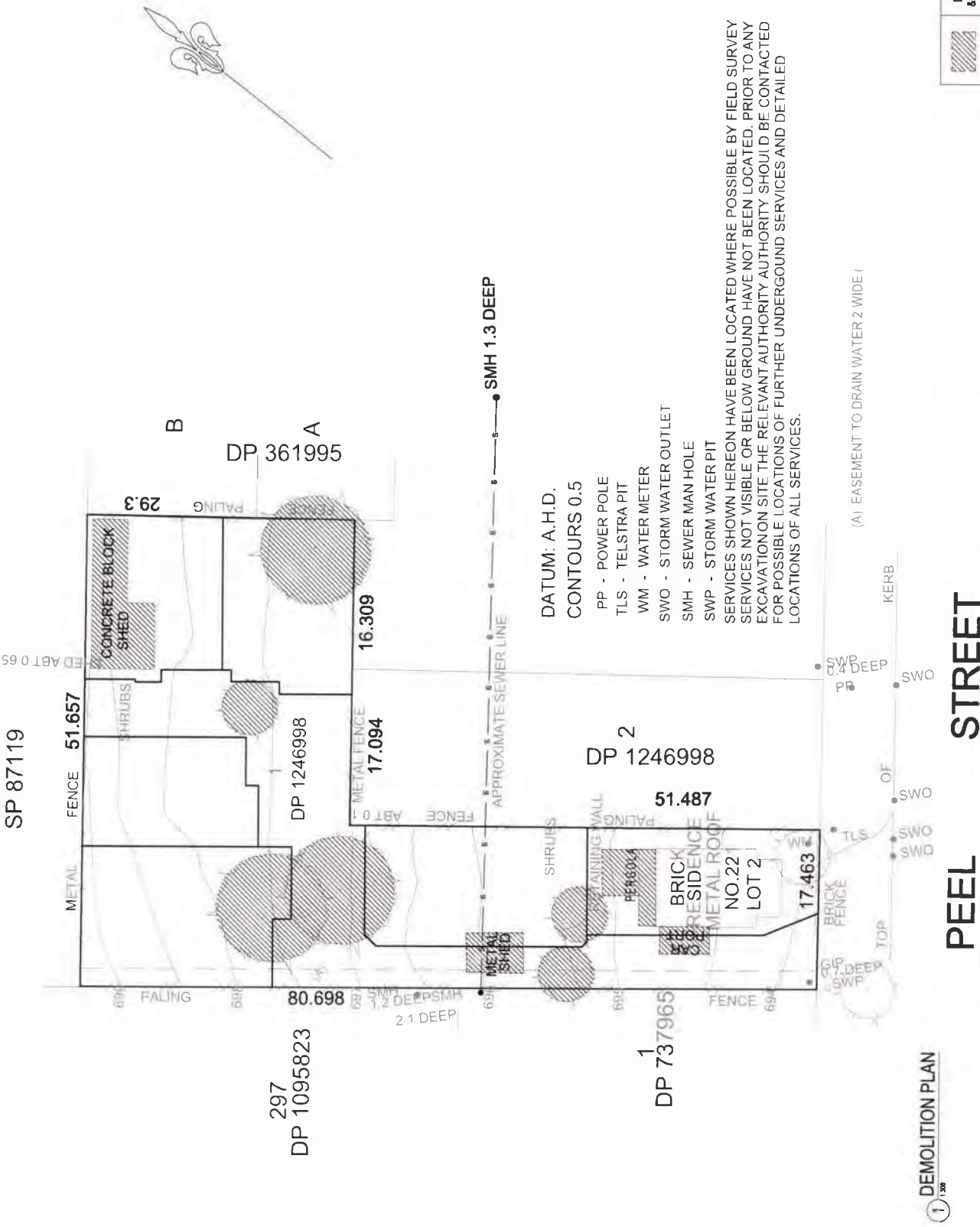
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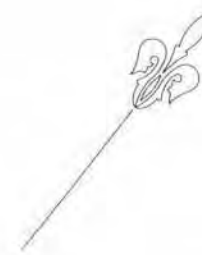


Map Scale: 1:1000 @ 44



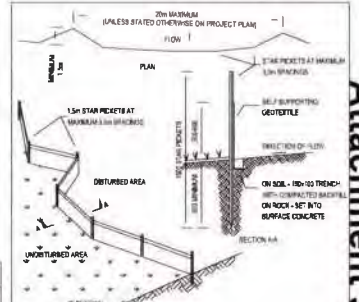







- [illegible]

**NOTE:**  
-ALL LEVELS SHOWN ARE NOMINAL  
-FINAL LEVELS ARE TO BE DETERMINED  
ON-SITE TO BEST SUIT GRADE & FALLS

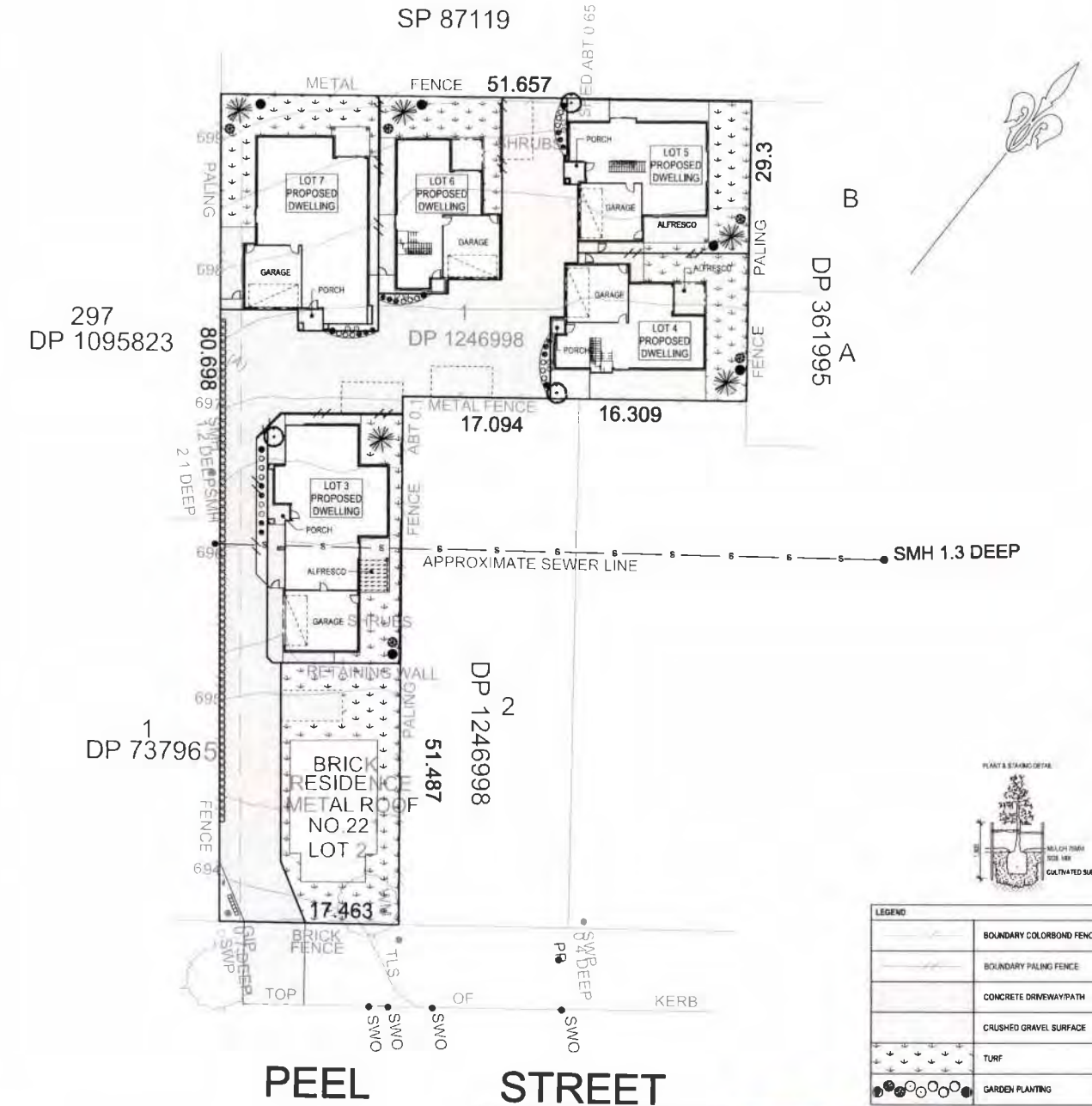


Construction Notes	
1.	Construct foundation fence as close as possible to parallel with the contours of the site.
2.	Drive 1.5m long steel fabric into ground, 3.0m apart.
3.	Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be anchored.
4.	Backfill trench over base of fabric.
5.	For landscaping geotextile to upslope side of posts with wire net as recommended by geotextile manufacturer.
6.	Join sections of fabric at support posts with a 150mm overlap.
<b>SEDIMENT FENCE</b>	<b>SD6-8</b>

Site Area		
Name	Area	Percentage Of Area Used
Built Area - Lot 2	111.03 m <sup>2</sup>	4.60%
Built Area - Lot 3	210.75 m <sup>2</sup>	8.73%
Built Area - Lot 4	127.68 m <sup>2</sup>	5.70%
Built Area - Lot 5	159.72 m <sup>2</sup>	6.82%
Built Area - Lot 6	137.02 m <sup>2</sup>	5.88%
Built Area - Lot 7	212.35 m <sup>2</sup>	8.95%
Site Remediation	711.66 m <sup>2</sup>	29.49%
Driveway + Pads	733.20 m <sup>2</sup>	30.38%
<b>Grand total:</b>	<b>2,415.41 m<sup>2</sup></b>	<b>100.00%</b>

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C	V02	VN-G8	16/10/22								
C	M01	VN-G8	16/10/21								
A	SITING	VN-G8	20/06/21								
Rev	Amendment	Drawn	Date								
				<p>BASIC CERT. NO.</p> <p><b>PRELIMINARY</b></p>		<p><b>SITE PLAN</b></p>					





**SPECIFICATIONS**

**PREPARATION OF GARDEN BEDS**  
ENCLOSURE EXISTING SOIL IS FREE OF UNWANTED MATTER SUCH AS STONES, CLAY LUMPS, WOOD, FEEDS, TREE ROOTS, RUBBISH AND ANY MATERIAL, TOPSOIL TO BE PLANTED. ALL EXISTING GRASSES AND WEEDS TO BE SPRAYED WITH A ROUNDUP OR EQUIVALENT ONE WEEK PRIOR TO SOIL PREPARATION. SOIL IN GARDEN BEDS TO BE CULTIVATED PREFERABLY TO A DEPTH OF 300MM, AND AN IMPORTED COMPOST MIX INCORPORATED WITH EXISTING SOIL, WHERE TOPSOIL IS OF INSUFFICIENT DEPTH. QUALITY SOIL SHOULD BE ACQUIRED WHERE POSSIBLE FROM WITHIN THE SITE AND LEVELS AND DRAINAGE CONSIDERED ACCORDINGLY.

**INSTALLATION OF PLANT MATERIAL**  
ALL PLANTS SHOULD BE TRUE TO NAME, SIZE AND VARIETY AS SPECIFIED IN PLANTING SCHEDULE. PLANTS MUST BE IN A WELL DEVELOPED AND HEALTHY CONDITION, FREE FROM PESTS, DISEASES AND SUPPORTED BY WELL ESTABLISHED ROOT SYSTEMS. TREES PLANTED SHOULD BE SUPPORTED BY 2x TIMBER STAKES AND TIED IN A FOUR POINT HOLE FOR PLANTING SHOULD BE PREPARED TO THE DEPTH OF THE POT AND 2.5x TIMES THE WIDTH OF THE POT. THE PLANT SHOULD BE GENTLY TANKED DOWN AND WELL WATERED AS SOON AS PLANTED. AN APPLICATION OF A SEAWATER SOLUTION SUCH AS SEASOLV IS ADVISED TO ASSIST IN REDUCED TRANSPLANT SHOCK OR SUGGESTED IMPACT PELLETS TO BE MIXED WITH SOIL AT ROOT LEVEL WHILE PLANTING.

**INSTALLATION OF LIME**  
TOPSOIL SHOULD BE ABLE TO HOLD SUFFICIENT MOISTURE AND PROVIDE DRAINAGE TO PREVENT WATERLOGGING AND COMPACTION. ONE WEEK PRIOR TO LAYING TURF SPRAY EXISTING GRASS WEEDS WITH A GLYPHOSATE BASED HERBICIDE SUCH AS ROUNDUP. SPREAD A GOOD SANDY LAMMOL SUPPLEMENTED WITH ORGANIC MATTER OR TURF UNDERLAY AS SUPPLIED BY AML TO A DEPTH OF 100-150MM (DEPTH REQUIRED BY ROOT SYSTEM). INITIAL WINDROU AT THIS POINT IF REQUIRED. START LAYING TURF AGAIN IN A STRAIGHT EDGE IN A BACKWORK PATTERN, ENSURING EDGES ARE BUTTED TOGETHER BUT NOT OVERLAPPING. IT IS BEST TO START IN A POSITION FURTHEST AWAY FROM THE STAGE SO AS NOT TO BE WALKING OVER NEWLY LAYED TURF. AS SOON AS POSSIBLE (A NO LATER THAN 30 MINS) AFTER LAYING SOAK THE TURF DURING THE FIRST WEEK WITH THE TURF SATURATED TO ENSURE GOOD ROOT GROWTH.

**INSTALLATION OF IRRIGATION**  
IF IRRIGATION IS REQUIRED IT IS RECOMMENDED TO INSTALL A Drip Irrigation System Such As A TORO SUBSURFACE Drip Irrigation with Root Guard with INBUILT CRIPPER EMITTERS AT A SPACING OF 100MM AND TO SIT UNDER THE MULCH AS SPECIFIED BELOW.

**MULCHING**  
ALL GARDEN BEDS TO BE MULCHED TO A DEPTH OF 75mm WILL BE FOREST FINE OR EQUIVALENT. MULCH SHOULD NOT BE TOUCHING STEMS AND TRUNKS TO AVOID COLLAR ROT.

SYM	LOCATION	BOTANICAL NAME	COMMON NAME	NO	POT SIZE	DESCRIPTION
1	ALONG DRIVEWAY ALIGNED FACING (EAC)	DIETES GRANICOLORA	WILD VIOLET	75	100MM	HARDY STRAPPY PERENNIAL WHITE PINK-LIKE FLOWERS WITH LAC CENTRES AND YELLOW AND BROWN HIGHLIGHTS ON LONG STEMS ARE BORNE DURING THE WARMER MONTHS. TOLERATES A RANGE OF SOIL TYPES INCLUDING DAMP AND BOOZY CONDITIONS. HARDY IT WILL COPE WITH EXPOSURE TO TEMPERATE AND DRY CONDITIONS
2	PER FRONT GARDEN OF EACH HOUSE	DANIELLA TASMANICA	TIGERFLY PLANT	15	100MM	VERY HARDY PERENNIAL WITH THICK LEAFY FOLIAGE THAT PRODUCES VIOLET FLOWERS FROM SPRING INTO SUMMER WHICH ARE FOLLOWED BY ATTRACTIVE PURPLE BERRIES FROM SUMMER TO AUTUMN. MY FLOWER ATTRACTS BENEFICIAL INSECTS AND MY BERRIES ATTRACT BIRDS. A GREAT CHOICE FOR MASS PLANTING BY LUSH APPEARANCE AND RESISTANCE TO PESTS AND DRY CONDITIONS MAKE ME POPULAR FOR PUBLIC SPACES
3	PER FRONT GARDEN OF EACH HOUSE	TULBAGHA HYBRID STARBURST	SOCIETY GARLIC	10	100MM	VERY TOUGH LOW MAINTENANCE SOLUTION FOR MANY GARDEN SITUATIONS. LONG FLOWERING AND FORMS CLUMPS OF STRAPPY GRASS-LIKE FOLIAGE. WATER WISE FOR WETTER BORDERS, INTERNAL LOW EDGES, ROCKIERIES, GRAVEL GARDENS AND CONTAINERS
4	2 PER FRONT GARDEN OF EACH HOUSE	DANIELLA CAERULEA	CEASE BLUE	15	100MM	A COMPACT VARIETY OF DANIELLA THAT IS GROWN FOR ITS BROWN BLUE FOLIAGE. PRODUCES WARRIES OF PURPLE AND YELLOW FLOWERS FROM SEPTEMBER THROUGH TO NOVEMBER. IDEAL MASS PLANTED OR IN POTS ALONG ALONG PATHS. THRIVES IN A SLIGHTLY TO PARTLY SHADED POSITION
5	1 PER PRIVATE GARDEN OF EACH HOUSE	GREVILLEA SPINARIA (BANKS)	RED KELLY GREVILLEA	5	100MM	THIS HYBRID GREVILLEA IS A FAST GROWING EVERGREEN SHRUB WITH CLUSTERS OF BEAUTIFUL ORANGE-RED FLOWERS ALL YEAR ROUND. THE FLOWERS ATTRACT BIRDS AND OTHER WILDLIFE AND THIS PLANT IS IDEAL FOR A SMALL HEDGE OR BORDERS PLANT
6	1 PER FRONT GARDEN OF EACH HOUSE	GREVILLEA SPINARIA (BANKS)	ROBIN GORDON GREVILLEA	5	100MM	SMALL SPREADING EVERGREEN SHRUB WITH ATTRACTIVELY BRONZE LEAVES AND SPRAYS OF PINKISH-RED FLOWERS THAT TURN ROSE-RED AS THEY AGE
7	1 PER FRONT GARDEN OF EACH HOUSE	GREVILLEA SPINARIA (BANKS)	GREVILLEA BRONZE RAMBLER	5	100MM	DENSE SPREADING GROUND COVER WITH ATTRACTIVE BRONZE NEW GROWTH AND DARK RED TOOTHBRUSH-LIKE FLOWERS FROM SPRING TO AUTUMN
8	1 PER PRIVATE GARDEN OF EACH HOUSE	GREVILLEA CAERULEA	GREVILLEA CAERULEA	5	100MM	A MEDIUM SIZED EVERGREEN SHRUB DISPLAYING A PROFUSION OF ORANGE FLOWERS FROM EARLY SUMMER
SYM	LOCATION	BOTANICAL NAME	COMMON NAME	NO	POT SIZE	DESCRIPTION
9	1 PER PRIVATE GARDEN OF EACH HOUSE	LAGERSTROEMIA ROSEA (L. FAIRIE) SEUL	CREPE MYRTLE SEUL	5	200MM	A SHOWY NARROW GROWING SMALL TREE WITH MASSSES OF INTENSE PINK FLOWERS IN SUMMER. HEAVY AND VERY GOOD FLOWERS ALL YEAR ROUND. DISEASE RESISTANT PLANT SUITABLE FOR A RANGE OF SITUATIONS. GOOD STRONG AUTUMN COLOR OF COPPER-BROWN TO BRIGHT RED
10	1 TO FRONT OF LOT 2, LOT 4, LOT 5	PRUNUS CERASIFERA 'DANVILLE CRIMSON SPIRE'	FLOWERING PLUM DANVILLE CRIMSON SPIRE	5	200MM	AN EXISTING NEW FORM OF PRUNUS CERASIFERA WITH A FAST GROWING TREES WITH RICHLY COLOURED FOLIAGE AND ATTRACTIVE SPRING BLOSSOM. AN EXCELLENT URBAN TREE. ITS HARDY AND ADAPTIVE NATURE MAKES IT AN IDEAL GARDEN SCREENING AND STREET TREE ESPECIALLY WHERE LATERAL SPACE IS RESTRICTED. RICHLY COLOURED FOLIAGE

LEGEND	
	BOUNDARY COLORBOND FENCE
	BOUNDARY PALING FENCE
	CONCRETE DRIVEWAY/PATH
	CRUSHED GRAVEL SURFACE
	TURF
	GARDEN PLANTING

1 LANDSCAPE PLAN

Rev	Amendment	Drawn	Date
1			

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CLIENT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
BUILDER: \_\_\_\_\_  
DATE: \_\_\_\_\_

PROPOSED NEW RESIDENCE FOR  
MCSEWNEY DEVELOPMENTS PTY LTD  
AT LOT 1 DP 1246998  
NO. 221 PEEL STREET,  
BATHURST, NSW 2795

PLAN  
FACADE  
BASIC CERT. NO.  
PRELIMINARY  
TITLE  
LANDSCAPE PLAN

SCALE  
SHEET SIZE  
DATE  
DRAWN  
JOB NO.  
DWG NO.





# PEEL STREET



**Hotondo  
Homes**





C	UD	W&S	16/07/22
B	NO	W&S	16/07/22
A	W&S	W&S	16/07/22
Rev	Amendment	Drawn	Date



**Hotondo Homes**

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**PROPOSED NEW RESURFACING FOR**  
**MCSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 1 DP 1246898  
NO. 221 PEELE STREET,  
BATHURST, NSW 2795

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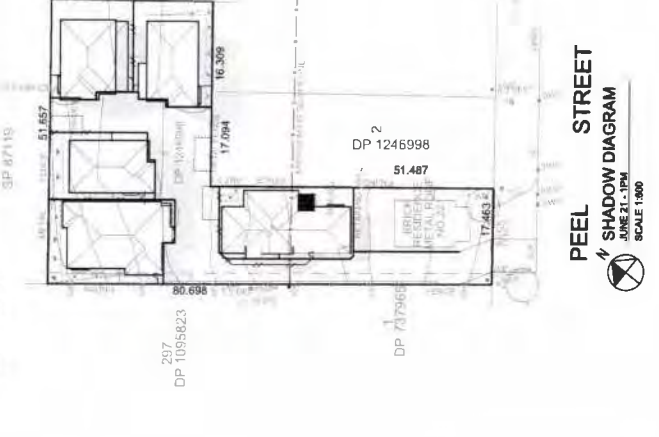
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	1. 1/22 2. 1/22 3. 1/22 4. 1/22 5. 1/22 6. 1/22 7. 1/22 8. 1/22 9. 1/22 10. 1/22 11. 1/22 12. 1/22 13. 1/22 14. 1/22 15. 1/22 16. 1/22 17. 1/22 18. 1/22 19. 1/22 20. 1/22 21. 1/22 22. 1/22 23. 1/22 24. 1/22 25. 1/22 26. 1/22 27. 1/22 28. 1/22 29. 1/22 30. 1/22 31. 1/22 32. 1/22 33. 1/22 34. 1/22 35. 1/22 36. 1/22 37. 1/22 38. 1/22 39. 1/22 40. 1/22 41. 1/22 42. 1/22 43. 1/22 44. 1/22 45. 1/22 46. 1/22 47. 1/22 48. 1/22 49. 1/22 50. 1/22 51. 1/22 52. 1/22 53. 1/22 54. 1/22 55. 1/22 56. 1/22 57. 1/22 58. 1/22 59. 1/22 60. 1/22 61. 1/22 62. 1/22 63. 1/22 64. 1/22 65. 1/22 66. 1/22 67. 1/22 68. 1/22 69. 1/22 70. 1/22 71. 1/22 72. 1/22 73. 1/22 74. 1/22 75. 1/22 76. 1/22 77. 1/22 78. 1/22 79. 1/22 80. 1/22 81. 1/22 82. 1/22 83. 1/22 84. 1/22 85. 1/22 86. 1/22 87. 1/22 88. 1/22 89. 1/22 90. 1/22 91. 1/22 92. 1/22 93. 1/22 94. 1/22 95. 1/22 96. 1/22 97. 1/22 98. 1/22 99. 1/22 100. 1/22 101. 1/22 102. 1/22 103. 1/22 104. 1/22 105. 1/22 106. 1/22 107. 1/22 108. 1/22 109. 1/22 110. 1/22 111. 1/22 112. 1/22 113. 1/22 114. 1/22 115. 1/22 116. 1/22 117. 1/22 118. 1/22 119. 1/22 120. 1/22 121. 1/22 122. 1/22 123. 1/22 124. 1/22 125. 1/22 126. 1/22 127. 1/22 128. 1/22 129. 1/22 130. 1/22 131. 1/22 132. 1/22 133. 1/22 134. 1/22 135. 1/22 136. 1/22 137. 1/22 138. 1/22 139. 1/22 140. 1/22 141. 1/22 142. 1/22 143. 1/22 144. 1/22 145. 1/22 146. 1/22 147. 1/22 148. 1/22 149. 1/22 150. 1/22 151. 1/22 152. 1/22 153. 1/22 154. 1/22 155. 1/22 156. 1/22 157. 1/22 158. 1/22 159. 1/22 160. 1/22 161. 1/22 162. 1/22 163. 1/22 164. 1/22 165. 1/22 166. 1/22 167. 1/22 168. 1/22 169. 1/22 170. 1/22 171. 1/22 172. 1/22 173. 1/22 174. 1/22 175. 1/22 176. 1/22 177. 1/22 178. 1/22 179. 1/22 180. 1/22 181. 1/22 182. 1/22 183. 1/22 184. 1/22 185. 1/22 186. 1/22 187. 1/22 188. 1/22 189. 1/22 190. 1/22 191. 1/22 192. 1/22 193. 1/22 194. 1/22 195. 1/22 196. 1/22 197. 1/22 198. 1/22 199. 1/22 200. 1/22 201. 1/22 202. 1/22 203. 1/22 204. 1/22 205. 1/22 206. 1/22 207. 1/22 208. 1/22 209. 1/22 210. 1/22 211. 1/22 212. 1/22 213. 1/22 214. 1/22 215. 1/22 216. 1/22 217. 1/22 218. 1/22 219. 1/22 220. 1/22 221. 1/22 222. 1/22 223. 1/22 224. 1/22 225. 1/22 226. 1/22 227. 1/22 228. 1/22 229. 1/22 230. 1/22 231. 1/22 232. 1/22 233. 1/22 234. 1/22 235. 1/22 236. 1/22 237. 1/22 238. 1/22 239. 1/22 240. 1/22 241. 1/22 242. 1/22 243. 1/22 244. 1/22 245. 1/22 246. 1/22 247. 1/22 248. 1/22 249. 1/22 250. 1/22 251. 1/22 252. 1/22 253. 1/22 254. 1/22 255. 1/22 256. 1/22 257. 1/22 258. 1/22 259. 1/22 260. 1/22 261. 1/22 262. 1/22 263. 1/22 264. 1/22 265. 1/22 266. 1/22 267. 1/22 268. 1/22 269. 1/22 270. 1/22 271. 1/22						





PLANT SCHEDULE					
ID	Qty	Botanical Name	Common Name	Pot Size	Height x Width
Trees					
Acc O	5	Acer palmatum 'Osakazuki'	Japanese Maple	75 Litre	4m x 4m
Lal N	5	Lagerstroemia indica 'Isuriei Natchez'	Crape Myrtle	75 Litre	8m x 5m
Prc OCS	5	Prunus cerasifera 'Oakville Crimson Spire'	Oakville Crimson Spire Flowering Plum	75 Litre	6m x 2m
Shrubs					
Acc MC	16	Acacia cognata 'Mini Cog'	River Wattle	200mm	0.75m x 1.2m
Aja P	26	Ajuga australis 'prostrate'	Aussie Bugle	140mm	0.3m x 0.5m
Ceb	44	Carex buchananii	Leather Leaf Sedge	140mm	0.6m x 0.6m
Dir	14	Dichondra repens	Kidney Weed	100mm	0.1m x 0.5m
Grr SP	8	Grevillea rosmarinifolia 'Scarlet Sprite'	Native Rosemary	200mm	1m x 1m
Loc LW	42	Lomandra longifolia 'Lime Wave'	Lomandra	140mm	0.7m x 0.7m
Rao OP	17	Rachiolepis indica 'Oriental Pearl'	Oriental Pearl Indian Hawthorn	200mm	1m x 1m



PROPOSED RESIDENCE FOR:  
**McSWEENEY DEVELOPMENTS PTY LTD**  
 LOT 3 DP 1246998  
 NO. 221 PEEL STREET  
 BATHURST, NSW 2795



Drawing List			
Sheet No.	Sheet Name		
00	COVER SHEET		
01	FLOOR PLAN		
02	ELEVATIONS		
03	PERSPECTIVES		
04-1	SECTION		
04-2	DETAILS		
05-1	SLAB LAYOUT		
05-2	REDACTED PLAN		
06	BRICKWORK SETOUT		
07	KITCHEN DETAILS		
08-1	WET AREA DETAILS		
08-2	WET AREA DETAILS		
09	FITOUT DETAILS		

C	VO1	16/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG
Rev	Amendment	Drawn	Date



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CLIENT \_\_\_\_\_  
 DATE \_\_\_\_\_  
 BUILDER \_\_\_\_\_  
 DATE \_\_\_\_\_

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
 AT LOT 3 DP 1246998  
 NO. 221 PEEL STREET  
 BATHURST, NSW 2795

PLAN		SCALE	
MODIFIED LANSDOWNE 204		SHEET SIZE	A3
FACADE	BASIX CERT. No.	DATE	16/03/22
PHOENIX	PRELIMINARY	DRAWN	VN-JP
TITLE	COVER SHEET	JOB No.	000235
		DWG No.	00

## SPECIFICATIONS

### GENERAL

- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS

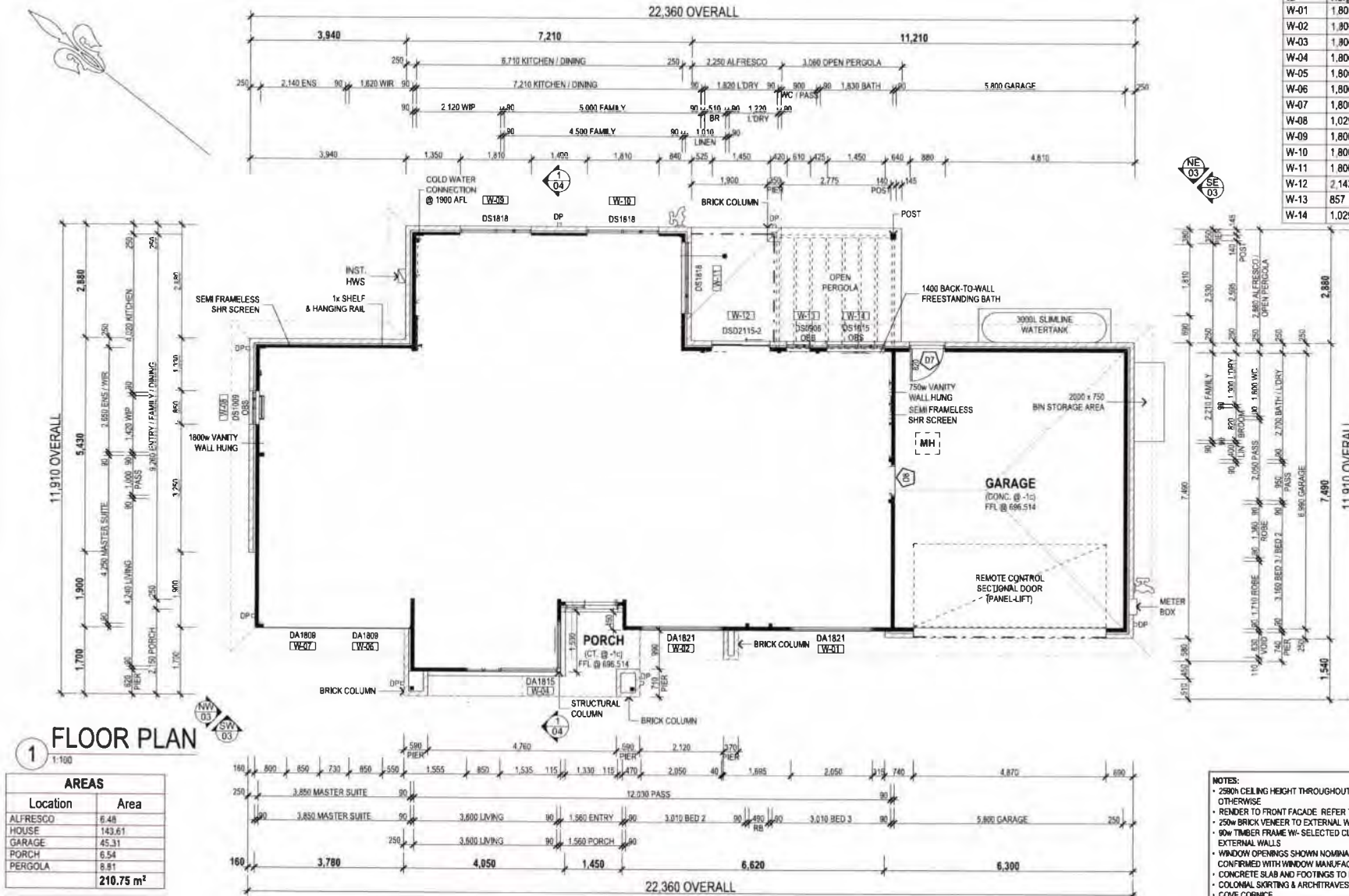
### STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

### NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF NCC
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.1.4 OF NCC
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF NCC
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF NCC OR AS1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1884
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF NCC
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF NCC & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.3 OF NCC
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- LINTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MASONRY VENEER SHALL COMPLY WITH PART 3.3.5 OF NCC
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF NCC
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.9.1 OF NCC
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.9.2 OF NCC
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500 & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786 & PART 3.7.5 OF NCC
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF WALLS & FLOORS
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3 OF NCC
- CONDENSATION MANAGEMENT TO COMPLY WITH PART 3.8.7 OF NCC
- FIRE HAZARD PROPERTIES TO COMPLY WITH PART 3.7.1.2 OF NCC
- WALL CLADDING TO COMPLY WITH PART 3.5.4 OF NCC





Window List				
ID	Height	Width	Description	Area
W-01	1,800	2,050	AWNING WINDOW	3.69
W-02	1,800	2,050	AWNING WINDOW	3.69
W-03	1,800	1,210	AWNING WINDOW	2.18
W-04	1,800	1,450	AWNING WINDOW	2.61
W-05	1,800	850	AWNING WINDOW	1.53
W-06	1,800	850	AWNING WINDOW	1.53
W-07	1,800	850	AWNING WINDOW	1.53
W-08	1,029	850	SLIDING WINDOW	0.87
W-09	1,800	1,810	SLIDING WINDOW	3.26
W-10	1,800	1,810	SLIDING WINDOW	3.26
W-11	1,800	1,810	SLIDING WINDOW	3.26
W-12	2,143	1,450	SLIDING DOOR	3.11
W-13	857	610	SLIDING WINDOW	0.52
W-14	1,029	1,450	SLIDING WINDOW	1.49

ROOM SCHEDULE	
Location	Area (m <sup>2</sup> )
ENS	5.67
WIR	4.29
MASTER SUITE	16.36
LIVING	15.26
BED 2	9.51
BATH	4.94
WC	1.44
L DRY	4.07
WIP	3.01
PASS	12.75
DINING	11.65
KITCHEN	10.49
FAMILY	13.13
BED 3	9.51
ENTRY	4.12
<b>TOTAL</b>	<b>126.20 m<sup>2</sup></b>

LEGEND	
OPT	CARPET
CT	CERAMIC TILES
DP	DOWNPipe
DPS	DOWNPipe & SPREADER
DR	DRYER
DW	DESHWASHER RECESS
FT	TIMBER FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HWD	HARDWOOD DECKING
MW	MICROWAVE OVEN RECESS
DBS	DISCOURSE GLASS
OH	OVERHEAD CLIPBORDS
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
RH	RANGEHOOD (DUCTED)
SD	SETDOWN
S/O RH	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WC	TOILET
CEILING FAN	CEILING FAN
CEILING FAN LIGHT COMBO	CEILING FAN

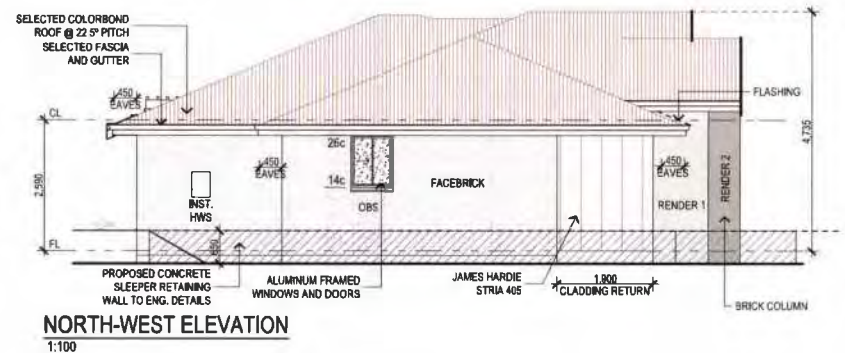
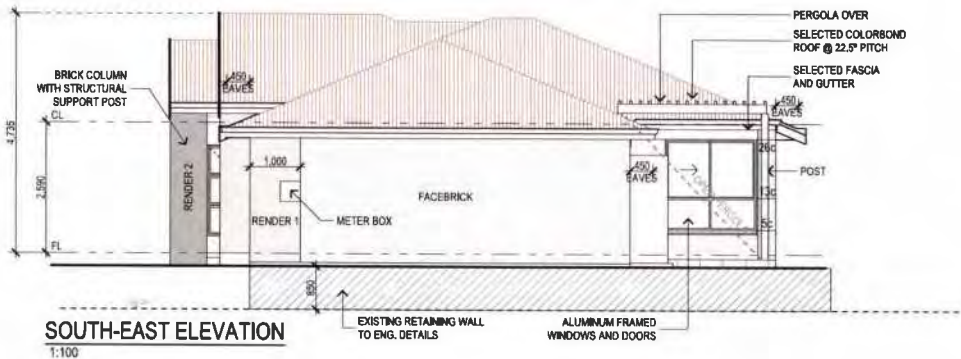
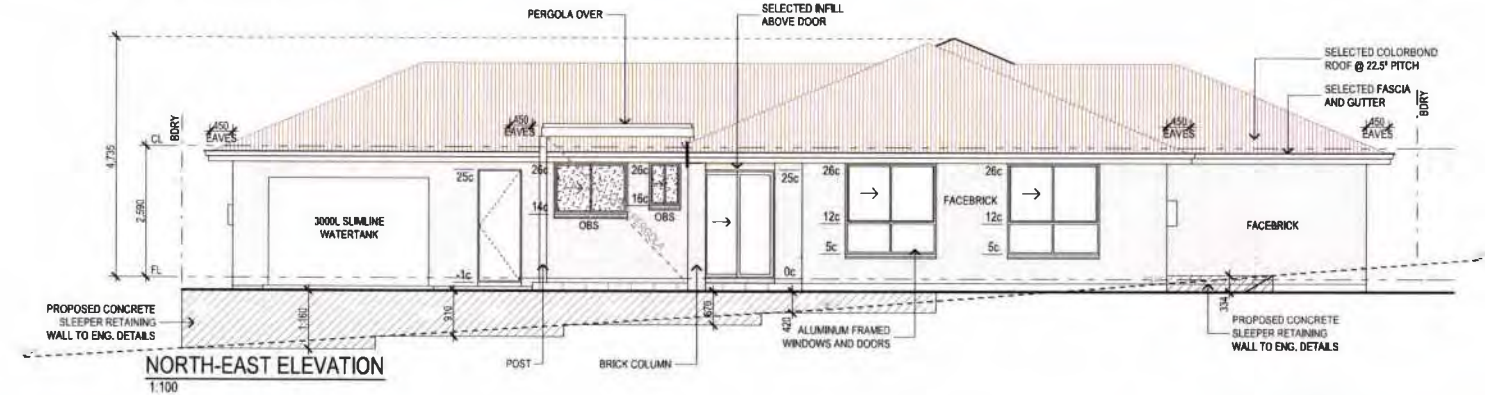
**NOTES:**

- 2500 CEILING HEIGHT THROUGHOUT UNLESS NOTED OTHERWISE
- RENDER TO FRONT FACADE REFER TO ELEVATIONS
- 2500 BRICK VENEER TO EXTERNAL WALLS
- 9000 TIMBER FRAME W/ SELECTED CLADDING TO EXTERNAL WALLS
- WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
- CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
- COLONIAL SKIRTING & ARCHITRAVES
- COVE CORNICE

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.

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C	VO1	16/03/22	VN-JP					SHEET SIZE	A3
B	WORKING DRAWINGS	25/11/21	VN-JP					DATE	16/03/22
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG					DRAWN	VN-JP
Rev	Amendment	Drawn	Date					JOB No.	DWG No.
								000235	01





C	V01	16/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG
Rev	Amendment	Drawn	Date



CLIENT .....

DATE .....

BUILDER .....

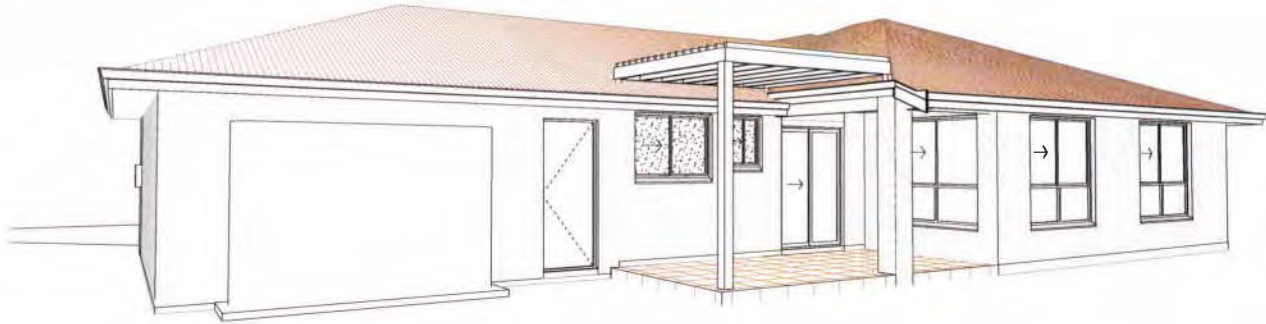
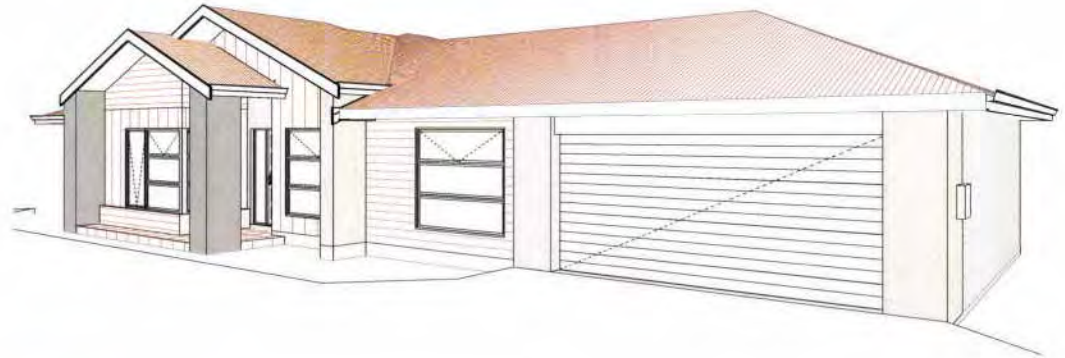
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 3 DP 1246998  
**NO. 221 PEEL STREET  
BATHURST, NSW 2795**

PLAN	MODIFIED LANSLOWNE 204	SCALE	1:100
FACADE	PHOENIX	SHEET SIZE	A3
TITLE	ELEVATIONS	DATE	16/03/22
		DRAWN	VN-JP
		JOB No.	000235
		DWG No.	02





C	V01	16/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG
Rev	Amendment	Drawn	Date

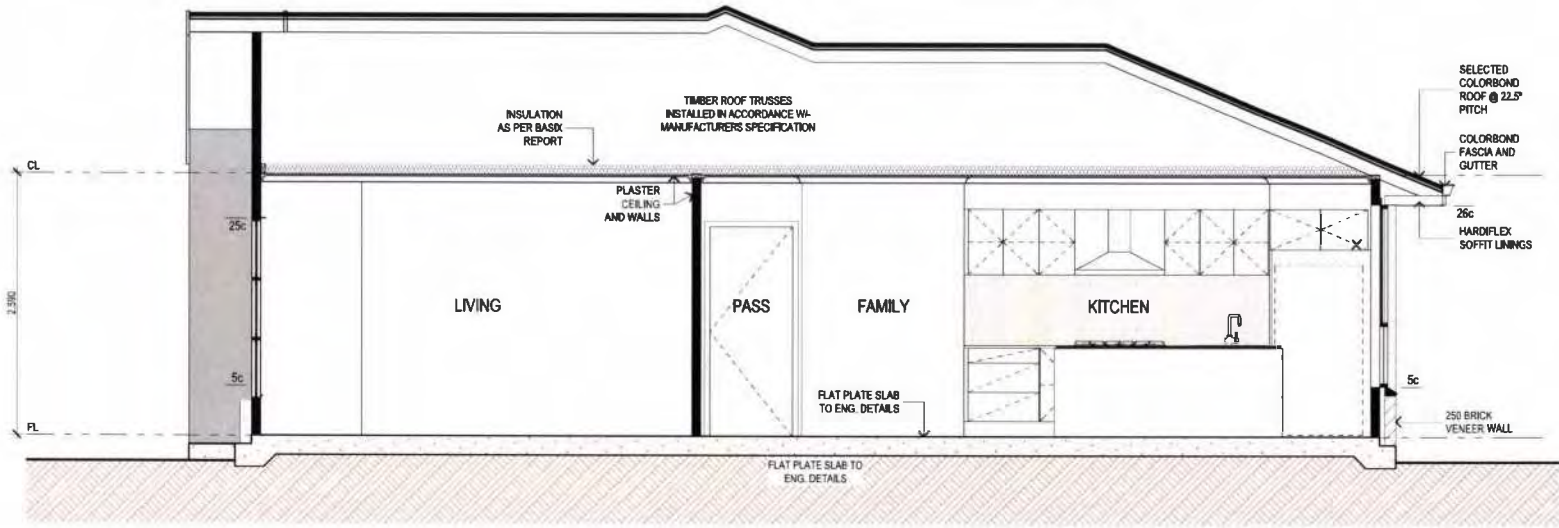
  
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CLIENT .....
DATE .....
BUILDER .....
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
AT LOT 3 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED LANSDOWNE 204	SCALE	
FACADE	PHOENIX	SHEET SIZE	A3
TITLE	PERSPECTIVES	DATE	16/03/22
		DRAWN	VN-JP
		JOB No.	000235
		DWG No.	03





SECTION 1  
1: 50

- COLONIAL SKIRTING & ARCHITRAVES
- COVE CORNICE

- BASIX NOTES:**
- EXTERNAL WALL - BRICK VENEER :  
SARKING + R2.28 INSULATION (MIN)
  - EXTERNAL WALL - FRAMED :  
SARKING + R2.40 INSULATION (MIN)
  - INTERNAL WALL - SHARED WITH GARAGE R1.14  
INSULATION (MIN)
  - CEILING : R4.0 INSULATION (MIN)
  - ROOF : REFLECTIVE FOIL, SARKING/UNVENTILATED
  - ROOF COLOR : MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

ENERGY SCHEDULE	
No. of Bedrooms	3
Site Area (Total)	318 m²
Roof Area (Total)	285 m²
Net Conditioned Floor Area	134.56 m²
Net Unconditioned Floor Area	9.01 m²
Landscaped Area	50 m²
Indigenous Planting required	N/A
Shower Head Rating	3 star minimum
Toilets Rating	5 star minimum
Tap Fitting Kitchen	5 star minimum
Tap Fitting Bathroom	6 star minimum
Water Tank	3000L
Tank Water Usage	Toilets and cold water tap
Hot Water Unit	Gas instantaneous
Thermal Comfort	Pass
Air Conditioning	1 - phase airconditioning
Mechanical Ventilation (Fans)	Yes
Ventilation Bathroom	Individual fan, ducted
Ventilation Kitchen	Individual fan, ducted
Ventilation Laundry	Natural Ventilation
Cooktop	Gas cooktop
Oven	Electric oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

C	V01	16/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG
Rev	Amendment	Drawn	Date

**Hotondo Homes**

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DATE .....

BUILDER .....

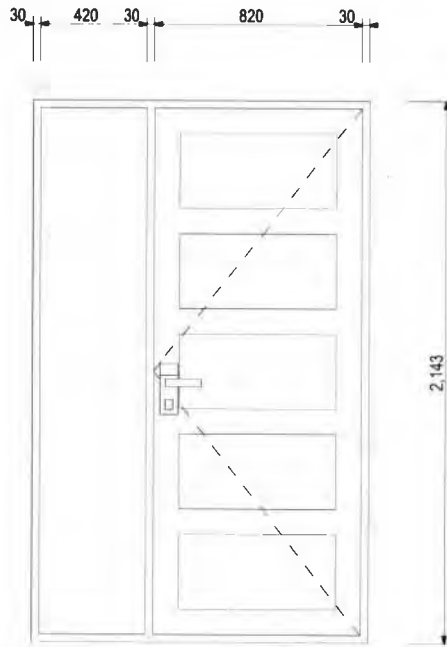
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 3 DP 1246998  
**NO. 221 PEEL STREET  
BATHURST, NSW 2795**

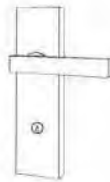
PLAN	MODIFIED LANSDOWNE 204	SCALE	
FACADE	PHOENIX	SHEET SIZE	A3
TITLE	SECTION	DATE	16/03/22
		DRAWN	VN-JP
		JOB No.	000235
		DWG No.	04-1





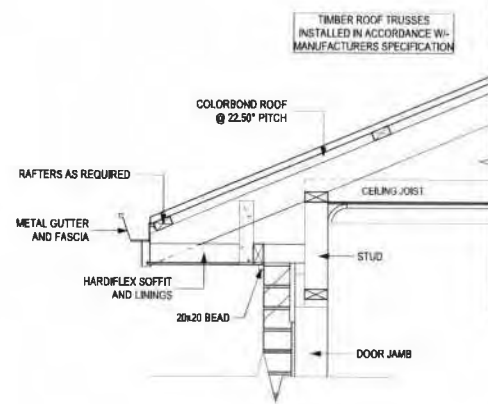
CORINTHIAN BLONDE OAK AWO 5G  
W/ TRANSLUCENT GLASS, CLEAR STAINED

**ENTRY DOOR DETAIL**  
1: 20

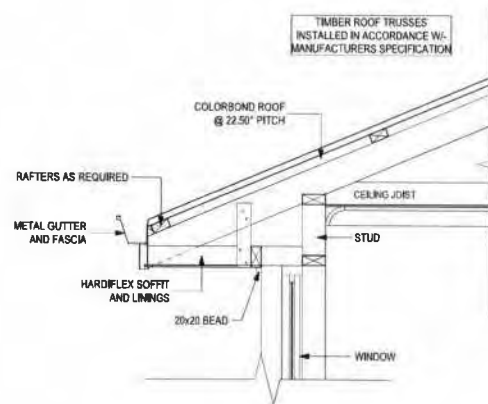


NEXION VISION  
WITH ELEMENT HANDLE

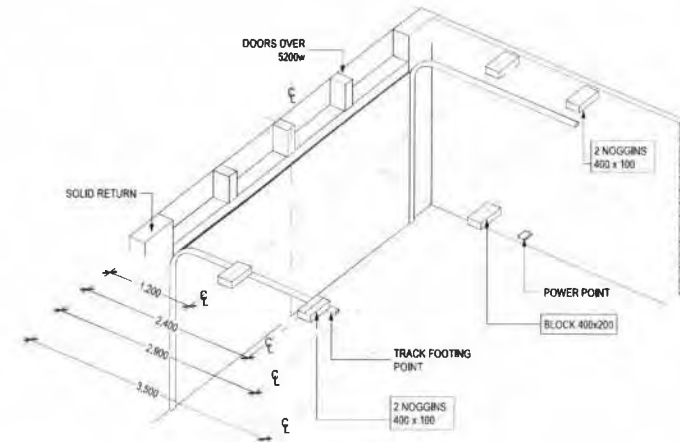
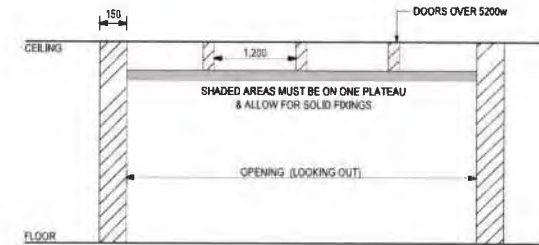
**SELECTED DOOR HANDLE**



**EAVES TO DOOR DETAIL**  
1: 20



**EAVES TO WINDOW DETAIL**  
1: 20



**TYPICAL GARAGE DOOR DETAILS**  
NTS

Door Schedule			
ID	Height		
D1	2,143		
D2	2,070		
D3	2,060		
D4	2,065		
D5	2,065		
D6	2,065		
D7	2,229		
D8	2,060		
D8	2,065		
D9	2,070		
D10	2,070		

Rev	Amendment	Drawn	Date
C	VO1		16/03/22 VN-JP
B	WORKING DRAWINGS		25/11/21 VN-JP
A	PRELIMINARY DRAWINGS		18/10/21 VN-AG

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CLIENT .....
DATE .....
BUILDER .....
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 3 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

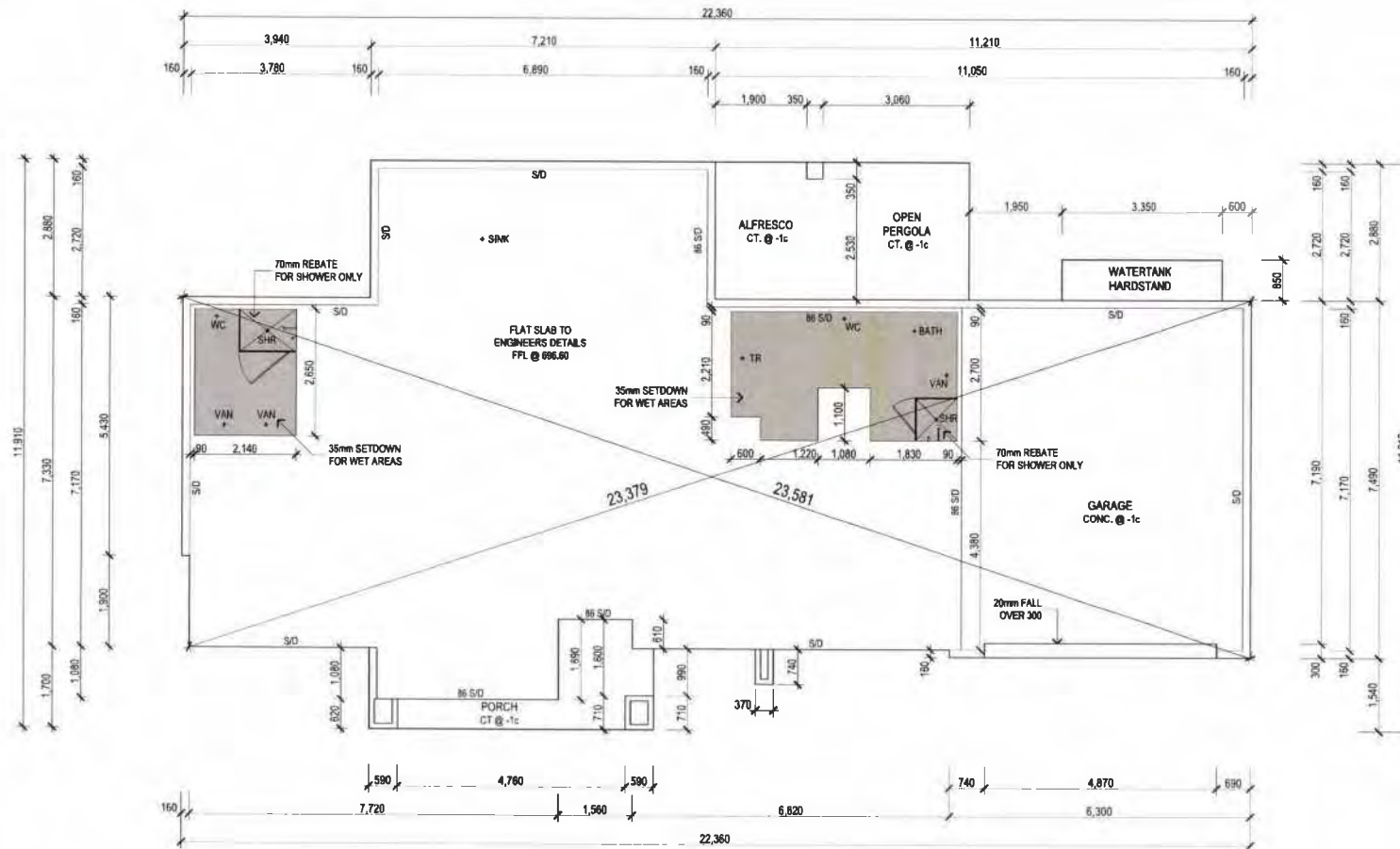
PLAN	MODIFIED LANSLOWNE 204	SCALE	
FACADE	BASIX CERT. No.	SHEET SIZE	A3
TITLE	PHOENIX PRELIMINARY	DATE	16/03/22
	DETAILS	DRAWN	VN-JP
		JOB No.	DWG No.
		000235	04-2



## NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICK WORK UNLESS NOTED OTHERWISE.
3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEER'S DETAIL FOR THIS ALLOTMENT.
4. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3680.1 1995 AND NCC 3.1.3.

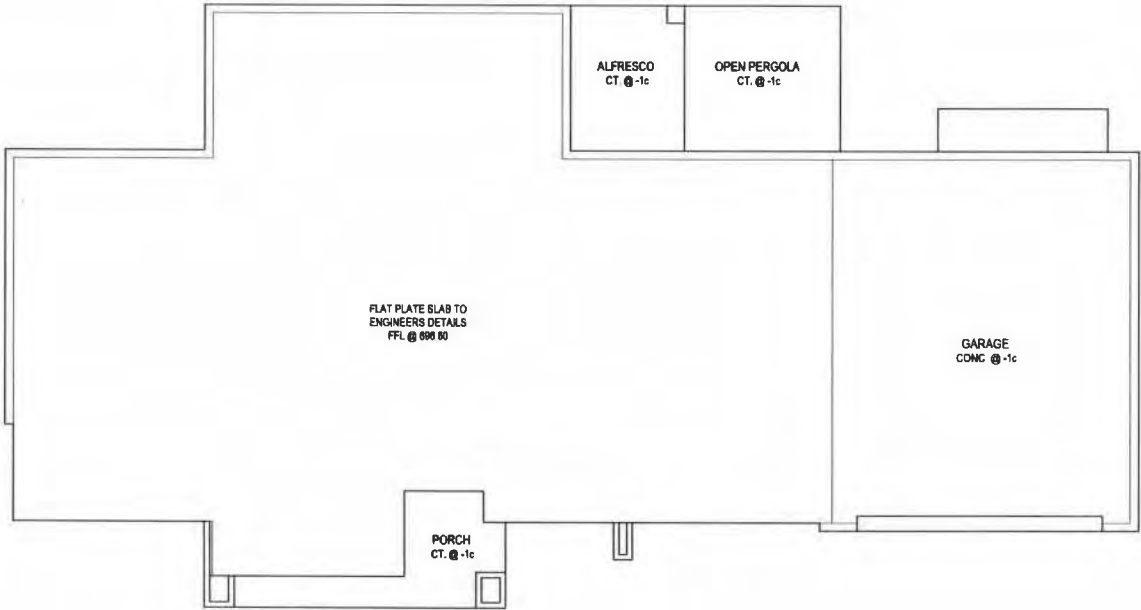
PLUMBER AND CONCRETER TO CONFIRM  
ALL PC ITEMS FOR SLAB PENETRATION  
OFFSETS AND DIMENSIONS



## 1 SLAB LAYOUT

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C	VO1	16/03/22	VN-JP		DATE .....			FACADE	BASIC CERT. No.	SHEET SIZE	A3
B	WORKING DRAWINGS	25/11/21	VN-JP		BUILDER .....			PHOENIX	PRELIMINARY	DATE	16/03/22
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG		DATE .....			TITLE		DRAWN	VN-JP
Rev	Amendment	Drawn	Date						SLAB LAYOUT	JOB No. 000235	DWG No. 05-1

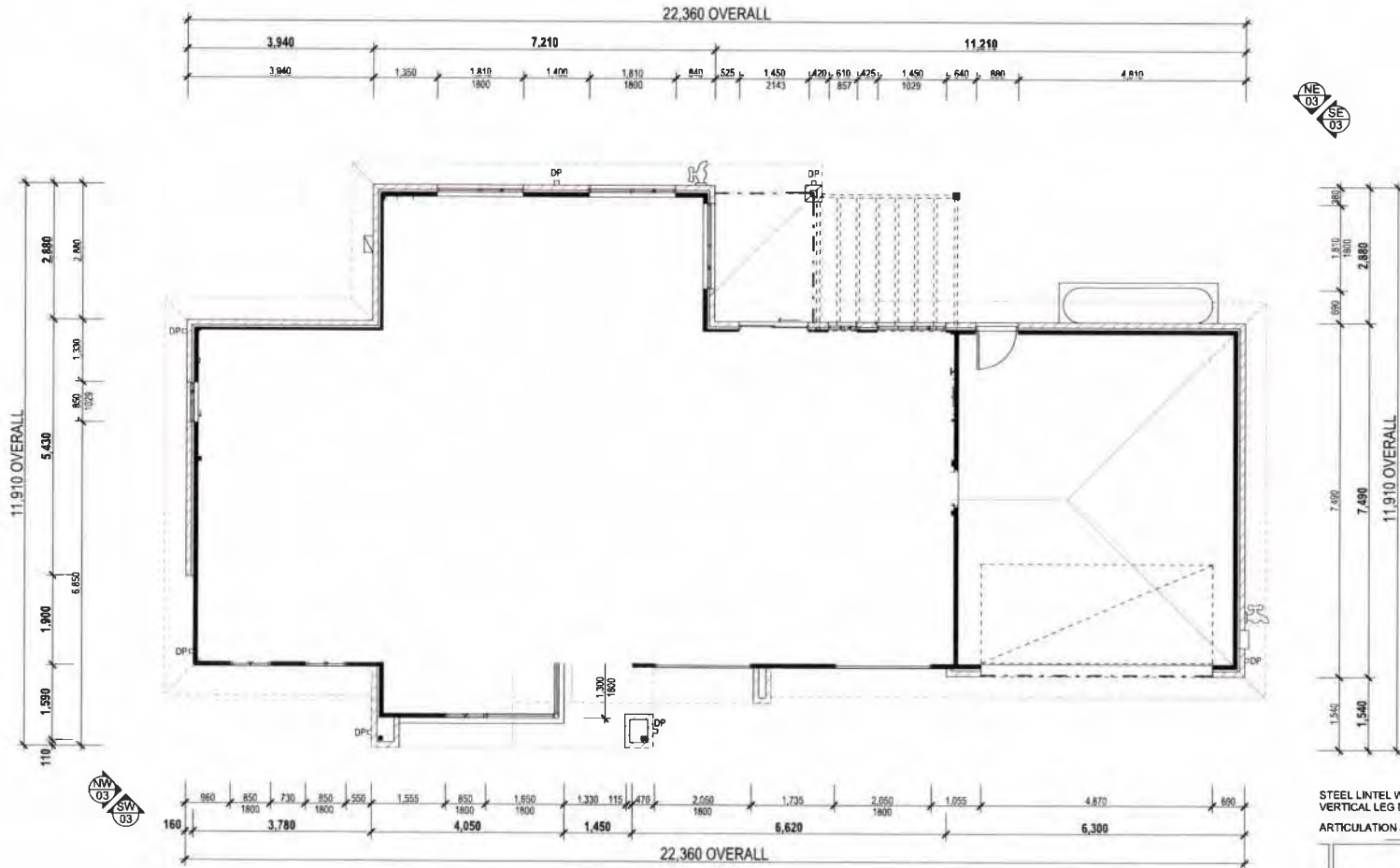




1 REDACTED PLAN  
1:100

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C	VO1	16/03/22	VN-JP							MODIFIED LANSDOWNE 204		SHEET SIZE	A3
B	WORKING DRAWINGS	25/11/21	VN-JP							FACADE	BASIX CERT. No.	DATE	16/03/22
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG							PHOENIX	PRELIMINARY	DRAWN	VN-JP
Rev	Amendment	Drawn	Date							TITLE		JOB No.	DWG No.
										REDACTED PLAN		000235	05-2





### LEGEND

○ BRICKWORK ARTICULATION

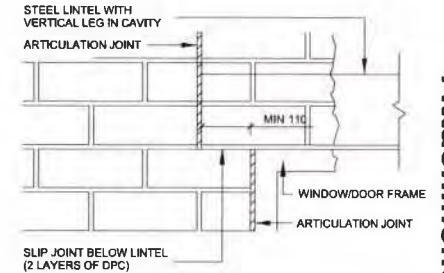
### BRICKWORK ARTICULATION JOINTS

1. In straight, continuous walls having no openings, at no more than 7.0m.
2. Where the height of the wall changes by more 20%, at the position of change in height, and
3. Where openings more than 900x900mm occur, at not more than 5m centre and positioned in line with one edge of the opening; and
4. Where walls change thickness; and
5. At control or construction joints in footing slab; and
6. At junctions of walls constructed of different masonry materials; and
7. At a distance from all corners between 2m-4.5m.

1

### BRICKWORK VERTICAL ARTICULATION JOINTS SCHEDULE

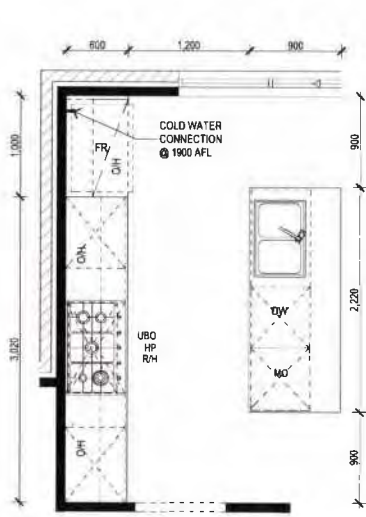
1:100



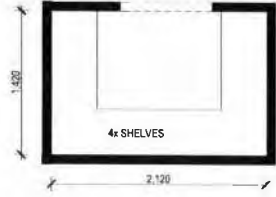
### BRICKWORK ARTICULATION OVER WINDOW OR DOOR

<div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></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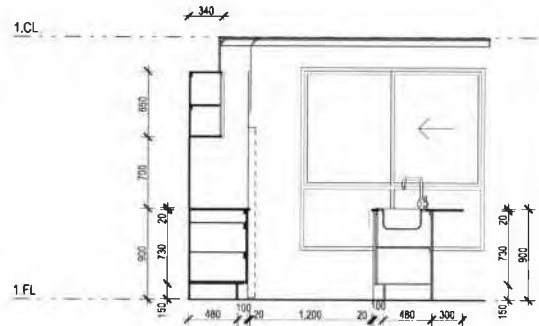




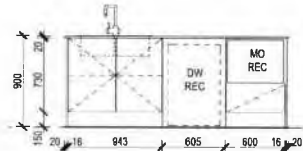
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4 **K** 2  
3  
FLOOR PLAN  
KITCHEN



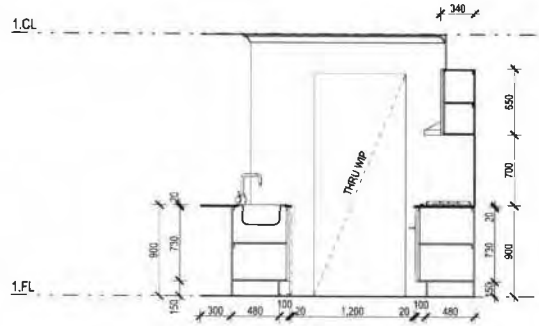
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4 **WIP** 2  
3  
FLOOR PLAN  
WIP



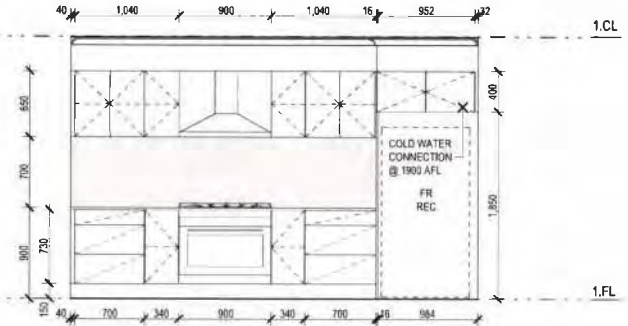
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KITCHEN



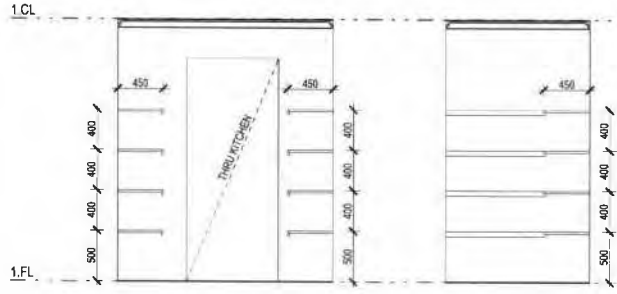
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KITCHEN



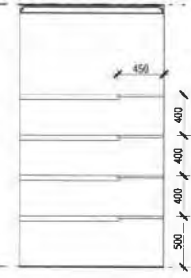
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KITCHEN



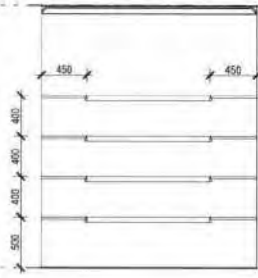
ELEVATION 4  
KITCHEN



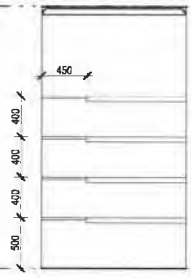
ELEVATION 1  
WIP



ELEVATION 2  
WIP



ELEVATION 3  
WIP



ELEVATION 4  
WIP

NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER WALL FINISHES

Rev	Amendment	Drawn	Date
C	VO1	16/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	16/10/21	VN-AG

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CLIENT \_\_\_\_\_

DATE \_\_\_\_\_

BUILDER \_\_\_\_\_

DATE \_\_\_\_\_

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

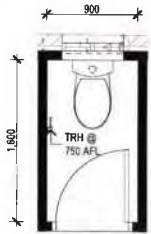
AT LOT 3 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN		SCALE	1:50
MODIFIED LANSDOWNE 204		SHEET SIZE	A3
FACADE	BASIX CERT. No.	DATE	16/03/22
	PHOENIX PRELIMINARY	DRAWN	VN-JP
TITLE		JOB No.	000235
KITCHEN DETAILS		DWG No.	07

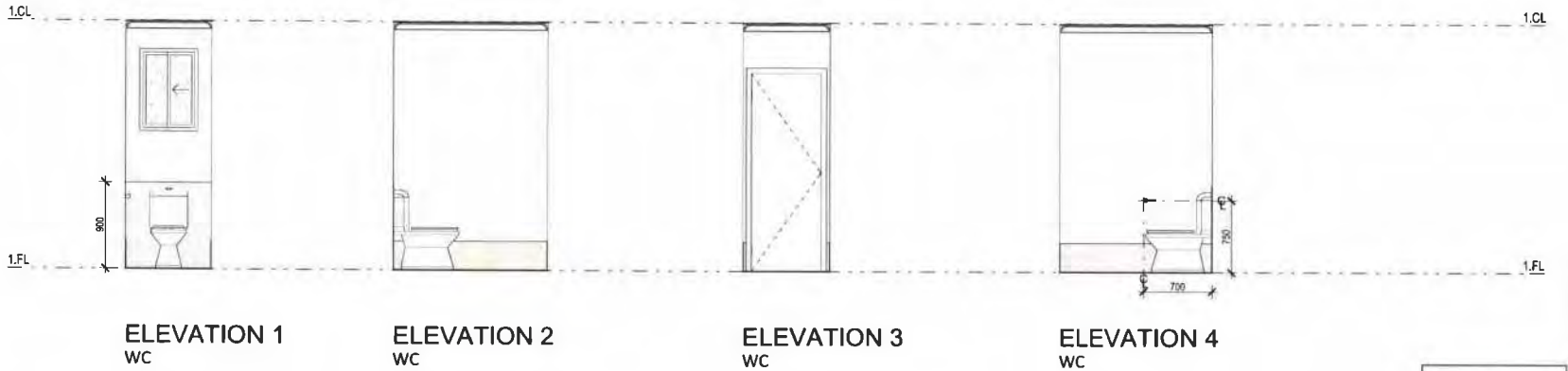




1  
4 L 2  
3  
FLOOR PLAN  
LAUNDRY




1  
4 W 2  
3  
FLOOR PLAN  
WC



NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2  
AND/OR ASS4740:2010 WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL

				PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD		PLAN MODIFIED LANSLOWNE 204	SCALE 1:50
				AT LOT 3 DP 1246998 NO. 221 PEEL STREET BATHURST, NSW 2795		FACADE PHOENIX	SHEET SIZE A3
						BASIC CERT. No. PRELIMINARY	DATE 16/03/22
						TITLE WET AREA DETAILS	DRAWN VN-JP
							JOB No. 000235
							DWG No. 08-1

  
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FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE  
OR IN PART WITHOUT WRITTEN CONSENT  
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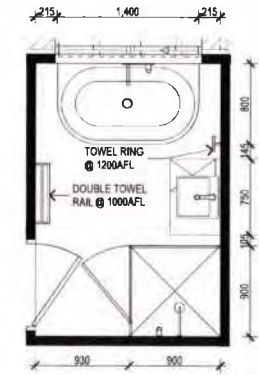
CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD  
AT LOT 3 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

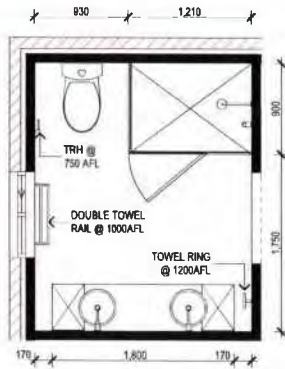
PLAN  
MODIFIED LANSLOWNE 204  
FACADE  
PHOENIX  
BASIC CERT. No.  
PRELIMINARY  
TITLE  
WET AREA DETAILS

SCALE  
1:50  
SHEET SIZE  
A3  
DATE  
16/03/22  
DRAWN  
VN-JP  
JOB No.  
000235  
DWG No.  
08-1

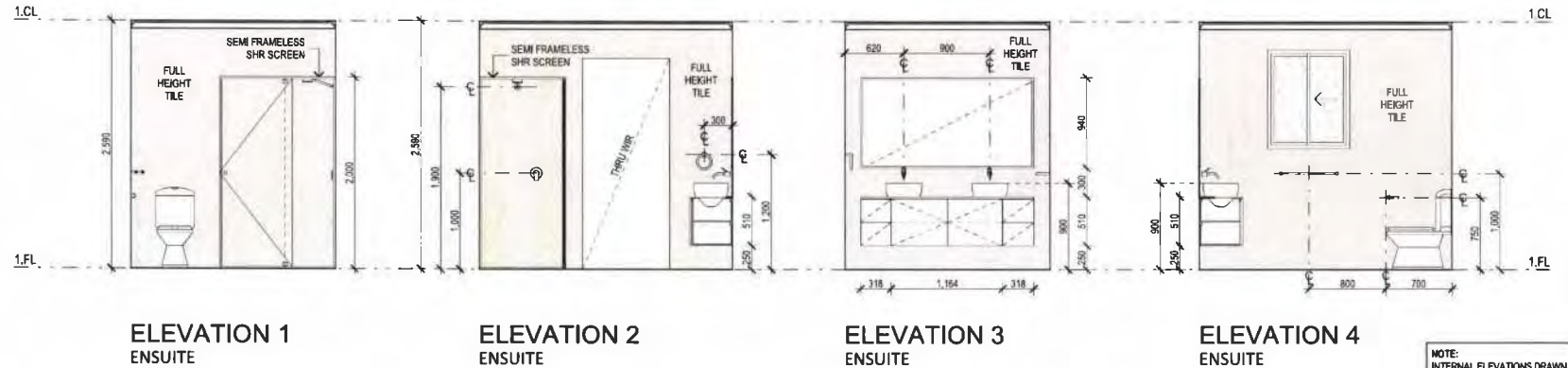
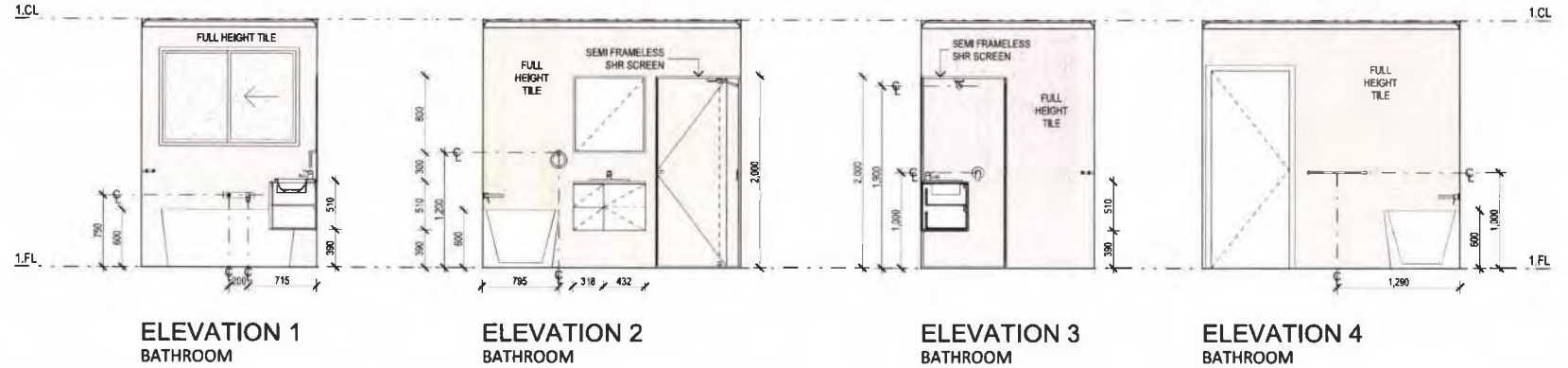




**FLOOR PLAN  
BATHROOM**



**FLOOR PLAN  
ENSUITE**



NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2.  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL.

C	VO1	16/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	18/10/21	VN-AG
Rev	Amendment	Drawn	Date

**Hotondo  
Homes**

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CLIENT .....

DATE .....

BUILDER .....

DATE .....

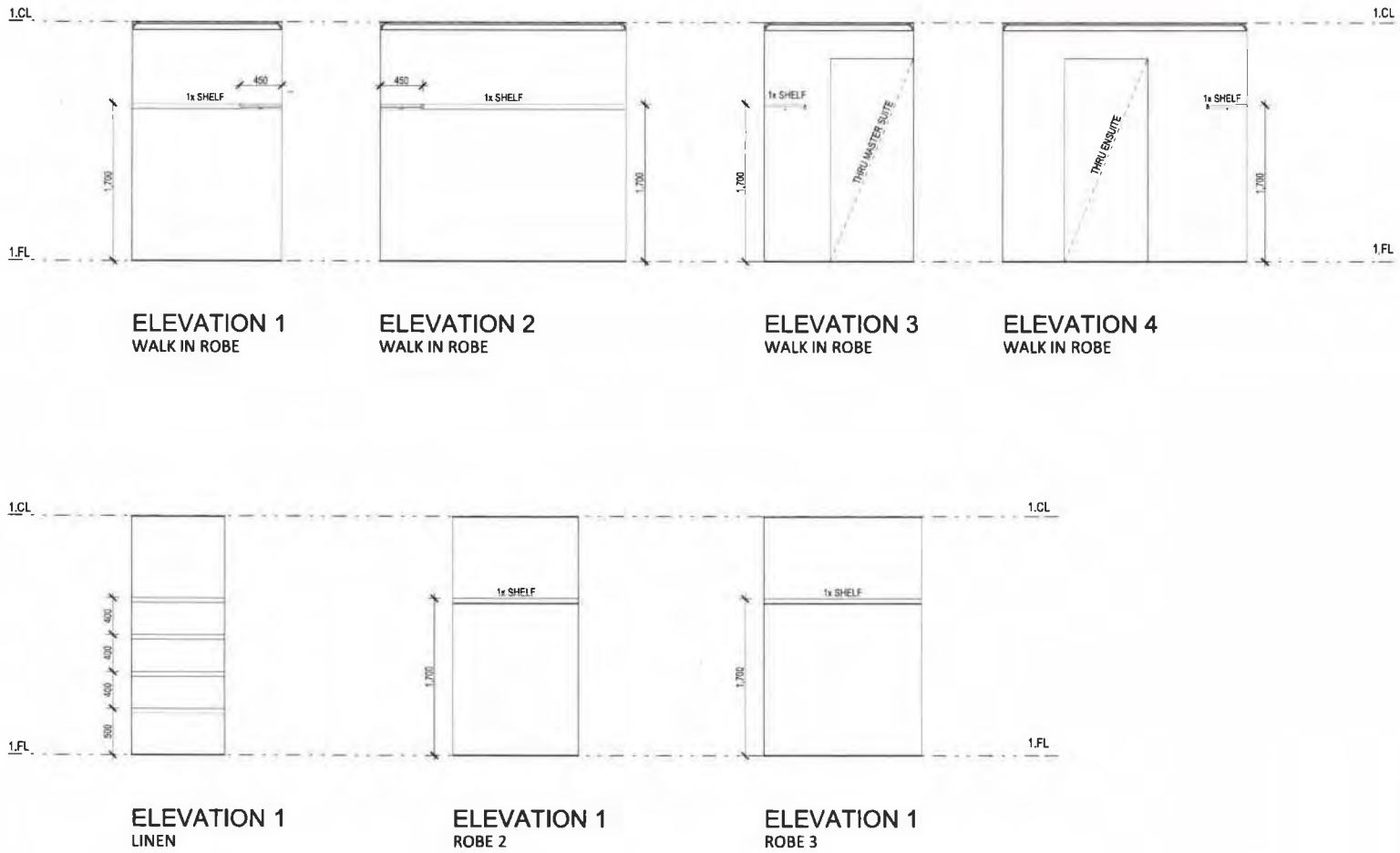
PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 3 DP 1246998  
**NO. 221 PEEL STREET  
BATHURST, NSW 2795**

PLAN	MODIFIED LANSDOWNE 204		SCALE	1:50
FACADE	PHOENIX	BASIX CERT. No.	SHEET SIZE	A3
TITLE	WET AREA DETAILS		DATE	16/03/22
			DRAWN	VN-JP
			JOB No.	000235
			DWG No.	08-2



NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES



Rev	Amendment	Drawn	Date
C	VO1	15/03/22	VN-JP
B	WORKING DRAWINGS	25/11/21	VN-JP
A	PRELIMINARY DRAWINGS	18/10/21	VN-JP

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CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
AT LOT 3 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED LANSLOWNE 204
FACADE	PHOENIX
TITLE	FITOUT DETAILS

SCALE	1:50
SHEET SIZE	A3
DATE	16/03/22
DRAWN	VN-JP
JOB No.	000235
DWG No.	09



PROPOSED RESIDENCE FOR:  
**McSWEENEY DEVELOPMENTS PTY LTD**  
 LOT 4 DP 1246998  
 NO. 221 PEEL STREET  
 BATHURST, NSW 2795



## SPECIFICATIONS

### GENERAL

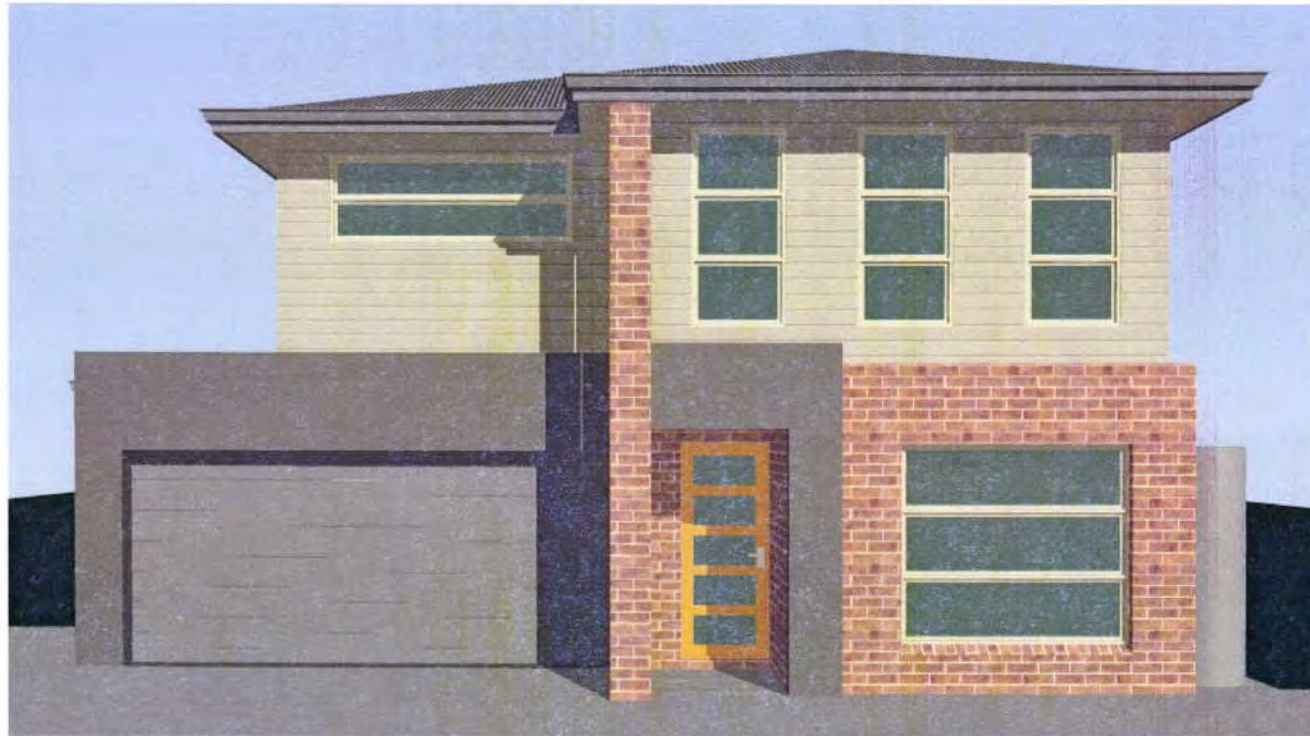
- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS

### STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

### NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF NCC
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.1.4 OF NCC
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.1.1 OF NCC
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF NCC OR AS1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF NCC
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF NCC & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.3 OF NCC
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- INTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MASONRY VENEER SHALL COMPLY WITH PART 3.5.5 OF NCC
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF NCC
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.9.1 OF NCC
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.9.2 OF NCC
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500 & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786 & PART 3.7.5 OF NCC
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF WALLS, & FLOORS
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF NCC
- CONDENSATION MANAGEMENT TO COMPLY WITH PART 3.8.7 OF NCC
- FIRE HAZARD PROPERTIES TO COMPLY WITH PART 3.7.1.2 OF NCC
- WALL CLADDING TO COMPLY WITH PART 3.5.4 OF NCC



Drawing List	
Sheet No.	Sheet Name
00	COVER SHEET
01-1	GROUND FLOOR PLAN
01-2	FIRST FLOOR PLAN
01-3	ROOF PLAN
02	ELEVATIONS
03	PERSPECTIVES
04-1	SECTION 1
04-2	SECTION 2
04-3	DETAILS
05	STAIRS LAYOUT
06-1	SLAB LAYOUT
06-2	REDACTED PLAN
06-3	BRICKWORK SETOUT
07	KITCHEN DETAILS
08-1	WET AREA DETAILS
08-2	WET AREA DETAILS
09	FITOUT DETAILS

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C	VO1	VN-GB	16/03/22								
B	WORKING DRAWINGS	VN-GB	24/11/21								
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21								
Rev	Amendment	Drawn	Date								



# GROUND FLOOR PLAN

Rev	Amendment	Drawn	Date
C	V01	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21

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DATE .....

BUILDER .....

DATE .....

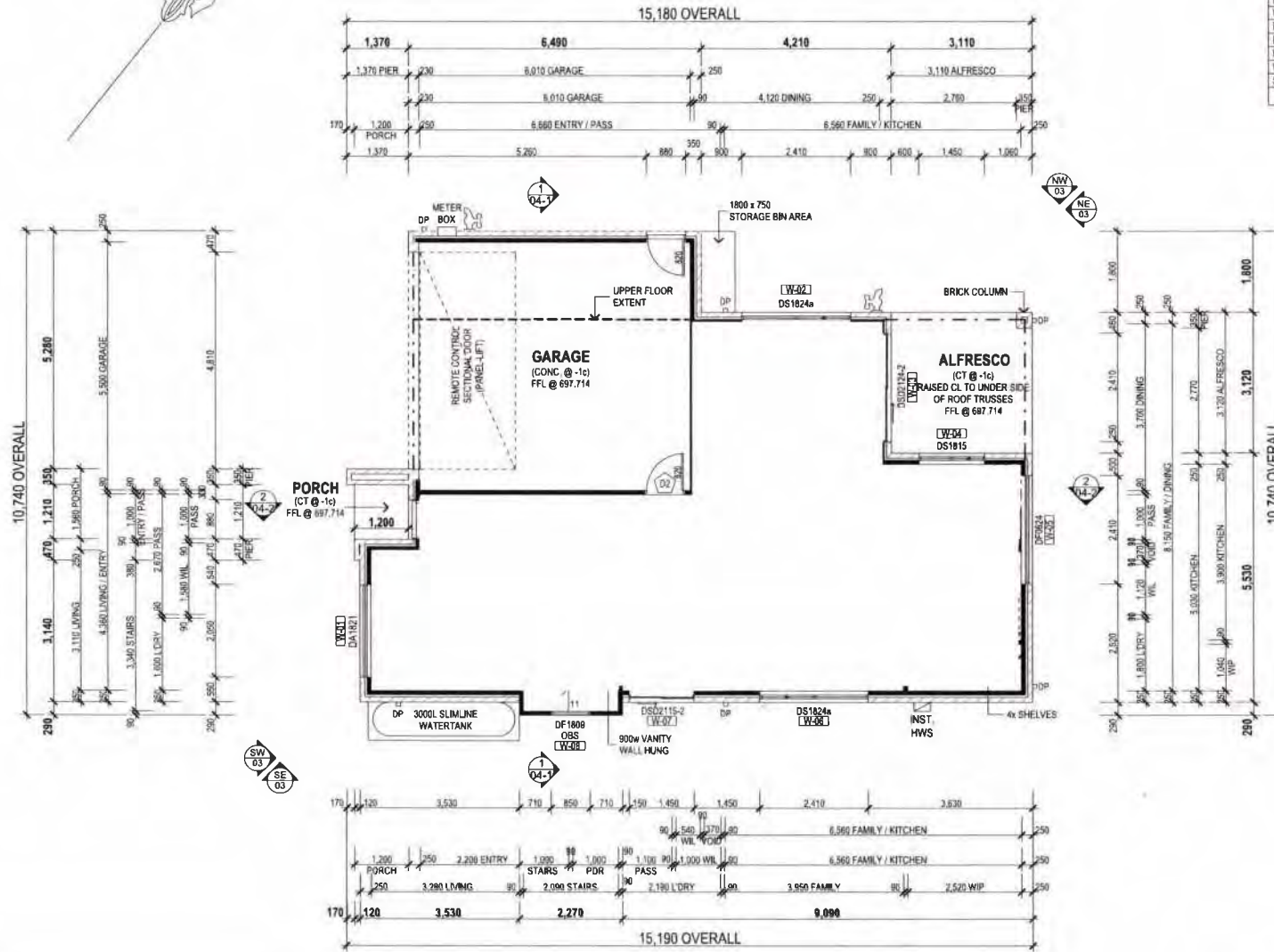
PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 4 DP 1246998  
**NO. 221 PEEL STREET  
BATHURST, NSW 2795**

PLAN	SCALE	1:100
MODIFIED ALAMEDA 254	SHEET SIZE	A3
FACADE	BASIX CERT. No.	DATE
ORANA	PRELIMINARY	16/03/22
TITLE	DRAWN	VN-GB
GROUND FLOOR PLAN	JOB No.	000235
	DWG No.	01-1

Location	Area (m2)
LIVING	10.20
ENTRY	2.75
PASS	6.90
PDR	2.18
L'DRY	3.50
WIL	1.37
FAMILY	17.38
DINING	15.24
KITCHEN	10.67
WIP	2.62
STAIRS	4.45
	<b>77.26 m<sup>2</sup></b>

ID	Height	Width	Description	Area
W-01	1,800	2,050	AWNING WINDOW	3.69
W-02	1,800	2,410	SLIDING WINDOW	4.34
W-03	2,143	2,410	SLIDING DOOR	5.16
W-04	1,800	1,450	SLIDING WINDOW	2.61
W-05	600	2,410	FIXED WINDOW	1.45
W-06	1,800	2,410	SLIDING WINDOW	4.34
W-07	2,143	1,450	SLIDING DOOR	3.11
W-08	1,800	850	FIXED WINDOW	1.53
W-09	1,800	850	AWNING WINDOW	1.53
W-10	1,800	850	AWNING WINDOW	1.53
W-11	1,800	850	AWNING WINDOW	1.53
W-12	857	2,410	AWNING WINDOW	2.07
W-13	857	1,450	SLIDING WINDOW	1.24
W-14	1,200	1,810	SLIDING WINDOW	2.17
W-15	1,200	1,810	SLIDING WINDOW	2.17
W-16	857	610	SLIDING WINDOW	0.52
W-17	1,200	1,810	SLIDING WINDOW	2.17
W-18	1,029	1,450	SLIDING WINDOW	1.49
W-19	1,029	3,010	SLIDING WINDOW	3.10



Location	Area
GARAGE	36.33
PORCH	1.99
GROUND FLOOR	89.66
ALFRESCO	9.70
FIRST FLOOR	118.67
	<b>256.35 m<sup>2</sup></b>

Area (m2 ON THE FLAT)	139.07	12.50
Area (m2 ON THE RAKE)	150.53	12.55
Pitch	22.5°	5.0°

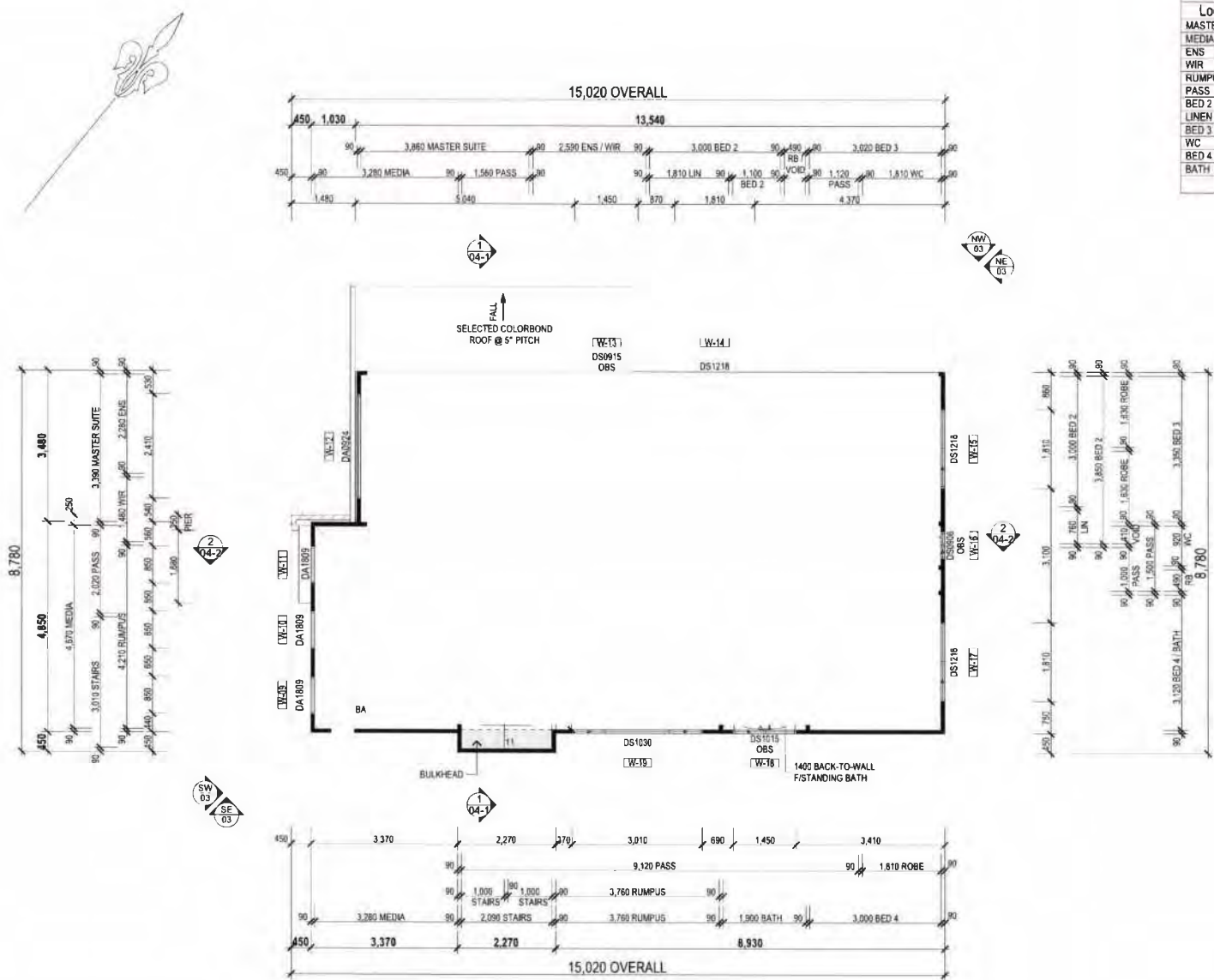
**NOTES:**

- 2500 CEILING HEIGHT TO (GROUND FLOOR AND 2400) CEILING HEIGHT TO UPPER FLOOR UNLESS NOTED OTHERWISE
- RENDER TO FRONT FACADE. REFER TO ELEVATIONS
- 250W BRICK VENEER TO EXTERNAL WALLS
- 80W TIMBER FRAME WW-SELECTED CLADDING TO EXTERNAL WALLS
- WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
- CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
- BEARERS AND JOIST WITH BRICK PIER AND FOOTINGS TO ENGINEER'S DETAILS
- COLONIAL SKIRTINGS & ARCHITRAVES
- COVE CORNICE

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
DP	DOWNPipe
DPS	DOWNPipe & SPREADER
DR	DRYER
DW	DISHWASHER RECESS
FT	TIMBER FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HWD	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
OB	OBSCURE GLASS
OH	OVERHEAD CUPBOARDS
PD	PLUMBING DUCT
PK	POLISHED CONCRETE
RH	RANGEHOOD (DUCTED)
SD	SETDOWN
S/O RH	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WC	TOILET
	CEILING FAN
	CEILING FAN LIGHT COMBO

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.





FF ROOM SCHEDULE	
Location	Area (m <sup>2</sup> )
MASTER SUITE	13.09
MEDIA	15.32
ENS	5.91
WIR	3.83
RUMPUS	12.07
PASS	12.88
BED 2	10.88
LINEN	1.38
BED 3	11.06
WC	1.67
BED 4	10.41
BATH	5.93
	104.43 m <sup>2</sup>

Window List				
ID	Height	Width	Description	Area
W-01	1,800	2,050	AWNING WINDOW	3.69
W-02	1,800	2,410	SLIDING WINDOW	4.34
W-03	2,143	2,410	SLIDING DOOR	5.16
W-04	1,800	1,450	SLIDING WINDOW	2.61
W-05	600	2,410	FIXED WINDOW	1.45
W-06	1,800	2,410	SLIDING WINDOW	4.34
W-07	2,143	1,450	SLIDING DOOR	3.11
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W-10	1,800	850	AWNING WINDOW	1.53
W-11	1,800	850	AWNING WINDOW	1.53
W-12	857	2,410	AWNING WINDOW	2.07
W-13	857	1,450	SLIDING WINDOW	1.24
W-14	1,200	1,810	SLIDING WINDOW	2.17
W-15	1,200	1,810	SLIDING WINDOW	2.17
W-16	857	610	SLIDING WINDOW	0.52
W-17	1,200	1,810	SLIDING WINDOW	2.17
W-18	1,029	1,450	SLIDING WINDOW	1.49
W-19	1,029	3,010	SLIDING WINDOW	3.10

AREAS	
Location	Area
GARAGE	36.33
PORCH	1.59
GROUND FLOOR	89.68
ALFRESCO	9.70
FIRST FLOOR	118.67
	256.35 m <sup>2</sup>

ROOF AREAS (COLORBOND)	
AREA [m <sup>2</sup> ON THE FLAT]	139.07 12.50
AREA [m <sup>2</sup> ON THE RAKE]	150.53 12.55
Pitch	22.5° 5.0°

- NOTES:
- 2500 CEILING HEIGHT TO GROUND FLOOR AND 2400 CEILING HEIGHT TO UPPER FLOOR UNLESS NOTED OTHERWISE
  - RENDER TO FRONT FACADE. REFER TO ELEVATIONS.
  - 250w BRICK VENEER TO EXTERNAL WALLS
  - 90w TIMBER FRAME W/ SELECTED CLADDING TO EXTERNAL WALLS
  - WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
  - CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
  - BEARERS AND JOIST WITH BRICK PIER AND FOOTINGS TO ENGINEER'S DETAILS
  - COLONIAL SKIRTINGS & ARCHITRAVES
  - COVE CORNICE

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DR	DRYER
DW	DISHWASHER RECESS
FT	TIMBER FLOORING
FTL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HMO	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
OBS	OBSCURE GLASS
OH	OVERHEAD CLIPBOARDS
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
RH	RANGEHOOD (DUCTED)
S/D	SETDOWN
S/D RH	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WC	TOILET
	CEILING FAN
	CEILING FAN LIGHT COMBO
NOTE: DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 350mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE	

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1 FIRST FLOOR PLAN

Rev	Amendment	Drawn	Date
C	VO1	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21

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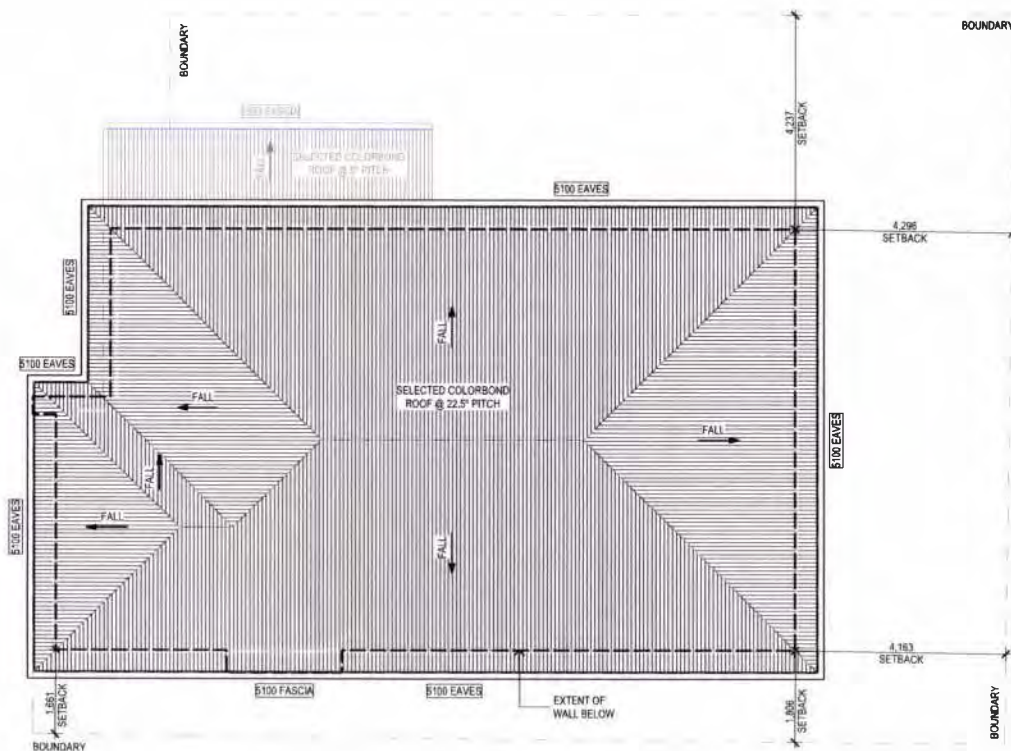
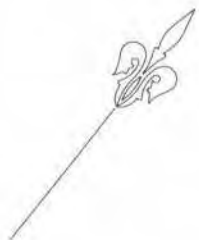
CLIENT	McSWEENEY DEVELOPMENTS PTY LTD
DATE	
BUILDER	
DATE	

PROPOSED NEW RESIDENCE FOR	McSWEENEY DEVELOPMENTS PTY LTD
AT	LOT 4 DP 1246998
	NO. 221 PEEL STREET
	BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254	SCALE	1:100
FACADE	BASIX CERT. No.	SHEET SIZE	A3
	ORANA	DATE	16/03/22
TITLE	PRELIMINARY	DRAWN	VN-GB
	FIRST FLOOR PLAN	JOB No.	000235
		DWG No.	01-2



ROOF AREAS (COLORBOND)		
AREA [m2 ON THE FLAT]	139.07	12.50
AREA [m2 ON THE RAKE]	150.53	12.55
Pitch	22.5°	5.0°

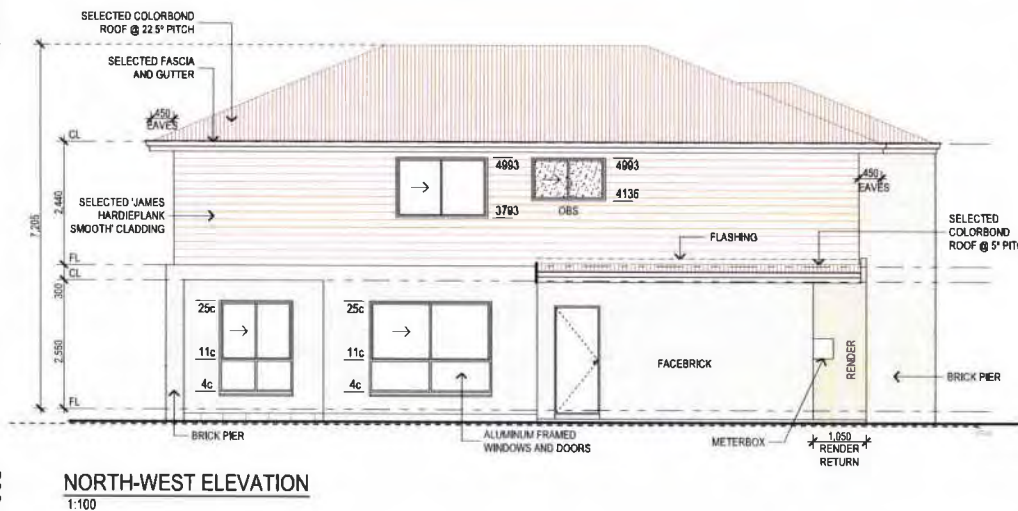
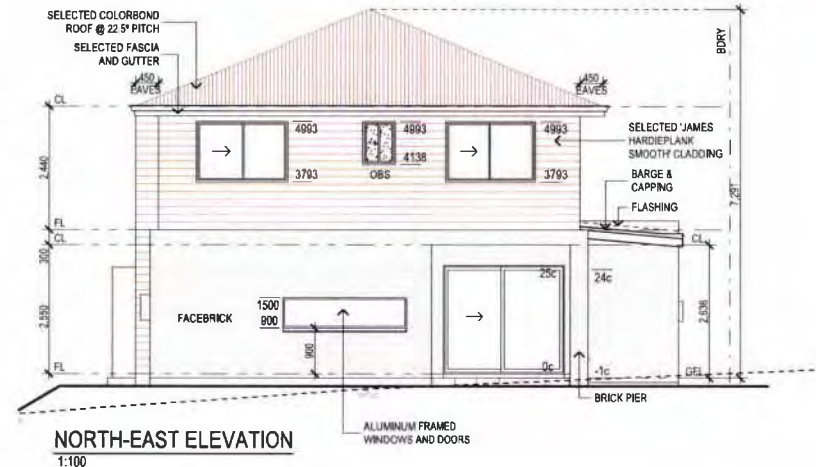
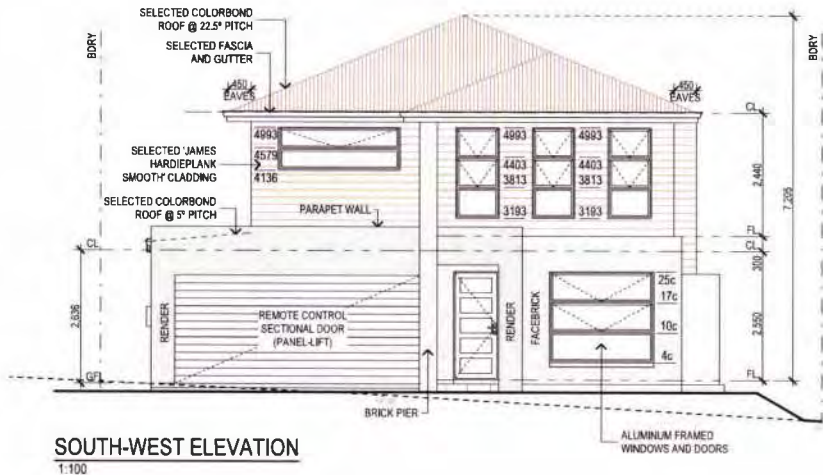


# 1 ROOF PLAN

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Rev	Amendment	Drawn	Date																														



**PROTECTION OF OPENABLE WINDOWS AS PER B.C.A  
CONDITION 3.9.2.5**  
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BELOW. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.1m ABOVE THE FLOOR, A KEYS LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



C	VO1	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
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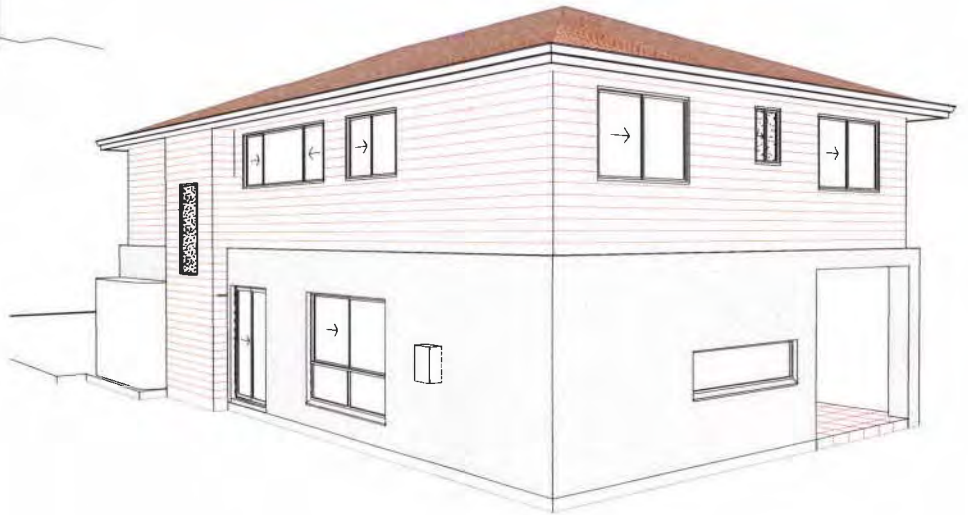
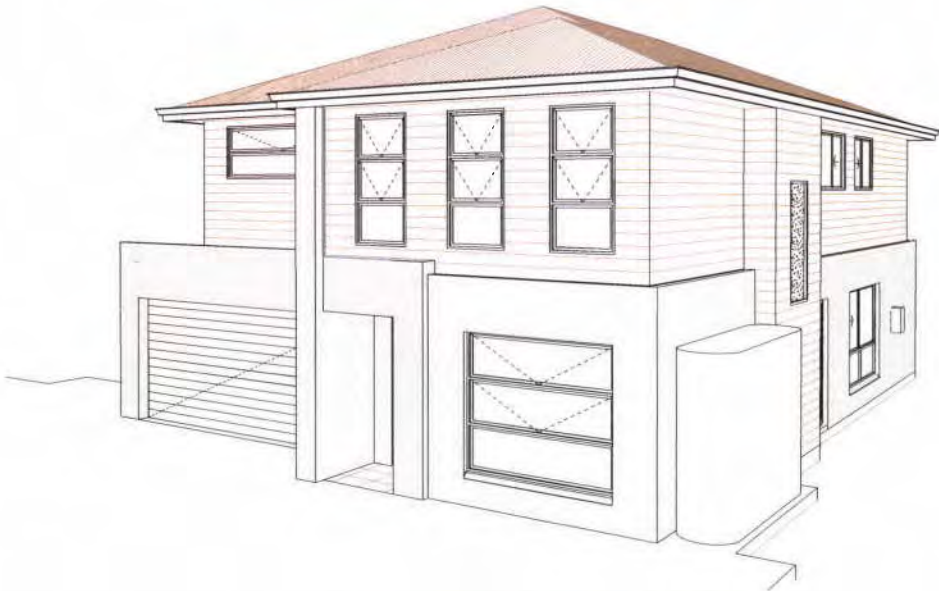
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PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 4 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254	SCALE	1:100
FACADE	ORANA	SHEET SIZE	A3
TITLE	ELEVATIONS	DATE	16/03/22
		DRAWN	VN-GB
		JOB No	000235
		DWG No	02





C	VO1	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date



CLIENT .....

DATE .....

BUILDER .....

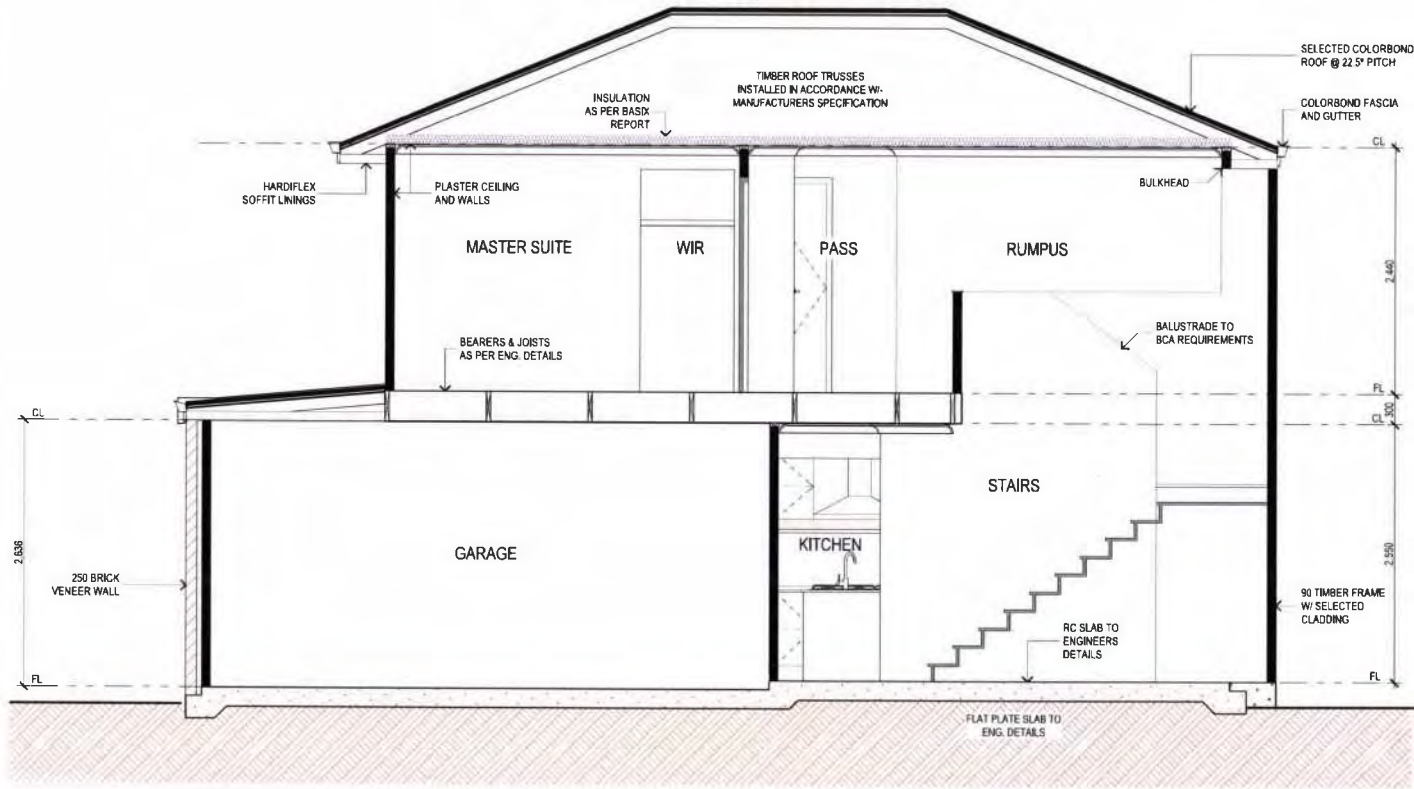
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PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 4 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254	SCALE	
FACADE	BASIX CERT. No.	SHEET SIZE	A3
ORANA	PRELIMINARY	DATE	16/03/22
TITLE	PERSPECTIVES	DRAWN	VN-GB
		JOB No.	000235
		DWG No.	03






SECTION 1  
1:50

ENERGY SCHEDULE	
No. of Bedrooms	4
Site Area (Total)	263 m <sup>2</sup>
Roof Area (Total)	163 m <sup>2</sup>
Net Conditioned Floor Area	197.21 m <sup>2</sup>
Net Unconditioned Floor Area	9.43 m <sup>2</sup>
Landscaped Area	70 m <sup>2</sup>
Indigenous Planting required	N/A
Shower Head Rating	3 star minimum
Toilets Rating	5 star minimum
Tap Fitting Kitchen	5 star minimum
Tap Fitting Bathroom	6 star minimum
Water Tank	3000L
Tank Water Usage	Toilets & cold water tap
Hot Water Unit	Gas instantaneous
Thermal Comfort	Pass
Air Conditioning	1-phase airconditioning
Mechanical Ventilation (Fane)	Yes
Ventilation Bathroom	Individual fan, ducted
Ventilation Kitchen	Individual fan, ducted
Ventilation Laundry	Natural ventilation only
Cooktop	Gas cooktop
Oven	Electric oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

- COLONIAL SKIRTINGS & ARCHITRAVES
- COVE CORNICE

- BASIX NOTES
- FLOOR - SUSPENDED FLOOR ABOVE GARAGE, FRAMED R0.8 INSULATION (MIN)
  - EXTERNAL WALL - BRICK VENEER SARKING + R2.26 INSULATION (MIN)
  - EXTERNAL WALL - FRAMED SARKING + R2.40 INSULATION (MIN)
  - INTERNAL WALL - SHARED WITH GARAGE R1.14 INSULATION (MIN)
  - CEILING - R4.0 INSULATION (MIN)
  - ROOF - REFLECTIVE FOIL SARKING UNVENTILATED
  - ROOF COLOR - MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

C	VO1	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date



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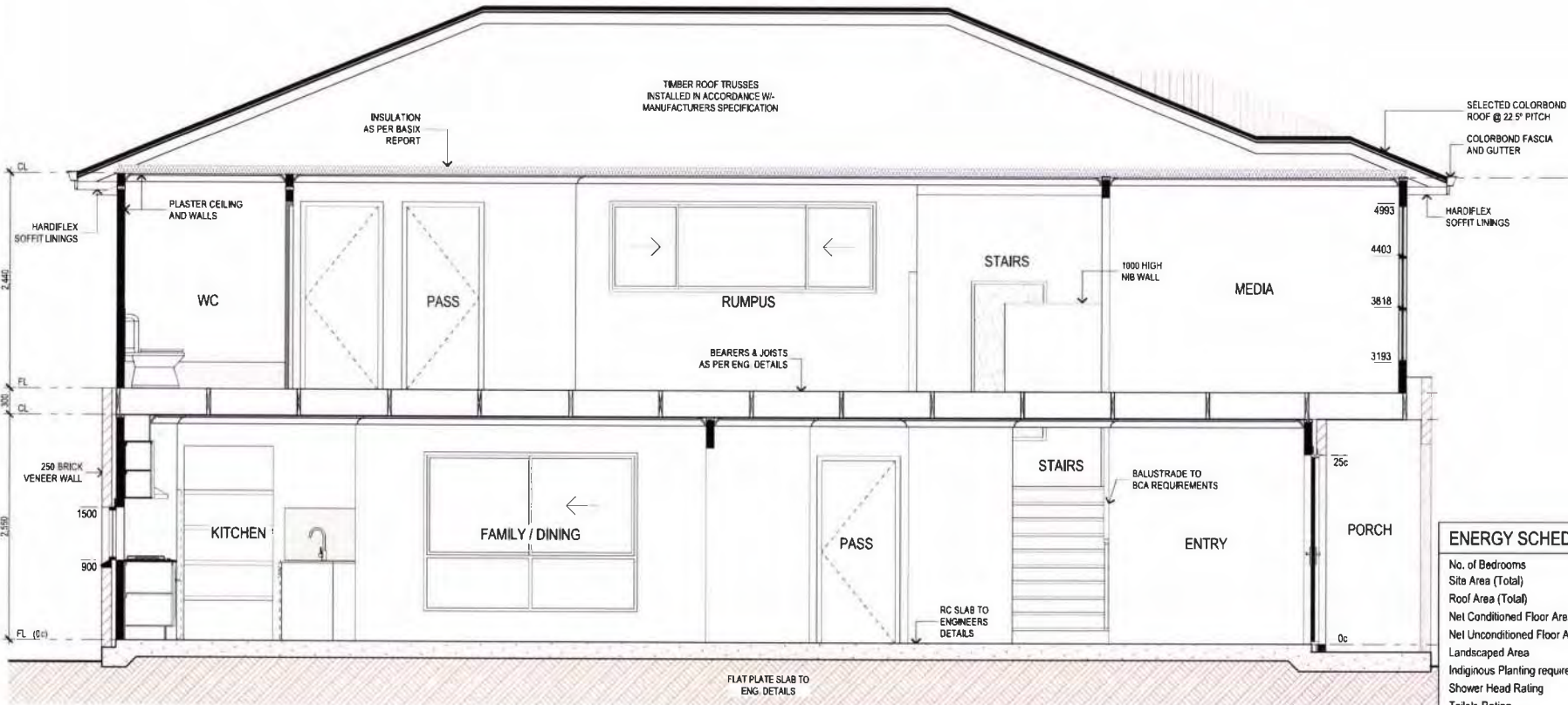
CLIENT .....
DATE .....
BUILDER .....
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 4 DP 1246998  
**NO. 221 PEEL STREET  
BATHURST, NSW 2795**

PLAN	MODIFIED ALAMEDA 254	SCALE	1:50
FACADE	ORANA	SHEET SIZE	A3
TITLE	SECTION 1	DATE	16/03/22
		DRAWN	VN-GB
		JOB No.	000235
		DWG No.	04-1





SECTION 2  
1:50

ENERGY SCHEDULE	
No. of Bedrooms	4
Site Area (Total)	263 m <sup>2</sup>
Roof Area (Total)	163 m <sup>2</sup>
Net Conditioned Floor Area	197.21 m <sup>2</sup>
Net Unconditioned Floor Area	9.43 m <sup>2</sup>
Landscaped Area	70 m <sup>2</sup>
Indigenous Planting required	N/A
Shower Head Rating	3 star minimum
Toilets Rating	5 star minimum
Tap Fitting Kitchen	5 star minimum
Tap Fitting Bathroom	6 star minimum
Water Tank	3000L
Tank Water Usage	Toilets & cold water tap
Hot Water Unit	Gas instantaneous
Thermal Comfort	Pass
Air Conditioning	1-phase airconditioning
Mechanical Ventilation (Fans)	Yes
Ventilation Bathroom	Individual fan, ducted
Ventilation Kitchen	Individual fan, ducted
Ventilation Laundry	Natural ventilation only
Cooktop	Gas cooktop
Oven	Electric oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

\* COLONIAL SKIRTINGS & ARCHITRAVES  
\* COVE CORNICE

BASIX NOTES  
\* FLOOR - SUSPENDED FLOOR ABOVE GARAGE, FRAMED R0.8 INSULATION (MIN)  
\* EXTERNAL WALL - BRICK VENEER  
\* SARKING + R2.26 INSULATION (MIN)  
\* EXTERNAL WALL - FRAMED SARKING + R2.40 INSULATION (MIN)  
\* INTERNAL WALL - SHARED WITH GARAGE R1.14 INSULATION (MIN)  
\* CEILING - R4.0 INSULATION (MIN)  
\* ROOF - REFLECTIVE FOIL, SARKING/UNVENTILATED  
\* ROOF COLOR - MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

C	VO1	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date



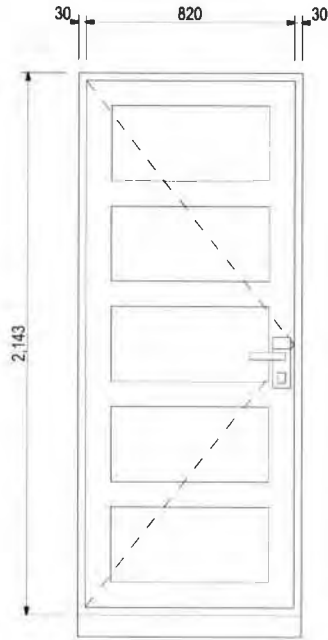
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DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD  
AT LOT 4 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254
FACADE	ORANA
TITLE	SECTION 2

SCALE	1:50
SHEET SIZE	A3
DATE	16/03/22
DRAWN	VN-GB
JOB No.	000235
DWG No.	04-2





CORINTHIAN BLONDE OAK AWO 5G  
W/ TRANSLUCENT GLASS, CLEAR STAINED

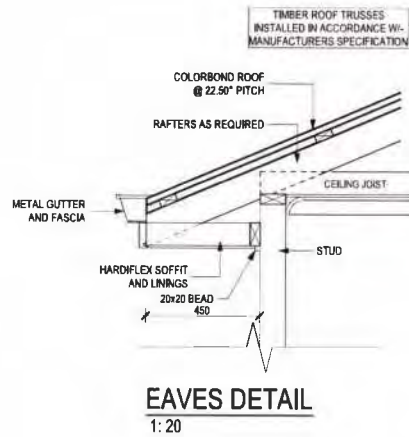
**ENTRY DOOR DETAIL**  
1: 20

Door Schedule	
ID	Height
D1	2,143
D2	2,040
D3	2,065
D4	2,060
D5	2,065
D6	2,070
D7	2,070
D8	2,070
D9	2,070
D10	2,070
D11	2,070
D12	2,070

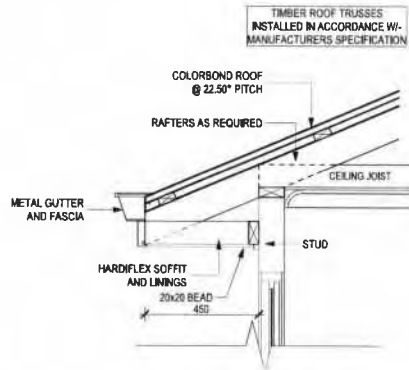


NEXION VISION  
WITH ELEMENT HANDLE

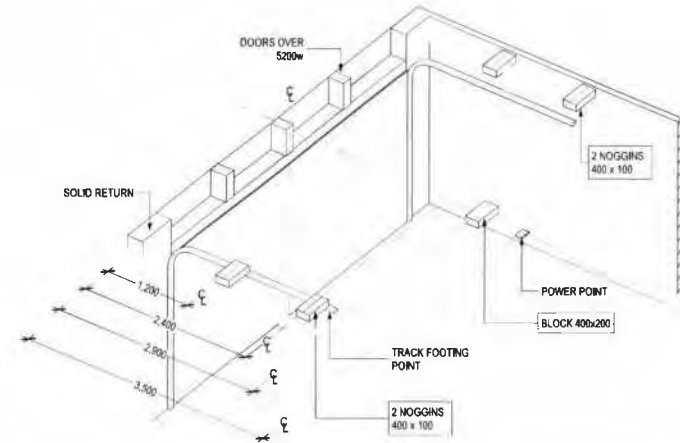
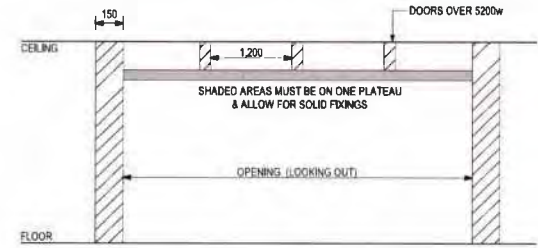
**SELECTED DOOR HANDLE**



**EAVES DETAIL**  
1: 20



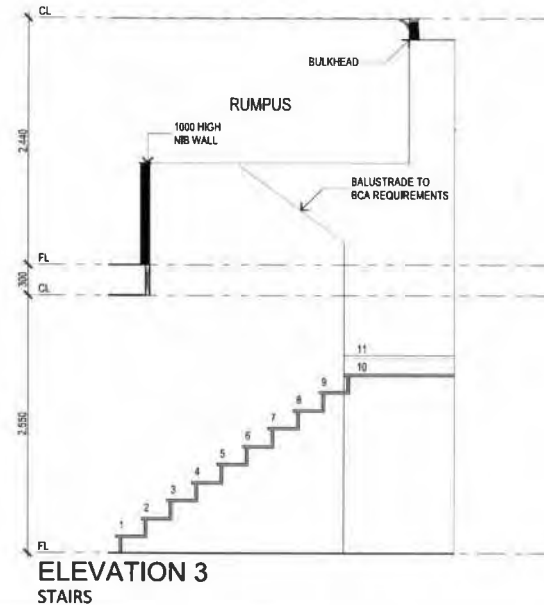
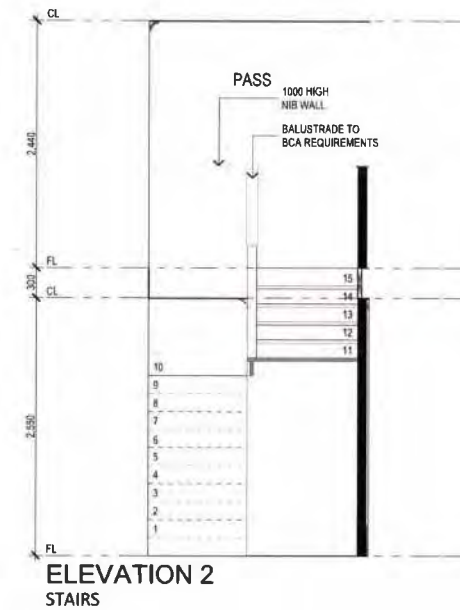
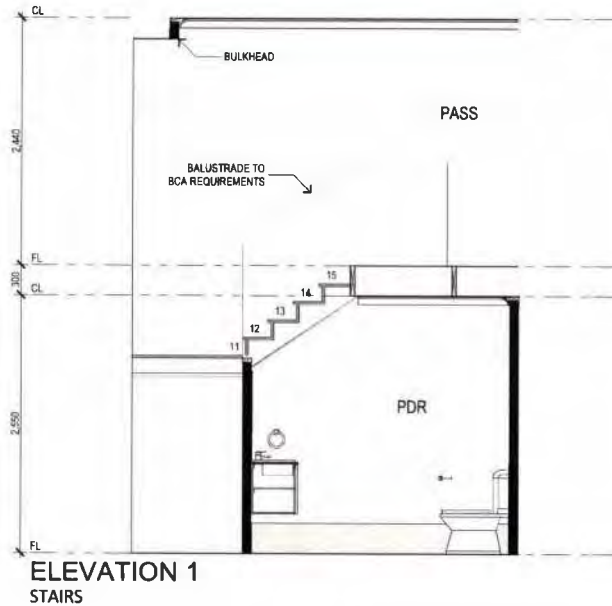
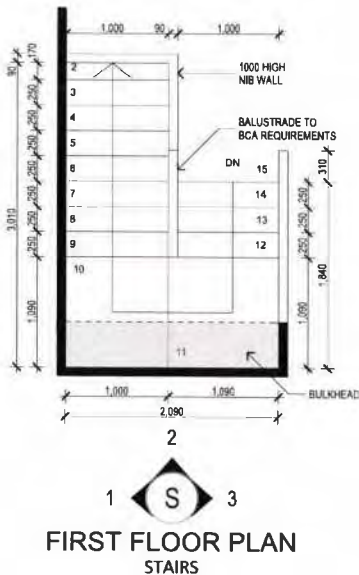
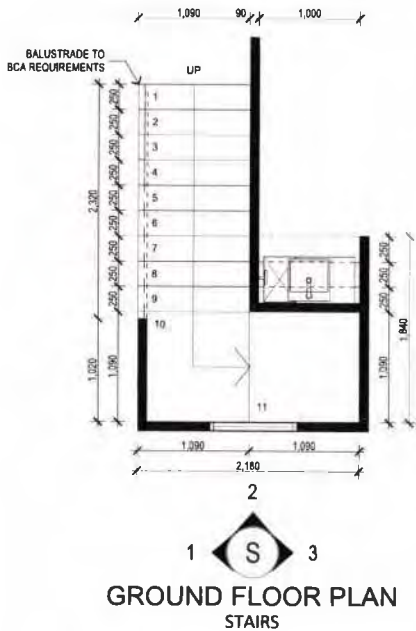
**EAVES TO WINDOW DETAIL**  
1: 20



**TYPICAL GARAGE DOOR DETAILS**  
NTS

				 <div>Hotondo Homes</div> <p>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</p> <p>COPYRIGHT HOTONDO PTY LTD</p>	CLIENT .....	PROPOSED NEW RESIDENCE FOR <b>McSWEENEY DEVELOPMENTS PTY LTD</b>  AT <b>LOT 4 DP 1246998</b> <b>NO. 221 PEEL STREET</b> <b>BATHURST, NSW 2795</b>	PLAN	MODIFIED ALAMEDA 254		SCALE	
C	VO1	VN-GB	16/03/22		DATE .....		FACADE	BASIX CERT. No.	SHEET SIZE	A3	
B	WORKING DRAWINGS	VN-GB	24/11/21		BUILDER .....		ORANA	PRELIMINARY	DATE	16/03/22	
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21		DATE .....				DRAWN	VN-GB	
Rev	Amendment	Drawn	Date				TITLE	DETAILS		JOB No. 000235	DWG No. 04-3





STAIRS NOTE:  
16 RISERS @ 178 mm/RISER  
15 TREADS @ 250mm/TREAD

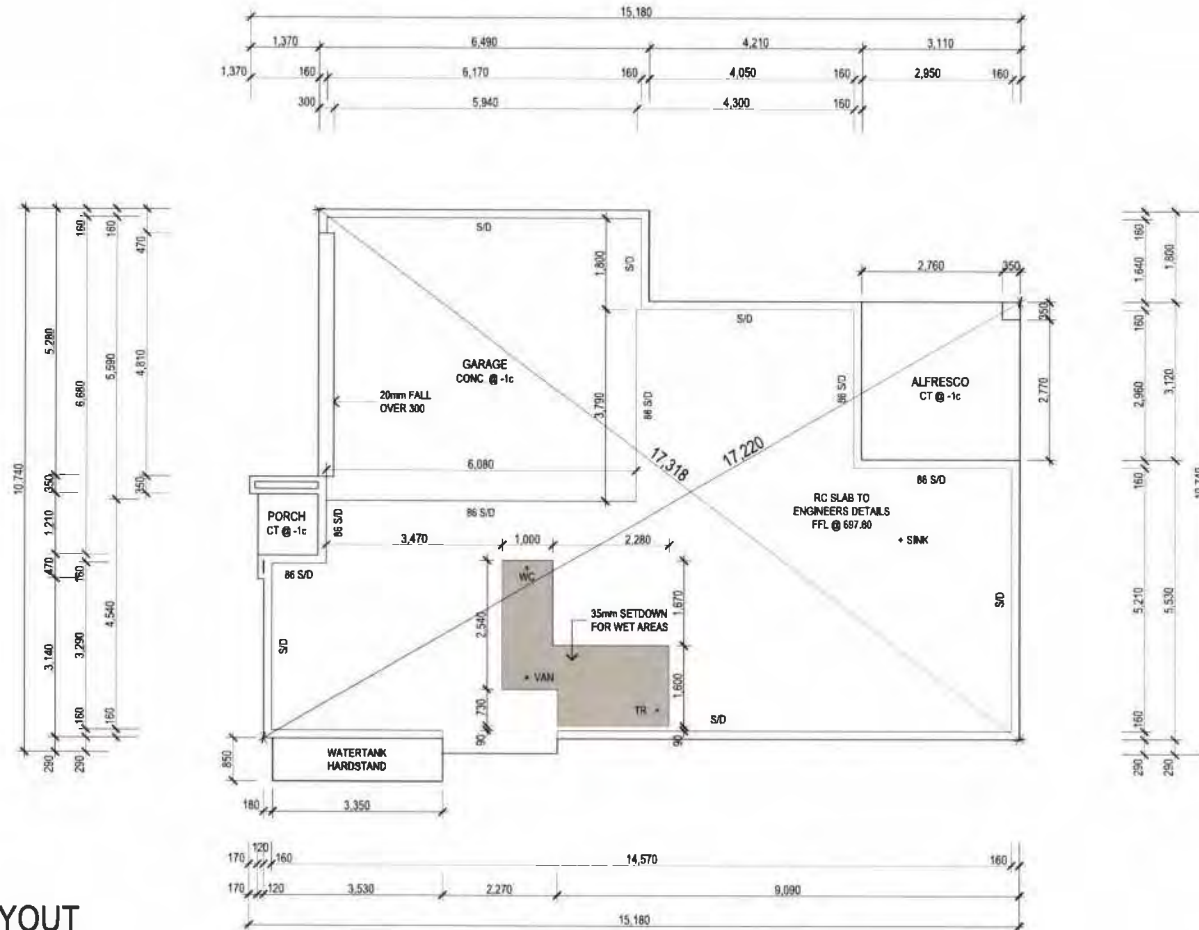
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NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICK WORK UNLESS NOTED OTHERWISE.
3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEER'S DETAIL FOR THIS ALLOTMENT.
4. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3680.1 1995 AND NCC 3.1.3.


PLUMBER AND CONCRETER TO CONFIRM  
ALL PC ITEMS FOR SLAB PENETRATION  
OFFSETS AND DIMENSIONS



1 SLAB LAYOUT  
1:100

				PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD		PLAN MODIFIED ALAMEDA 254		SCALE 1:100
				AT LOT 4 DP 1246998 NO. 221 PEEL STREET BATHURST, NSW 2795		FACADE ORANA		SHEET SIZE A3
						BASIX CERT. No. PRELIMINARY		DATE 16/03/22
						TITLE SLAB LAYOUT		DRAWN VN-GB
								JOB No. 000235
								DWG No. 06-1

C	VO1	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date



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CLIENT .....	DATE .....	BUILDER .....	DATE .....
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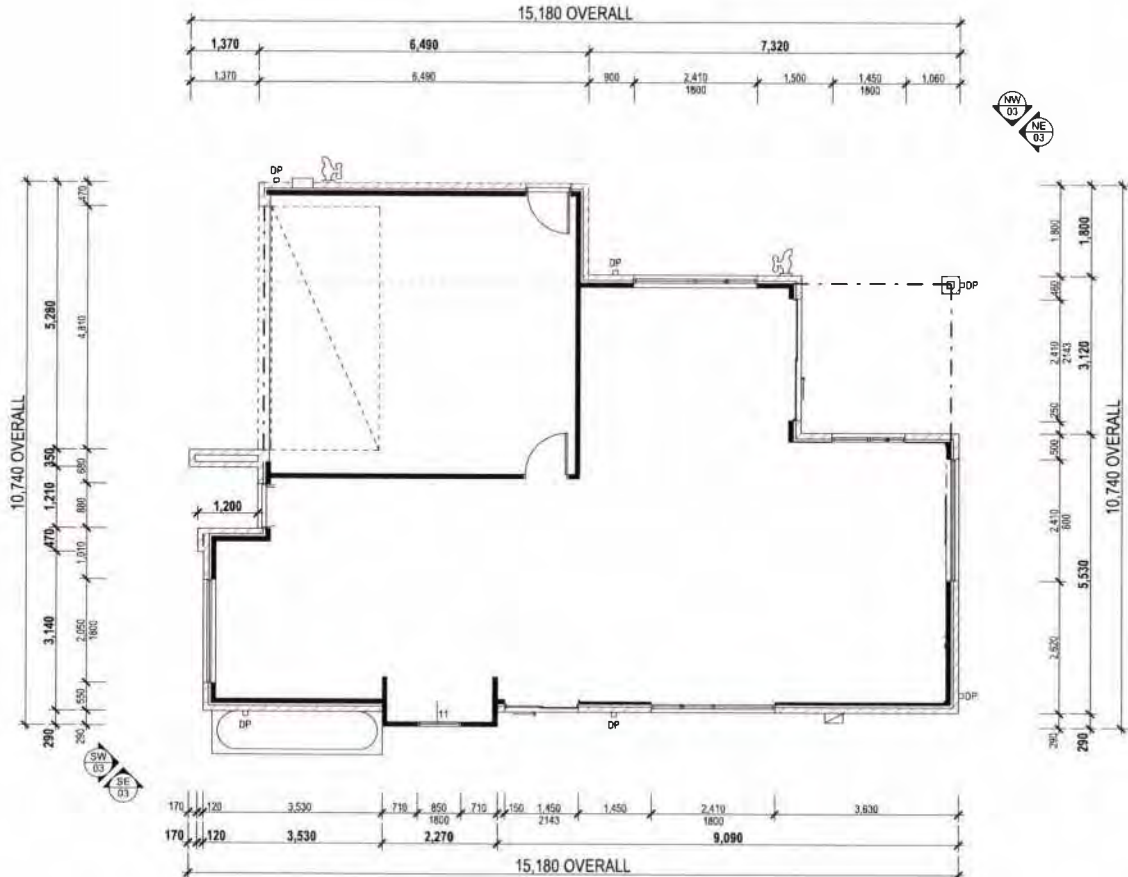




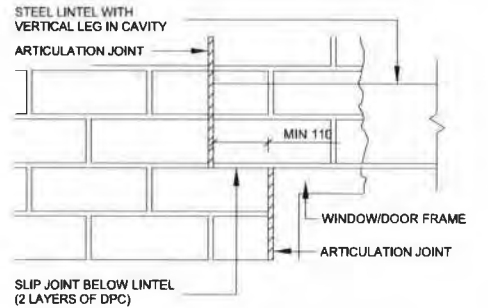
1 REDACTED PLAN  
1:100

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C	VO1	VN-GB	16/03/22		DATE .....		AT	LOT 4 DP 1246998	FACADE	BASIX CERT. No.	SHEET SIZE A3
B	WORKING DRAWINGS	VN-GB	24/11/21		BUILDER .....			NO. 221 PEEL STREET	ORANA	PRELIMINARY	DATE 16/03/22
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21		DATE .....			BATHURST, NSW 2795	TITLE		DRAWN VN-GB
Rev	Amendment	Drawn	Date							REDACTED PLAN	JOB No. 000235
											DWG No. 06-2





BRICKWORK VERTICAL ARTICULATION JOINTS SCHEDULE



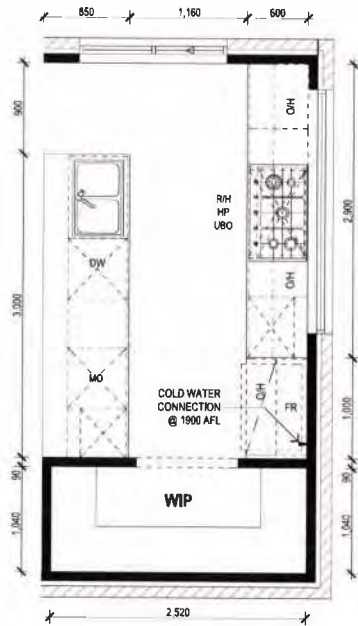
BRICKWORK ARTICULATION OVER WINDOW OR DOOR

BRICKWORK ARTICULATION JOINTS

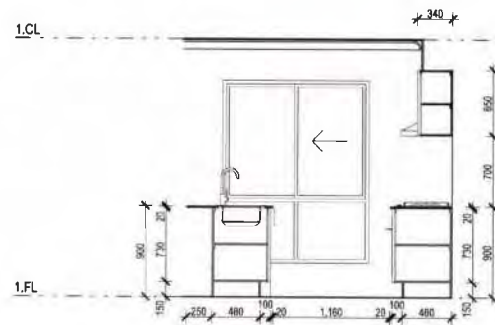
1. In straight, continuous walls having no openings, at no more than 7.0m.
2. Where the height of the wall changes by more 20% at the position of change in height; and
3. Where openings more than 900x900mm occur, at not more than 5m centre and positioned in line with one edge of the opening; and
4. Where walls change thickness; and
5. At control or construction joints in footing slab; and
6. At junctions of walls constructed of different masonry materials; and
7. At a distance from all corners between 2m-4.5m.

<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div>Hotondo Homes</div><div>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</div><div>COPYRIGHT HOTONDO PTY LTD</div></div></div></div></div>				CLIENT .....		PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD		PLAN MODIFIED ALAMEDA 254		SCALE 1:100
DATE .....				DATE .....		AT LOT 4 DP 1246998 NO. 221 PEEL STREET BATHURST, NSW 2795		FACADE ORANA		SHEET SIZE A3
BUILDER .....				BUILDER .....		BASIX CERT. No. PRELIMINARY		DATE 16/03/22		DATE 16/03/22
DATE .....				DATE .....		TITLE BRICKWORK SETOUT		DRAWN VN-GB		DRAWN VN-GB
Rev Amendment				Drawn Date		JOB No. 000235		DWG No. 06-3		



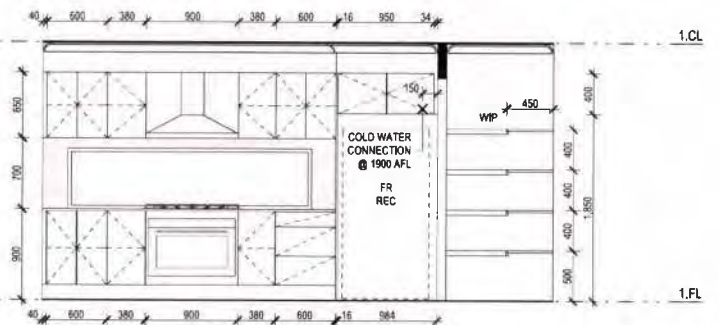


**FLOOR PLAN**  
KITCHEN / WIP



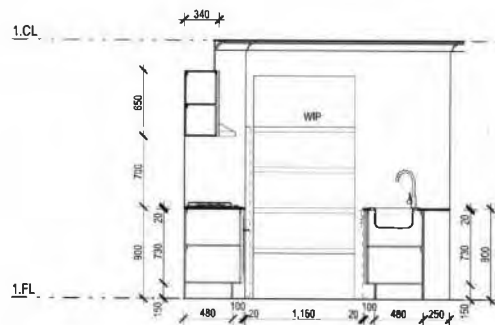
## ELEVATION 1

### KITCHEN

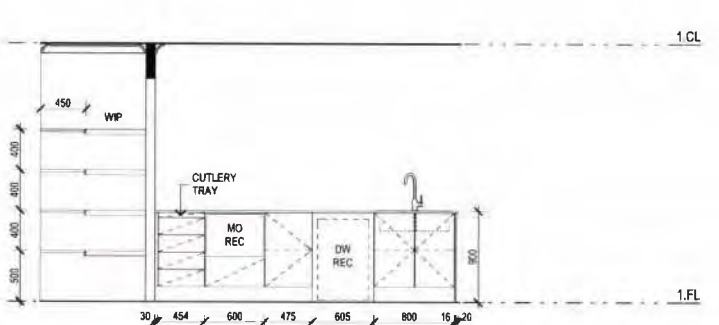


## ELEVATION 2

### KITCHEN / WIP




### ELEVATION 3 KITCHEN



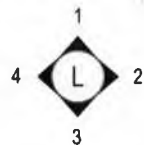
## ELEVATION 4

### KITCHEN / WIP

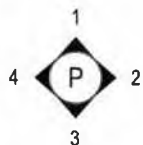
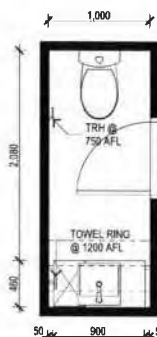
**NOTE:**  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

<table><tr><td>C</td><td>VO1</td><td>VN-GB</td><td>16/03/22</td></tr><tr><td>B</td><td>WORKING DRAWINGS</td><td>VN-GB</td><td>24/11/21</td></tr><tr><td>A</td><td>PRELIMINARY DRAWINGS</td><td>VN-GB</td><td>18/10/21</td></tr><tr><td>Rev</td><td>Amendment</td><td>Drawn</td><td>Date</td></tr></table>				C	VO1	VN-GB	16/03/22	B	WORKING DRAWINGS	VN-GB	24/11/21	A	PRELIMINARY DRAWINGS	VN-GB	18/10/21	Rev	Amendment	Drawn	Date	<div><h1>Hotondo Homes</h1><p>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</p><p>COPYRIGHT HOTONDO PTY LTD</p></div>		<div>CLIENT ..... DATE ..... BUILDER ..... DATE .....</div>		<div>PROPOSED NEW RESIDENCE FOR <b>McSWEENEY DEVELOPMENTS PTY LTD</b>  AT <b>LOT 4 DP 1246998</b> <b>NO. 221 PEEL STREET</b> <b>BATHURST, NSW 2795</b></div>		<table><tr><td>PLAN</td><td colspan="2"><b>MODIFIED ALAMEDA 254</b></td><td>SCALE</td><td>1:50</td></tr><tr><td rowspan="2">FACADE</td><td rowspan="2"><b>ORANA</b></td><td rowspan="2"><b>BASIX CERT. No. PRELIMINARY</b></td><td>SHEET SIZE</td><td>A3</td></tr><tr><td>DATE</td><td>16/03/22</td></tr><tr><td>TITLE</td><td colspan="2"><b>KITCHEN DETAILS</b></td><td>DRAWN</td><td>VN-GB</td></tr><tr><td colspan="3"></td><td>JOB No. 000235</td><td>DWG No. 07</td></tr></table>		PLAN	<b>MODIFIED ALAMEDA 254</b>		SCALE	1:50	FACADE	<b>ORANA</b>	<b>BASIX CERT. No. PRELIMINARY</b>	SHEET SIZE	A3	DATE	16/03/22	TITLE	<b>KITCHEN DETAILS</b>		DRAWN	VN-GB				JOB No. 000235	DWG No. 07
C	VO1	VN-GB	16/03/22																																														
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			JOB No. 000235	DWG No. 07																																													

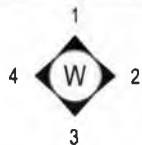
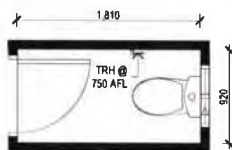




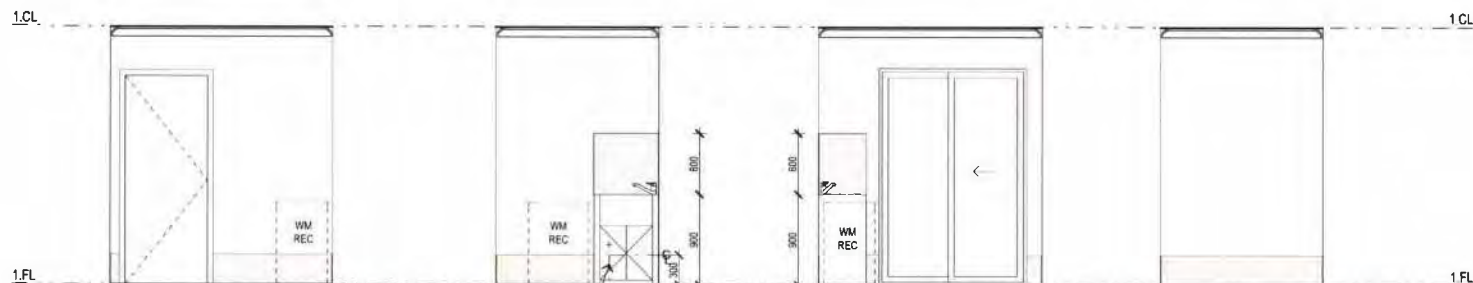
FLOOR PLAN  
LAUNDRY



FLOOR PLAN  
POWDER



FLOOR PLAN  
WC

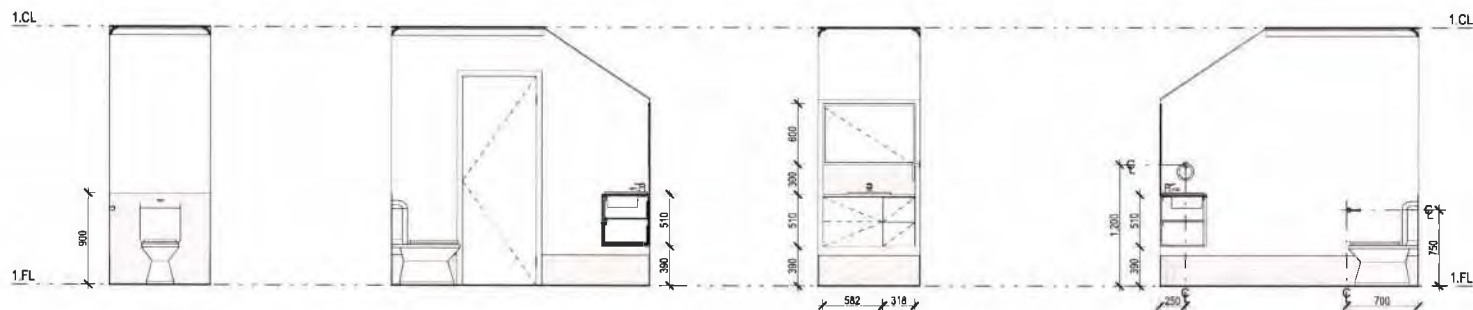


ELEVATION 1  
LAUNDRY

**ELEVATION 2**  
**LAUNDRY**

ELEVATION 3  
LAUNDRY

ELEVATION 4  
LAUNDRY

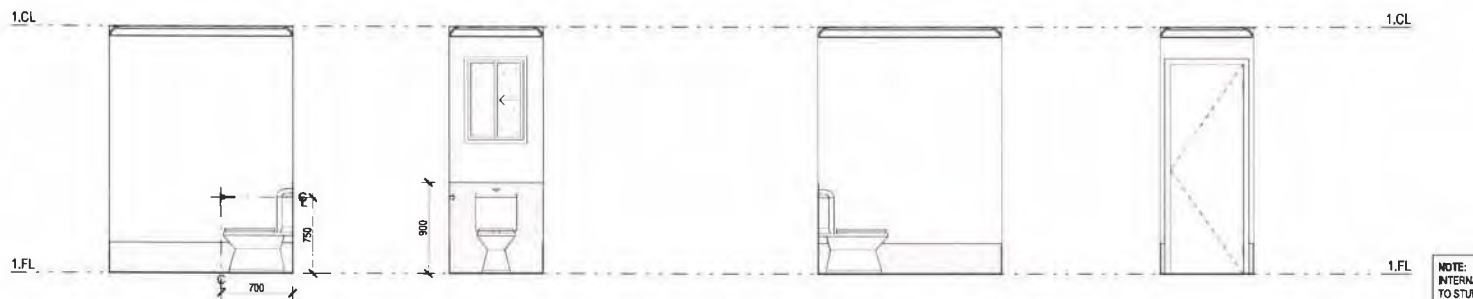


**ELEVATION 1**  
**POWDER**

**ELEVATION 2**  
**POWDER**

**ELEVATION 3**  
**POWDER**

**ELEVATION 4  
POWDER**



ELEVATION 1  
WC

ELEVATION 2  
WC

ELEVATION 3  
WC

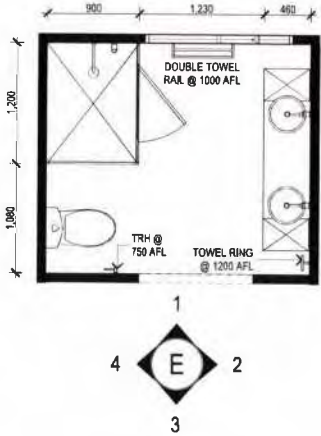
ELEVATION 4  
WC

**NOTE:**  
INTERNAL ELEVATIONS DRAWN  
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ANY PLASTER/WALL FINISHES

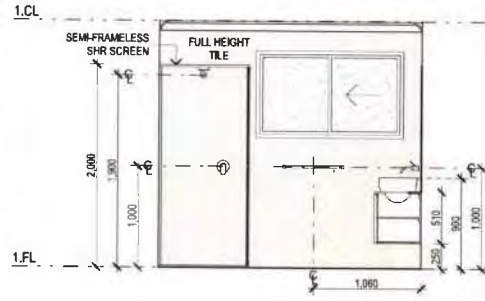
**NOTE:**  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL

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C VO1		VN-GB	16/03/22				SHEET SIZE A3		
B WORKING DRAWINGS		VN-GB	24/11/21				DATE 16/03/22		
A PRELIMINARY DRAWINGS		VN-DB	18/10/21				DRAWN VN-GB		
Rev Amendment		Drawn	Date				JOB No. 000235		
							ORANA PRELIMINARY		DWG No. 08-1
							TITLE WET AREA DETAILS		

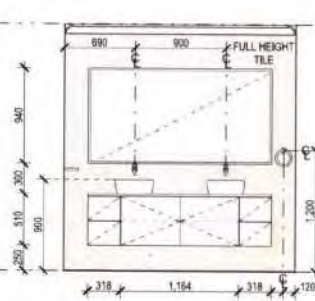




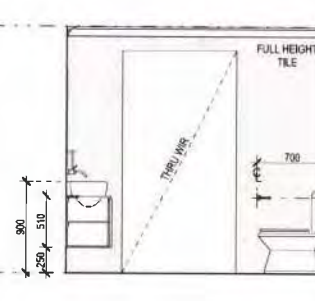
FLOOR PLAN  
ENSUITE



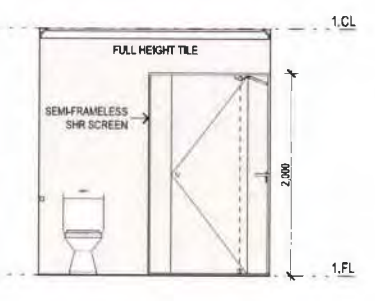
ELEVATION 1  
ENSUITE



ELEVATION 2  
ENSUITE



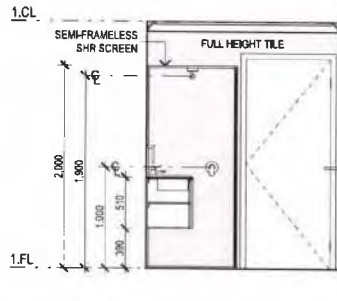
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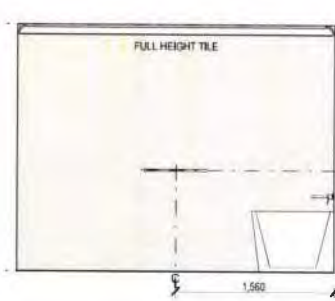
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ENSUITE



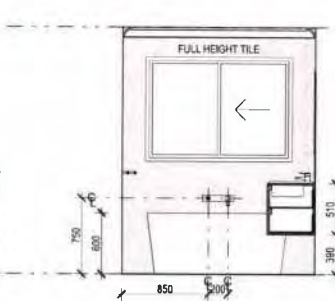
FLOOR PLAN  
BATHROOM



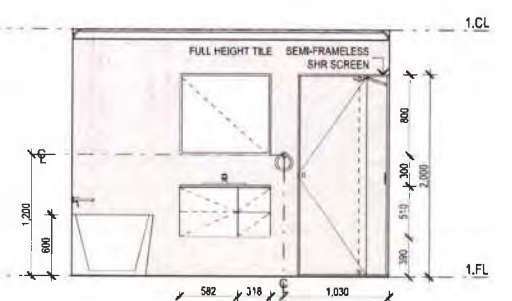
ELEVATION 1  
BATHROOM



ELEVATION 2  
BATHROOM



ELEVATION 3  
BATHROOM



ELEVATION 4  
BATHROOM

NOTE:  
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C	V01	VN-GB	16/03/22
B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date

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CLIENT .....

DATE .....

BUILDER .....

DATE .....

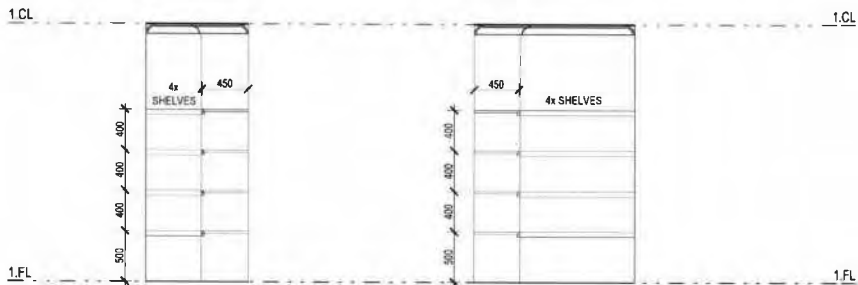
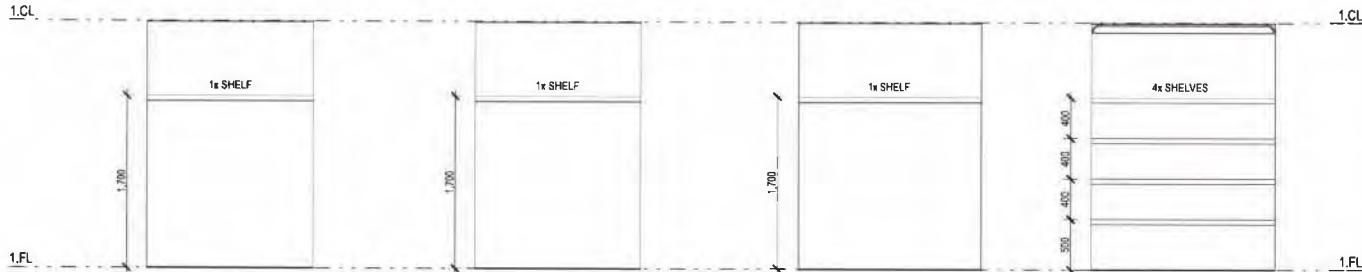
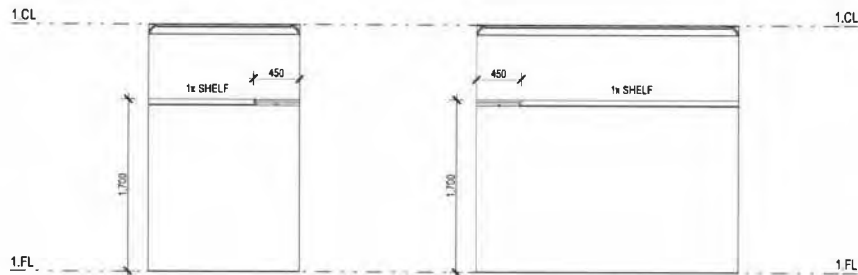
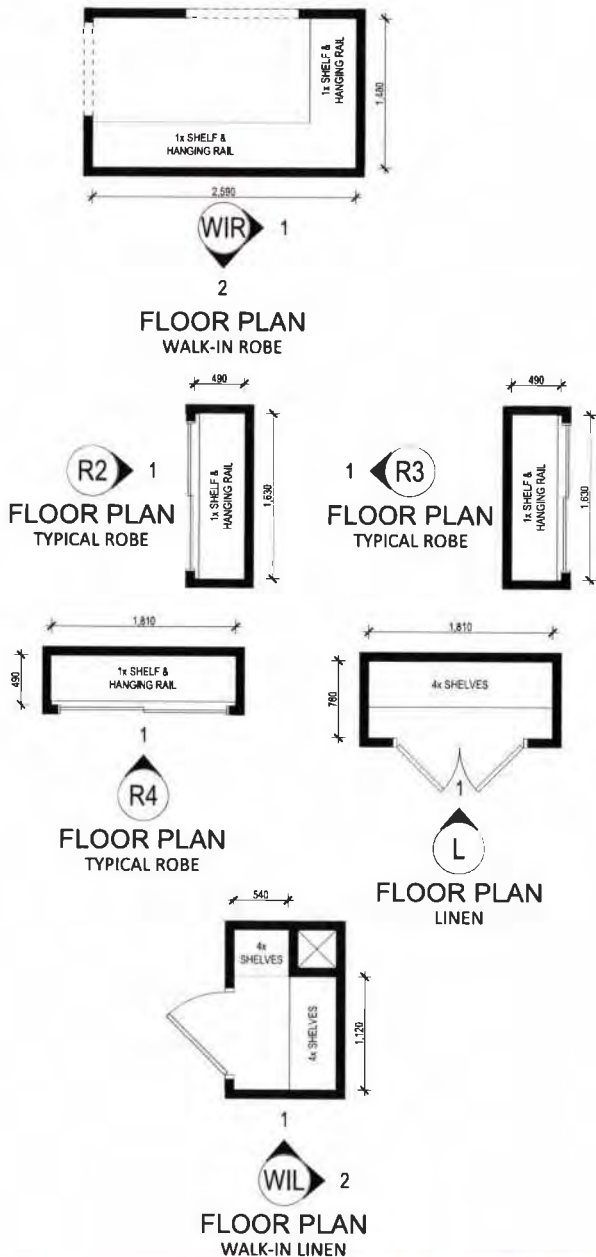
PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD

AT LOT 4 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254
FACADE	ORANA
TITLE	WET AREA DETAILS

SCALE	1:50
SHEET SIZE	A3
DATE	16/03/22
DRAWN	VN-GB
JOB No.	000235
DWG No.	08-2





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ANY PLASTER WALL FINISHES

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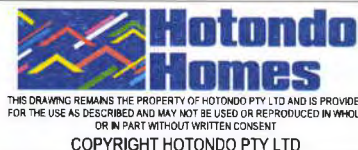


PROPOSED RESIDENCE FOR:  
**McSWEENEY DEVELOPMENTS PTY LTD**  
 LOT 5 DP 1246998  
 NO. 221 PEEL STREET  
 BATHURST, NSW 2795



Drawing List	
Sheet No.	Sheet Name
00	COVER SHEET
01-1	GROUND FLOOR PLAN
01-2	FIRST FLOOR PLAN
01-3	ROOF PLAN
02	ELEVATIONS
03	PERSPECTIVES
04-1	SECTION
04-2	SECTION
04-3	DETAILS
05	STAIR DETAILS
06-1	SLAB LAYOUT
06-2	REDACTED PLAN
06-3	BRICKWORK SETOUT
08	KITCHEN DETAILS
09-1	WET AREA DETAILS
09-2	WET AREA DETAILS
10	FITOUT DETAILS

C	VO1	VN-EM	16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21
Rev	Amendment	Drawn	Date



CLIENT .....

DATE .....

BUILDER .....

DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
 AT LOT 5 DP 1246998  
 NO. 221 PEEL STREET  
 BATHURST, NSW 2795

PLAN		SCALE	
MODIFIED ACACIA 261		SHEET SIZE	A3
FACADE	BASIS CERT. No.	DATE	16/03/22
EPSOM	PRELIMINARY	DRAWN	VN-EM
TITLE		JOB No.	DWG No.
COVER SHEET		000235	00

## SPECIFICATIONS

### GENERAL

- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS

### STATUTORY REQUIREMENTS

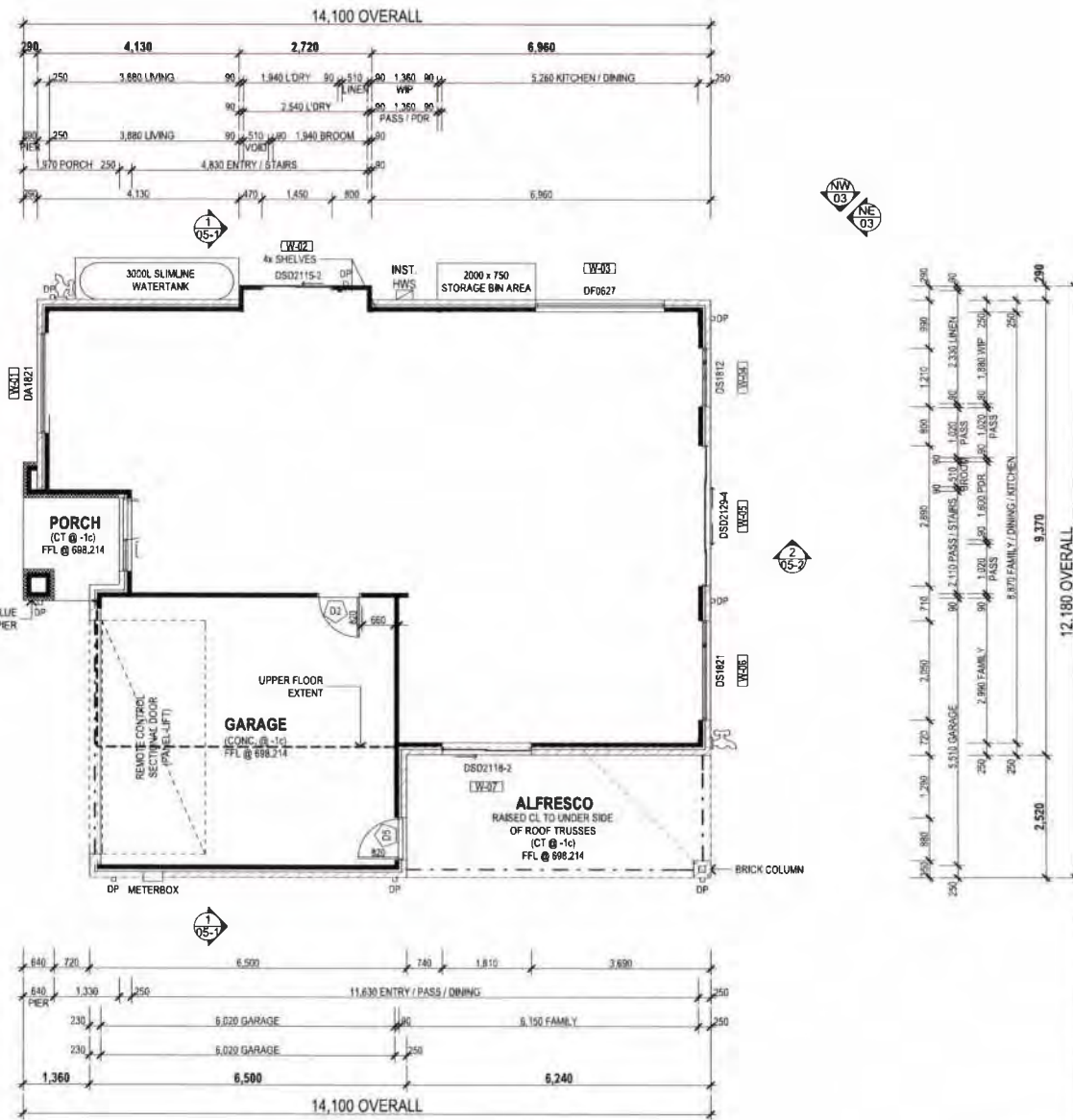
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIS CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

### NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF NCC
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.1.4 OF NCC
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF NCC
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF NCC OR AS1564
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1564
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF NCC
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF NCC, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.3 OF NCC
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- UNTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MASONRY VENEER SHALL COMPLY WITH PART 3.3.5 OF NCC
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET AREA WALL LINING TO BE FIRED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF NCC
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.9.1 OF NCC
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.9.2 OF NCC
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500, & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786 & PART 3.7.5 OF NCC
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3586.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF WALLS, & FLOORS.
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF NCC
- CONDENSATION MANAGEMENT TO COMPLY WITH PART 3.8.7 OF NCC
- FIRE HAZARD PROPERTIES TO COMPLY WITH PART 3.7.1.2 OF NCC
- WALL CLADDING TO COMPLY WITH PART 3.5.4 OF NCC



1 GROUND FLOOR PLAN



Window List				
ID	Height	Width	Description	Area
W-01	1,800	2,050	AWNING WINDOW	3.69
W-02	2,143	1,450	SLIDING DOOR	3.11
W-03	600	2,650	FIXED WINDOW	1.59
W-04	1,800	1,210	SLIDING WINDOW	2.18
W-05	2,143	2,890	SLIDING DOOR	6.19
W-06	1,800	2,050	SLIDING WINDOW	3.69
W-07	2,143	1,810	SLIDING DOOR	3.88
W-08	1,800	2,050	AWNING WINDOW	3.69
W-09	1,457	850	FIXED WINDOW	1.24
W-10	1,800	1,810	AWNING WINDOW	3.26
W-11	857	850	SLIDING WINDOW	0.73
W-12	857	1,450	SLIDING WINDOW	1.24
W-13	1,800	2,410	SLIDING WINDOW	4.34
W-14	1,200	1,810	SLIDING WINDOW	2.17
W-15	1,200	1,810	SLIDING WINDOW	2.17
W-16	1,800	850	SLIDING WINDOW	1.53

GF ROOM SCHEDULE		
Location	Area	(m <sup>2</sup> )
LIVING	14.26	
LDRY	9.90	
WIP	2.56	
PASS 2	1.39	
POR	2.18	
KITCHEN	13.73	
DINING	16.73	
FAMILY	18.86	
PASS 1	4.25	
ENTRY	4.65	
STAIRS	2.87	
	91.38	m <sup>2</sup>

AREAS		
Location	Area	
ALFRESCO	15.72	
GROUND FLOOR	103.04	
GARAGE	36.78	
PORCH	4.16	
FIRST FLOOR	121.37	
	281.09 m <sup>2</sup>	

ROOF AREAS (COLORBOND)		
AREA [m2 ON THE FLAT]	173.68	
AREA [m2 ON THE RAKE]	185.34	

- NOTES:
- 250R CEILING HEIGHT TO GROUND FLOOR AND 2400R CEILING HEIGHT TO UPPER FLOOR UNLESS NOTED OTHERWISE
  - RENDER TO FRONT FACADE, REFER TO ELEVATIONS.
  - 250W BRICK VENEER TO EXTERNAL WALLS
  - 90W TIMBER FRAME W/ SELECTED CLADDING TO EXTERNAL WALLS
  - WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
  - CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
  - BEARERS AND JOIST WITH BRICK PIER AND FOOTINGS TO ENGINEER'S DETAILS
  - COLONIAL SKIRTINGS & ARCHITRAVES
  - COVE CORNICE

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DR	DRYER
DW	DISH WASHER RECESS
FT	TIMBER FLOORING
FTL	TIMBER FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HWD	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
OBS	OBSCURE GLASS
ORH	OVERHEAD CURTAIN
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
RH	RANGEHOOD (DUCKET)
S/D	SETDOWN
S/O RH	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WC	TOILET
	CEILING FAN
	CEILING FAN LIGHT COMBO
NOTE: DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 300mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNPIPE.	

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.

C	VO1	VN-EM	16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21
Rev	Amendment	Drawn	Date

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CLIENT .....

DATE .....

BUILDER .....

DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 5 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ACACIA 261	
FACADE	BASIX CERT. No.	PRELIMINARY
	EPSOM	
TITLE	GROUND FLOOR PLAN	

SCALE	1:100
SHEET SIZE	A3
DATE	16/03/22
DRAWN	VN-EM
JOB No.	000235
DWG No.	01-1



1 1:100



**Hotondo  
Homes**

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PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD  
AT LOT 5 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

AT LOT 5 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

MODIFIED ACACIA 261	
BASIX CERT. No.	PRELIMINARY

FIRST FLOOR PLAN

FF ROOM SCHEDULE	
Location	Area (m2)
DINING	1.00
WIR	5.16
WC	1.75
ENS	7.49
STUDY	4.97
RUMPUS	19.19
BED 4	12.30
BED 3	10.32
BATH	6.67
BED 2	10.67
MASTER SUITE	13.93
PASS	14.36
STAIRS	3.49
	<b>111.30 m<sup>2</sup></b>

CPT	CARPET
CT	CERAMIC TILES
CP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DR	DRYER
DW	DISHWASHER RECESS
FT	TIMBER FLOORING
FL	FINISHED FLOOR LEVEL
GL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HW	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
ORBS	OBSCURE GLASS
OH	OVERHEAD CLIPBOARDS
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
RNL	RANGEHOOD (DUCTED)
SIO	SET DOWN
SD RH	SLIDE-OUT RANGEHOOD
WST	FLOOR WASTE
ST	GAS STOVE
UI	UNDER-BENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WC	TOILET

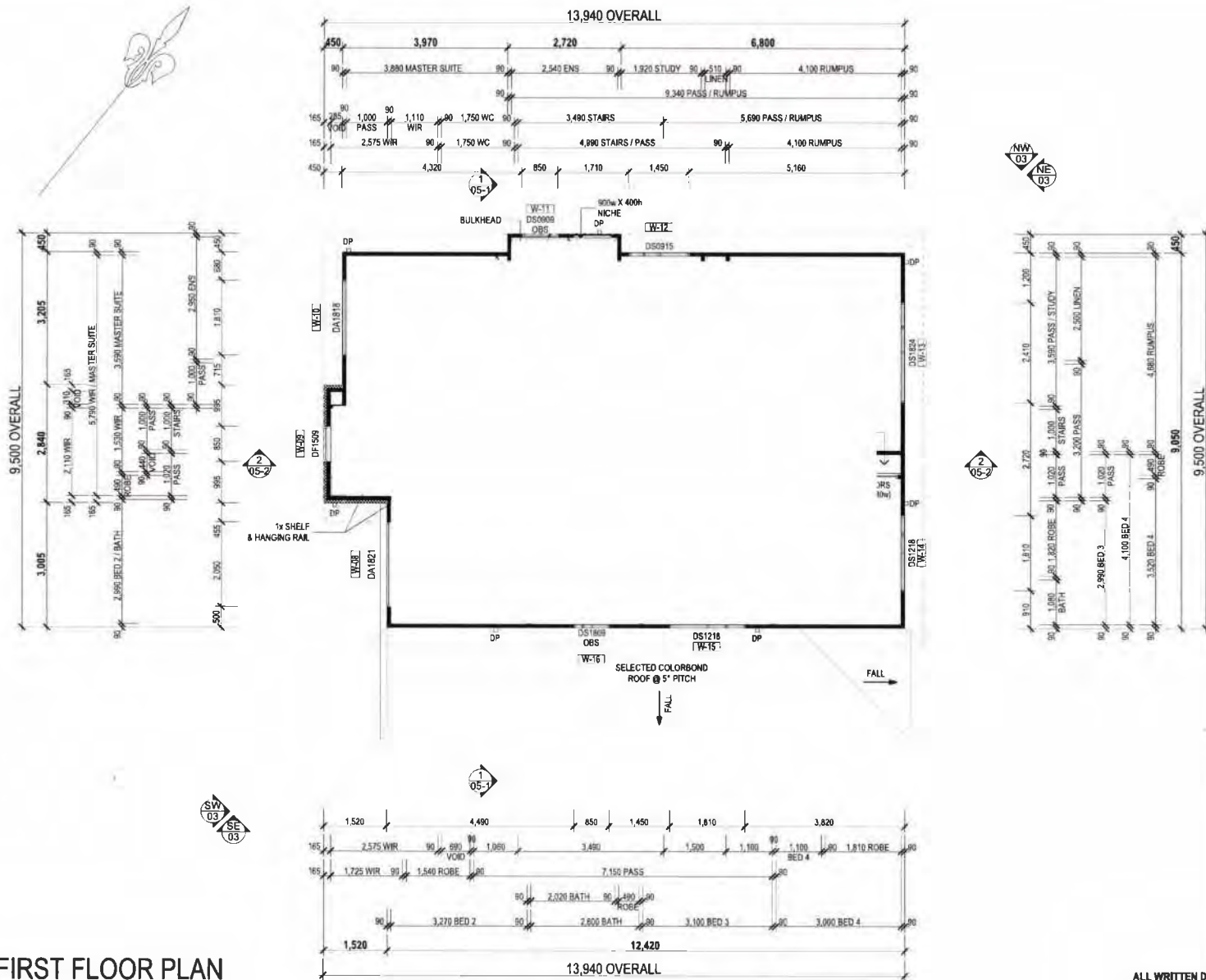
**NOTE:**  
DOWNPIPES TO BUILDING CORNERS ARE TO BE  
LOCATED 350mm FROM THE CORNER OF THE  
EXTERNAL WALL TO CENTRE OF THE DOWNPIPE

Location	Area
ALFRESCO	15.72
GROUND FLOOR	103.04
GARAGE	36.78
PORCH	4.18
FIRST FLOOR	121.37
	<b>281.09 m<sup>2</sup></b>

AREA [m2 ON THE FLAT]	173.68
AREA [m2 ON THE RAKE]	185.34

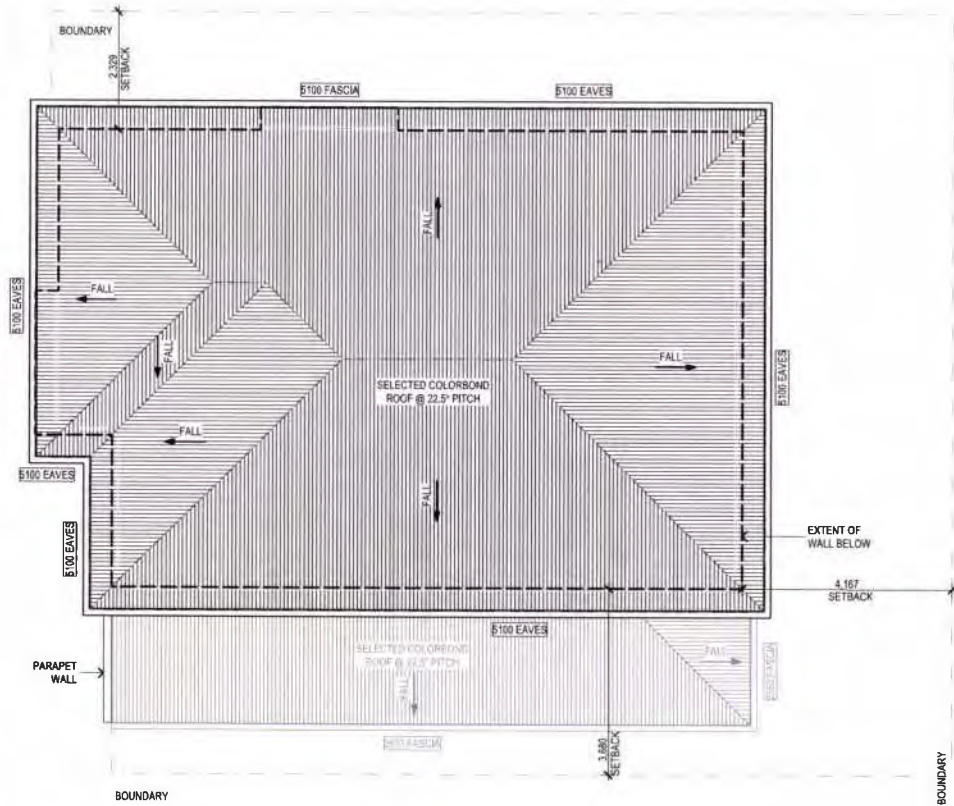
- 2500' CEILING HEIGHT TO GROUND FLOOR AND 2400' CEILING HEIGHT TO UPPER FLOOR UNLESS NOTED OTHERWISE
- RENDER TO FRONT FACADE. REFER TO ELEVATIONS.
- 250w BRICK VENEER TO EXTERNAL WALLS.
- 90w TIMBER FRAME WW- SELECTED CLADDING TO EXTERNAL WALLS
- WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
- CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
- BEARERS AND JOIST WITH BRICK PIER AND FOOTINGS TO ENGINEER'S DETAILS
- COLONIAL SKIRTINGS & ARCHITRAVES
- COVE CORNICE

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.






ROOF AREAS (COLORBOND)	
AREA [m2 ON THE FLAT]	173.68
AREA [m2 ON THE RAKE]	185.34



1 ROOF PLAN  
1:100

Rev	Amendment	Drawn	Date
C	V01	VN-EM	16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21

  
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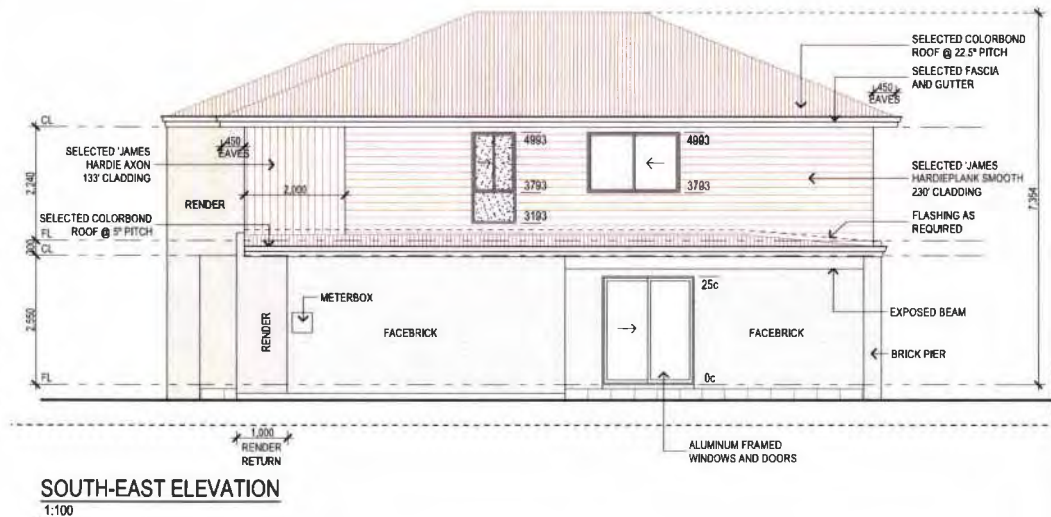
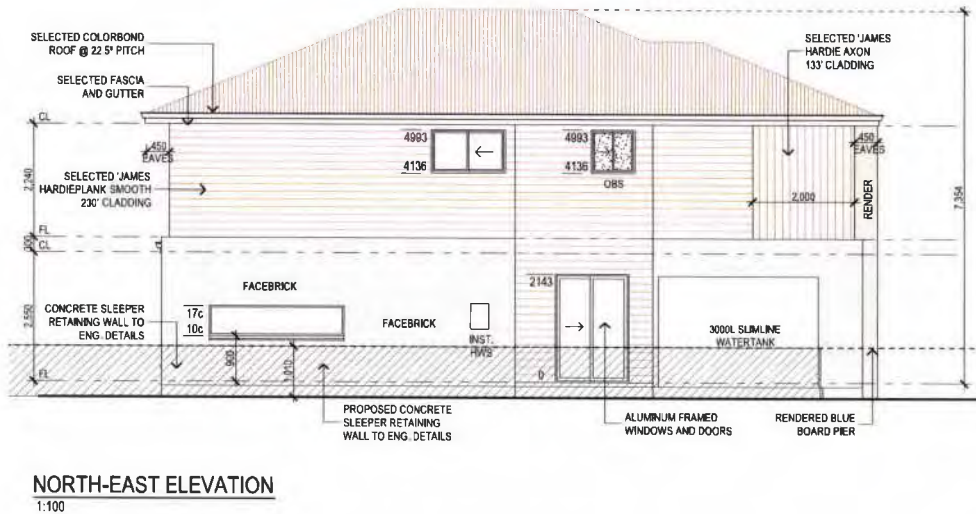
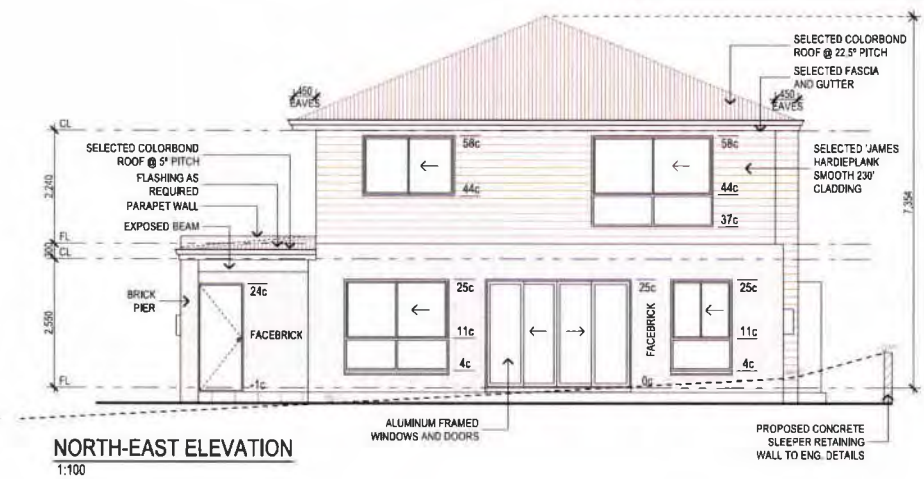
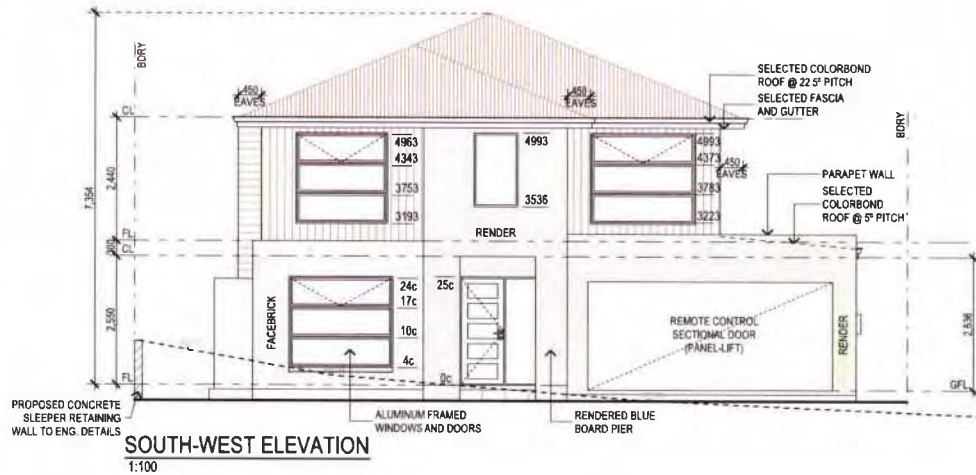
CLIENT .....
DATE .....
BUILDER .....
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
AT **LOT 5 DP 1246998**  
**NO. 221 PEEL STREET**  
**BATHURST, NSW 2795**

PLAN	MODIFIED ACACIA 261	SCALE	1:100
FACADE	EPSOM	SHEET SIZE	A3
TITLE	ROOF PLAN	DATE	16/03/22
		DRAWN	VN-EM
		JOB No.	000235
		DWG No.	01-3




**PROTECTION OF OPENABLE WINDOWS AS PER B.C.A  
CONDITION 3.9.2.5**  
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW  
THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH.  
WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE  
FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING  
TO A MAX 125mm



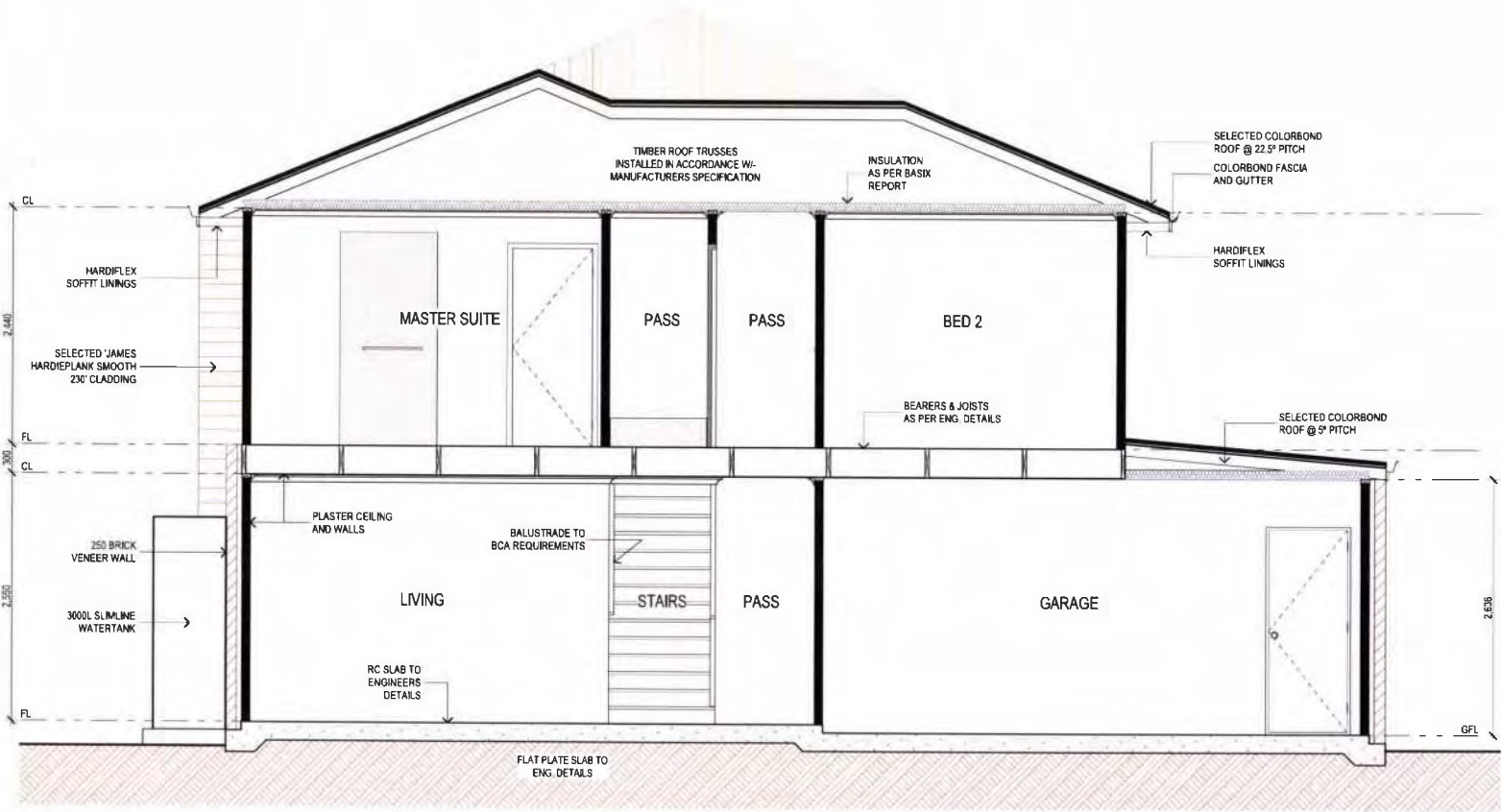
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C	VO1	VN-EM	16/03/22							FACADE	EPSON	BASIX CERT. No. PRELIMINARY	SHEET SIZE	A3
B	WORKING DRAWINGS	VN-EM	25/11/21										DATE	16/03/22
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21										DRAWN	VN-EM
Rev	Amendment	Drawn	Date										JOB No. 000235	DWG No. 02
										ELEVATIONS				





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C	VO1	VN-EM	16/03/22		DATE .....		AT LOT 5 DP 1246998		MODIFIED ACACIA 261		SHEET SIZE	
B	WORKING DRAWINGS	VN-EM	25/11/21		BUILDER .....		NO. 221 PEEL STREET		EPSOM		BASIX CERT. No.	
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21		DATE .....		BATHURST, NSW 2795		PRELIMINARY		DATE	
Rev	Amendment	Drawn	Date						TITLE		DRAWN	
								PERSPECTIVES		VN-EM		
										JOB No.		
										000235		
										DWG No.		
										03		





## SECTION 1

1:50

- COLONIAL SKIRTINGS & ARCHITRAVES
- COVE CORNICE

- BASIX NOTES**
- FLOOR - SUSPENDED FLOOR ABOVE GARAGE. FRAMED R0.8 INSULATION (MIN)
  - EXTERNAL WALL - BRICK VENEER SARKING - R2.26 INSULATION (MIN)
  - EXTERNAL WALL - FRAMED SARKING - R2.40 INSULATION (MIN)
  - INTERNAL WALL - SHARED WITH GARAGE R1.14 INSULATION (MIN)
  - CEILING - R3.25 INSULATION (MIN)
  - ROOF - REFLECTIVE FOIL SARKING/UNVENTILATED
  - ROOF COLOR - LIGHT (SOLAR ABSORPTANCE <0.475)

### ENERGY SCHEDULE

No. of Bedrooms	4
Site Area (Total)	224m²
Roof Area (Total)	186m²
Nel Conditioned Floor Area	207.22m²
Nel Unconditioned Floor Area	15.43m²
Landscaped Area	40m²
Indigenous Planting required	N/A
Shower Head Rating	3 star minimum
Toilets Rating	5 star minimum
Tap Fitting Kitchen	5 star minimum
Tap Fitting Bathroom	6 star minimum
Water Tank	3000L
Tank Water Usage	toilets & wm taps
Hot Water Unit	Gas instantaneous
Thermal Comfort	Pass
Air Conditioning	1-Phase Airconditioning
Mechanical Ventilation (Fans)	Yes
Ventilation Bathroom	individual fan, ducted
Ventilation Kitchen	individual fan, ducted
Ventilation Laundry	natural ventilation
Cooktop	Gas cooktop
Oven	Electric oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

C	VO1	VN-EM	16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21
Rev	Amendment	Drawn	Date



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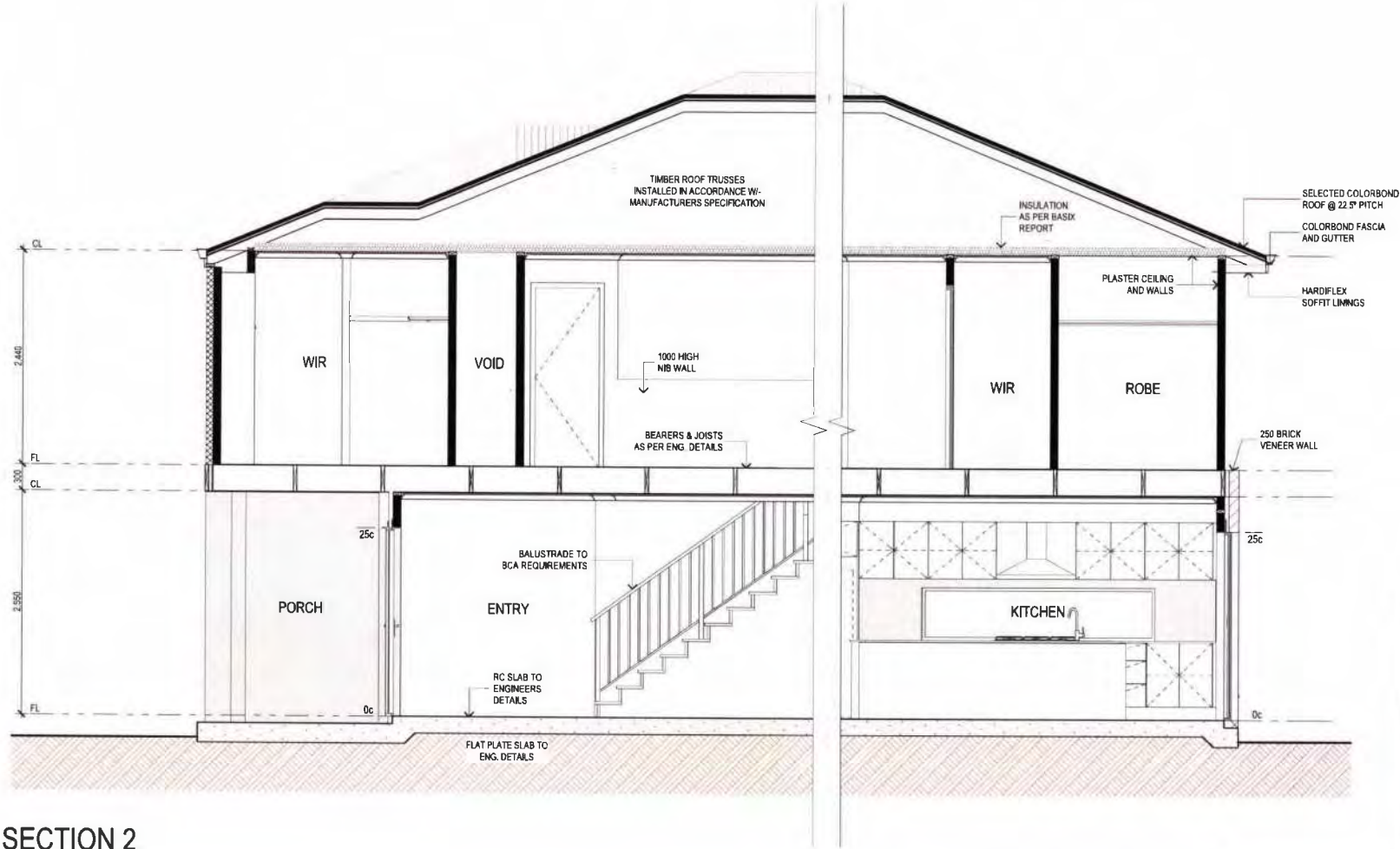
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CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
  
AT LOT 5 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ACACIA 261	SCALE	1:50
FACADE	BASIX CERT. No.	SHEET SIZE	A3
	EPSOM PRELIMINARY	DATE	16/03/22
TITLE	SECTION	DRAWN	VN-EM
		JOB No.	000235
		DWG No.	04-1





SECTION 2

1:50

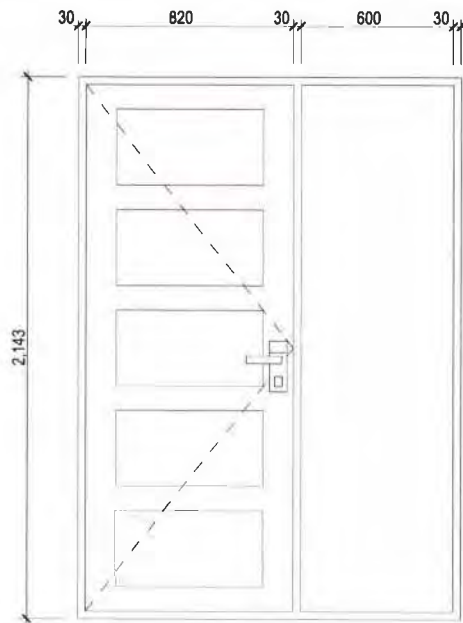
- COLONIAL SKIRTINGS & ARCHITRAVES
- COVE CORNICE

- BASIX NOTES:**
- FLOOR - SUSPENDED FLOOR ABOVE GARAGE, FRAMED R0.8 INSULATION (MIN)
  - EXTERNAL WALL - BRICK VENEER : SARKING + R2.26 INSULATION (MIN)
  - EXTERNAL WALL - FRAMED : SARKING + R2.40 INSULATION (MIN)
  - INTERNAL WALL - SHARED WITH GARAGE R1.14 INSULATION (MIN)
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Oven	Electric oven
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Alternative Energy	N/A

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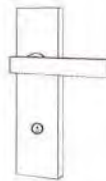




CORINTHIAN BLONDE OAK AWO 5G  
820mm WITH TRANSLUCENT GLASS

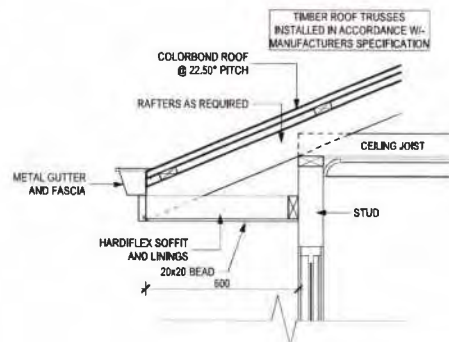
**ENTRY DOOR DETAIL**  
1: 20

Door Schedule			
ID	Height		
D1	2,143		
D2	2,040		
D3	2,040		
D4	2,040		
D5	2,143		
D6	2,040		
D7	2,040		
D8	2,040		
D9	2,040		
D10	2,040		
D11	2,040		

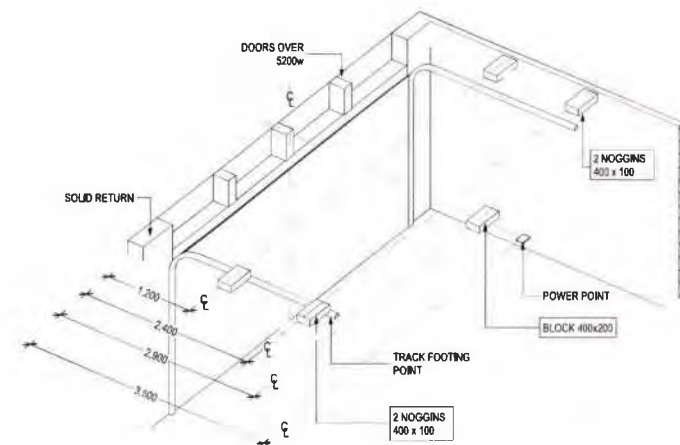
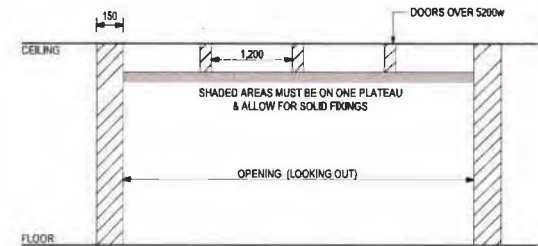


ASSA ABLOY NEXION VISION  
MECHANICAL ENTRANCE SET  
WITH ELEMENT HANDLE

**SELECTED DOOR HANDLE**



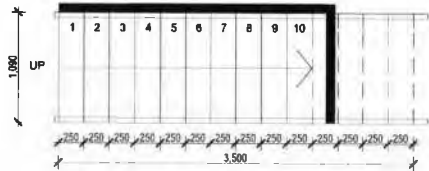
**EAVES TO WINDOW DETAIL**  
1: 20



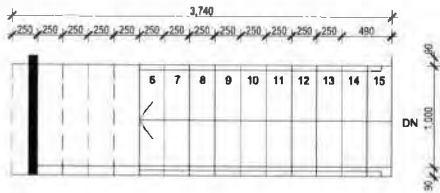
**TYPICAL GARAGE DOOR DETAILS**  
NTS

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		SHEET SIZE										A3		
C	VO1	VN-EM	16/03/22									DATE		16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21									DRAWN		VN-EM
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21									JOB No.		DWG No.
Rev	Amendment	Drawn	Date	DETAILS		000235	04-3							

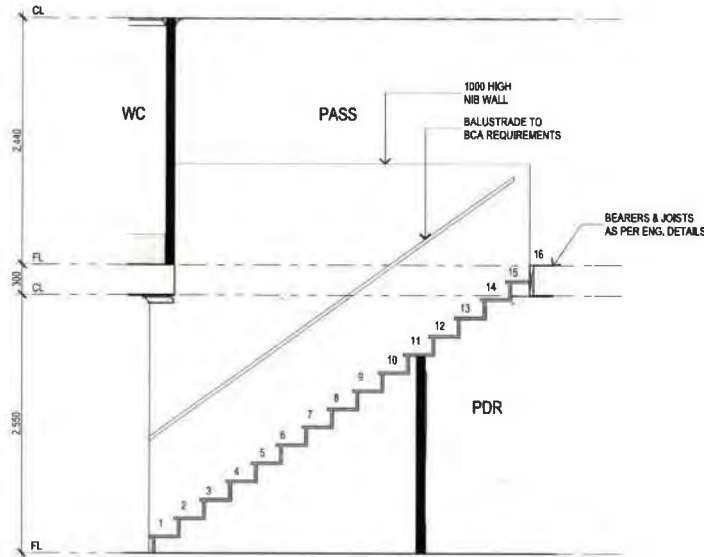




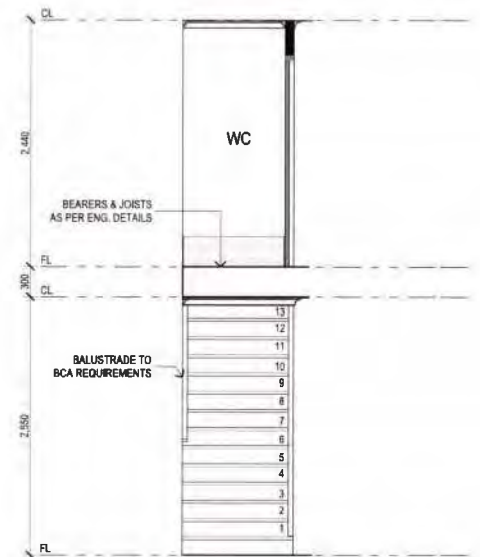
GROUND FLOOR PLAN  
STAIRS



FIRST FLOOR PLAN  
STAIRS



ELEVATION 1  
STAIRS



ELEVATION 2  
STAIRS

STAIRS NOTE:  
16 RISERS @ 180mm/RISER  
15 TREADS @ 250mm/TREAD

C	VO1	VN-EM	16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21
Rev	Amendment	Drawn	Date



CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD  
AT LOT 5 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

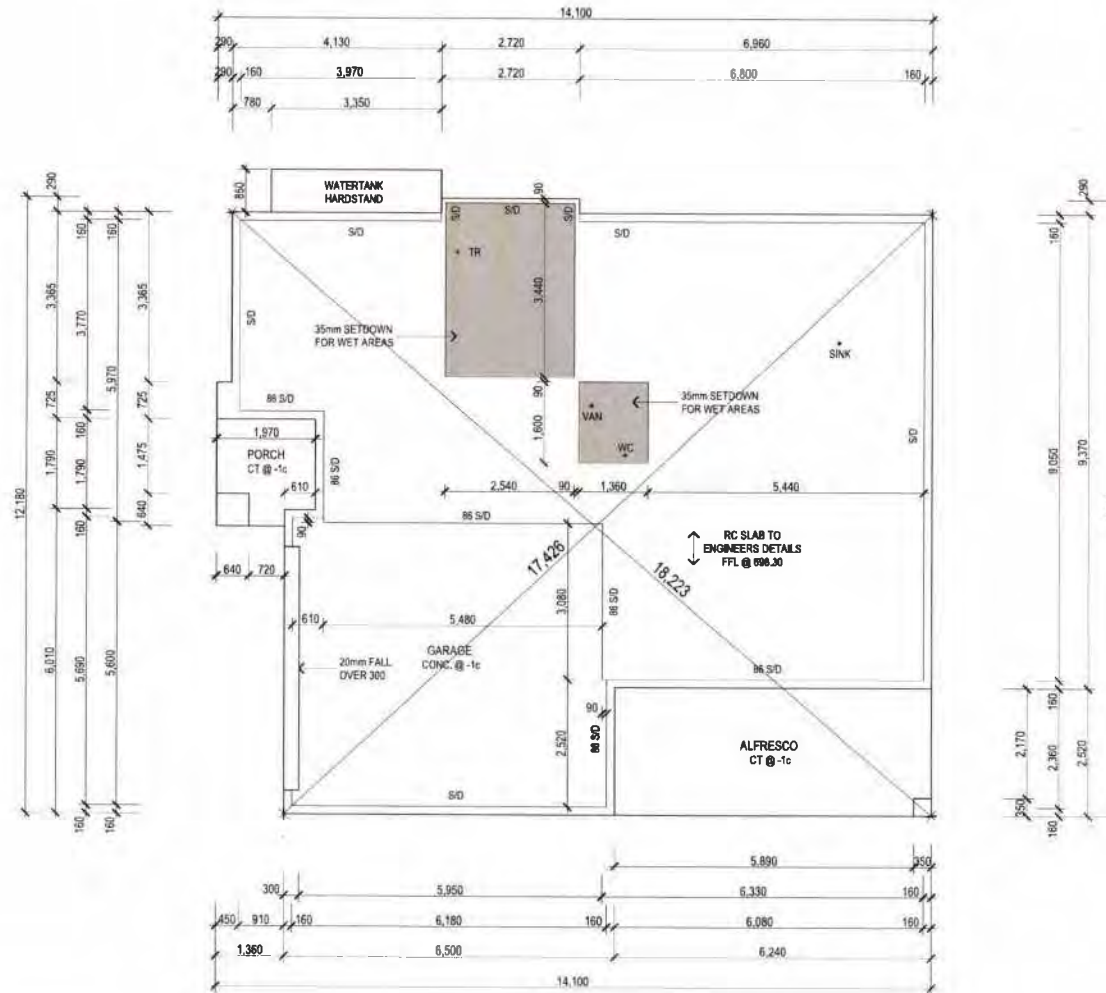
PLAN	MODIFIED ACACIA 261
FACADE	EPSOM
TITLE	STAIR DETAILS

BASIX CERT. No.  
PRELIMINARY

SCALE	1:50
SHEET SIZE	A3
DATE	16/03/22
DRAWN	VN-EM
JOB No.	000235
DWG No.	05



PLUMBER AND CONCRETER TO CONFIRM  
ALL PC ITEMS FOR SLAB PENETRATION  
OFFSETS AND DIMENSIONS

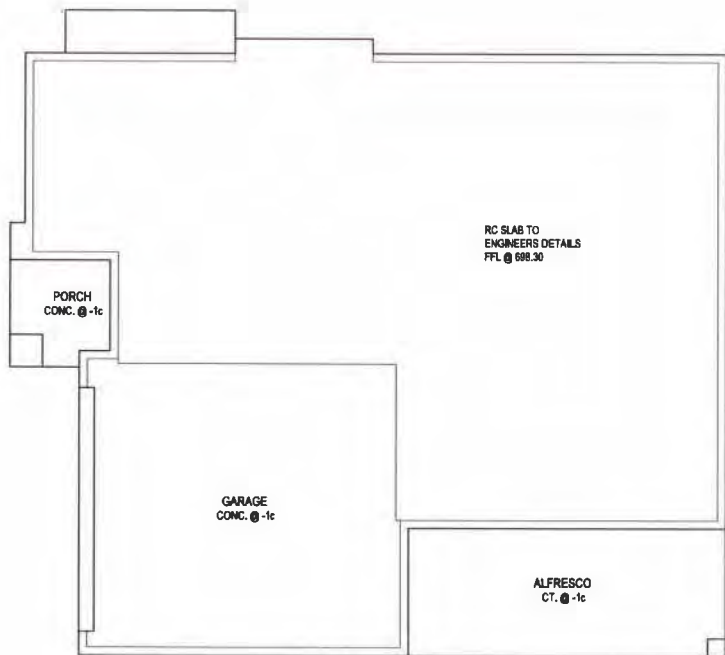


- NOTES**
1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
  2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICK WORK UNLESS NOTED OTHERWISE.
  3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEER'S DETAIL FOR THIS ALLOTMENT.
  4. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3660.1 1995 AND NCC 3.1.3.


**1 SLAB LAYOUT**  
1:100

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C	VO1	VN-EM	16/03/22								
B	WORKING DRAWINGS	VN-EM	25/11/21								
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21								
Rev	Amendment	Drawn	Date								

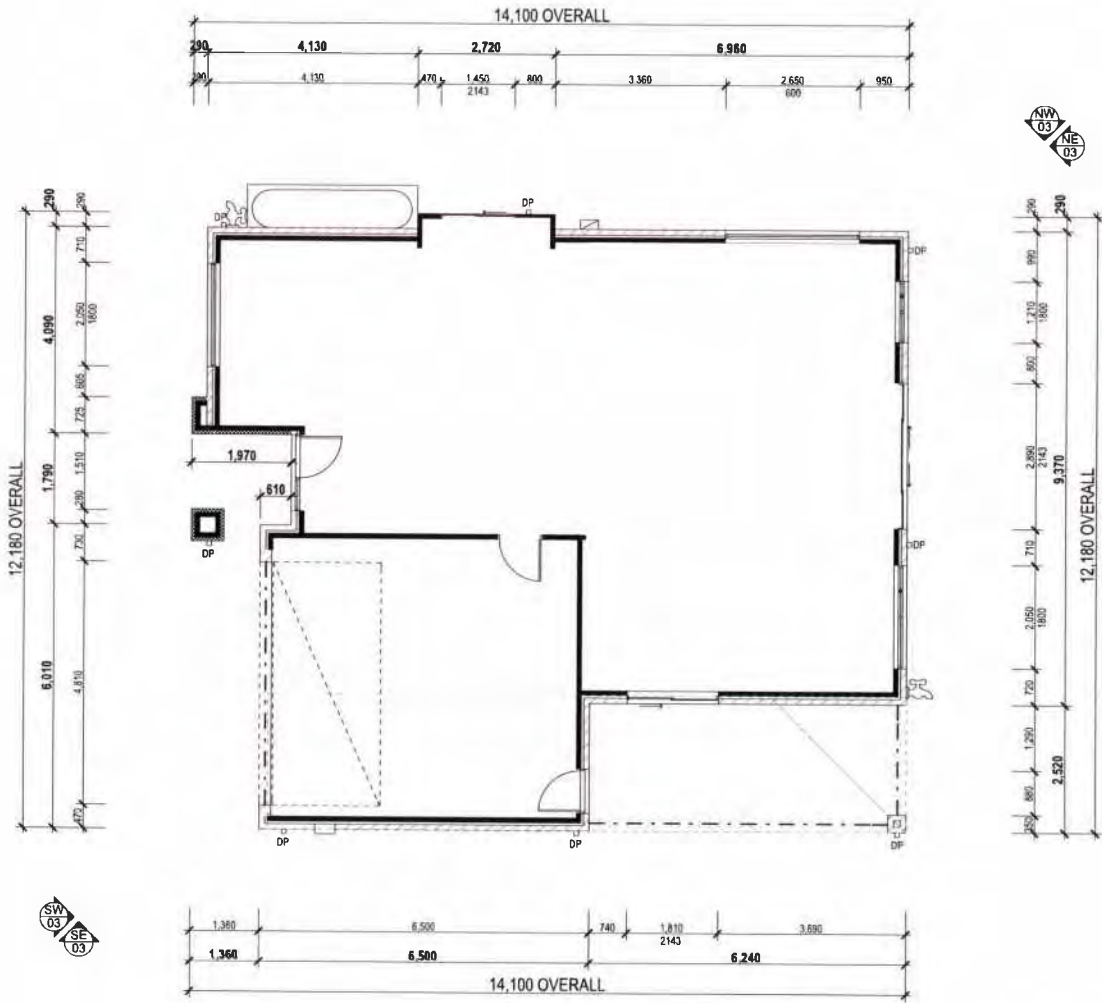




1 REDACTED PLAN  
1:100

				 THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT COPYRIGHT HOTONDO PTY LTD	CLIENT .....	PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD	PLAN		SCALE	1:100
C	VO1	VN-EM	16/03/22				MODIFIED ACACIA 261		SHEET SIZE	A3
B	WORKING DRAWINGS	VN-EM	25/11/21				FACADE	BASIX CERT. No.	DATE	16/03/22
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21				EPSOM	PRELIMINARY	DRAWN	VN-EM
Rev	Amendment	Drawn	Date		DATE .....	AT LOT 5 DP 1246998 NO. 221 PEEL STREET BATHURST, NSW 2795	REDACTED PLAN		JOB No. 000235	DWG No. 06-2

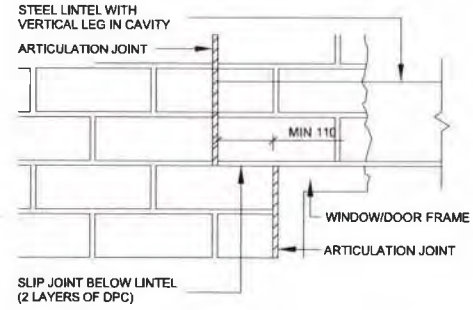




**LEGEND**

○ BRICKWORK ARTICULATION

- BRICKWORK ARTICULATION JOINTS**
1. In straight, continuous walls having no openings, at no more than 7.0m.
  2. Where the height of the wall changes by more 20%, at the position of change in height; and
  3. Where openings more than 900x900mm occur, at not more than 5m centre and positioned in line with one edge of the opening; and
  4. Where walls change thickness, and
  5. At control or construction joints in footing slab; and
  6. At junctions of walls constructed of different masonry materials; and
  7. At a distance from all corners between 2m-4.5m.

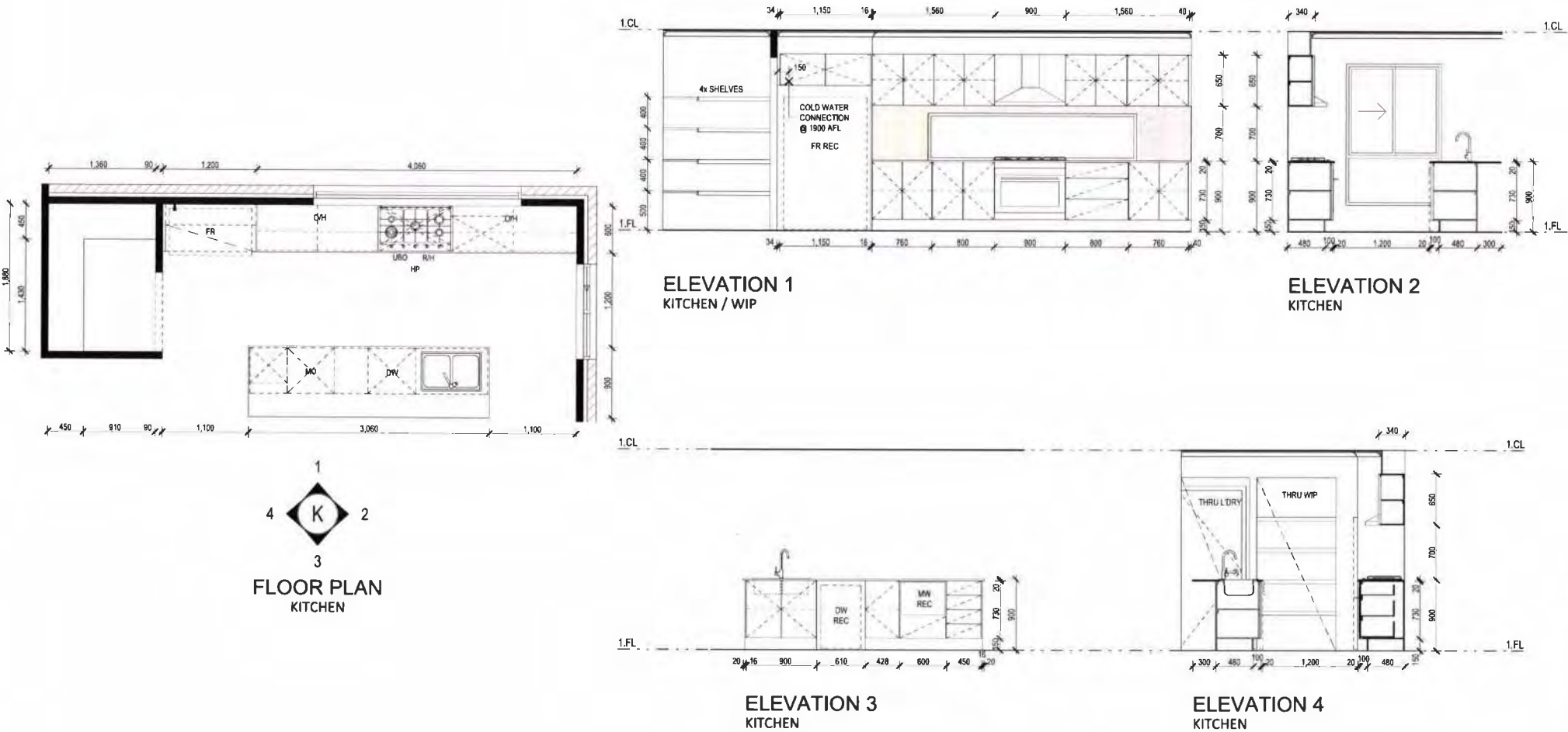


**BRICKWORK ARTICULATION OVER WINDOW OR DOOR**

**1 BRICKWORK VERTICAL ARTICULATION JOINTS SCHEDULE**

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C	VO1	VN-EM	15/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21
Rev	Amendment	Drawn	Date

**Hotondo Homes**

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COPYRIGHT HOTONDO PTY LTD

CLIENT	.....
DATE	.....
BUILDER	.....
DATE	.....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 5 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ACACIA 261
FACADE	EPSOM
TITLE	KITCHEN DETAILS

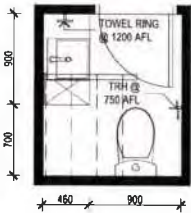
SCALE	1:50
SHEET SIZE	A3
DATE	16/03/22
DRAWN	VN-EM
JOB No.	000235
DWG No.	08

NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER WALL FINISHES

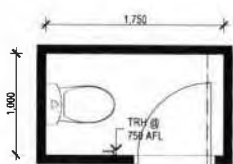




**FLOOR PLAN  
LAUNDRY**



**FLOOR PLAN  
POWDER**



**FLOOR PLAN  
WC**



NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2.  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL.

C	VO1	VN-EM	16/03/22
B	WORKING DRAWINGS	VN-EM	25/11/21
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21
Rev	Amendment	Drawn	Date

**Hotondo  
Homes**

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OR IN PART WITHOUT WRITTEN CONSENT

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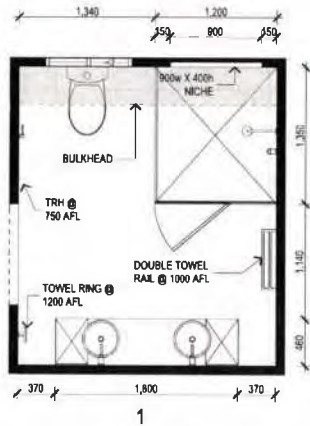
CLIENT	.....
DATE	.....
BUILDER	.....
DATE	.....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

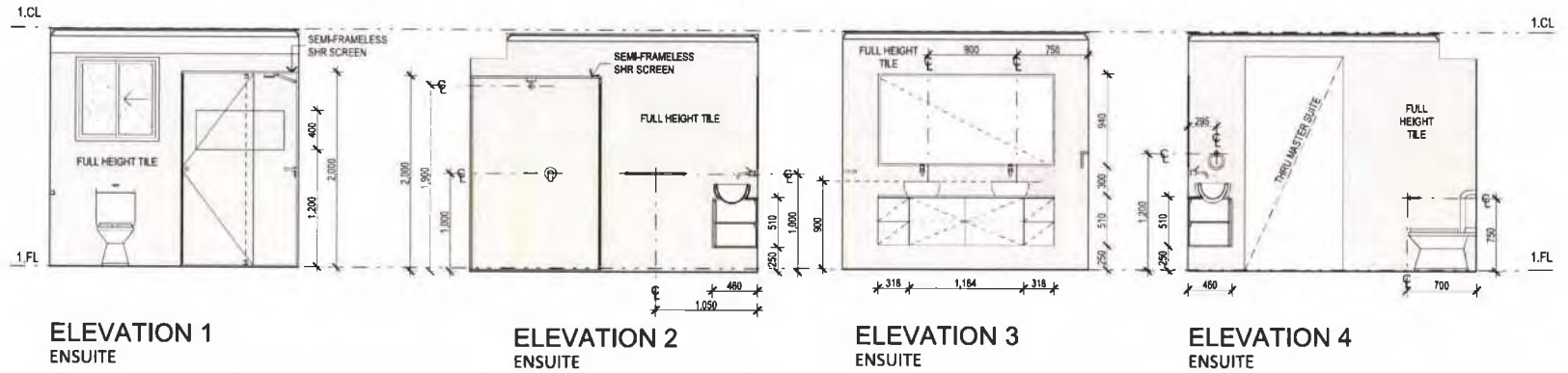
AT **LOT 5 DP 1246998**  
**NO. 221 PEEL STREET**  
**BATHURST, NSW 2795**

PLAN	MODIFIED ACACIA 261	SCALE	1:50
FACADE	BASIX CERT. No. EPSOM PRELIMINARY	SHEET SIZE	A3
TITLE	WET AREA DETAILS	DATE	16/03/22
		DRAWN	VN-EM
		JOB No.	000235
		DWG No.	09-1

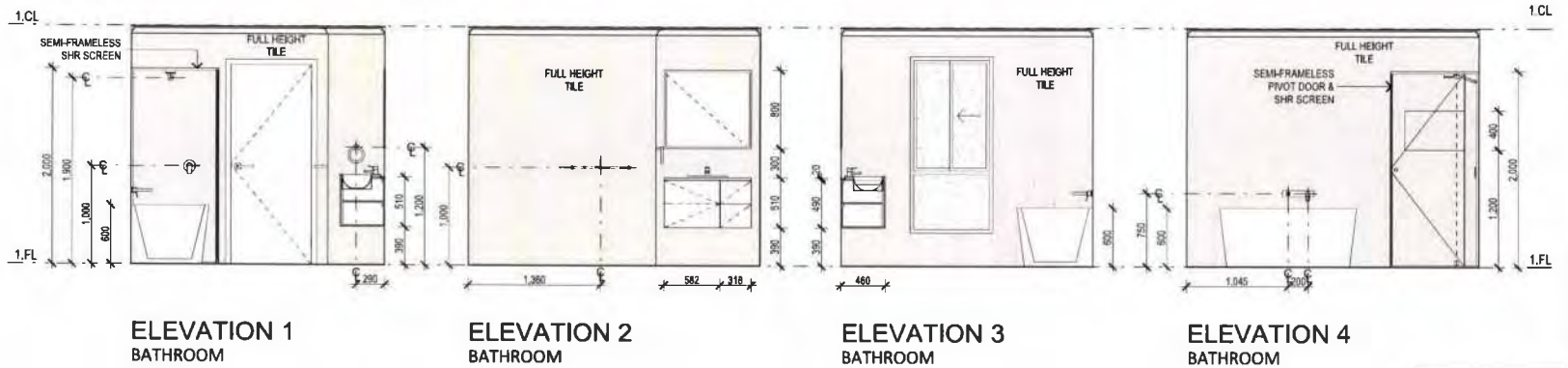




**FLOOR PLAN  
ENSUITE**




**FLOOR PLAN  
BATHROOM**

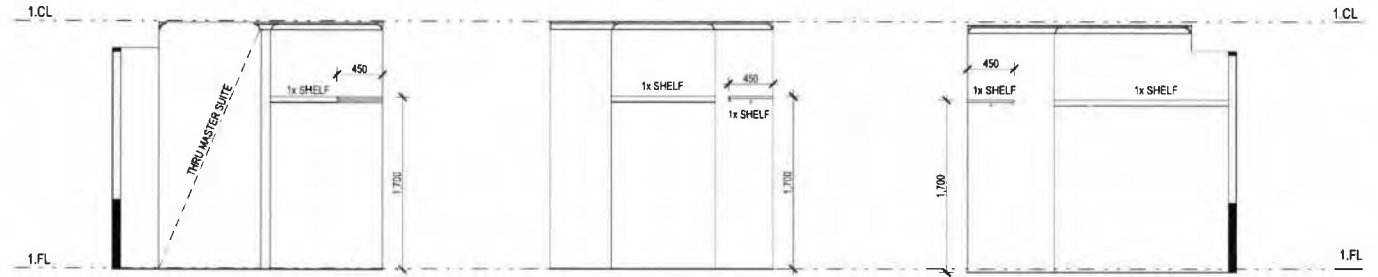
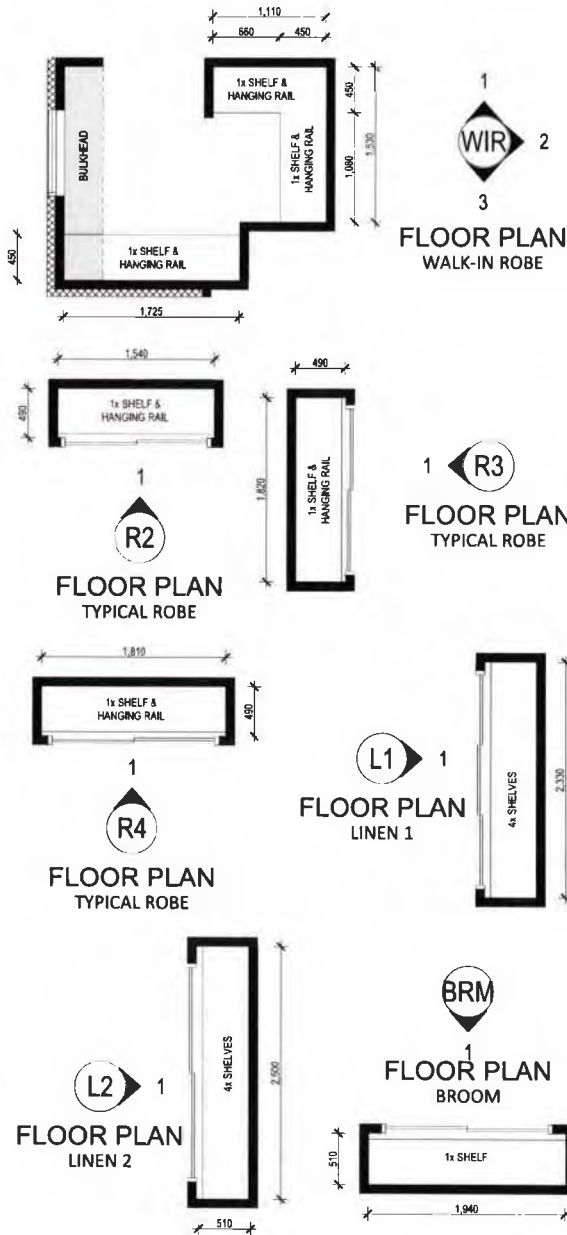


NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8 1.2  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL

				 <div>Hotondo Homes</div> <p>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</p> <p>COPYRIGHT HOTONDO PTY LTD</p>	CLIENT .....	PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD	PLAN MODIFIED ACACIA 261	SCALE 1:50
C	VO1	VN-EM	16/03/22		DATE .....	AT LOT 5 DP 1246998	FACADE EPSOM	SHEET SIZE A3
B	WORKING DRAWINGS	VN-EM	25/11/21		BUILDER .....	NO. 221 PEEL STREET	BASIX CERT. No. PRELIMINARY	DATE 16/03/22
A	PRELIMINARY DRAWINGS	VN-EM	18/10/21		DATE .....	BATHURST, NSW 2795	TITLE WET AREA DETAILS	DRAWN VN-EM
Rev	Amendment	Drawn	Date					JOB No. 000235



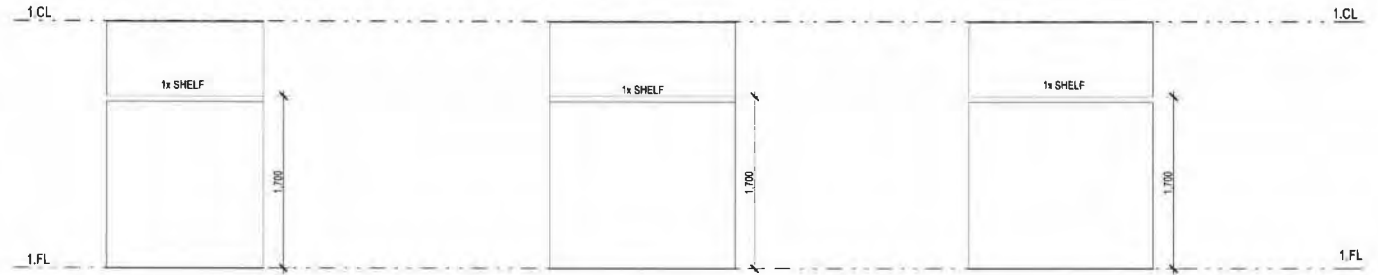


## ELEVATION 1

### WALK-IN ROBE

**ELEVATION 2**  
WALK-IN ROBE

**ELEVATION 3**  
**WALK-IN ROBE**



ELEVATION 1  
ROBE 2

ELEVATION 1  
ROBE 3

ELEVATION 1  
ROBE 4



ELEVATION 1  
LINEN 1

ELEVATION 1  
LINEN 2

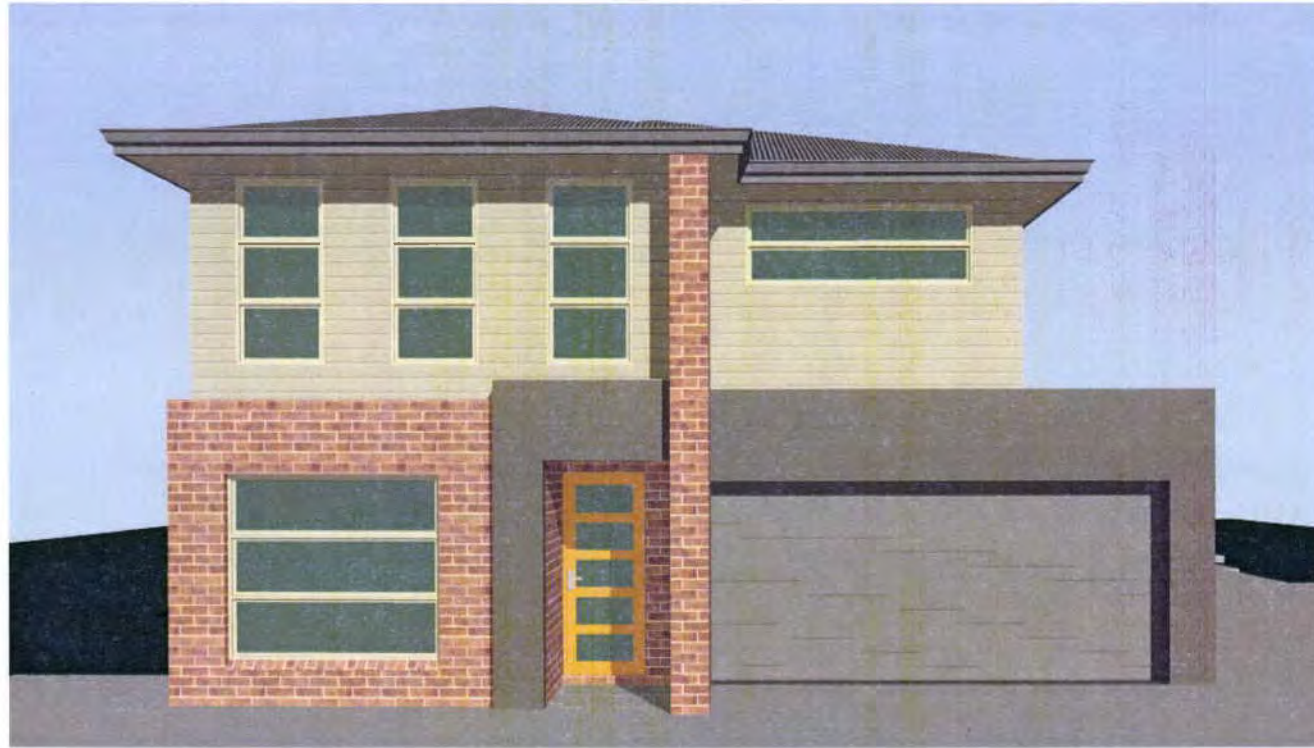
**ELEVATION 1**  
**BROOM**

**NOTE:**  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

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PROPOSED RESIDENCE FOR:  
**McSWEENEY DEVELOPMENTS PTY LTD**  
 LOT 6 DP 1246998  
 NO. 221 PEEL STREET  
 BATHURST, NSW 2795



#### Drawing List

Sheet No.	Sheet Name
00	COVER SHEET
01-1	GROUND FLOOR PLAN
01-2	FIRST FLOOR PLAN
01-3	ROOF PLAN
02	ELEVATIONS
03	PERSPECTIVES
04-1	SECTION 1
04-2	SECTION 2
04-3	DETAILS
05	STAIRS LAYOUT
06-1	SLAB LAYOUT
06-2	REDACTED PLAN
06-3	BRICKWORK SETOUT
07	KITCHEN DETAILS
08-1	WET AREA DETAILS
08-2	WET AREA DETAILS
09	FITOUT DETAILS

#### SPECIFICATIONS

##### GENERAL


- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUTABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS

##### STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

##### NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF NCC
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.1.4 OF NCC
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF NCC
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF NCC OR AS1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF NCC
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF NCC, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.3 OF NCC
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- LINTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MASONRY VENEER SHALL COMPLY WITH PART 3.3.5 OF NCC
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF NCC
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.6.1 OF NCC
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.6.2 OF NCC
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500, & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WAVED SMOKE ALARMS IN ACCORDANCE WITH AS3786 & PART 3.7.5 OF NCC
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3988.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF WALLS & FLOORS
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC
- INWARD SWINGING W.C. DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF NCC
- CONDENSATION MANAGEMENT TO COMPLY WITH PART 3.8.7 OF NCC
- FIRE HAZARD PROPERTIES TO COMPLY WITH PART 3.7.1.2 OF NCC
- WALL CLADDING TO COMPLY WITH PART 3.5.4 OF NCC

 <p>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</p> <p>COPYRIGHT HOTONDO PTY LTD</p>			CLIENT ..... DATE ..... BUILDER ..... DATE .....		PROPOSED NEW RESIDENCE FOR <b>McSWEENEY DEVELOPMENTS PTY LTD</b> AT LOT 6 DP 1246998 NO. 221 PEEL STREET BATHURST, NSW 2795	PLAN MODIFIED ALAMEDA 254 FACADE ORANA TITLE COVER SHEET	SCALE SHEET SIZE A3 DATE 20/01/22 DRAWN VN-GB JOB No. 000235 DWG No. 00
B	WORKING DRAWINGS	VN-GB	24/11/21				
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21				
Rev	Amendment	Drawn	Date				



## GROUND FLOOR PLAN

B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-DB	18/10/21
Rev	Amendment	Drawn	Date



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CLIENT .....
DATE .....
BUILDER .....
DATE .....
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PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD

AT LOT 6 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

Location	Area (m2)
LIVING	10.20
ENTRY	2.75
PASS	6.41
PDR	2.18
L'DRY	3.50
WIL	1.37
FAMILY	17.38
DINING	15.24
KITCHEN	10.87
WIP	2.62
STAIRS	4.45
	<b>76.77 m<sup>2</sup></b>

Window List				
ID	Height	Width	Description	Area
W-01	1,800	2,050	AWNING WINDOW	3.69
W-02	2,143	1,450	SLIDING DOOR	3.11
W-03	1,800	2,410	SLIDING WINDOW	4.34
W-04	600	2,410	FIXED WINDOW	1.45
W-05	1,800	1,450	SLIDING WINDOW	2.61
W-06	2,143	2,410	SLIDING DOOR	5.16
W-07	1,800	2,410	SLIDING WINDOW	4.34
W-08	857	2,410	AWNING WINDOW	2.07
W-09	1,800	850	AWNING WINDOW	1.53
W-10	1,800	850	AWNING WINDOW	1.53
W-11	1,800	850	AWNING WINDOW	1.53
W-12	1,800	850	FIXED WINDOW	1.53
W-13	1,029	3,010	SLIDING WINDOW	3.10
W-14	1,029	1,450	SLIDING WINDOW	1.49
W-15	1,200	1,810	SLIDING WINDOW	2.17
W-16	857	610	SLIDING WINDOW	0.52
W-17	1,200	1,810	SLIDING WINDOW	2.17
W-18	1,200	1,810	SLIDING WINDOW	2.17
W-19	857	1,450	SLIDING WINDOW	1.24

AREAS	
Location	Area
GARAGE	36.33
PORCH	1.99
GROUND FLOOR	89.00
ALFRESCO	9.70
FIRST FLOOR	117.64
	<b>254.66 m<sup>2</sup></b>


ROOF AREAS (COLORBOND)		
AREA [m <sup>2</sup> ON THE FLAT]	139.07	11.80
AREA [m <sup>2</sup> ON THE RAKE]	150.53	11.85
Pitch	22.5°	5.0°

**NOTES:**


- 2550' CEILING HEIGHT TO GROUND FLOOR AND 2440" CEILING HEIGHT TO UPPER FLOOR UNLESS NOTED OTHERWISE
- RENDER TO FRONT FACADE REFERS TO ELEVATIONS.
- 250w BRICK VENEER TO EXTERNAL WALLS
- 90w TIMBER FRAME WF- SELECTED CLADDING TO EXTERNAL WALLS
- WINDOW OPENINGS SHOWN NOMINAL AND TO BE COMPLETED WITH WINDOW MANUFACTURER CONCRETE SLABS AND FOOTINGS TO ENGINEER'S DETAILS
- BEARERS AND JOIST WITH BRICK PIER AND FOOTINGS TO ENGINEER'S DETAILS.
- COLONNAD, SKIRTINGS & ARCHITRAVES
- COVE CORNICE

## LEGEND

CPT	CARPET
CT	CERAMIC TILES
DP	DOWNDPIPE
DPS	DOWNDPIPE & SPREADER
DR	DRYER
DW	DISHWASHER RECESS
FT	TIMBER FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HWD	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
OBG	OBSCURE GLASS
OH	OVERHEAD CLIPBOARDS
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
R/H	RANGEHOOD (DUCTED)
SD	SETDOWN
SC RH	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WD	WALL OVEN
WM	WASHING MACHINE
WC	TOILET



CEILING FAN  
LIGHT COMBO



CEILING  
FAN

**NOTE:**  
DOWNPIPES TO BUILDING CORNERS ARE TO BE LOCATED 35mm FROM THE CORNER OF THE EXTERNAL WALL TO CENTRE OF THE DOWNDPIPE.

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.



# 1 FIRST FLOOR PLAN

B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date

**Hotondo Homes**

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COPYRIGHT HOTONDO PTY LTD

CLIENT .....

DATE .....

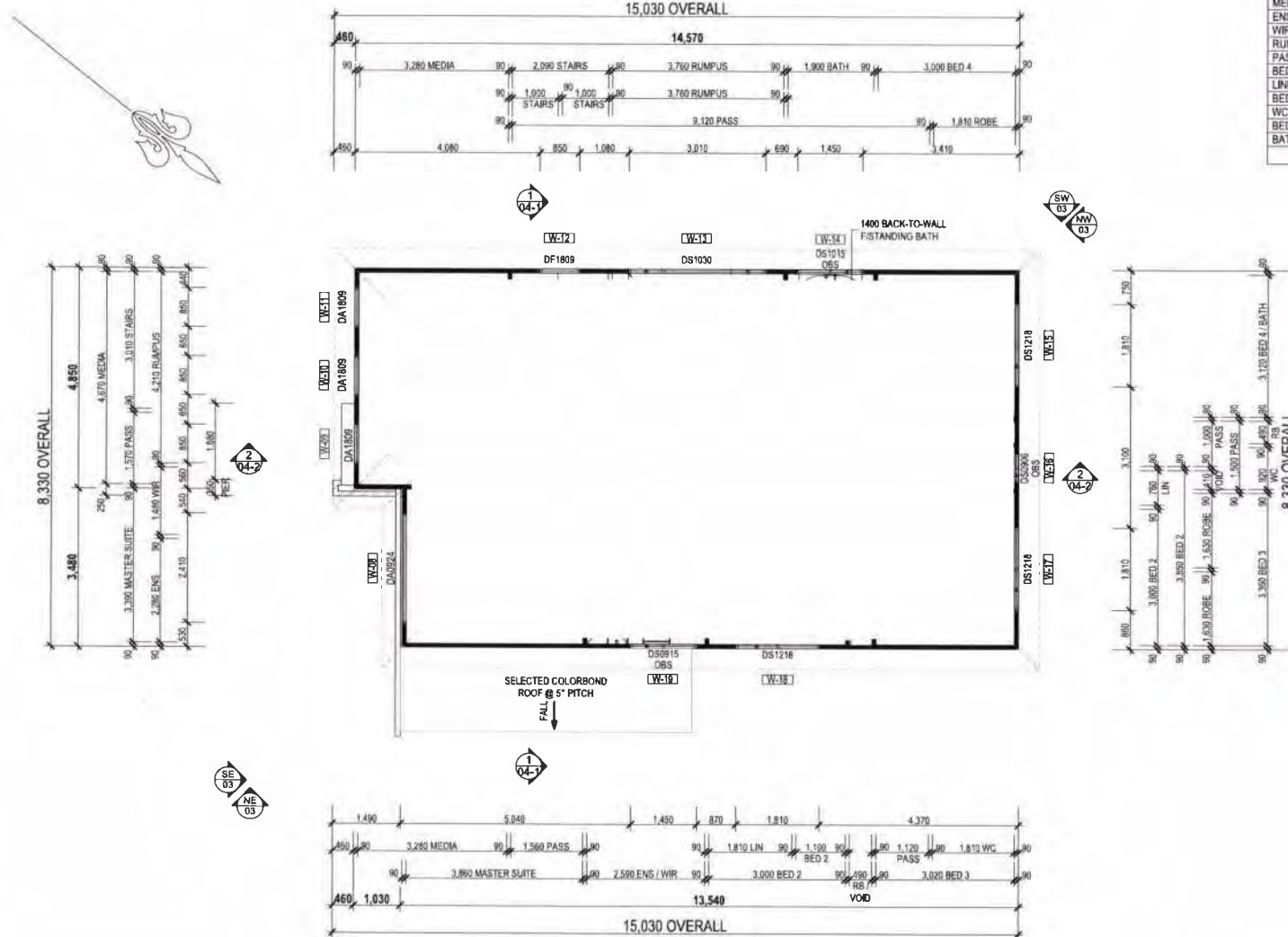
BUILDER .....

DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**

AT LOT 6 DP 1246998  
**NO. 221 PEEL STREET  
BATHURST, NSW 2795**

PLAN	MODIFIED ALAMEDA 254	SCALE	1:100
FACADE	BASIS CERT. No.	SHEET SIZE	A3
TITLE	ORANA PRELIMINARY	DATE	20/01/22
	FIRST FLOOR PLAN	DRAWN	VN-GB
		JOB No.	000235
		DWG No.	01-2



Location	Area (m <sup>2</sup> )
MASTER SUITE	13.09
MEDIA	15.32
ENS	5.91
WIR	3.83
RUMPUS	12.07
PASS	11.73
BED 2	10.88
LINEN	1.38
BED 3	11.06
WC	1.67
BED 4	10.41
BATH	5.93
	<b>103.28 m<sup>2</sup></b>

ID	Height	Width	Description	Area
W-01	1,800	2,050	AWNING WINDOW	3.69
W-02	2,143	1,450	SLIDING DOOR	3.11
W-03	1,800	2,410	SLIDING WINDOW	4.34
W-04	600	2,410	FIXED WINDOW	1.45
W-05	1,800	1,450	SLIDING WINDOW	2.61
W-06	2,143	2,410	SLIDING DOOR	5.16
W-07	1,800	2,410	SLIDING WINDOW	4.34
W-08	857	2,410	AWNING WINDOW	2.07
W-09	1,800	850	AWNING WINDOW	1.53
W-10	1,800	850	AWNING WINDOW	1.53
W-11	1,800	850	AWNING WINDOW	1.53
W-12	1,800	850	FIXED WINDOW	1.53
W-13	1,029	3,010	SLIDING WINDOW	3.10
W-14	1,029	1,450	SLIDING WINDOW	1.49
W-15	1,200	1,810	SLIDING WINDOW	2.17
W-16	857	610	SLIDING WINDOW	0.52
W-17	1,200	1,810	SLIDING WINDOW	2.17
W-18	1,200	1,810	SLIDING WINDOW	2.17
W-19	857	1,450	SLIDING WINDOW	1.24

Location	Area
GARAGE	36.33
PORCH	1.89
GROUND FLOOR	89.00
ALFRESCO	9.70
FIRST FLOOR	117.84
	<b>254.86 m<sup>2</sup></b>

Area [m <sup>2</sup> ON THE FLAT]	139.07	11.80
Area [m <sup>2</sup> ON THE RAKE]	150.53	11.85
Pitch	22.5°	5.0°

**NOTES:**

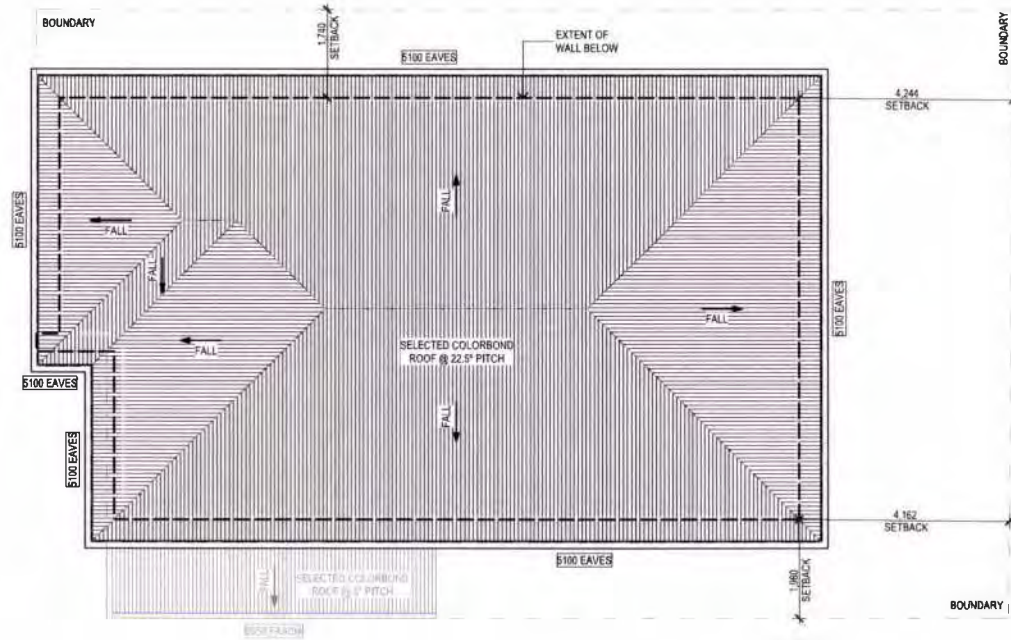
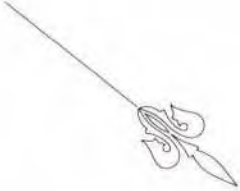
- 2500mm CEILING HEIGHT TO GROUND FLOOR AND 2400mm CEILING HEIGHT TO UPPER FLOOR UNLESS NOTED OTHERWISE
- RENDER TO FRONT FACADE. REFER TO ELEVATIONS
- 250mm BRICK VENEER TO EXTERNAL WALLS
- 90mm TIMBER FRAME W/ SELECTED CLADDING TO EXTERNAL WALLS
- WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
- CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
- BEARERS AND JOIST WITH BRICK PIER AND FOOTINGS TO ENGINEER'S DETAILS
- COLONIAL SKIRTINGS & ARCHITRAVES
- COVE CORNICE

LEGEND	
CPT	CARPET
CT	CERAMIC TILES
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DR	DRYER
DW	DISHWASHER RECESS
FT	TIMBER FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HWD	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
OB	OBSCURE GLASS
OR	OVERHEAD CLIPBOARDS
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
RH	RANGEHOOD (DUCTED)
S/D	SETDOWN
S/O RH	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WC	TOILET
CEILING FAN	CEILING FAN

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.



ROOF AREAS (COLORBOND)			
AREA (m2 ON THE FLAT)	139.07	11.80	
AREA (m2 ON THE RAKE)	150.53	11.85	
Pitch	22.5°	5.0°	

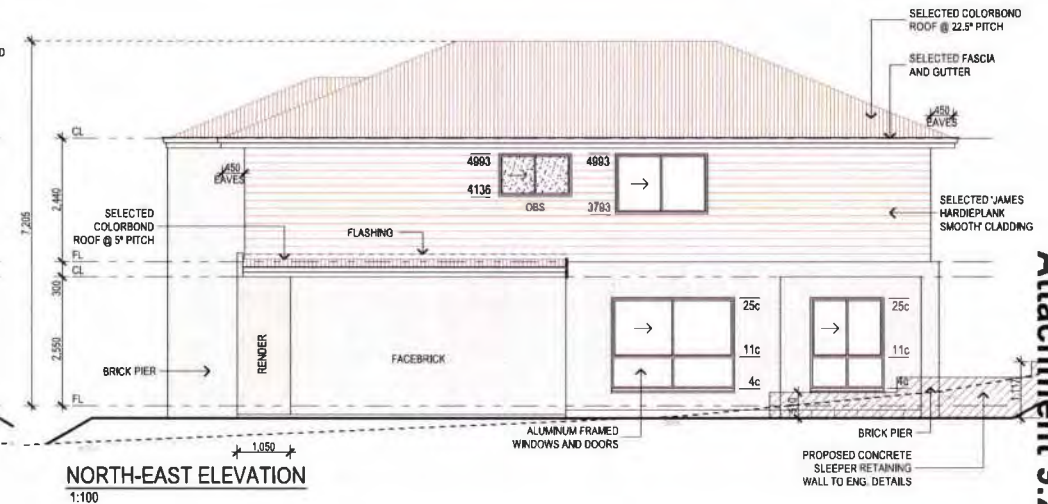


1 ROOF PLAN  
1:100

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				DATE .....		AT LOT 6 DP 1246998 NO. 221 PEEL STREET BATHURST, NSW 2795		FACADE ORANA		BASIX CERT. No. PRELIMINARY	SHEET SIZE A3
				BUILDER .....				TITLE ROOF PLAN		DATE 20/01/22	
				DATE .....						JOB No. 000235	DWG No. 01-3
B	WORKING DRAWINGS	VN-GB	24/11/21								
A	PRELIMINARY DRAWINGS	VN-DB	18/10/21								
Rev	Amendment	Drawn	Date								

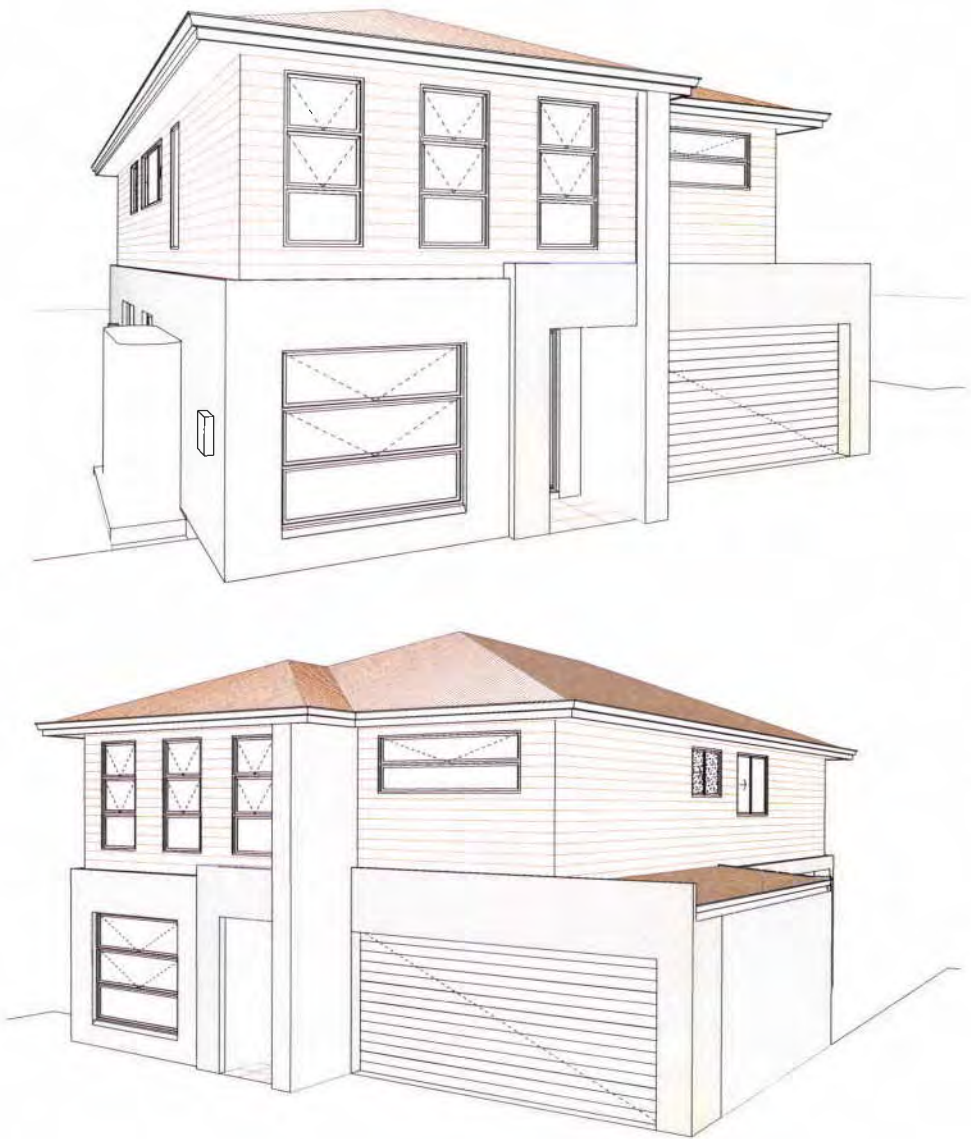



**Attachment 9.2.6.2**



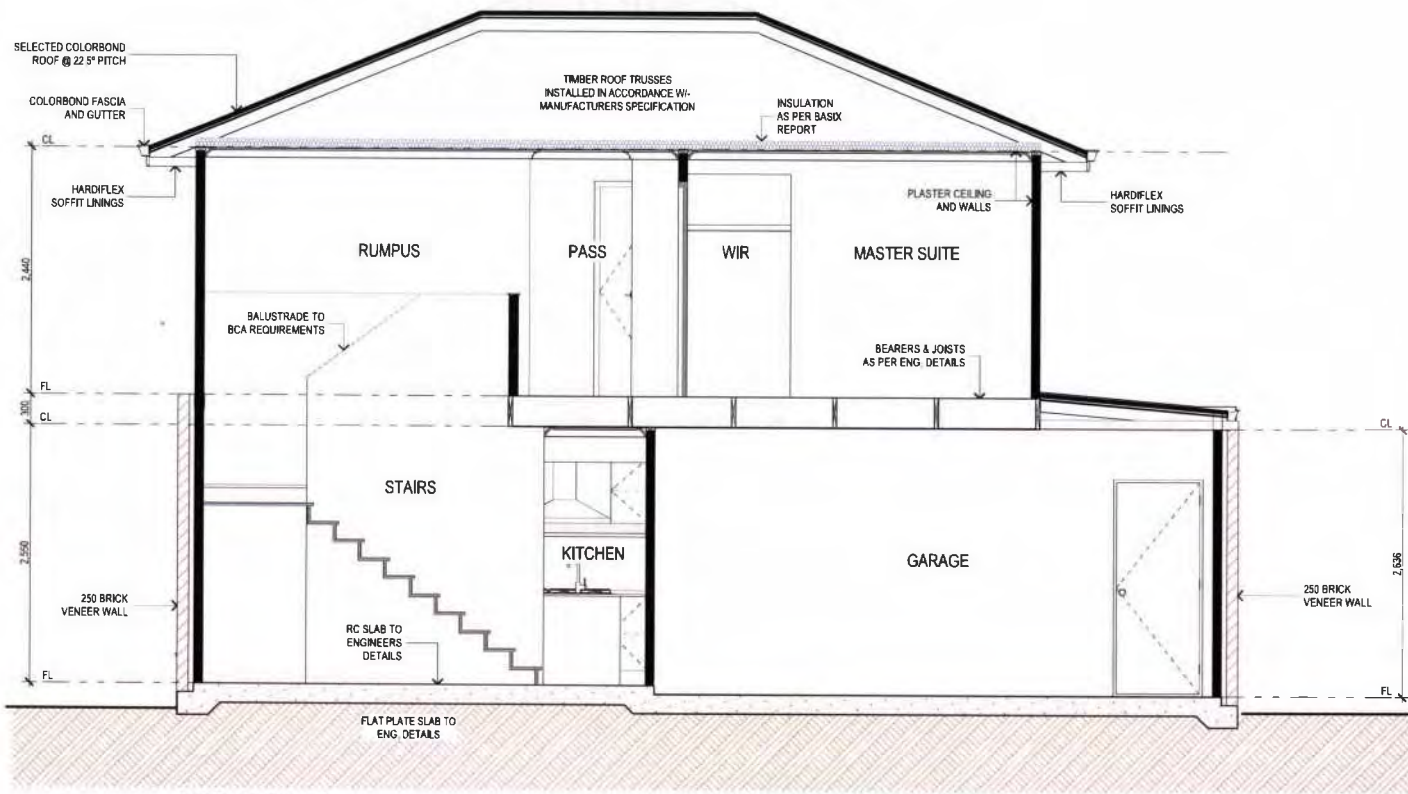
<div><div></div><div>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</div><div>COPYRIGHT HOTONDO PTY LTD</div></div>				CLIENT .....		PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD		PLAN MODIFIED ALAMEDA 254		SCALE 1:100	
B WORKING DRAWINGS VN-GB 24/11/21				DATE .....		AT LOT 6 DP 1246998		SHEET SIZE A3			
A PRELIMINARY DRAWINGS VN-GB 18/10/21				BUILDER .....		NO. 221 PEEL STREET		DATE 20/01/22			
Rev Amendment Drawn Date				DATE .....		BATHURST, NSW 2795		DRAWN VN-GB			
						BASIS CERT. No. PRELIMINARY		JOB No. 000235			
						TITLE ELEVATIONS		DWG No. 02			





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B	WORKING DRAWINGS	VN-GB	24/11/21		DATE .....	AT LOT 6 DP 1246998	FACADE	SHEET SIZE	A3
A	PRELIMINARY DRAWINGS	VN-DB	18/10/21		BUILDER .....	NO. 221 PEEL STREET	BASIX CERT. No.	DATE	20/01/22
Rev	Amendment	Drawn	Date		DATE .....	BATHURST, NSW 2795	ORANA PRELIMINARY	DRAWN	VN-GB
							TITLE	JOB No.	DWG No.
							PERSPECTIVES	000235	03





SECTION 1  
1:50

- \* COLONIAL SKIRTINGS & ARCHITRAVES
- \* COVE CORNICE

- BASIX NOTES
- \* FLOOR - SUSPENDED FLOOR ABOVE GARAGE, FRAMED R0.8 INSULATION (MIN)
  - \* EXTERNAL WALL - BRICK VENEER SARKING + R2.26 INSULATION (MIN)
  - \* EXTERNAL WALL - FRAMED SARKING + R2.40 INSULATION (MIN)
  - \* INTERNAL WALL - SHARED WITH GARAGE R1.14 INSULATION (MIN)
  - \* CEILING - R4.0 INSULATION (MIN)
  - \* ROOF - REFLECTIVE FOIL, SARKING UNVENTILATED
  - \* ROOF COLOR - MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

ENERGY SCHEDULE	
No. of Bedrooms	4
Site Area (Total)	224 m <sup>2</sup>
Roof Area (Total)	163 m <sup>2</sup>
Net Conditioned Floor Area	197.21 m <sup>2</sup>
Net Unconditioned Floor Area	9.43 m <sup>2</sup>
Landscaped Area	60 m <sup>2</sup>
Indigenous Planting required	N/A
Shower Head Rating	3 star minimum
Toilets Rating	5 star minimum
Tap Fitting Kitchen	5 star minimum
Tap Fitting Bathroom	6 star minimum
Water Tank	3000L
Tank Water Usage	Toilets & cold water tap
Hot Water Unit	Gas instantaneous
Thermal Comfort	Pass
Air Conditioning	1-phase airconditioning
Mechanical Ventilation (Fans)	Yes
Ventilation Bathroom	Individual fan, ducted
Ventilation Kitchen	Individual fan, ducted
Ventilation Laundry	Natural ventilation only
Cooktop	Gas cooktop
Oven	Electric oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-DB	18/10/21
Rev	Amendment	Drawn	Date



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CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD  
AT LOT 6 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254	SCALE	1:50
FACADE	ORANA	SHEET SIZE	A3
TITLE	SECTION 1	DATE	20/01/22
		DRAWN	VN-GB
		JOB No.	000235
		DWG No.	04-1





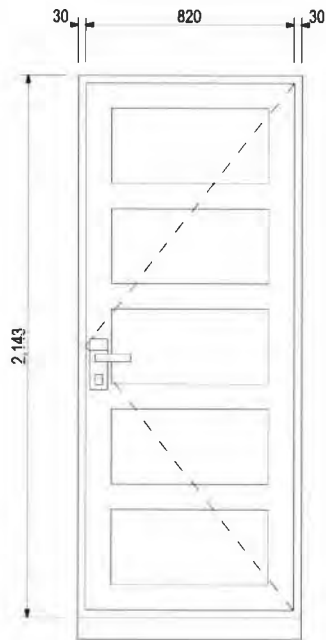
ENERGY SCHEDULE	
No. of Bedrooms	4
Site Area (Total)	224 m <sup>2</sup>
Roof Area (Total)	163 m <sup>2</sup>
Net Conditioned Floor Area	197.21 m <sup>2</sup>
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Ventilation Bathroom	Individual fan, ducted
Ventilation Kitchen	Individual fan, ducted
Ventilation Laundry	Natural ventilation only
Cooktop	Gas cooktop
Oven	Electric oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

**BASIS NOTES**

- FLOOR - SUSPENDED FLOOR ABOVE GARAGE, FRAMED, R0.8 INSULATION (MIN)
- EXTERNAL WALL - BRICK VENER SARKING + R2.26 INSULATION (MIN)
- EXTERNAL WALL - FRAMED SARKING + R2.40 INSULATION (MIN)
- INTERNAL WALL - SHARED WITH GARAGE R1.14 INSULATION (MIN)
- CEILING - R4.0 INSULATION (MIN)
- ROOF - REFLECTIVE FOIL, SARKING/UNVENTILATED
- ROOF COLOR - MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

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A	PRELIMINARY DRAWINGS	VN-DB	18/10/21								
Rev	Amendment	Drawn	Date								

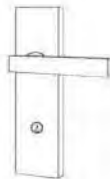




CORINTHIAN BLONDE OAK AWO 5G  
W/ TRANSLUCENT GLASS, CLEAR STAINED

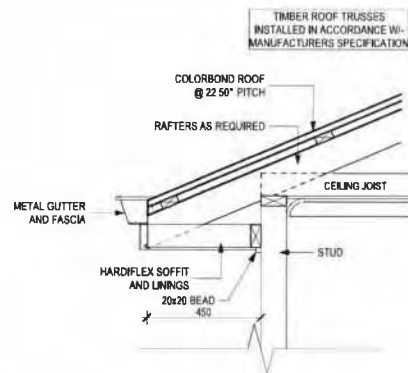
**ENTRY DOOR DETAIL**  
1: 20

Door Schedule	
ID	Height
D1	2,143
D2	2,040
D3	2,065
D4	2,065
D5	2,060
D6	2,070
D7	2,070
D8	2,070
D9	2,070
D10	2,070
D11	2,070
D12	2,070

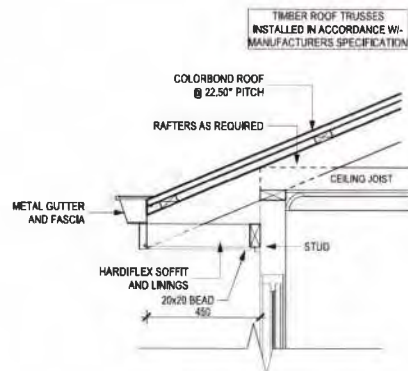


NEXION VISION  
WITH ELEMENT HANDLE

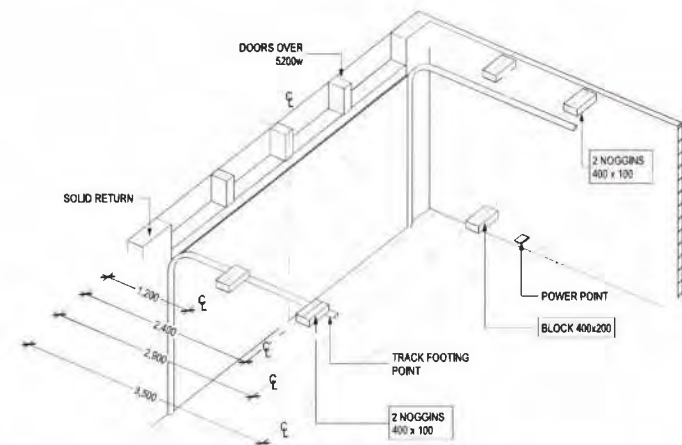
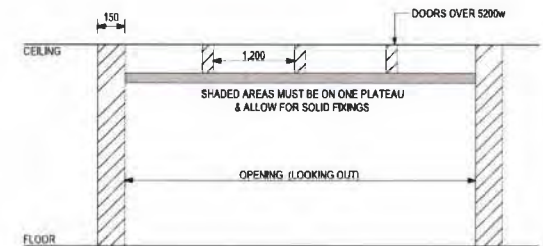
**SELECTED DOOR HANDLE**



**EAVES DETAIL**  
1: 20



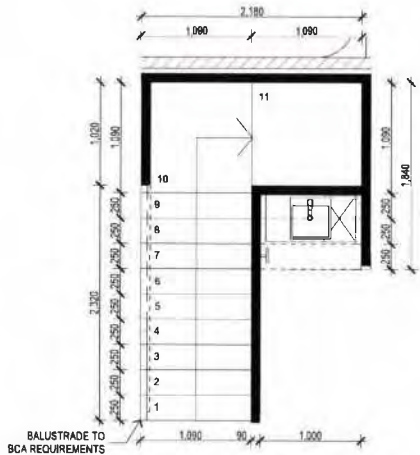
**EAVES TO WINDOW DETAIL**  
1: 20



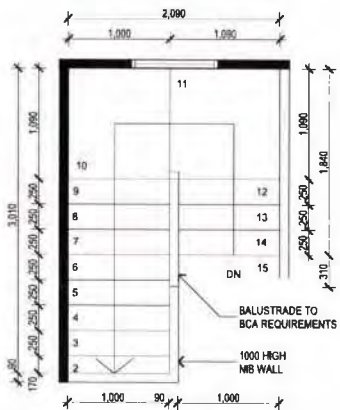
**TYPICAL GARAGE DOOR DETAILS**  
NTS

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B	WORKING DRAWINGS	VN-GB	24/11/21							
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21							
Rev	Amendment	Drawn	Date							

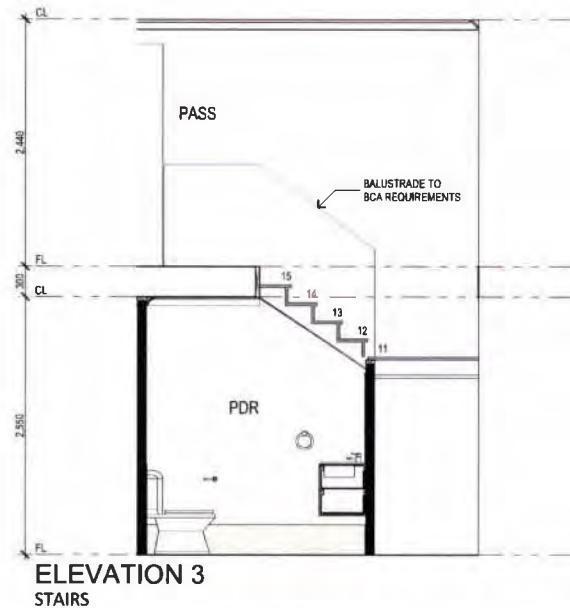
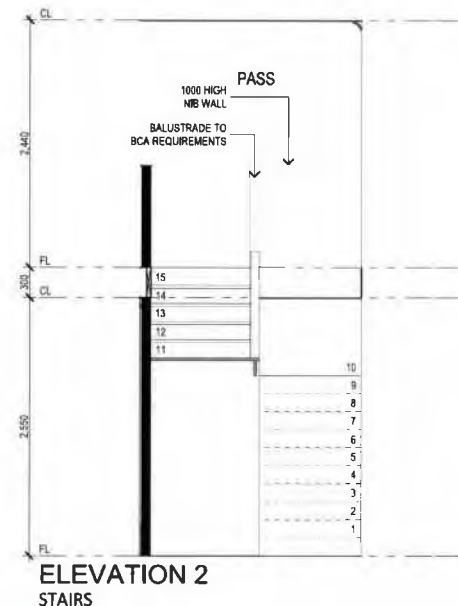
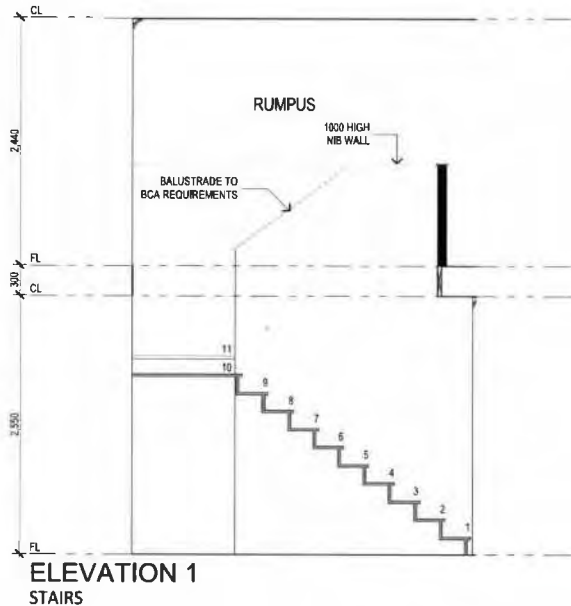




GROUND FLOOR PLAN STAIRS



FIRST FLOOR PLAN STAIRS



STAIRS NOTE:  
15 RISERS @ 178 1mm/RISER  
15 TREADS @ 250mm/TREAD

B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date

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CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
  
AT LOT 6 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254
FACADE	BASIX CERT. No.
TITLE	ORANA PRELIMINARY STAIRS LAYOUT

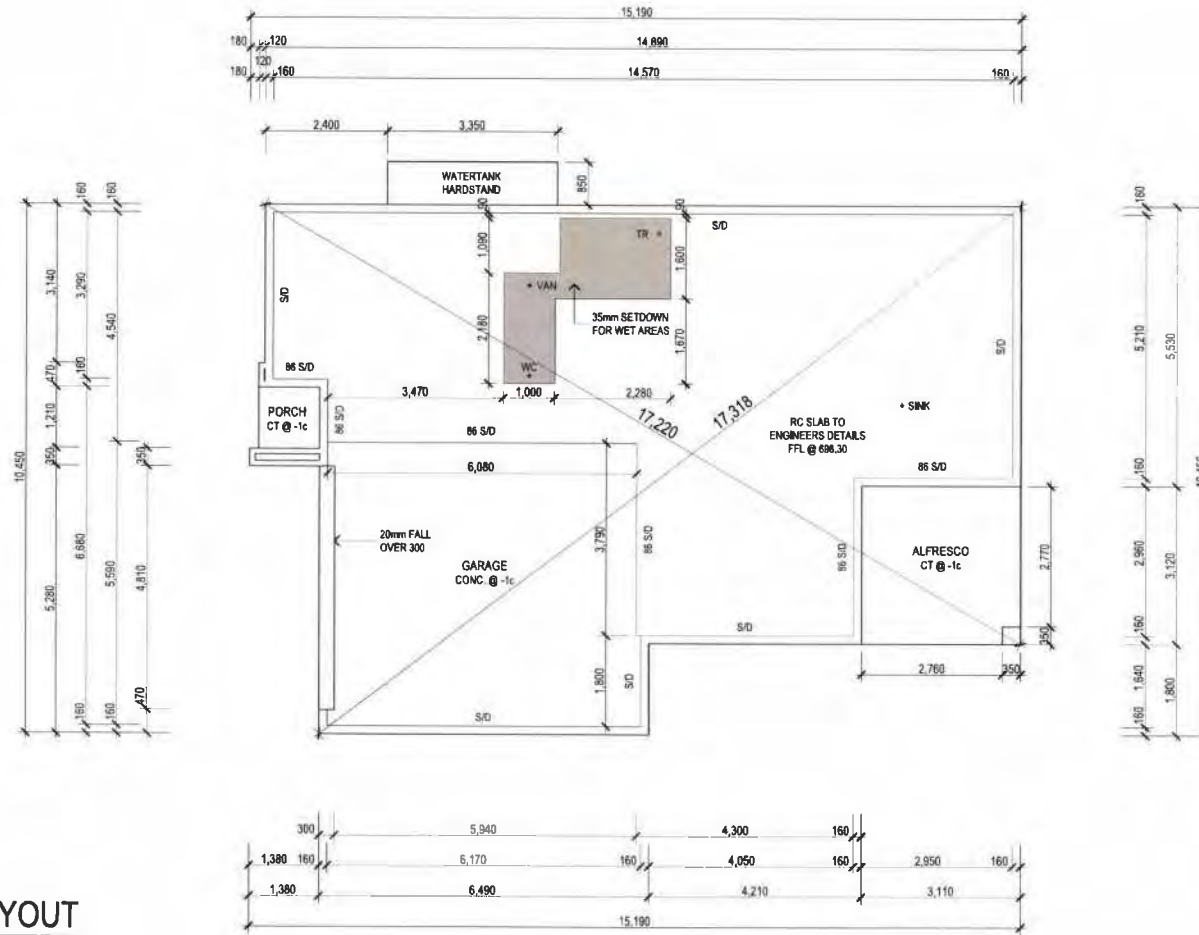
SCALE	1:50
SHEET SIZE	A3
DATE	20/01/22
DRAWN	VN-GB
JOB No.	000235
DWG No.	05




# NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICK WORK UNLESS NOTED OTHERWISE.
3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEER'S DETAIL FOR THIS ALLOTMENT.
4. TERMITES PROTECTION TO BE IN ACCORDANCE WITH AS 3660.1 1995 AND NCC 3.1.3.

PLUMBER AND CONCRETER TO CONFIRM ALL PC ITEMS FOR SLAB PENETRATION OFFSETS AND DIMENSIONS




1 SLAB LAYOUT  
1:100

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														SHEET SIZE	A3
														DATE	20/01/22
														DRAWN	VN-GB
														JOB No.	000235
				DWG No.	06-1										
8	WORKING DRAWINGS	VN-GB	24/11/21												
A	PRELIMINARY DRAWINGS	VN-DB	18/10/21												
Rev	Amendment	Drawn	Date												

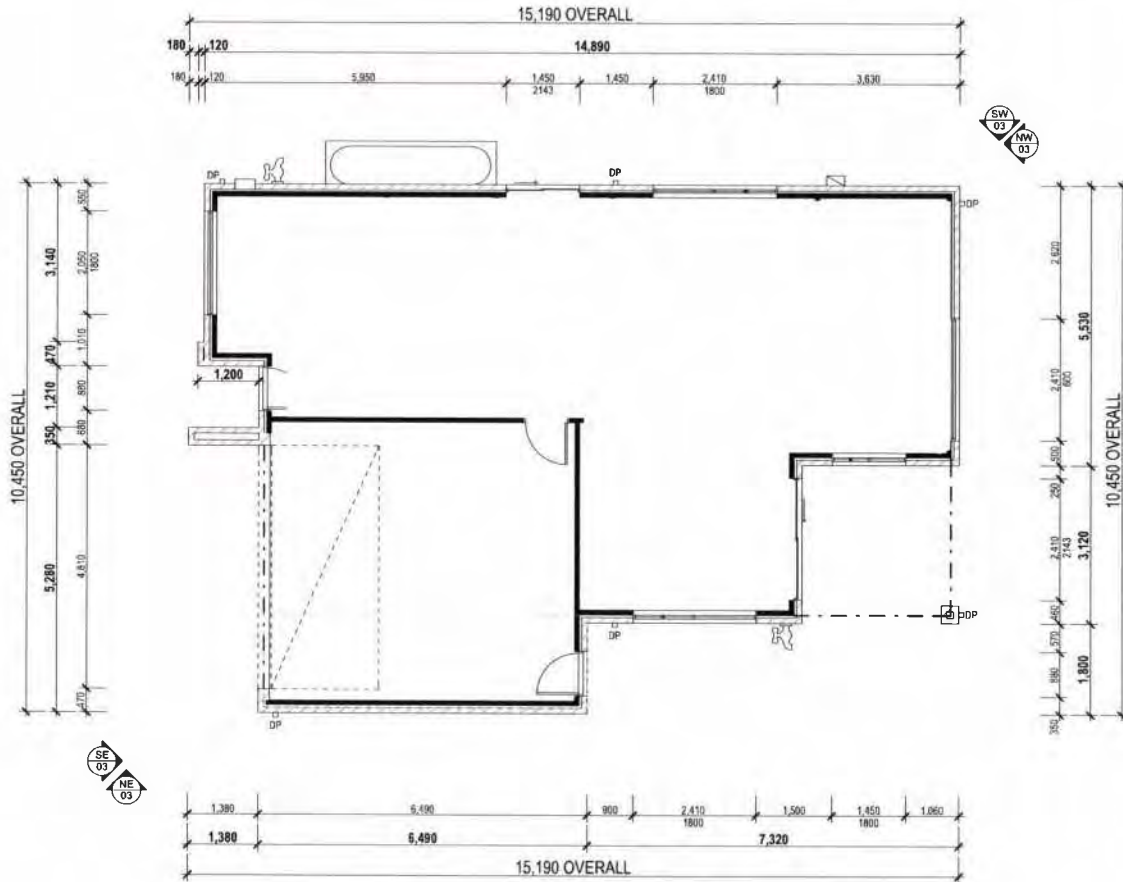




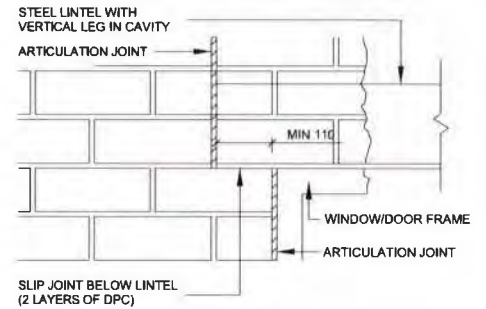
1 REDACTED PLAN  
1:100

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B	WORKING DRAWINGS	VN-GB	24/11/21							MODIFIED ALAMEDA 254		SHEET SIZE	A3
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21							FACADE	BASIX CERT. No.	DATE	20/01/22
Rev	Amendment	Drawn	Date							TITLE	ORANA	PRELIMINARY	DRAWN
										REDACTED PLAN		JOB No. 000235	DWG No. 06-2





1  
1:100  
BRICKWORK VERTICAL ARTICULATION JOINTS SCHEDULE




BRICKWORK ARTICULATION  
OVER WINDOW OR DOOR

BRICKWORK ARTICULATION JOINTS

1. In straight, continuous walls having no openings, at no more than 7.0m.
2. Where the height of the wall changes by more 20%, at the position of change in height; and
3. Where openings more than 900x900mm occur, at not more than 5m centre and positioned in line with one edge of the opening; and
4. Where walls change thickness; and
5. At control or construction joints in footing slab; and
6. At junctions of walls constructed of different masonry materials; and
7. At a distance from all corners between 2m-4.5m.

B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date

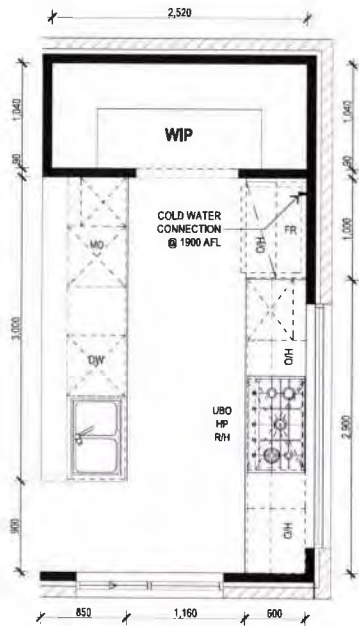
  
THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT  
COPYRIGHT HOTONDO PTY LTD

CLIENT \_\_\_\_\_  
DATE \_\_\_\_\_  
BUILDER \_\_\_\_\_  
DATE \_\_\_\_\_

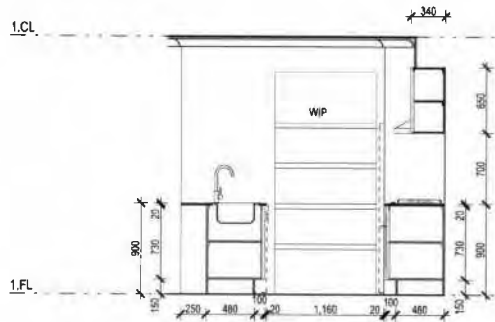
PROPOSED NEW RESIDENCE FOR  
McSWEENEY DEVELOPMENTS PTY LTD  
AT LOT 6 DP 1246998  
NO. 221 PEEL STREET  
BATHURST, NSW 2795

PLAN	MODIFIED ALAMEDA 254	SCALE	1:100
FACADE	ORANA	SHEET SIZE	A3
TITLE	BRICKWORK SETOUT	DATE	20/01/22
		DRAWN	VN-GB
		JOB No.	000235
		DWG No.	06-3

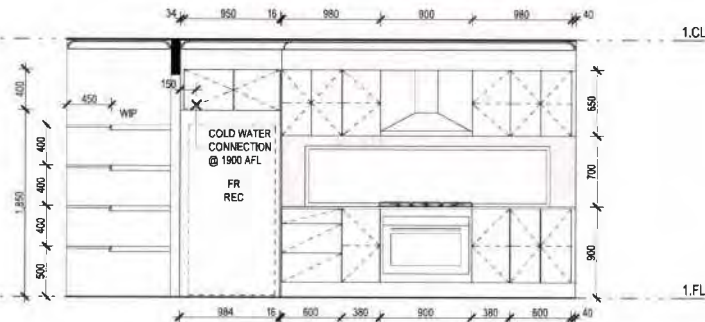




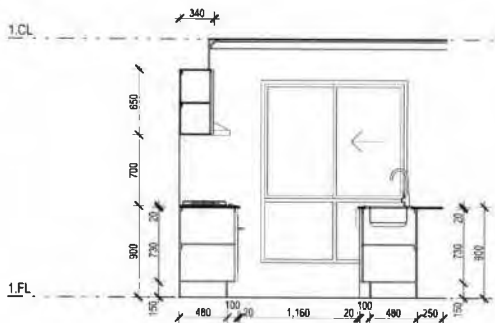
1  
4 **K** 2  
3  
**FLOOR PLAN**  
KITCHEN / WIP



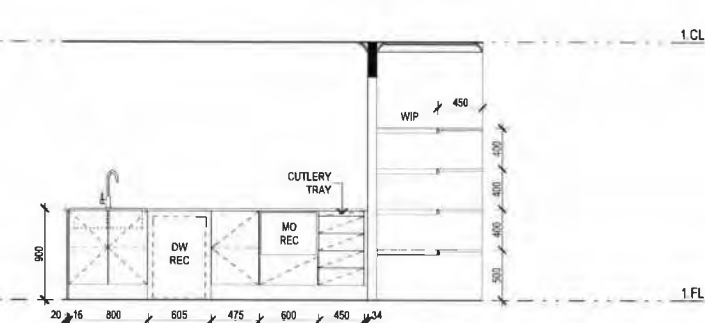
**ELEVATION 1**  
KITCHEN



**ELEVATION 2**  
KITCHEN / WIP



**ELEVATION 3**  
KITCHEN



**ELEVATION 4**  
KITCHEN / WIP

NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

B	WORKING DRAWINGS	VN-GB	24/11/21
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21
Rev	Amendment	Drawn	Date

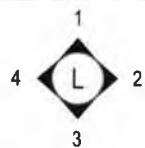


CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

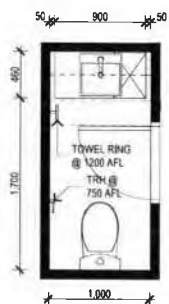
PROPOSED NEW RESIDENCE FOR  
**McSWEENEY DEVELOPMENTS PTY LTD**  
  
AT **LOT 6 DP 1246998**  
**NO. 221 PEEL STREET**  
**BATHURST, NSW 2795**

PLAN	MODIFIED ALAMEDA 254		SCALE	1:50
FACADE	ORANA	BASIX CERT. No. PRELIMINARY	SHEET SIZE	A3
TITLE	KITCHEN DETAILS		DATE	20/01/22
			DRAWN	VN-GB
			JOB No.	000235
			DWG No.	07

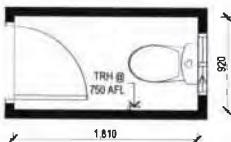




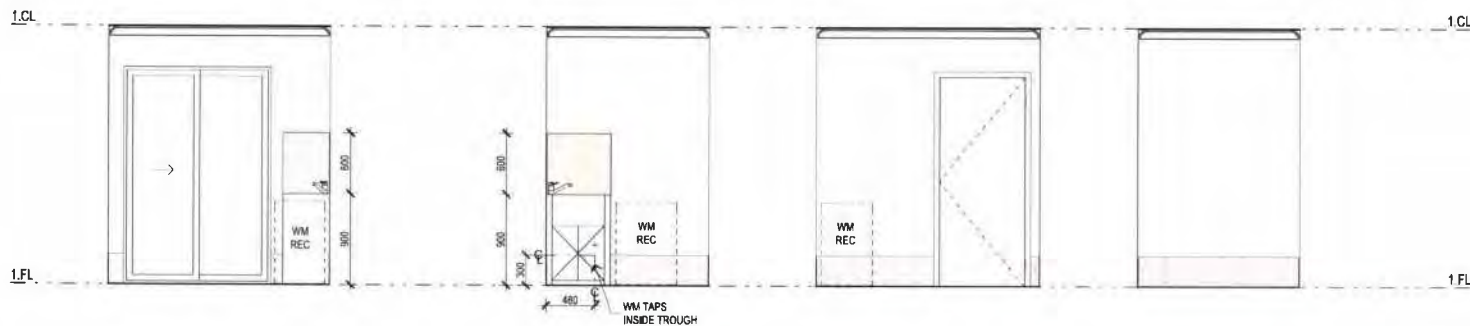
FLOOR PLAN  
LAUNDRY



FLOOR PLAN  
POWDER



4 2  
W  
3  
FLOOR PLAN  
WC

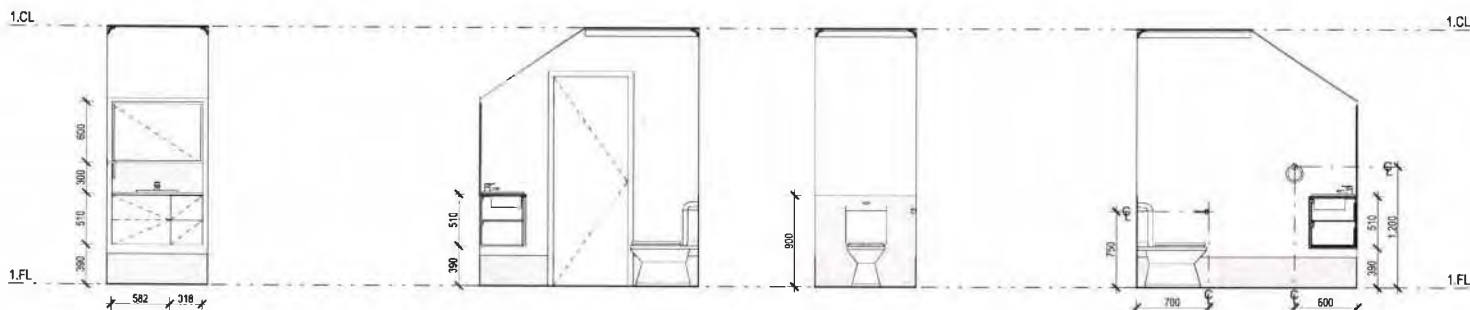


**ELEVATION 1**  
**LAUNDRY**

ELEVATION 2  
LAUNDRY

ELEVATION 3  
LAUNDRY

ELEVATION 4  
LAUNDRY

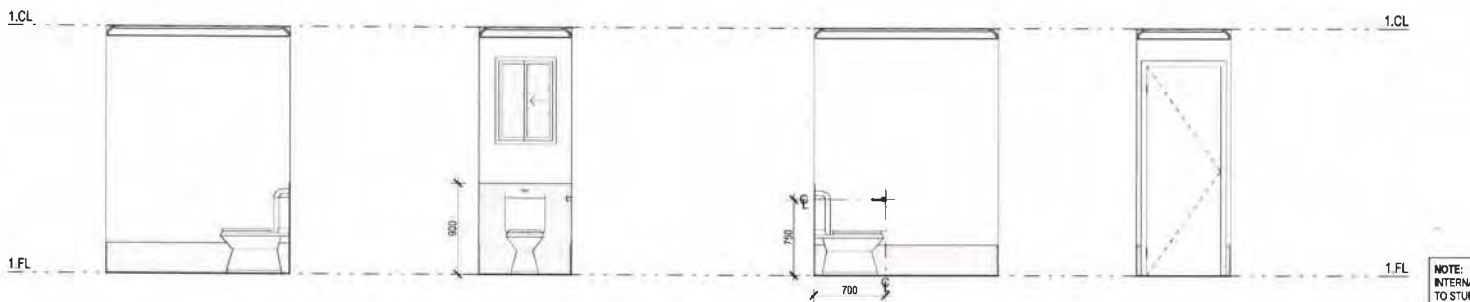


**ELEVATION 1**  
**POWDER**

**ELEVATION 2**  
**POWDER**

**ELEVATION 3**  
**POWDER**

ELEVATION 4  
POWDER



ELEVATION 1  
WC


ELEVATION 2  
WC

ELEVATION 3  
WC

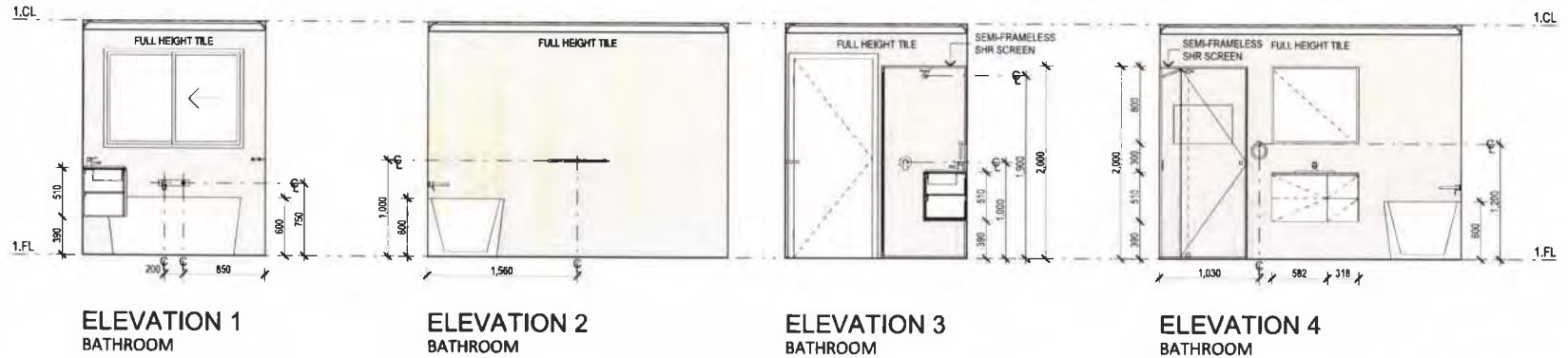
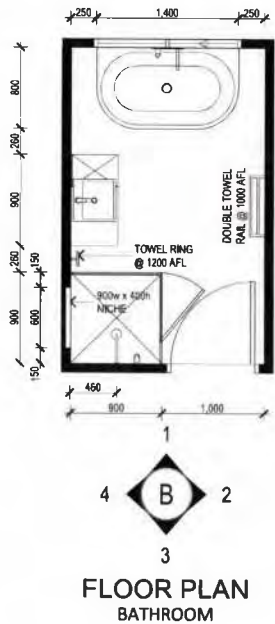
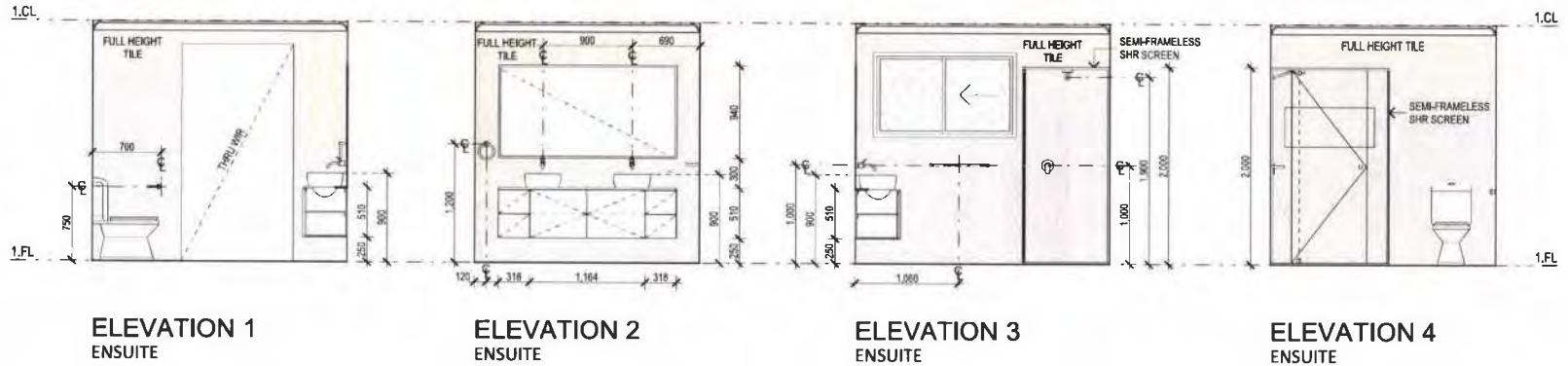
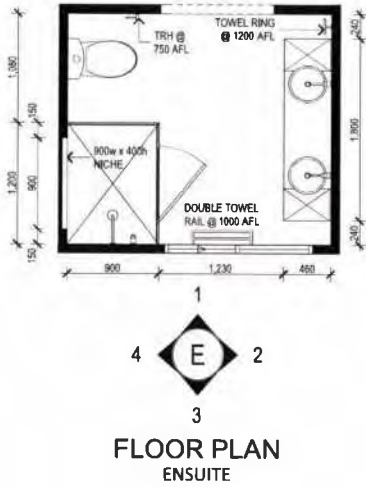
ELEVATION 4  
WC

**NOTE:**  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES.

**NOTE:**  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2.  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL.

 <p>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</p> <p align="center"><b>COPYRIGHT HOTONDO PTY LTD</b></p>				<p>CLIENT .....</p> <p>DATE .....</p> <p>BUILDER .....</p> <p>DATE .....</p>		<p>PROPOSED NEW RESIDENCE FOR <b>McSWEENEY DEVELOPMENTS PTY LTD</b></p> <p>AT <b>LOT 6 DP 1246998</b> <b>NO. 221 PEEL STREET</b> <b>BATHURST, NSW 2795</b></p>		<p>PLAN <b>MODIFIED ALAMEDA 254</b></p> <p>FAÇADE <b>ORANA</b></p> <p>TITLE <b>WET AREA DETAILS</b></p>		<p>SCALE <b>1:50</b></p> <p>SHEET SIZE <b>A3</b></p> <p>DATE <b>20/01/22</b></p> <p>DRAWN <b>VN-GB</b></p> <p>JOB No <b>000235</b></p> <p>DWG No <b>08-1</b></p>	
B	WORKING DRAWINGS	VN-GB	24/11/21								
A	PRELIMINARY DRAWINGS	VN-GB	18/10/21								
Rev	Amendment	Drawn	Date								



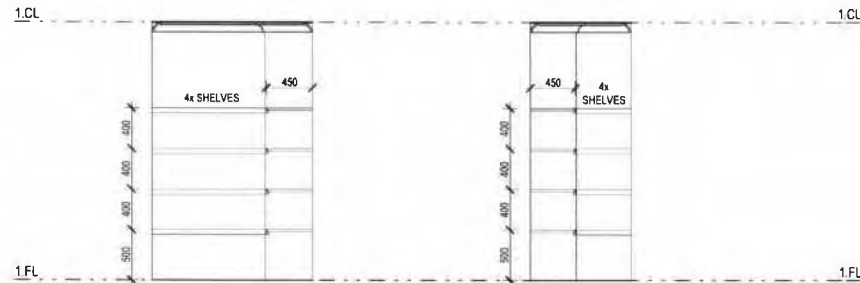
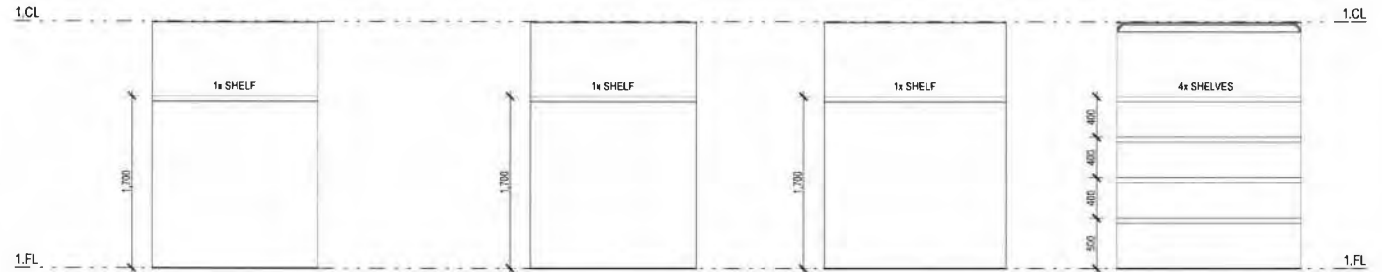
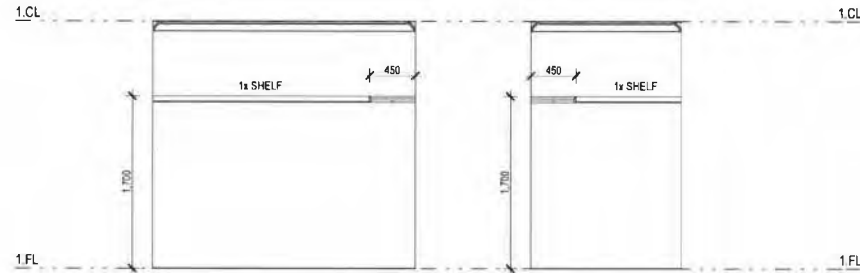
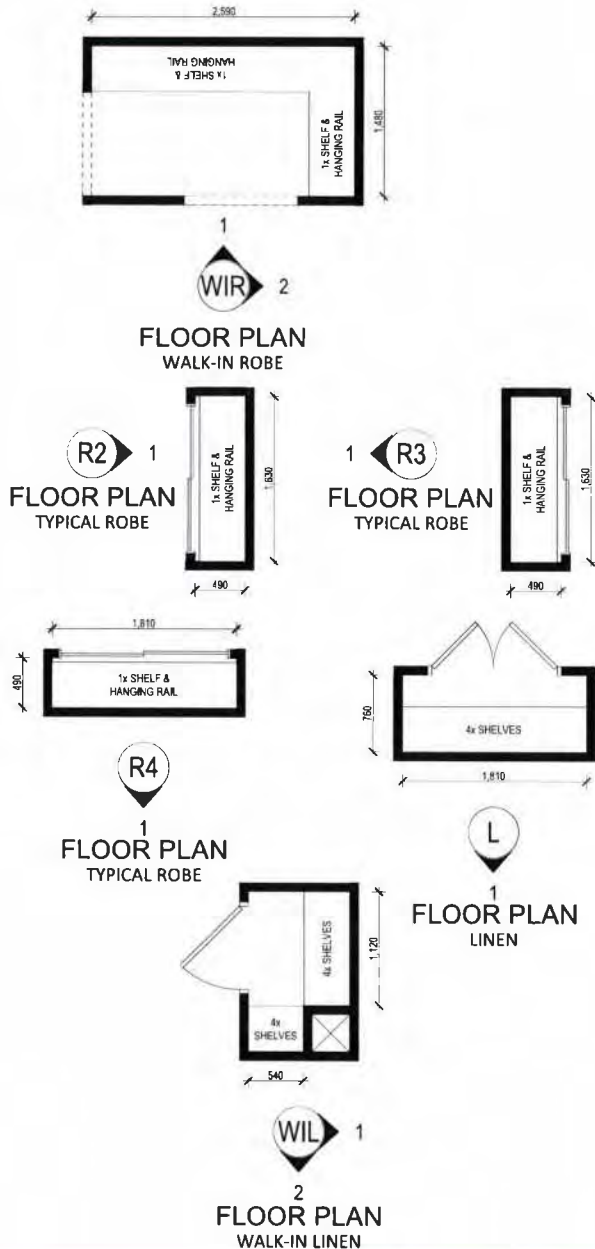


NOTE:  
INTERNAL ELEVATIONS DRAWN TO STUD WALL ONLY EXCLUDE ANY PLASTER WALL FINISHES


NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND/OR AS3740-2010. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVELS TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, AND TROUGHS IF WITHIN 15mm OF WALL

<div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></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NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

						CLIENT .....		PROPOSED NEW RESIDENCE FOR McSWEENEY DEVELOPMENTS PTY LTD		PLAN MODIFIED ALAMEDA 254		SCALE 1:50
				DATE .....		AT LOT 6 DP 1246998		FACADE ORANA		BASIX CERT. No. PRELIMINARY		SHEET SIZE A3
				BUILDING .....		NO. 221 PEEL STREET		TITLE FITOUT DETAILS		JOB No. 000235		DATE 20/01/22
				DATE .....		BATHURST, NSW 2795				DRAWN VN-GB		
										DWG No. 09		



# PROPOSED RESIDENCE FOR: MCSWEENEY DEVELOPMENTS PTY LTD

LOT 7 DP 1246998  
NO. 221 PEEL STREET,  
BATHURST, NSW 2795



Drawing List			
Sheet No.	Sheet Name		
00	COVER SHEET		
01	FLOOR PLAN		
02	ELEVATIONS		
03	PERSPECTIVES		
04-1	SECTION		
04-2	DETAILS		
05-1	SLAB LAYOUT		
05-2	REDACTED PLAN		
06	BRICKWORK SETOUT		
07	KITCHEN DETAILS		
08-1	WET AREA DETAILS		
08-2	WET AREA DETAILS		
09	FITOUT DETAILS		

B	WORKING DRAWINGS	VN-AG	25/11/21
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21
Rev	Amendment	Drawn	Date



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CLIENT .....  
DATE .....  
BUILDER .....  
DATE .....

PROPOSED NEW RESIDENCE FOR  
MCSWEENEY DEVELOPMENTS PTY LTD  
AT  
LOT 7 DP 1246998  
NO. 221 PEEL STREET,  
BATHURST, NSW 2795

PLAN		SCALE		
MODIFIED AIRLIE 211		SHEET SIZE		A3
FACADE	NOVA	BASIX CERT. No.	DATE	20/01/22
		PRELIMINARY	DRAWN	VN-AG
TITLE	COVER SHEET		JOB No. 000235	DWG No. 00

## SPECIFICATIONS

### GENERAL

- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS

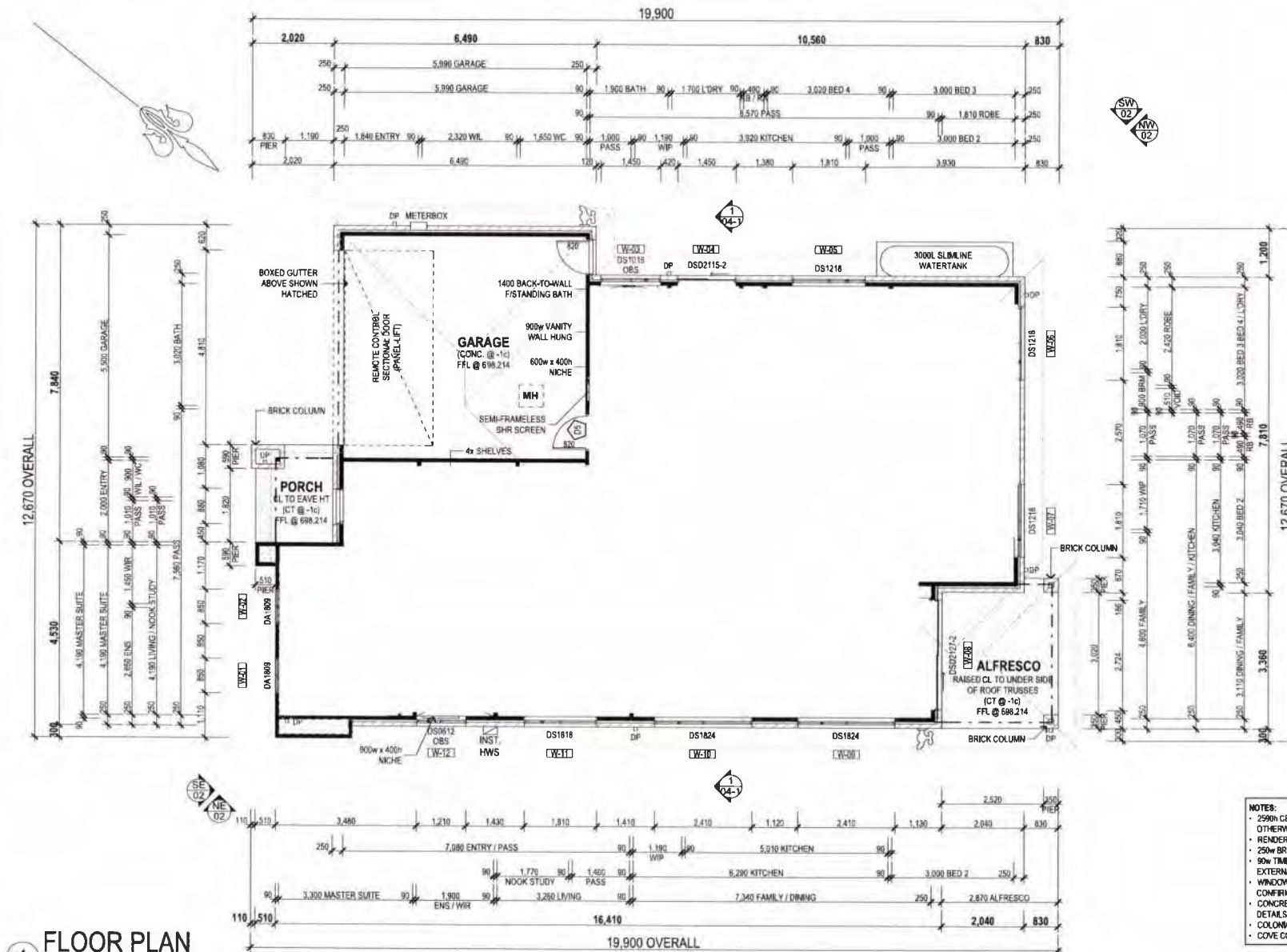
### STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT.
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

### NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF NCC. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF NCC
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.1.4 OF NCC
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF NCC
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF NCC
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF NCC OR AS 1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS 1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS 1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF NCC
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF NCC, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.3 OF NCC
- SARKING SHALL COMPLY WITH AS/NZS 4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS 4773 OR AS 3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS 4773 OR AS 3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS 4773 OR AS 3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS 4773 OR AS 3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS 4773 OR AS 3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS 4773 OR AS 3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- LINTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS 4773 OR AS 3700
- MASONRY VENEER SHALL COMPLY WITH PART 3.3.5 OF NCC
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS 4773 OR AS 3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF NCC. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 & AS 2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 3.8 OF NCC
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.8.1 OF NCC
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.8.2 OF NCC
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS 3500 & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS 3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS 3786 & PART 3.7.5 OF NCC
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS 3558.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF NCC, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF WALLS, & FLOORS
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF NCC
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3 OF NCC
- CONDENSATION MANAGEMENT TO COMPLY WITH PART 3.8.7 OF NCC
- FIRE HAZARD PROPERTIES TO COMPLY WITH PART 3.1.1.2 OF NCC
- WALL CLADDING TO COMPLY WITH PART 3.5.4 OF NCC





Window List				
ID	Height	Width	Description	Area
W-01	1,800	850	AWNING WINDOW	1.53
W-02	1,800	850	AWNING WINDOW	1.53
W-03	1,029	1,450	SLIDING WINDOW	1.49
W-04	2,143	1,450	SLIDING DOOR	3.11
W-05	1,200	1,810	SLIDING WINDOW	2.17
W-06	1,200	1,810	SLIDING WINDOW	2.17
W-07	1,200	1,810	SLIDING WINDOW	2.17
W-08	2,143	2,724	SLIDING DOOR	5.84
W-09	1,800	2,410	SLIDING WINDOW	4.34
W-10	1,800	2,410	SLIDING WINDOW	4.34
W-11	1,800	1,810	SLIDING WINDOW	3.26
W-12	600	1,210	SLIDING WINDOW	0.73

ROOM SCHEDULE		
Location	Area (m2)	
DINING	12.00	
BATH	5.74	
L'DRY	5.13	
BED 4	10.87	
BED 3	10.11	
BED 2	10.17	
PTRY	2.03	
WIR	2.76	
ENS	5.04	
MASTER SUITE	13.83	
LIVING	10.66	
KITCHEN	10.01	
LINEN	2.09	
WIC	1.49	
NOOK STUDY	1.63	
FAMILY	12.30	
ENTRY / PASS	28.23	
	<b>143.79 m<sup>2</sup></b>	

## LEGEND

CPT	CARPET
CT	CERAMIC TILES
DP	DOWNPIPE
DPS	DOWNPIPE & SPREADER
DR	DRYER
DW	DISHWASHER RECESS
FT	TIMBER FLOORING
FFL	FINISHED FLOOR LEVEL
GFL	GARAGE FLOOR LEVEL
HP	HOT PLATE (GAS)
HWD	HARDWOOD DECKING
MO	MICROWAVE OVEN RECESS
OBS	OBSCURE GLASS
OH	OVERHEAD CUPBOARDS
PD	PLUMBING DUCT
POL	POLISHED CONCRETE
RH	RANGEHOOD (DUCTED)
SD	SETDOWN
SDRM	SLIDE-OUT RANGEHOOD
FW	FLOOR WASTE
ST	GAS STOVE
UBO	UNDERBENCH OVEN
VP	VINYL PLANKS
WO	WALL OVEN
WM	WASHING MACHINE
WIC	TOILET

## AREAS


Location	Area
ALFRESCO	9.94
PORCH	4.97
GARAGE	36.18
HOUSE	161.26
	<b>212.35 m<sup>2</sup></b>

## ROOF AREAS (COLORBOND)

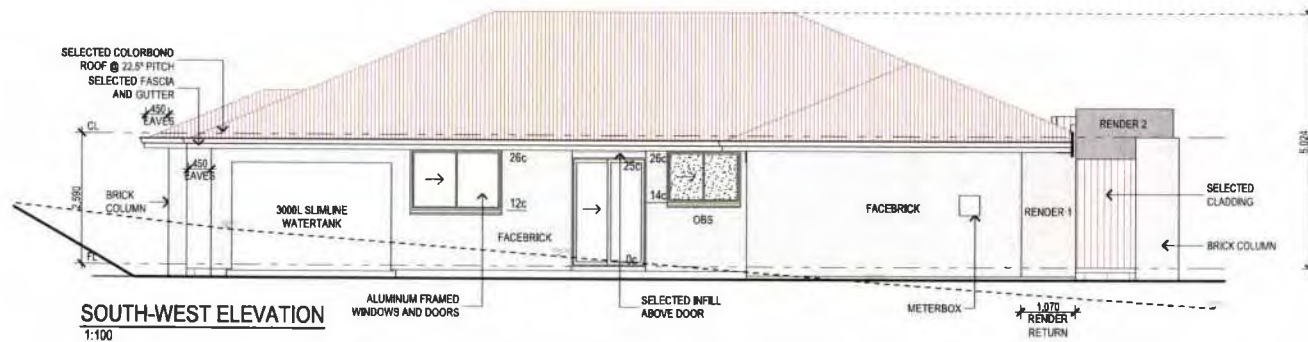
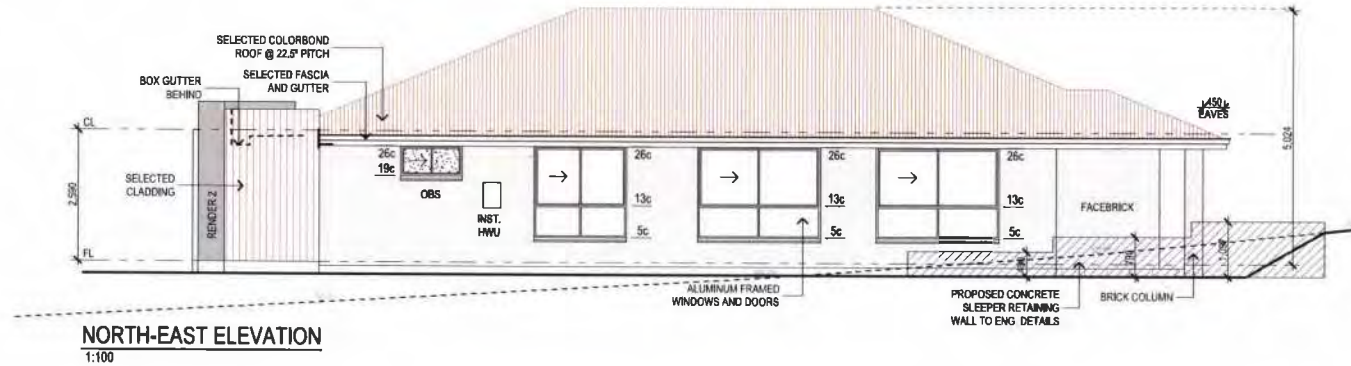
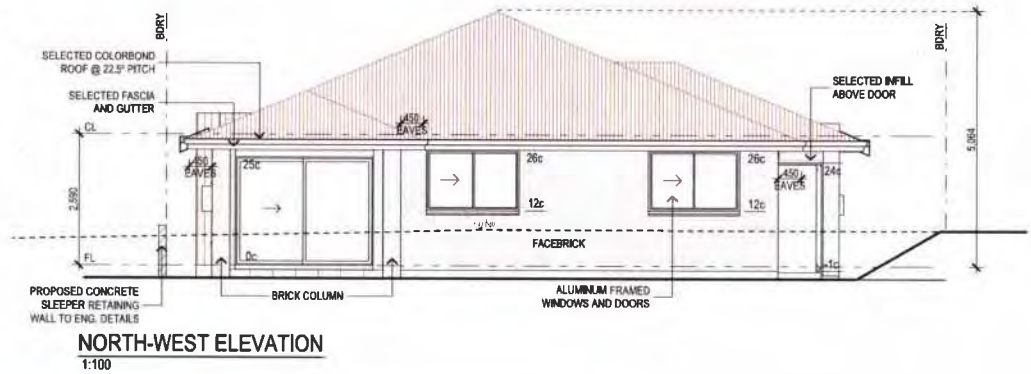
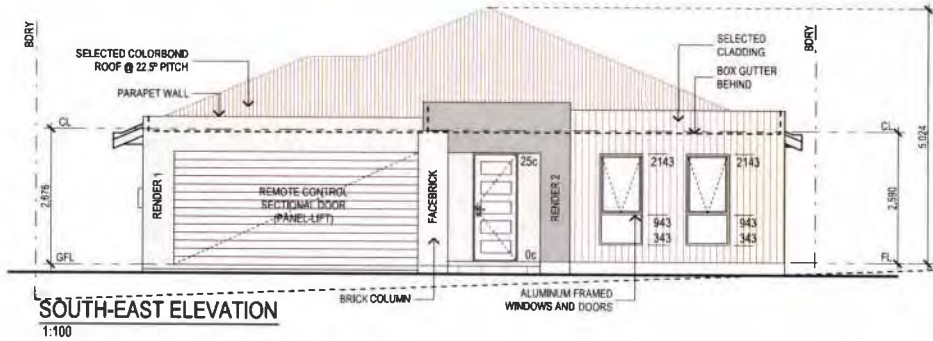
AREA (m2 ON THE FLAT)	228.75
AREA (m2 ON THE RAKE)	247.47


- NOTES:**
- 2500mm CEILING HEIGHT THROUGHOUT UNLESS NOTED OTHERWISE
  - RENDER TO FRONT FACADE. REFER TO ELEVATIONS.
  - 250mm BRICK VENEER TO EXTERNAL WALLS
  - 900mm TIMBER FRAME W/ SELECTED CLADDING TO EXTERNAL WALLS
  - WINDOW OPENINGS SHOWN NOMINAL AND TO BE CONFIRMED WITH WINDOW MANUFACTURER
  - CONCRETE SLAB AND FOOTINGS TO ENGINEER'S DETAILS
  - COLONIAL SKIRTING AND ARCHITRAVES
  - COVE CORNICE

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.

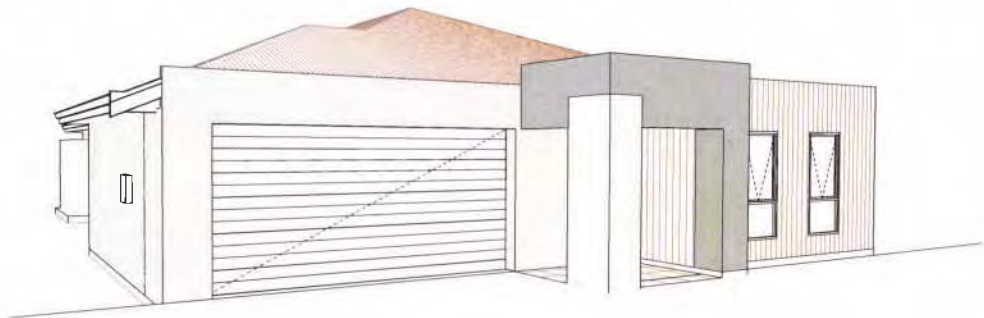
<div><div><div><div>Hotondo</div><div>Homes</div></div></div><div><div>THIS DRAWING REMAINS THE PROPERTY OF HOTONDO PTY LTD AND IS PROVIDED FOR THE USE AS DESCRIBED AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT</div><div>COPYRIGHT HOTONDO PTY LTD</div></div></div>				<div>CLIENT .....</div> <div>DATE ...../...../.....</div> <div>BUILDER .....</div> <div>DATE ...../...../.....</div>		<div>PROPOSED NEW RESIDENCE FOR</div> <div>MCSWEENEY DEVELOPMENTS PTY LTD</div> <div>AT</div> <div>LOT 7 DP 1246998</div> <div>NO. 221 PEEL STREET,</div> <div>BATHURST, NSW 2795</div>		<div>PLAN</div> <div>MODIFIED AIRLIE 211</div> <div>FACADE</div> <div>NOVA</div> <div>TITLE</div> <div>FLOOR PLAN</div>		<div>SCALE</div> <div>1:100</div> <div>SHEET SIZE</div> <div>A3</div> <div>DATE</div> <div>20/01/22</div> <div>DRAWN</div> <div>VN-AG</div> <div>JOB No.</div> <div>000235</div> <div>DWG No.</div> <div>01</div>	
B	WORKING DRAWINGS	VN-AG	25/11/21								
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21								
Rev	Amendment	Drawn	Date								





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B	WORKING DRAWINGS	VN-AG	25/11/21	<p>DATE .....</p>		<p>AT LOT 7 DP 1246998 NO. 221 PEEL STREET, BATHURST, NSW 2795</p>		<p>BASIX CERT. No. PRELIMINARY</p>		<p>DATE 20/01/22</p>
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21	<p>DATE .....</p>		<p>NO. 221 PEEL STREET, BATHURST, NSW 2795</p>		<p>DRAWN VN-AG</p>		<p>DWG No. 02</p>
Rev	Amendment	Drawn	Date	<p>DATE .....</p>		<p>NO. 221 PEEL STREET, BATHURST, NSW 2795</p>		<p>000235</p>		





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B	WORKING DRAWINGS	VN-AG	25/11/21		DATE .....		AT		FACADE NOVA	BASIX CERT. No. PRELIMINARY	DATE	A3
A	PRELIMINARY DRAWINGS	VN-IP	18/10/21		BUILDER .....		LOT 7 DP 1246998				DRAWN	VN-AG
Rev	Amendment	Drawn	Date		DATE .....		NO. 221 PEEL STREET, BATHURST, NSW 2795		TITLE PERSPECTIVES		JOB No. 000235	DWG No. 03





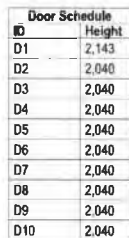
SECTION 1  
1: 50

- BASIC NOTES:**
- EXTERNAL WALL - BRICK VENEER:  
SARKING + R2.26 INSULATION (MIN)
  - EXTERNAL WALL - FRAMED  
SARKING + R2.40 INSULATION (MIN)
  - INTERNAL WALL : SHARED WITH GARAGE R1.14  
INSULATION (MIN)
  - CEILING : R3.25 INSULATION (MIN)
  - ROOF : REFLECTIVE FOIL, SARKING/UNVENTILATED
  - ROOF COLOR : LIGHT (SOLAR ABSORPTANCE <0.475)
- COLONIAL SKIRTING & ARCHITRAVES**  
• COVE CORNICE

ENERGY SCHEDULE	
No. of Bedrooms	4
Site Area (Total)	335 m²
Roof Area (Total)	247 m²
Net Conditioned Floor Area	151.65 m²
Net Unconditioned Floor Area	10.87 m²
Landscaped Area	60 m²
Indigenous Planting required	N/A
Shower Head Rating	3 star minimum
Toilets Rating	5 star minimum
Tap Fitting Kitchen	5 star minimum
Tap Fitting Bathroom	6 star minimum
Water Tank	3000L
Tank Water Usage	Toilets and cold water tap
Hot Water Unit	Gas instantaneous
Thermal Comfort	Pass
Air Conditioning	1-phase airconditioning
Mechanical Ventilation (Fans)	Yes
Ventilation Bathroom	Individual fan, ducted
Ventilation Kitchen	Individual fan, ducted
Ventilation Laundry	Natural Ventilation
Cooktop	Gas cooktop
Oven	Electric Oven
Outdoor Clothes Line	By owner
Alternative Energy	N/A

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B	WORKING DRAWINGS	VN-AG	25/11/21							
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21							
Rev	Amendment	Drawn	Date							



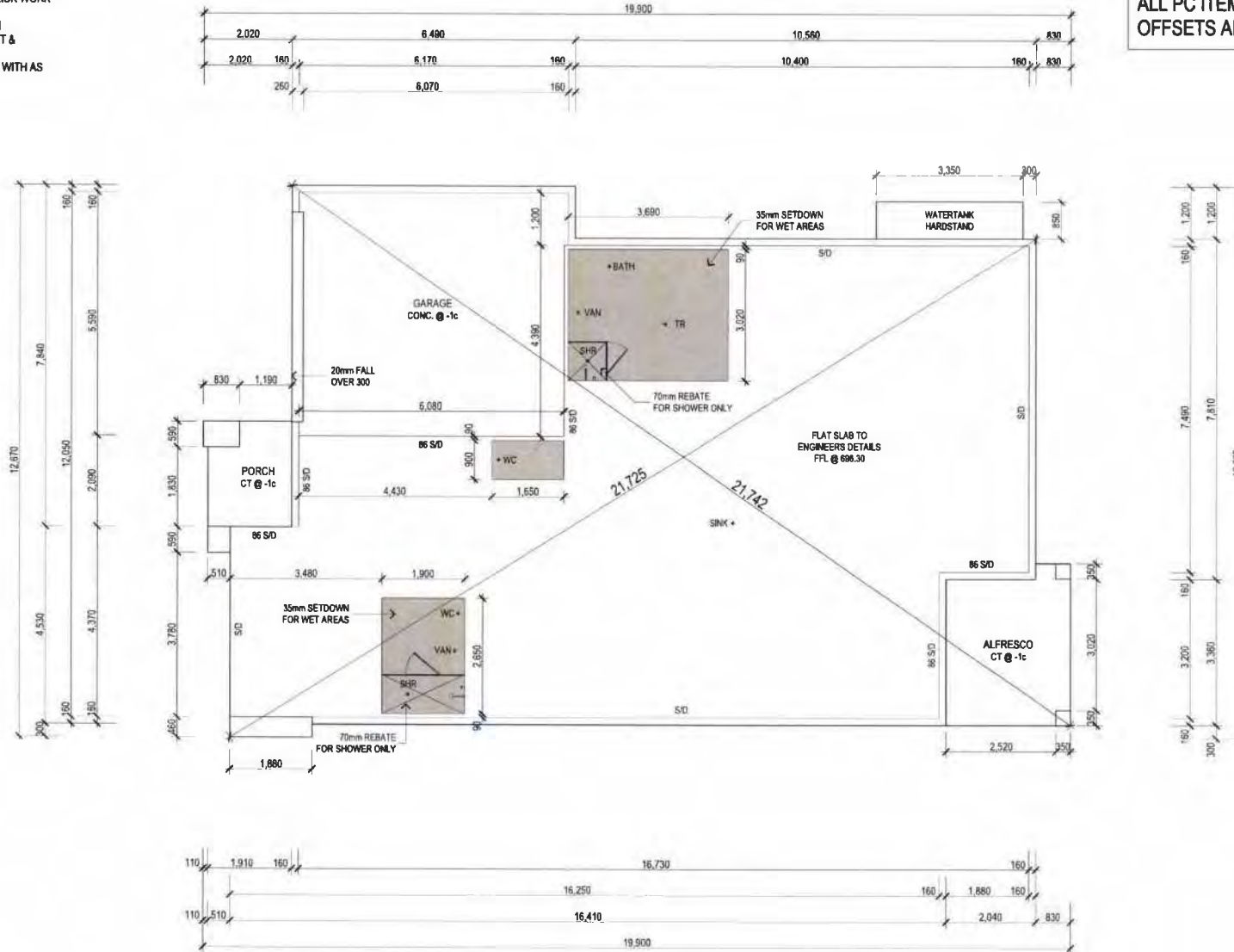




## NOTES


1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICK WORK UNLESS NOTED OTHERWISE.
3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEER'S DETAIL FOR THIS ALLOTMENT.
4. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3680.1 1995 AND NCC 3.1.3.

PLUMBER AND CONCRETER TO CONFIRM  
ALL PC ITEMS FOR SLAB PENETRATION  
OFFSETS AND DIMENSIONS

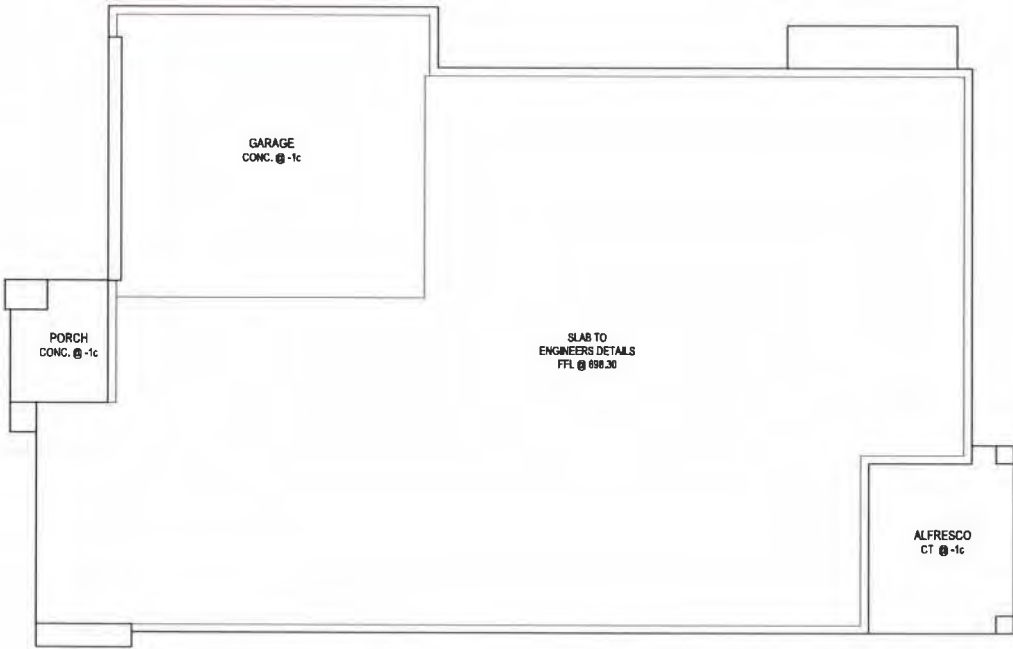


## 1 SLAB LAYOUT

1:100

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B	WORKING DRAWINGS	VN-AG	25/11/21								
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21								
Rev	Amendment	Drawn	Date								

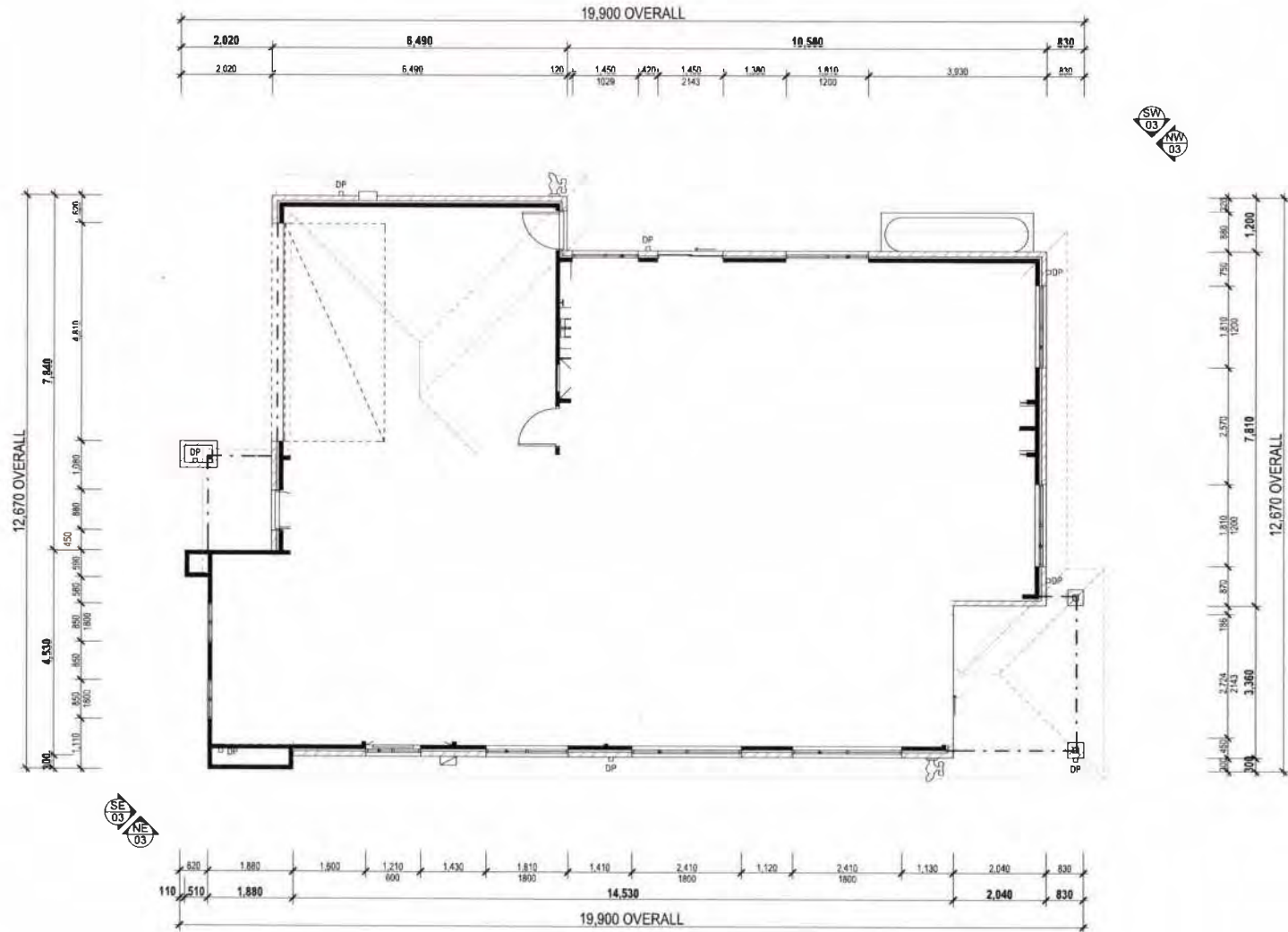




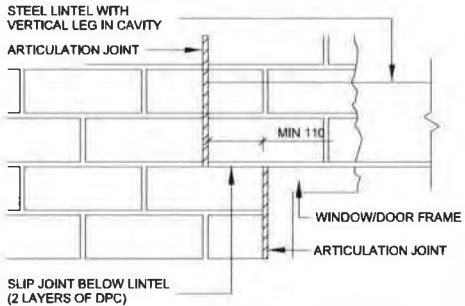
1 REDACTED PLAN  
1:100

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B	WORKING DRAWINGS	VN-AG	25/11/21				MODIFIED AIRLIE 211		SHEET SIZE	A3
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21				FACADE	BASIX CERT. No.	DATE	20/01/22
Rev	Amendment	Drawn	Date				NOVA	PRELIMINARY	DRAWN	VN-AG
					DATE .....	AT	TITLED		JOB No.	DWG No.
						LOT 7 DP 1246998	REDACTED PLAN		000235	05-2
						NO. 221 PEEL STREET,				
						BATHURST, NSW 2795				





- BRICKWORK ARTICULATION JOINTS**
1. In straight, continuous walls having no openings, at no more than 7.0m.
  2. Where the height of the wall changes by more than 20% at the position of change in height; and
  3. Where openings more than 900x900mm occur, at not more than 5m centre and positioned in line with one edge of the opening; and
  4. Where walls change thickness; and
  5. At control or construction joints in footing slab; and
  6. At junctions of walls constructed of different masonry materials; and
  7. At a distance from all corners between 2m-4.5m




**BRICKWORK ARTICULATION OVER WINDOW OR DOOR**

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B	WORKING DRAWINGS	VN-AG	25/11/21	DATE .....	AT	FACADE NOVA	BASIX CERT. No. PRELIMINARY	SHEET SIZE A3
A	PRELIMINARY DRAWINGS	VN-JP	19/10/21	BUILDER .....	LOT 7 DP 1246998			DATE 20/01/22
Rev	Amendment	Drawn	Date	DATE .....	NO. 221 PEEL STREET, BATHURST, NSW 2795	TITLE BRICKWORK SETOUT	JOB No. 000235	DRAWN VN-AG
							DWG No. 06	





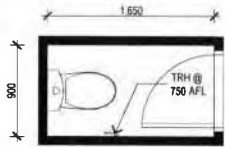
**NOTE:**  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTER/WALL FINISHES

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B	WORKING DRAWINGS	VN-AG	25/11/21								
A	PRELIMINARY DRAWINGS	VN-IP	18/10/21								
Rev	Amendment	Drawn	Date								

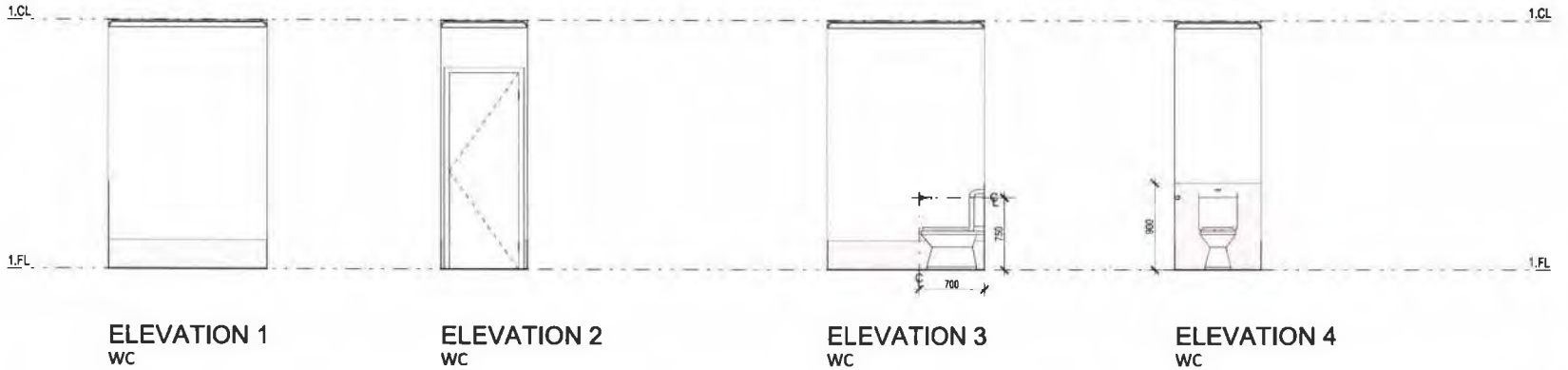




1  
4 2  
3  
**FLOOR PLAN**  
LAUNDRY



1  
4 2  
3  
**FLOOR PLAN**  
WC



NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS, BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL

B	WORKING DRAWINGS	VN-AG	25/11/21
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21
Rev	Amendment	Drawn	Date

**Hotondo Homes**

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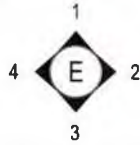
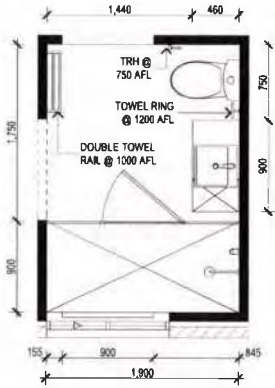
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DATE	.....
BUILDER	.....
DATE	.....

PROPOSED NEW RESIDENCE FOR  
**MCSWEENEY DEVELOPMENTS PTY LTD**

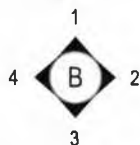
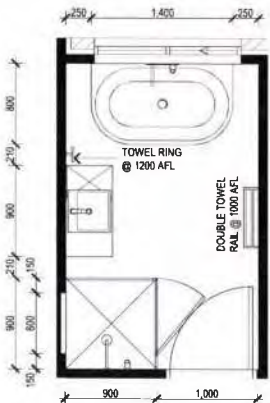
AT  
**LOT 7 DP 1246998**  
**NO. 221 PEEL STREET,**  
**BATHURST, NSW 2795**

PLAN	MODIFIED AIRLIE 211	SCALE	1:50
FACADE	NOVA	SHEET SIZE	A3
TITLE	WET AREA DETAILS	DATE	20/01/22
		DRAWN	VN-AG
		JOB No.	000235
		DWG No.	08-1

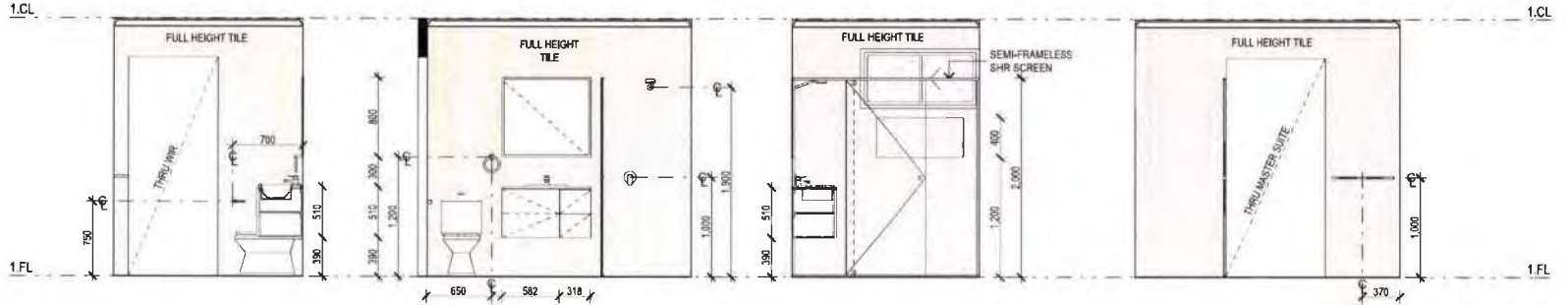




FLOOR PLAN  
ENSUITE



FLOOR PLAN  
BATHROOM

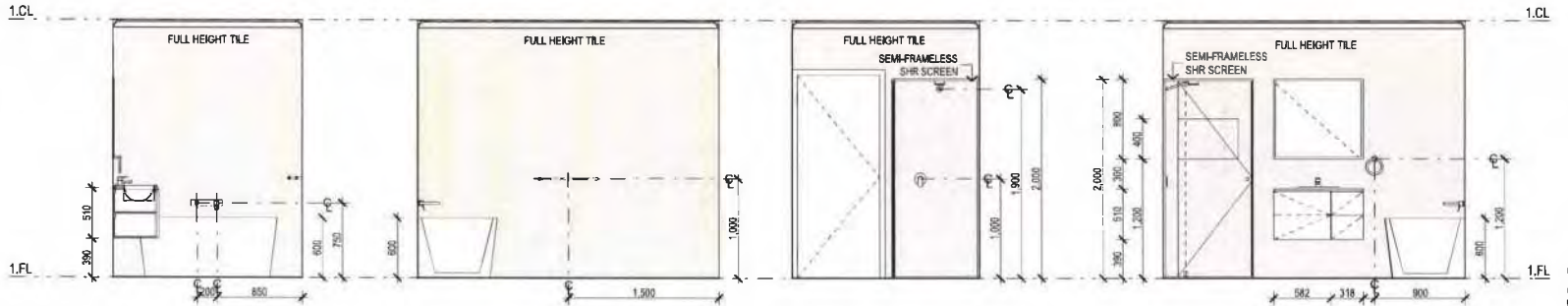


ELEVATION 1  
ENSUITE

ELEVATION 2  
ENSUITE

ELEVATION 3  
ENSUITE

ELEVATION 4  
ENSUITE



ELEVATION 1  
BATHROOM

ELEVATION 2  
BATHROOM

ELEVATION 3  
BATHROOM

ELEVATION 4  
BATHROOM

NOTE:  
ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2.  
AND/OR AS3740-2010. WALL FINISHES SHALL BE  
IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE  
FLOOR LEVELS TO SHOWER ENCLOSURES AND  
150mm ABOVE BATHS BASINS, AND TROUGHS  
IF WITHIN 75mm OF WALL.

B	WORKING DRAWINGS	VN-AG	25/11/21
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21
Rev	Amendment	Drawn	Date

  
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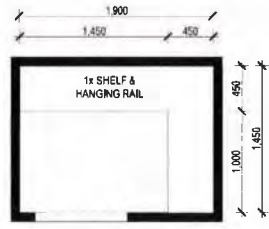
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DATE	.....
BUILDER	.....
DATE	.....

PROPOSED NEW RESIDENCE FOR  
MCSWEENEY DEVELOPMENTS PTY LTD  
AT  
LOT 7 DP 1246998  
NO. 221 PEEL STREET,  
BATHURST, NSW 2795

PLAN	MODIFIED AIRLIE 211
FACADE	NOVA
TITLE	WET AREA DETAILS

SCALE	1:50
SHEET SIZE	A3
DATE	20/01/22
DRAWN	VN-AG
JOB No.	000235
DWG No.	08-2





FLOOR PLAN  
WALK-IN ROBE



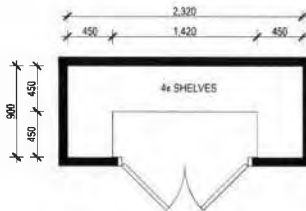
FLOOR PLAN  
TYPICAL ROBE



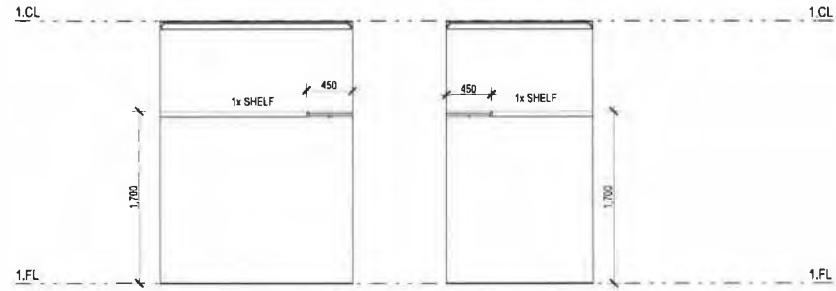
FLOOR PLAN  
TYPICAL ROBE



FLOOR PLAN  
WALK-IN LINEN

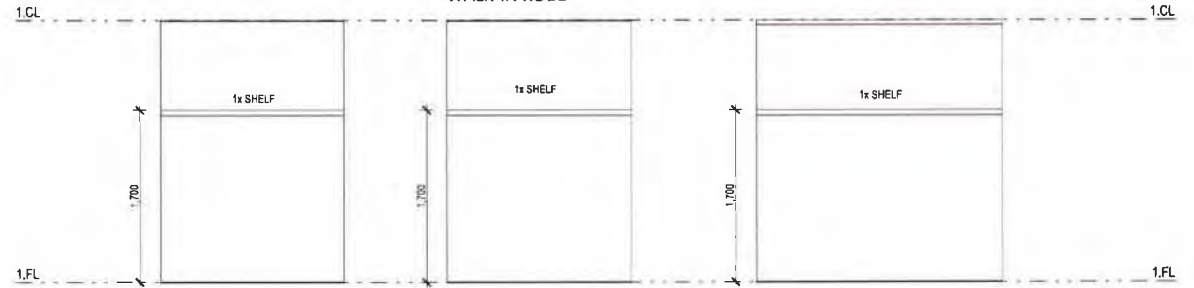


FLOOR PLAN  
TYPICAL ROBE



ELEVATION 1  
WALK-IN ROBE

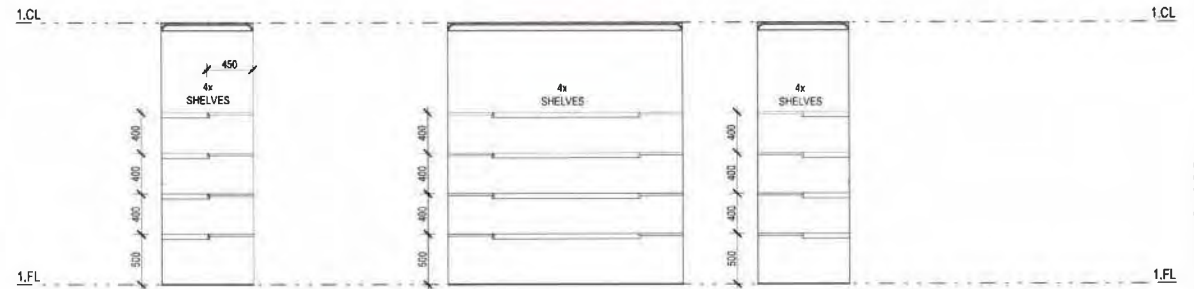
ELEVATION 2  
WALK-IN ROBE



ELEVATION 1  
ROBE 2

ELEVATION 1  
ROBE 3

ELEVATION 1  
ROBE 4



ELEVATION 1  
WALK-IN LINEN

ELEVATION 2  
WALK-IN LINEN

ELEVATION 3  
WALK-IN LINEN

NOTE:  
INTERNAL ELEVATIONS DRAWN  
TO STUD WALL ONLY EXCLUDE  
ANY PLASTERWALL FINISHES



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PROPOSED NEW RESIDENCE FOR  
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LOT 7 DP 1246998  
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BATHURST, NSW 2795

PLAN  
MODIFIED AIRLIE 211  
FACADE  
NOVA  
TITLE  
FITOUT DETAILS

SCALE  
SHEET SIZE  
DATE  
DRAWN  
JOB No.  
000235  
1:50  
A3  
20/01/22  
VN-AG  
DWG No.  
09

B	WORKING DRAWINGS	VN-AG	25/11/21
A	PRELIMINARY DRAWINGS	VN-JP	18/10/21
Rev	Amendment	Drawn	Date





# **STATEMENT OF ENVIRONMENTAL EFFECTS DA 2021/588**

**PROPOSAL:** Multi Dwelling Housing and  
Subdivision

**ADDRESS:** 221 Peel Street, Bathurst

April 2022





**PROPOSAL:** Multi Dwelling Housing & Subdivision

**CLIENT:** McSweeney Developments Pty Ltd

**Anthony Daintith Town Planning Pty Ltd**  
**ABN 46 121 454 153**  
**ACN 121 454 153**

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 M: PO Box 1975, Orange NSW 2800  
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### QUALITY ASSURANCE

This document has been prepared, checked and released in accordance with the Quality Control Standards established by Anthony Daintith Town Planning.

Version	Date	Description	By
1.0	18/3/2022	Draft	AD
2.0	23/3/2022	Approved	AD
3.0	2/4/2022	Revised	AD

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A handwritten signature in black ink, appearing to read "AD", is written over a horizontal line.

This document has been authorised by

Anthony Daintith (Principal)  
 Date: 2 April 2022



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**Proposal: Multi Dwelling Housing (5 dwellings) and Community Title Subdivision**  
**221 Peel Street, Bathurst**

**Page 2 of 34**  
**V3.0**



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# **1 BACKGROUND**

## **1.1 INTRODUCTION**

McSweeney Developments Pty Ltd have engaged Anthony Daintith Town Planning (ADTP) to prepare a Statement of Environmental Effects (SOEE) to support a Development Application (DA 2021/588) to Bathurst Regional Council, for proposed construction of a multi dwelling housing development – 5 new dwellings and Community Title subdivision (7 lots). The proposal also includes demolition of existing outbuildings.

The purpose of this document is to:

- Describe the existing environment;
- Outline the proposed development;
- Consider relevant statutory matters; and
- Make conclusions and recommendations for Council's consideration.

The development application consists of the following components:

- Completed DA form;
- Statement of Environmental Effects;
- Site, Building & Subdivision Plans; and
- BASIX.

## **1.2 APPLICANT AND OWNER**

The applicant and owner is McSweeney Developments Pty Ltd

The owners have provided their written consent to the lodgement of the Development Application.



## 2.1 LOCATION AND TITLE

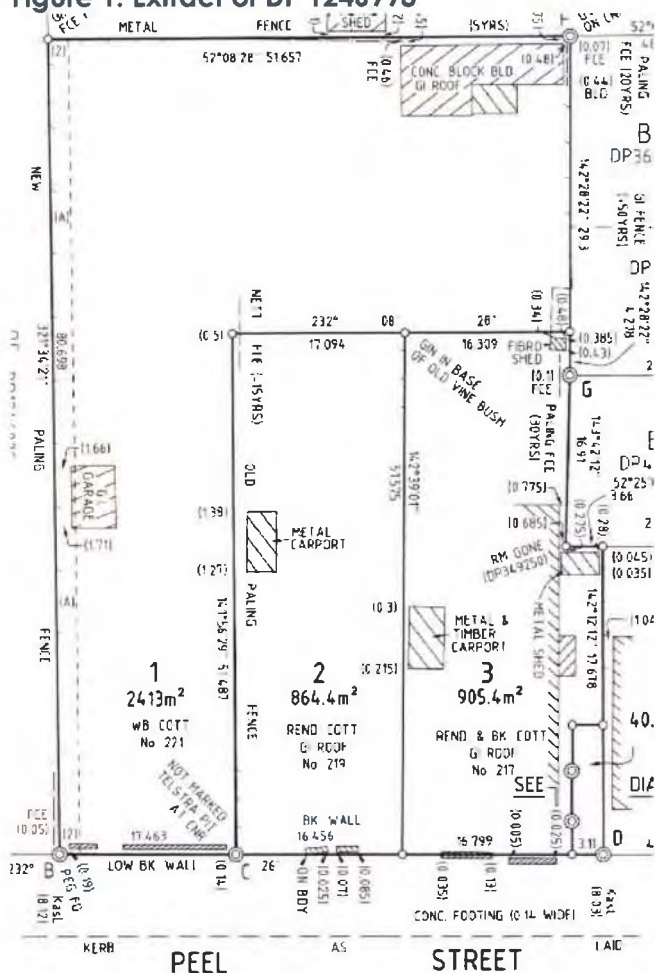
The area of the subject land is 2413 m<sup>2</sup>.

The land title description is:

### Table 1: Land Title Details

Lot	Deposited Plan
1	1246998

### Figure 1: Extract of DP 1246998





**Figure 2: Locality Plan**

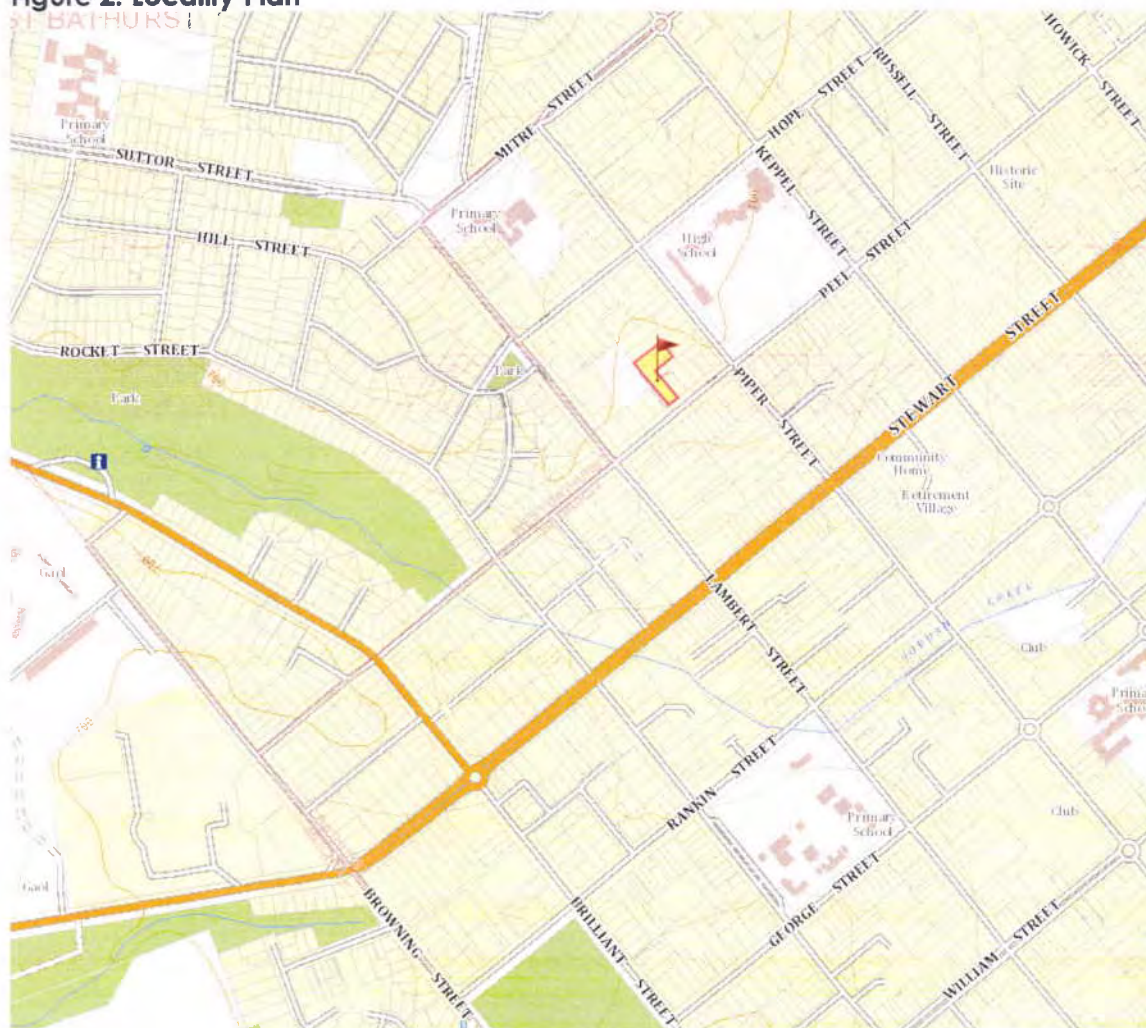




Figure 3: Aerial Photo



## 2.2 GENERAL SITE DESCRIPTION

### Topography

The site falls from the rear down to Peel Street.

### Vegetation

The rear of the site includes a number of existing trees (refer to aerial photo).

### Waterways

There are no water courses traversing the site.

### Buildings

The site contains an existing dwelling and shed.

**Photos 1 -4** provide a visual representation of the property.



**Photo 1: Street Elevation**



**Photo 2: Existing rear shed**





**Photo 3: Rear of site (looking north west)**



**Photo 4: Rear of site (looking north)**







## **2.3 SURROUNDING DEVELOPMENT**

The site is located within a residential area in Bathurst. The area is characterised by medium-higher density housing with developments to the north and east of the subject land.





### 3 PROPOSAL

The application seeks development consent for the following items:

#### Multi Dwelling Housing

It is proposed to construct 5 dwellings on the subject land, consisting of 2 x 3 bedroom units and 3 x 4 bedroom units.

The proposed units will have brick and hardiplank walls and Colorbond roofing.

The proposed dwellings will have private open space and drying areas as shown on the site plan.

Refer to building plans for greater detail. It is proposed to demolish the existing shed.

#### Subdivision

The proposal seeks development consent to subdivide (Community Title) the subject land into 7 lots. The proposed lots are shown in **Table 2** below.

**Table 2: Proposed Lots**

Lot Number	Area (m <sup>2</sup> )	
1	696.92	Community Lot
2	315.56	Existing dwelling
3	317.89	Proposed dwelling
4	262.69	Proposed dwelling
5	224.07	Proposed dwelling
6	224.07	Proposed dwelling
7	334.65	Proposed dwelling

Each lot will be fully serviced (reticulated water & sewer, electricity and telecommunications). Appropriate easements (if required) will be put on the final plan of subdivision prepared by the surveyor.



Figure 4: Proposed Site Plan

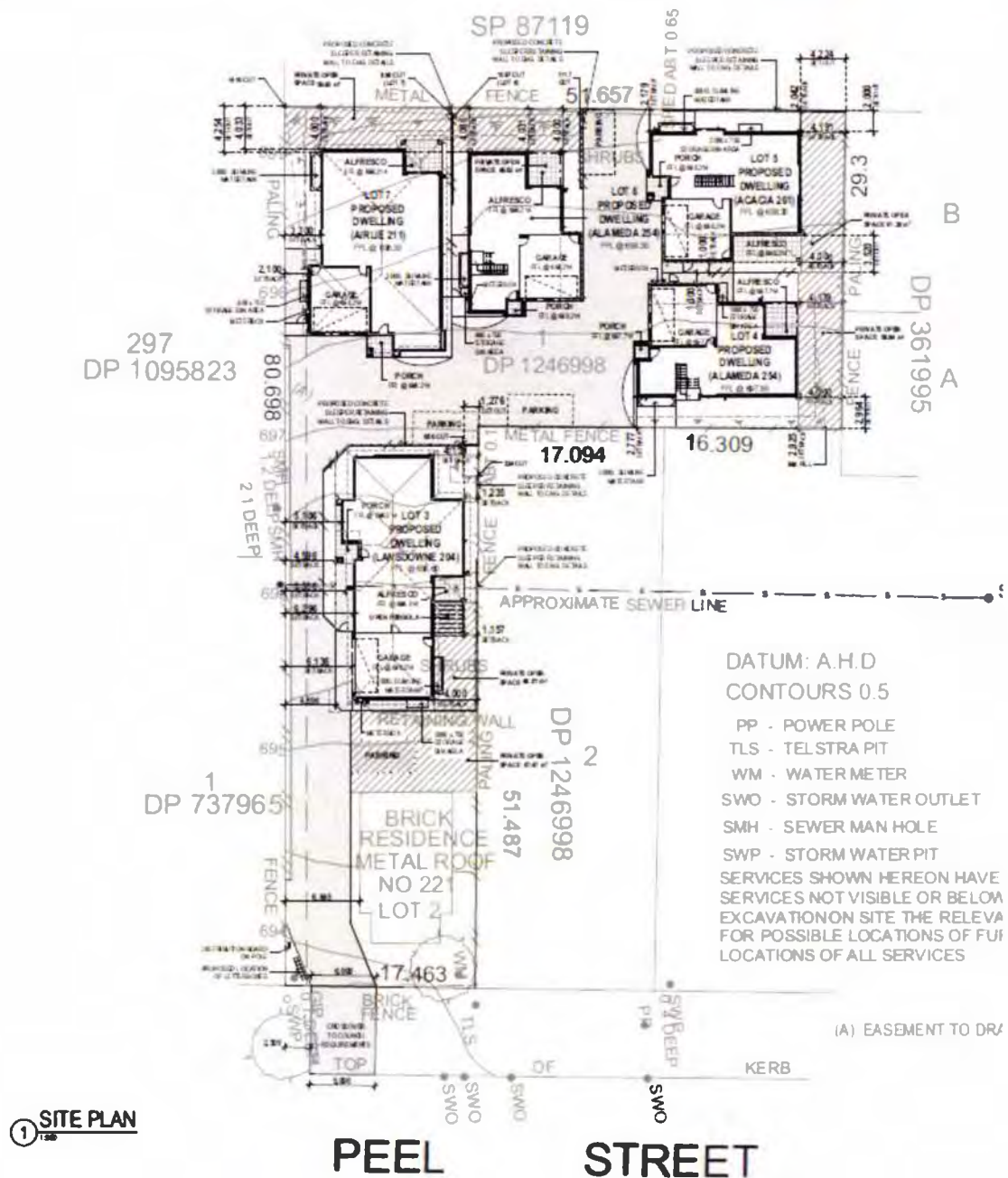
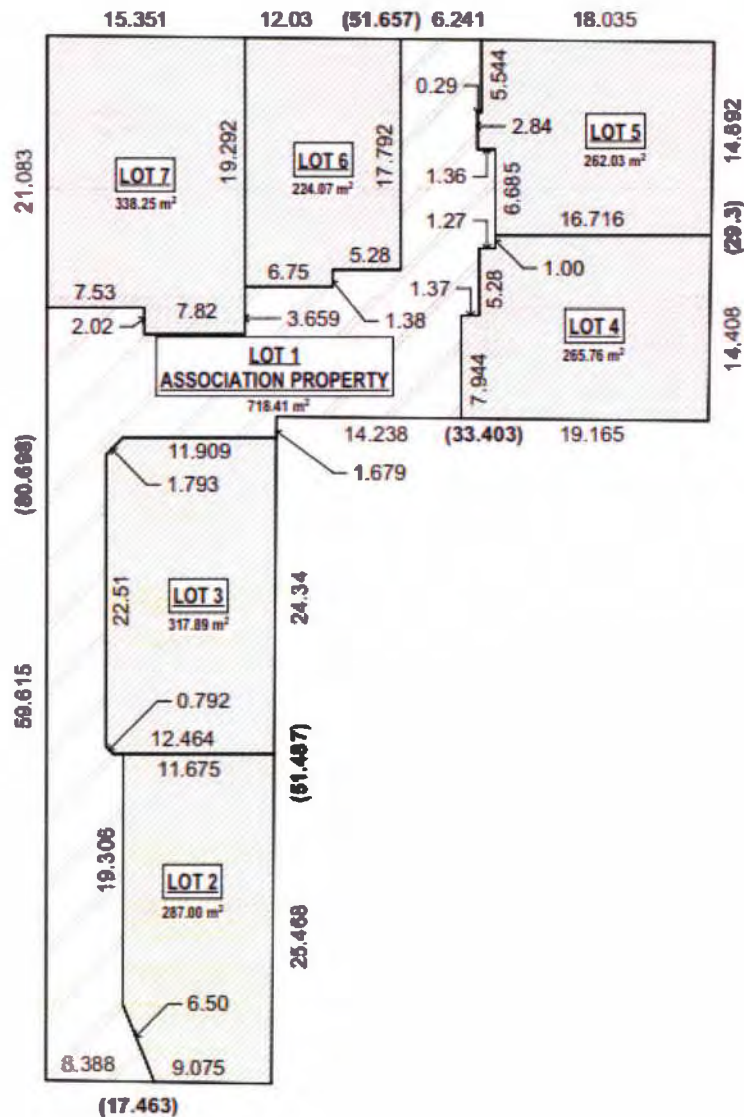




Figure 5: Proposed Community Title Subdivision Plan







## 4 TOWN PLANNING CONSIDERATIONS

Pursuant to Section 4.15 (formerly Section 79C) of the *Environmental Planning and Assessment Act 1979*, the following matters must be taken into consideration when assessing a development application:

### 4.15 Evaluation

(cf previous s 79C)

#### **Matters for consideration—general**

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provisions of:
  - (i) any environmental planning instrument, and
  - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
  - (iii) any development control plan, and
  - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
  - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and
  - (v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979),

that apply to the land to which the development application relates,

- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
- (c) the suitability of the site for the development,
- (d) any submissions made in accordance with this Act or the regulations,
- (e) the public interest.





## SECTION 4.15 ASSESSMENT

### (a)(i) The provisions of any environmental planning instrument

#### LOCAL ENVIRONMENTAL PLANS

#### **BATHURST REGIONAL LOCAL ENVIRONMENTAL PLAN 2014**

##### Applicable LEP Clauses

##### **Zone R1 General Residential**

##### 1 Objectives of zone

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To provide housing choice and affordability by enabling opportunities for medium density forms of housing in locations and at densities that complement the surrounding residential environment.
- To protect and conserve the historic significance and scenic quality of the urban villages of Eglinton, Raglan and Perthville.
- To enable commercial development that is compatible with the amenity of the area and does not prejudice the status and viability of the Bathurst central business district as the retail, commercial and administrative centre of Bathurst.

##### 2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home businesses; Home occupations; Roads

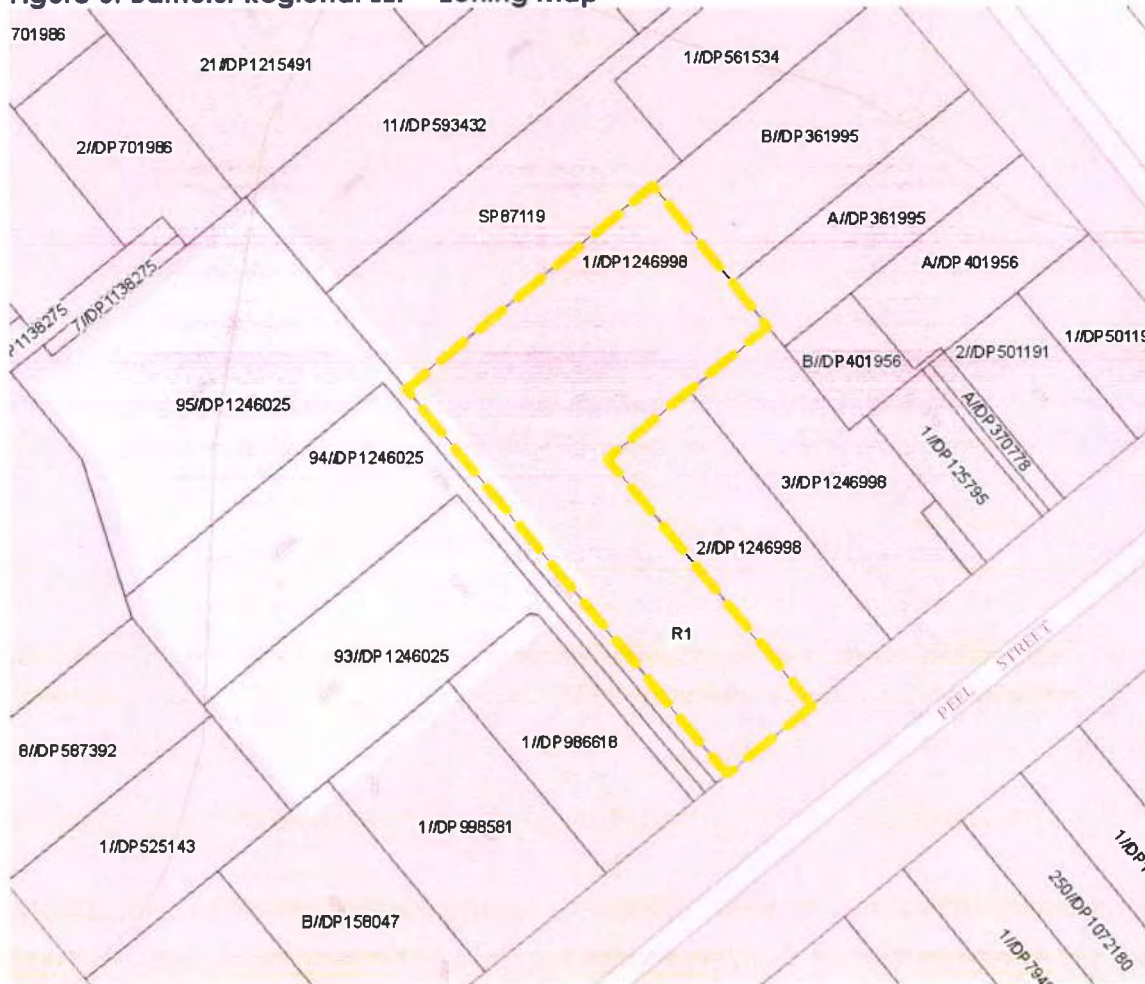
##### 3 Permitted with consent

Attached dwellings; Boarding houses; Child care centres; Community facilities; Dwelling houses; Food and drink premises; Garden centres; Group homes; Home industries; Hostels; Kiosks; Markets; **Multi dwelling housing**; Neighbourhood shops; Places of public worship; Plant nurseries; Residential flat buildings; Respite day care centres; Roadside stalls; Semi-detached dwellings; Seniors housing; Shop top housing; Waste or resource transfer stations; Any other development not specified in item 2 or 4

##### 4 Prohibited

Air transport facilities; Amusement centres; Boat building and repair facilities; Correctional centres; Crematoria; Depots; Electricity generating works; Extractive industries; Forestry; Freight transport facilities; Heavy industrial storage establishments; Home occupations (sex services); Industrial training facilities; Industries; Intensive livestock agriculture; Open cut mining; Restricted premises; Retail premises; Rural industries; Sex services premises; Storage premises; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Waste or resource management facilities; Wholesale supplies



**Figure 6: Bathurst Regional LEP - Zoning Map****Comment**

The subject land is zoned R1 General Residential under the provisions of the Bathurst Regional Local Environment Plan 2014.

The proposed multi dwelling housing development & subdivision is permissible subject to the consent of Council via the lodgement of a Development Application.

As detailed throughout this report, the proposed development can generally be shown to be consistent with the relevant objectives of the zone.

**2.6 Subdivision—consent requirements**

(1) Land to which this Plan applies may be subdivided, but only with development consent.

Notes—

1





If a subdivision is specified as exempt development in an applicable environmental planning instrument, such as this Plan or State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, the Act enables it to be carried out without development consent.

2

Part 6 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 provides that the strata subdivision of a building in certain circumstances is complying development.

(2) Development consent must not be granted for the subdivision of land on which a secondary dwelling is situated if the subdivision would result in the principal dwelling and the secondary dwelling being situated on separate lots, unless the resulting lots are not less than the minimum size shown on the Lot Size Map in relation to that land.

Note—

The definition of secondary dwelling in the Dictionary requires the dwelling to be on the same lot of land as the principal dwelling.

### Comments

Consent is sought for the proposed community title subdivision

#### **4.1 Minimum subdivision lot size**

(1) The objectives of this clause are as follows:

- (a) to protect and enhance the production capacity of rural lands, by maintaining farm sizes and the status of productive lands,
- (b) to ensure residential lots are of a suitable shape and size to provide a building envelope, private open space and suitable building setbacks for acoustic and visual privacy,
- (c) to control the subdivision of land shown on the Lot Size Map for the purposes of a dwelling house,
- (d) to ensure that lot sizes are consistent with the desired settlement density and intensities for different localities and reinforce the predominant subdivision pattern of the area,
- (e) to ensure a secure water supply is available to land in Zone RU4 Primary Production Small Lots to enable the cultivation of land by irrigation.

(2) This clause applies to a subdivision of any land shown on the Lot Size Map that requires development consent and that is carried out after the commencement of this Plan.

(3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the Lot Size Map in relation to that land.

(3A) Despite subclause (3), development consent must not be granted to the subdivision of land in Zone RU4 Primary Production Small Lots unless the consent authority is satisfied that a suitable and secure water supply is, or will be, available for irrigation to each resulting lot to enable the cultivation of the land.

(3B) Despite subclause (3), the size of any lot resulting from the subdivision of land identified as "Area 1" on the Lot Size Map must not be less than 4,000 square metres if:

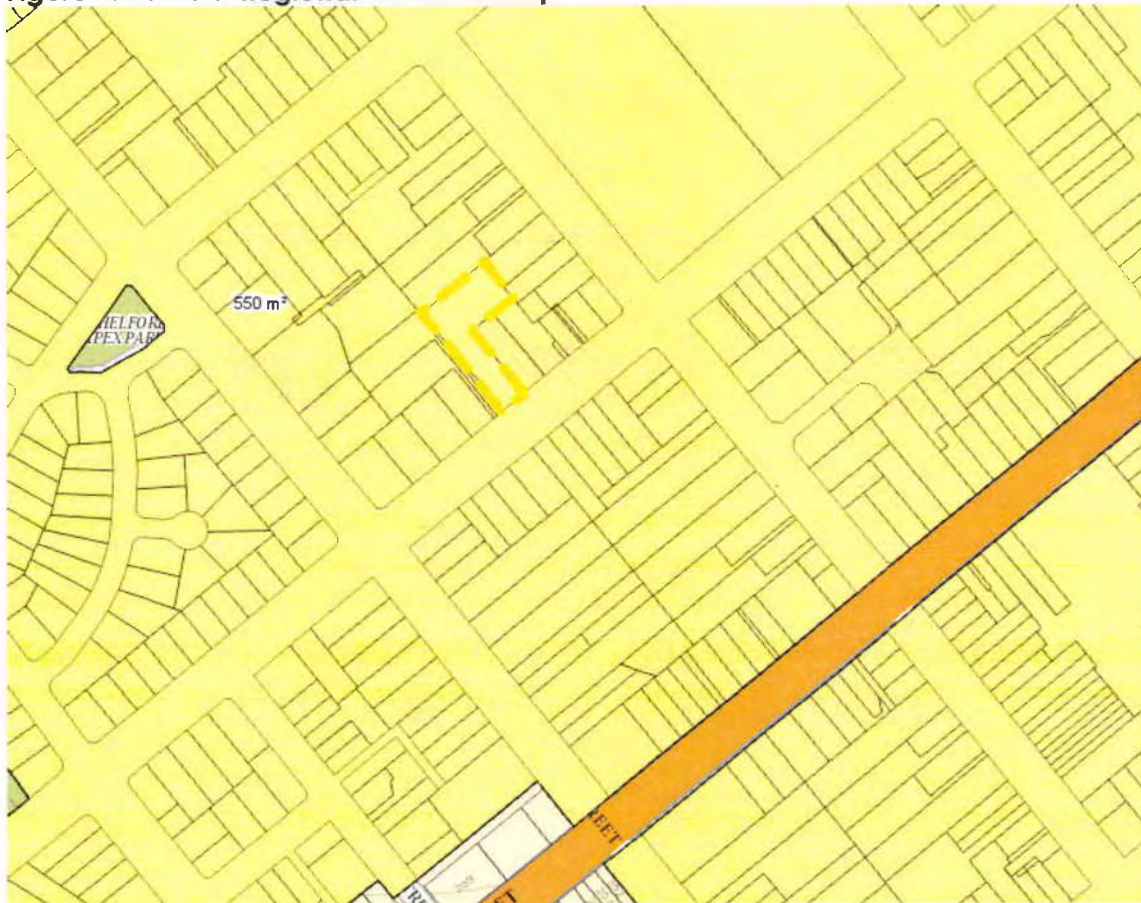




- (a) *reticulated water and sewerage will be connected to each resulting lot immediately following the subdivision, and*
  - (b) *the land is not within the 50dBA Noise Contour shown on the Mount Panorama Environs Map.*
- (3C) *Despite subclause (3), the size of any lot resulting from the subdivision of an existing holding identified as "Area 1" on the Lot Size Map must not be less than 4,000 square metres if:*
  - (a) *reticulated water and sewerage will not be connected to each resulting lot immediately following the subdivision, and*
  - (b) *not more than 1 lot is created for every 1.5 hectares of the existing holding.*
- (3D) *A lot created under subclause (3C) may not be further subdivided.*
- (3E) *Despite subclause (3), the size of any lot resulting from the subdivision of land identified as "Area 2" on the Lot Size Map must not be less than 6,000 square metres if reticulated water and sewerage will be connected to each resulting lot immediately following the subdivision.*
- (3F) *Despite subclause (3), a battle-axe lot resulting from the subdivision of the following land must not be less than:*
  - (a) *if the land is in Zone R1 General Residential—750 square metres, or*
  - (b) *if the land is in Zone R1 General Residential and in the village of Eglinton, Perthville or Raglan—900 square metres, or*
  - (c) *if the land is in Zone R2 Low Density Residential—750 square metres.*
- (3G) *For the purpose of calculating the size of a battle-axe lot under subclause (3F), the area of the access handle is excluded.*
- (3H) *In this clause existing holding means the area of a lot as it was on 2 September 1988.*
- (4) *This clause does not apply in relation to the subdivision of individual lots in a strata plan or community title scheme.*



**Figure 7: Bathurst Regional LEP - MLS Map**



### Comments

The MLS is 550m<sup>2</sup>. The proposed clause doesn't apply to a Community Title subdivision.

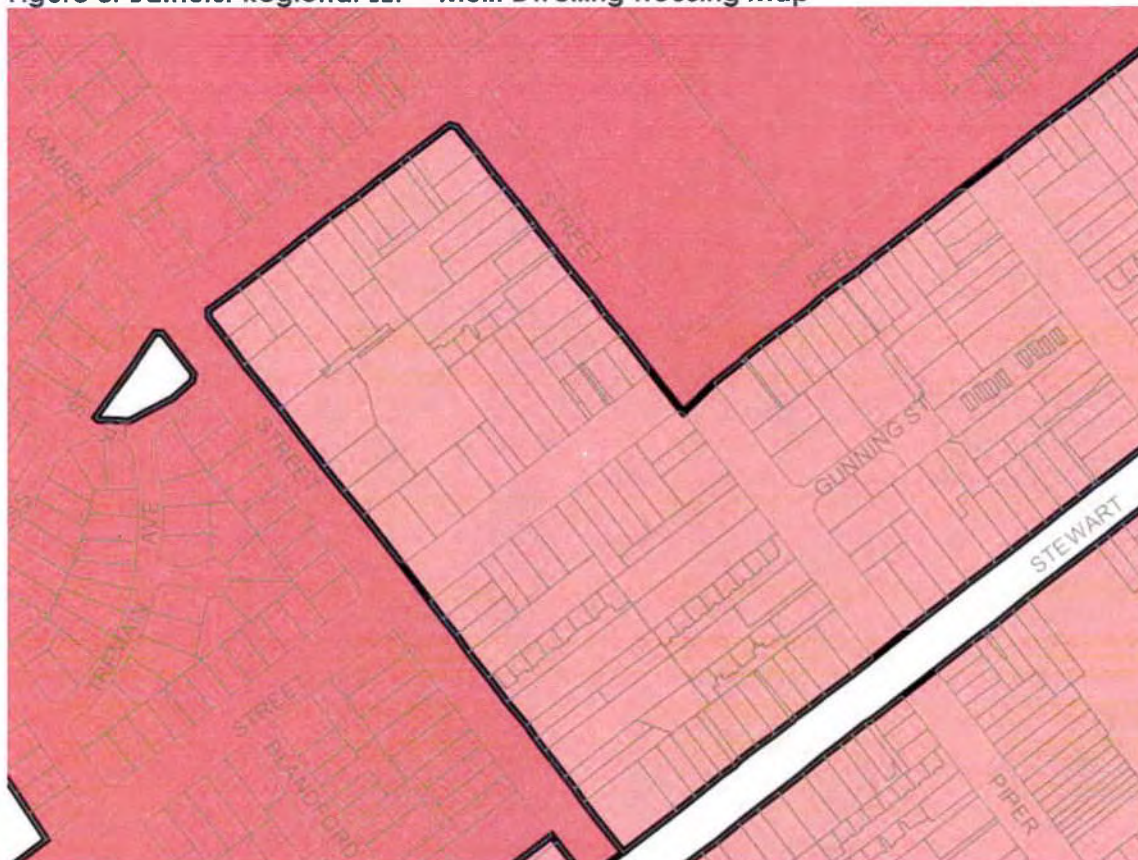
#### **4.1B Minimum lot sizes for dual occupancies, multi dwelling housing and residential flat buildings**

- (1) The objectives of this clause are as follows:
  - (a) to achieve planned residential density,
  - (b) to ensure that the area and dimensions of a lot are able to accommodate development that is consistent with the objectives and development controls for dual occupancies, multi dwelling houses or residential flat buildings,
  - (c) to minimise any likely adverse impact of such development on the amenity of adjoining neighbourhoods.
- (2) Development consent must not be granted to development for the purposes of a dual occupancy on a lot unless the lot is at least the minimum lot size shown on the Minimum Lot Size—Dual Occupancy Map for that lot.



- (3) Development consent must not be granted to development for the purposes of multi dwelling houses or residential flat buildings on a lot unless the lot is at least the minimum lot size shown on the Minimum Lot Size—Multi Dwelling Housing and Residential Flat Buildings Map for that lot.
- (4) Despite any other provision of this Plan, development consent may be granted for the subdivision of a dual occupancy, multi dwelling housing or a residential flat building development into lots of any size to enable the resulting individual dwellings on those lots to have separate titles.

**Figure 8: Bathurst Regional LEP – Multi Dwelling Housing Map**



### Comments

The map specifies a minimum lot size of 900m<sup>2</sup> for multi dwelling housing on the subject land (the lot area is 2413 m<sup>2</sup>).

As per subclause (4) above, it is proposed to subdivide the subject land into 7 lots (Community Title).



### 5.10 Heritage conservation

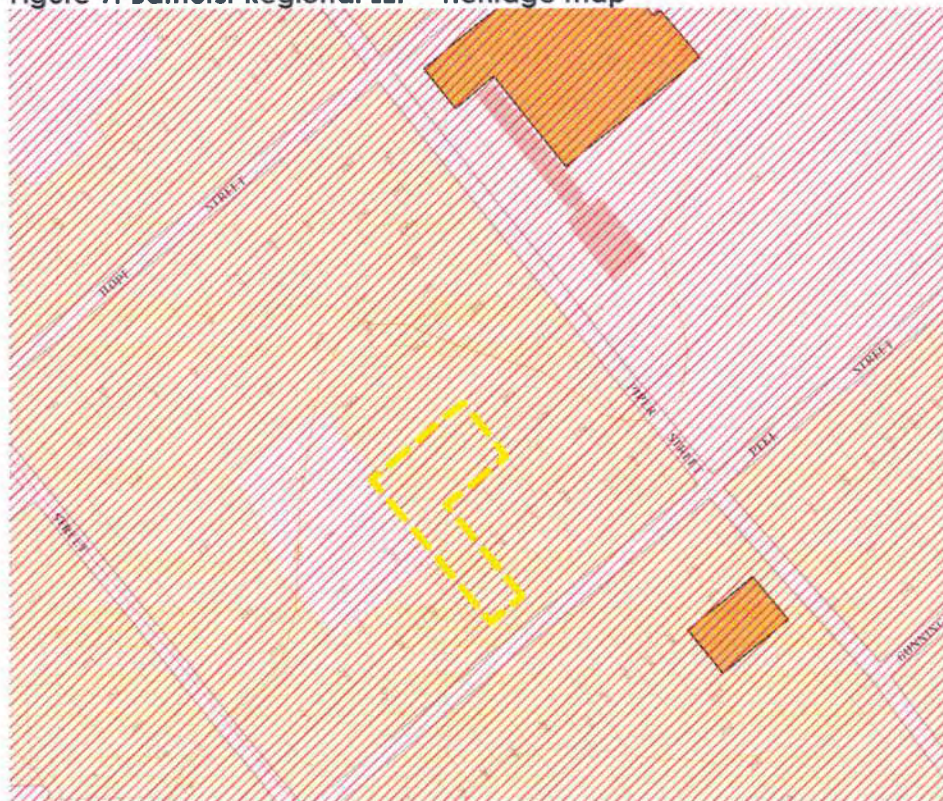
Note—

Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the Heritage Map as well as being described in Schedule 5.

(1) Objectives The objectives of this clause are as follows—

- (a) to conserve the environmental heritage of Bathurst Regional local government area,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

**Figure 9: Bathurst Regional LEP – Heritage map**



### Comments

The subject land is located within the Heritage Conservation area – however the site does not contain a heritage item. It is noted that there are no adjacent or adjoining heritage items. As the development is at the rear of the site, the impact on the heritage conservation area is negligible.





## 7.5 Essential services

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable vehicular access.

### Comments

The proposed development will be connected to all available services. Stormwater will be directed to the street. It is proposed to utilise the existing access onto Peel Street to obtain access to the development.

## **STATE ENVIRONMENTAL PLANNING POLICYS**

### **STATE ENVIRONMENTAL PLANNING POLICY NO 55—REMEDIATION OF LAND**

Council must consider Clause 7 of the SEPP when determining a Development Application:

#### **7 Contamination and remediation to be considered in determining development application**

- (1) A consent authority must not consent to the carrying out of any development on land unless:
  - (a) it has considered whether the land is contaminated, and
  - (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
  - (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

### Comment

The potential for contamination appears minimal. In terms of potential soil contamination, the subject land has been evaluated for:

- Evidence of previous mining activity;
- Evidence of existing and previous dip sites and other associated infrastructure;
- Evidence of orcharding or any other horticultural activities; and





- Vegetative and other features which could indicate possible soil contamination.

Accordingly, it is recommended that a detailed investigation is not necessary or warranted in this instance.

### (a)(ii) Any draft environmental planning instrument

Nil

### (a)(iii) Any development control plan

#### BATHURST DEVELOPMENT CONTROL PLAN 2014


**Table 3: DCP Analysis**

Clause	Heading	Comment
3.1	Preliminary	
3.2	Minimum lot size	The proposed subdivision is permissible via Clause 4.1B(4) of the LEP.
3.3	Subdivision Requirements: All zones	
3.3.1	Electricity and telephone services	Underground electricity and telephone services are available to the subject land.  There is already street lighting in Peel Street.  Documentary evidence will be provided prior to issue of the Subdivision Certificate that appropriate arrangements have been made with respect to the above.
3.3.2	Road	No new roads proposed. There is an existing access to the site off Peel Street – a new internal accessway will serve each proposed dwelling (which will form the community lot).
3.3.3	Drainage	Stormwater drainage to be provided to the street system.
3.3.4	Reticulated water and sewer	Each lot will be connected to reticulated water and sewer to Council requirements. Detailed engineering plans will be provided with the Construction Certificate application for the subdivision works.
3.3.5	Rural Water Supply	Not applicable
3.3.6	Soil and Water Management	The subdivision will comply with the requirements of the document: <i>Managing Urban Stormwater: Soils and Construction 2004</i> , produced by Landcom.
3.3.7	Natural environment	Vegetation removal (willow tree and 2 gum trees in poor health) is required to facilitate the construction of the proposed development.  There are no existing dams on the site of the subdivision.  There are no environmental sensitive land features on the site (e.g. rocky outcrops, steep slopes, ridge or hill tops).  Minimal land shaping will be undertaken to facilitate the construction of the development and subsequent subdivision.
3.3.8	Landscaping	Landscaping is proposed as per the Landscape Plan.



3.3.9	Land contamination	Refer to SEPP 55 comments.
3.3.10	Access via Crown Roads	Not applicable.
3.4	Subdivision Requirements: Zone R1 – General Residential and R2 – Low Density Residential	
3.4.1	Objectives	It is considered that the proposed subdivision is consistent with the zone objectives.
3.4.2	Allotment Dimensions	Clause 4.2B(4) enables Council to approve the subdivision despite any other LEP provision.
3.4.3	Road works	No new roads proposed.
3.4.4	Subdivision of dual occupancy, multi dwelling houses, residential flat buildings and shop top housing	It is proposed to Community Title subdivide the proposed multi dwelling housing development. Refer to Clause 4.2B(4) of the LEP.
3.4.5	Subdivision of land in the village of Eglinton	Not applicable
3.4.6	Subdivision of the land in Kelso	Not applicable
3.8	Development Control Plan Maps	There are no maps applicable.
4.1	Preliminary	Applies to this proposed development.
4.2	Residential Density	The subject land is within Precinct 1 (Medium Density).



		 <p><b>Precinct 1 – Medium Density</b></p> <p>a) To provide for a mixed residential character, with an emphasis on medium density housing.</p> <p>b) To enable a greater proportion of the population to live closer to the Bathurst CBD and the services and facilities located in the central area of the City.</p> <p>Multi dwelling housing is permissible in Precinct 1.</p> <p>The residential density is to be no greater than 88 persons per site hectare on lots less than 4000 square metres.</p> <p>Based on the above, the maximum number of persons shall be 21.2344 persons.</p> <p>It is proposed to provide for 20.7 people (allowed 21.23 people):</p> <p>2 x 3 beds (3.3 persons) = 6.6 people  3 x 4 beds (3.6 persons) = 10.8 people  1 x 3 beds – existing house (3.3 persons) = 3.3 people</p> <p>TOTAL = 20.7 people</p>
4.3	Minimum Lot Size	The lot has an area of 2413m <sup>2</sup> which is greater than the 900m <sup>2</sup> standard for multi dwelling housing units.
4.4	General Siting Considerations – All residential development	<p>The cut and fill will be minimised where possible – retaining walls will be constructed as required.</p> <p>The front building line for the development has already been set by the location of the existing dwelling.</p>



		Location	Minimum Building Line	Garage/Carport Location
		Within the Bathurst Heritage Conservation Area	<ul style="list-style-type: none"> <li>Must complement the existing setbacks of surrounding buildings in the vicinity and within the streetscape. Visibility must be maintained on corner allotments.</li> </ul>	<ul style="list-style-type: none"> <li>Behind the building facing the street or, if unable to be located behind the building, must complement the surrounding setbacks of building locations in the vicinity.</li> <li>Visibility must be maintained on corner allotments.</li> </ul>
		<p>There are no garage doors facing the street.</p> <p>Side and rear setbacks – compliant with the National Construction Code. Each dwelling has been designed to ensure that there are no walls with a continuous wall of greater than 10m. All the proposed two storey dwellings are greater than 1.5m off the boundary.</p> <p>There are no windows located on the proposed development that will create an unacceptable visual privacy issue. Units 4 and 5 have been setback further than originally submitted with the DA to reduce the potential of overshadowing and privacy impacts.</p> <p><u>Overshadowing – Residential Units and Dual Occupancy Developments</u></p> <p>a) New development should not significantly affect access to sunlight of existing or likely future development on other property between 9.00am and 3.00pm, particularly living areas and usable open space. At least two hours sunlight to indoor and outdoor living areas of adjoining properties is to be maintained between 9.00am and 3.00pm on June 21.</p> <p>b) The overshadowing diagrams should be provided in 1 hour intervals for the period 9.00am and 3.00pm on 21 June.</p> <p>Shadow diagrams (1 hour intervals) have been prepared for the proposed development and demonstrates compliance with the DCP. It is noted that the existing dwellings located on Peel Street adjoining the development site are located close to the street and will not be impacted upon by the proposed development. The open space areas of the rear yards of these properties will be overshadowed – but not significantly. The neighbouring pool will not be impacted upon until after 2pm on the 21 June (middle of winter when it is less likely to be used). It is noted that there is already trees in these backyards that provide shading and screening.</p> <p>There is an no concrete footpath along Peel Street.</p>		
4.5	Siting considerations – Residential Units – Precinct 2	Not applicable.		
4.6	Siting Considerations	Not applicable in Precinct 1.		



	- Dual Occupancy - Precinct 2 & 3							
4.7	Private Open Space and Landscaping	<p>A 3 bedroom dwelling requires 40m<sup>2</sup>. A 2 bedroom dwelling requires 30m<sup>2</sup>. A 4 bedroom dwelling requires 50m<sup>2</sup>.</p> <p>Each dwelling (apart from Lot 6) has been provided with at least the minimum private open space (Refer to the site plans for greater detail).</p> <p>Existing house – 87.47m<sup>2</sup>  Unit 3 – 40.01m<sup>2</sup>  Unit 4 – 58.64m<sup>2</sup>  Unit 5 – 61.20m<sup>2</sup>  Unit 6 – 48.62m<sup>2</sup>  Unit 7 – 56.92m<sup>2</sup></p> <p>A variation is sought of Lot 6 of 1.38m<sup>2</sup> or 2.7%. It is noted that the variation is very minor and it is noted that there is an alfresco area adjacent to this space which provides for additional outdoor area for the use of occupants.</p>						
4.8	Height of Buildings	All dwellings are less than the 9m height restriction under the LEP.						
4.9	Parking, Access and Manoeuvring Areas	<table border="1"> <thead> <tr> <th>Dwelling Type</th><th>Minimum Car Parking Required</th><th>Minimum Bicycle Parking Required (Visitor)</th></tr> </thead> <tbody> <tr> <td>Medium density housing (Precinct 1)</td><td> <p>Minimum car parking required:</p> <p>a) For 1 or 2 bedroom dwellings – 1 covered car parking space per dwelling and 1 visitors space per 4 dwellings (or part thereof)</p> <p>b) For 3 or more bedroom dwellings – 1 covered car parking space per dwelling and 1 visitors space per 2 dwellings (or part thereof)</p> </td><td>1 bicycle parking space per 10 dwellings or part thereof.</td></tr> </tbody> </table> <p>Based on the above, it is proposed to provide double garages for each proposed dwelling and retain the existing carport for the existing dwelling. It is proposed to provide 3 additional dedicated visitor spaces.</p> <p>All vehicles can enter and leave in a forward direction (refer to turning circles on the site plan). The existing house will continue to reverse out onto the street as per current practice</p> <p>The width of the access way off Peel Street is sufficiently wide enough to meet Councils requirements and to enable adequate manoeuvring of vehicle.</p>	Dwelling Type	Minimum Car Parking Required	Minimum Bicycle Parking Required (Visitor)	Medium density housing (Precinct 1)	<p>Minimum car parking required:</p> <p>a) For 1 or 2 bedroom dwellings – 1 covered car parking space per dwelling and 1 visitors space per 4 dwellings (or part thereof)</p> <p>b) For 3 or more bedroom dwellings – 1 covered car parking space per dwelling and 1 visitors space per 2 dwellings (or part thereof)</p>	1 bicycle parking space per 10 dwellings or part thereof.
Dwelling Type	Minimum Car Parking Required	Minimum Bicycle Parking Required (Visitor)						
Medium density housing (Precinct 1)	<p>Minimum car parking required:</p> <p>a) For 1 or 2 bedroom dwellings – 1 covered car parking space per dwelling and 1 visitors space per 4 dwellings (or part thereof)</p> <p>b) For 3 or more bedroom dwellings – 1 covered car parking space per dwelling and 1 visitors space per 2 dwellings (or part thereof)</p>	1 bicycle parking space per 10 dwellings or part thereof.						
4.10	Services and facilities	Fire hydrants will be installed as required to ensure appropriate coverage.						





		<p>Each dwelling will be provided with electricity and telephone services along with reticulated water and sewer.</p> <p>All stormwater (roof and surface) will be directed back to the street system.</p> <p>There is not an existing concrete footpath along Peel Street.</p> <p>There is space available on each dwelling site for the storage of garbage bins.</p> <p>Clothes drying area will be provided.</p>
4.11	Soil and Water Management	Erosion and sediment control measures will be installed prior to the construction works.

### **(a)(iia) Any Planning Agreements**

There are no known planning agreements affecting the property.

### **(a)(iv) Any matters prescribed by the regulations:**

#### **Government Coastal Policy**

Not applicable to Bathurst LGA.

#### **Building Demolition**

Not applicable.

#### **Upgrading of Buildings**

Not applicable.

#### **Fire Safety**

Not applicable.

#### **Temporary Structures**

Not applicable to this proposal.

#### **Deferred Commencement Consent**

Not applicable to this proposal.





### **Modification or Surrender of Development Consent or Existing Use**

Not applicable.

### **Ancillary Development**

Not applicable to this proposal.

### **BASIX**

BASIX Certificate has been provided for each of the proposed dwellings.

### **(b) The likely impacts of the development:**

#### **CONTEXT AND SETTING**

The surrounding area is generally characterised by residential development.

The proposal is considered compatible with the surrounding area and will have minimal impact in regards to:

- Impacts on adjacent properties and land uses; and
- Interruptions of important views and vistas.

The proposal is within the context of the locality and Council's current planning provisions.

#### **ACCESS AND TRANSPORT**

It is proposed to use the existing access off Peel Street to service all the dwellings on site. It is proposed to provide a 6m wide driveway (and reducing on site in part past Lot 3) to the rear dwellings.

It is considered that the proposal will generate on average an additional 30 vehicle movements per day. This additional loading is considered modest and can be accommodated by the existing street system without the need for any further upgrading.

Refer to the DCP discussion with respect to car parking.

#### **PUBLIC DOMAIN**

It is considered that the development will have a negligible impact on the public domain in terms of:





- Public recreational opportunities in the locality;
- Amount, location, design, use and management of public spaces in and around the development; and
- Pedestrian linkages and access between the development and public areas.

### **UTILITIES & SERVICES**

#### Electricity

The service is available for connection to the proposed dwellings. Any necessary easements will be included on the plan of subdivision.

#### Telephone

The service is available for connection to the proposed development.

#### Water

The service is available for connection to the proposed development. Any necessary easements will be included on the plan of subdivision.

#### Sewerage

The service is available for connection to the proposed development.

#### Stormwater

Stormwater will be diverted back to the stormwater system in Peel Street.

### **HERITAGE**

The subject land is within a heritage conservation area and there are no heritage items on the site. Refer to LEP comments.

### **FLORA AND FAUNA**

Vegetation removal (willow tree and 2 gum trees in poor health) is required to facilitate the construction of the proposed development.

The site does not contain any threatened species or critical habitat.

### **ENERGY**

A BASIX certificate is provided for each dwelling in the development.



**NOISE AND VIBRATION**

All construction work will be undertaken during hours specified within the development consent and/or normal construction hours. No vibration during construction is expected.

Noise generated from the residence after occupation will be primarily of a residential scale.

**NATURAL HAZARDS**

It is considered that the land is not affected by bushfire, flooding, subsidence or any other known hazard.

**POTENTIAL CONTAMINATION**

See comments under SEPP 55 – Remediation of Land.

**SAFETY, SECURITY & CRIME PREVENTION**

No specific safety or security measures are proposed to be implemented as part of the proposed development.

**SOCIAL & ECONOMIC IMPACTS IN THE LOCALITY**

The likely social and economic impacts of the development are generally positive with an increase in housing choice in the central part of Bathurst for which there is a demand.

**CONSTRUCTION**

All construction work will be undertaken in accordance with the BCA and Councils conditions of consent.

Construction impacts are not anticipated to have an adverse impact on the locality. Works would occur during daytime hours, thus not impacting on the local amenity. The site would have temporary containment fencing erected and signage to warn and exclude the public from entering the site during the construction phase.

Erosion and sedimentation control measures would be developed and implemented during construction to minimise any erosion and sedimentation at the site. All disturbed areas rehabilitated as soon as practical

All waste generated during construction would be taken and disposed of at Council's Waste Disposal Facility.





All construction machinery would be fitted with appropriate muffling devices to limit noise generation during construction. The construction period would be for a limited period, and thus any impacts would be limited to that time frame.

### **CUMULATIVE IMPACTS**

It is considered there will be no negative cumulative impacts as a result of the proposed development.

### **(c) Suitability of the site for the development**

#### Does the proposal fit in the locality?

- There are no constraints posed by surrounding development to render the proposal prohibitive;
- The proposal is complimentary to the surrounding land use pattern and zoning;
- It is considered that the proposal will not create any unmanageable access or transport concerns in the locality;
- No impact on public spaces will eventuate as a result of the proposal proceeding;
- No upgrading to services is required (are all readily available for connection);
- There are no issues in relation to air quality and microclimate; and
- There are no identified surrounding hazardous land uses or activities.

#### Are the site attributes conducive to development?

It is considered that the site is conducive to the subdivision based on the following:

- The site is not affected by any natural hazards;
- The proposed development has been designed to be sympathetic to the Bathurst Heritage Conservation Area;
- There is no known soil characteristics that would render the proposal prohibitive; and
- There are no known flora and fauna considerations that will have an impact on the proposal.





**(d) Any submissions**

The application may be notified to adjoining neighbours for comment.

**(e) The public interest**

The proposed development is considered to be only of minor interest to the wider public due to the relatively localised nature of potential impacts. It is believed that by the imposition of appropriate conditions of consent and the safeguards discussed in this report, potential impacts would be modest.





## 5. CONCLUSION

This report includes an analysis of the existing environment, details of the proposed development and consideration of applicable statutory requirements.

Based upon the investigations of the proposal it can be concluded that:

- The impacts upon or by surrounding development will not be altered significantly as a result of the development proceeding;
- The topography of the site can accommodate the proposal;
- There will be additional traffic generated, which can be accommodated with the existing road network without the need for upgrading;
- Utilities and services are already connected to the site; and
- The proposal is generally consistent with the objectives and provisions of Councils relevant planning documents.

The proposal is considered to be acceptable in terms of Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended) and potential impacts are expected to be minor.

**Accordingly, it is recommended that the Development Application be approved subject to appropriate standard conditions.**



19<sup>th</sup> January 2022

Attn: Mr David Sherley  
General Manager  
Bathurst Regional Council  
council@bathurst.nsw.gov.au

To whom it may concern,  
Re: Development Application 10-2021-588-1

My name is Fairlie Campbell, and I live with my partner, Luke Stonestreet, who is the owner of 278 Peel Street, Bathurst. Our house adjoins the land under consideration for the development application at 221 Peel Street, Bathurst.

I am writing to voice my opposition to the development application No 2021/588 at 221 Peel Street, Bathurst.

I have very strong concerns on the following topics that I hope council will take into consideration.

**1 – The views to and the views from the surrounding land:**

- This property will, according to the information provided, have a double storey house on Lot 4. This house will only be situated 4.2 metres from our boundary fence, and it will have x3 top story windows overlooking our back garden. This raises significant privacy concerns for myself and my family.
- The height of the double story house on Lot 4 is indicated to be 7.5 metres. This will most certainly block our view of Mount Panorama and surrounds. If this view is blocked, then it will most likely bring down the value of this property as well as negatively affecting our enjoyment of our back garden and views.
- Currently there are multiple mature gum trees and an old willow located on the property. These trees provide a tranquil habitat for many native birds and other fauna as well as for ourselves and our neighbours.

**2 – Overshadowing of adjoining land:**

- This has not been provided in the proposed development plan. Having said this, being a double story house on Lot 4 will most certainly effect overshadowing onto our property.

**3 – The privacy of surrounding land:**

- The double story house on Lot 4 has x3 top storey windows which will look directly into our house and back garden. The house is also only located 4.2 metres from our boundary fence, which will also reduce the privacy in our home.

**4 – Noise, light, odour, dust (or similar) transmission to the surrounding land:**

- As previously mentioned, there are multiple mature gum trees and an old willow located on Lot 4 which provide privacy, block out unwanted lights and provide dust protection to our back garden.

**5 – The visual impact of the proposed development in relation to the streetscape, or the heritage significance of an adjoining heritage item:**

- The houses that surround this area of Bathurst are all single storey houses, hence the proposal of having double storey houses will greatly affect the surrounding area.



- The proposed building company, Hotondo Homes, has a modern style. The houses situated in this area are all double brick and of considerable age. Having modern, grey and white houses will change the heritage significance and image of this area greatly.
- The proposed removal of the mature gum trees and willow will also greatly change the streetscape and the heritage significance of the surrounding area. I also note there is no proposed replacement for these trees if removed, and to my knowledge, this has not been approved by Bathurst Council.

This part of Bathurst has significant heritage value and is a quiet suburban area with lots of young families. It is also located in close proximity to both a primary and high school, and extra traffic in the area would present an increased risk to the children and families that use the area.

I would appreciate if you could take the time to consider my above opposition to the proposal.

I look forward to hearing your response.

Kind regards,

Fairlie Campbell  
278 Piper Street, Bathurst 2795  
0448277792  
Fairlie.campbell@health.nsw.gov.au





January 24, 2022

Tamsin McIntosh & David Nelson  
Bathurst Regional Council  
Private Mail Bag 17  
Bathurst NSW 2795

Dear Tamsin & David,

**Re: Development Application No 2021/588**  
**Premises: PLT: 1 DP:1246998 221 Peel Street**

We write on behalf of the Owners Corporation SP87119 – 284a Piper Street regarding the above Development Application.

The Owners Corporation request that the following submissions concerning the development application be tabled.

1/ With the construction of two storey dwellings along the fence line units 1 to 4 will suffer a loss of privacy, which they currently enjoy and have done so since they were constructed. (The backyards of the units will be overlooked by the second storey windows of the proposed new dwellings.)

2/ There will be the resulting visual impact as well due to the construction of two storey dwellings.

3/ The new dwellings which will overlook our units will potentially impact on the property value of our units.

4/ A fence will need to be put in place as the concrete block building currently forms part of the fence line.

Kind regards

Belinda Ireland  
Bathurst Strata Management  
On behalf of the Owners Corporation SP87119

---

Level 1, 195 Russell Street  
Bathurst NSW 2795  
Tel 02 6331 3945

All correspondence to:  
PO Box 603 Bathurst NSW 2795  
[info@bathurststrata.com.au](mailto:info@bathurststrata.com.au)

ABN 97 645 058 788



The Manager Development Assessment  
Bathurst City Council

282 Piper Street  
Bathurst

Dear Sir/Madam,

I am writing regarding the development application for 221 Peel Street. DA 2021/588

I have the following concerns;

**Reckless overdevelopment** This proposal together with the 13 buildings proposed on the next-door block at 225A Peel Street would mean an increase of 18 buildings in a heritage area.

There are currently 35 homes in the Peel, Piper, Lambert block but these two proposals would increase the number of homes by **over 50%**. The increase stress on infrastructure such as stormwater, sewerage, road, and traffic routes would be concerning for any suburban block let alone a block in a heritage area dominated by heritage/older style homes.

It would seem paramount that these two proposals be considered together in view of the high impact occurring on the one vicinity.

**Privacy** The proposal at 221 to construct not one but two double story boxes that face our backyard at 282 Piper Street which have direct views into our backyard, pool area, deck and living area is of major concern. In the proposal for lot 5 There is one very large double window and one large window upstairs that would have unimpeded views of all our living areas including the backyard, pool, deck and living, kitchen area. The destruction of our current leafy outlook particularly the large gum and willow tree would alter the character of the area forever and destroy our leafy outlook from all living areas. The other double story on lot 4 that faces our backyard has slightly less window space but again is a huge alteration to our privacy. This second double story is just development gorging of the site. To have two double story houses facing our backyard is both unnecessary (except for the developer's balance sheet) and architecturally impotent.

The statement of environmental effects states there will be NO loss of privacy nor will views be impacted. From our point of view this couldn't be further from the truth. It also mistakenly states the area is Not a Heritage area. Most of the houses in the Peel, Piper, Lambert block are between 100 and 120 years old (including the front of ours). To blithely make the above statements regarding privacy, views, and heritage status in the statement of environmental effects is both misleading and deceptive. Privacy, views, heritage character and birdlife amenity would be dramatically and permanently affected by this proposal.

**Character** The development proposal does not appear to have any compatibility with the heritage area that surrounds it. The site would appear to be suitable for only half the lots proposed (if that). Kit homes have no compatibility with the heritage area or the surrounding houses. The community should not have to compromise on the quality of the build merely to ensure the viability of the project for the developer.



It is noted that several Hotondo homes franchises have gone into liquidation around Australia. It is also noted that the out-of-town developer only set up a company in June 2022. Any purchaser would have to have some concerns on insurance and phoenix practices.

**Green Space** It is a woeful situation in 2022 that such a proposal can even be submitted with such a minimal allocation of greenspace to the area. The destruction of the very old gum tree (one of the tallest in the area) would make a farce of tree preservation in Bathurst. It is also completely at odds with all the surrounding properties, council edicts and current council policies regarding the heritage area. The willow tree also provides considerable privacy and green amenity which would be impossible to replace on the hard areas proposed.

There are many native birds such as currawongs, magpies, blackbirds, and fairy wrens that occupy the large gum tree and other shrubs on the land. Granted there are many snakes, rats and lizards in the current unkempt weed infested space that caters well to the diet of these birds. It says something that that would be a preferred state of the land than the proposed overdevelopment.

**Stormwater** The proposal together with 225a Peel Street would result in a massive increase in both roof and hard area run off. Currently rainwater would go directly to the water table with little run off into stormwater. The increase in volume and extremity of rain events is likely to significantly increase the risk of flood events. These events may then expose the Council to litigation risk for not adequately assessing the impact of such increase in hard surface volumes and their flow into stormwater pits and drains.

**Sewerage** Neither proposal has mentioned the effect a 50% increase in households would have to the sewerage system.

**Vehicle access** The proposal to consider 40 vehicles on 225A plus another 10-12 vehicles on 221 is dangerous. Side by side driveway access for a possible 50-55 vehicles would appear to significantly increase the risk of accidents at the entrances. There are many students who walk past these entrances on their way to and from the high school. They also access the 7 eleven store during lunch breaks passing this site. The volume of cars would increase the risk to pedestrians. The increase in vehicles also increases the risks of accidents at the steep crest of Peel and Piper Street where vision is very limited particularly turning right onto Piper Street from Peel Street.

**Litigation risks** The increase in traffic from the parallel exits/ entrances of the proposed developments at 221 and 225A would significantly increase the risk of pedestrians being involved in an incident at the entrance to the driveways. As mentioned, significant numbers of school children walk to and from the high school via Peel Street past this point. The ability to see vehicles exiting is restricted by the narrow entrances. If there was an incident, there is a strong argument that both the council and the developer should be joined to any proceedings for allowing this foreseeable risk to occur. Any flood occurrences caused by the increase in hard surface and roof run off also exposes the council to potential litigation.



**Clothesline space** A small concern but does not appear to have been adequately addressed in the DA.

**Garbage collection** If both proposals are approved and all three garbage bins per household were to be put out for collection there would need to be space at the front of the parallel driveways for **54 bins**. This excessive **number of bins does alter the character of the area** even if it is only one or two nights per week.

### **Heritage Conservation Area**

The heritage area of Bathurst is unique in this country and should be preserved as much as possible. Similar to overseas historic towns it provides a significant tourist opportunity. Council has the responsibility to preserve this area for future generations rather than cater to the whims of opportunistic developers.

To even consider such overdevelopment in a Heritage Conservation area makes a mockery of that classification.

Regards

Michael McCormick

**282 Piper Street**

**Bathurst 2795**



Attn  
Tamsin McIntosh  
Environment, Planning & Building Section

Re Development Application No 2021/588

Dear Ms McIntosh,

As the owner of units 1 & 2 of 284A Piper Street I am writing in reference to the above development application and specifically lots 5 & 6 which are proposed two storey dwellings and lot 7 a proposed single storey dwelling.

1/ The development application states that there will be no loss of privacy.

The removal of the concrete block building which runs along the boundary between the proposed development and units 1 & 2 of 284A Piper along with the construction of two storey dwellings (lots 5 & 6) will result in a significant loss of privacy for units 1 & 2, which both units have enjoyed from the time of their construction.

Not only will units 1 & 2 backyards now be exposed, several of the windows on the second storey of the proposed dwellings (lots 5 & 6) will look into the rear bedrooms of Units 1 & 2 resulting in a further loss of privacy. (Please refer to developer's plans.)



Backyard Unit 2 284A piper

**RECEIVED**

**24 JAN 2022**

**BATHURST REGIONAL COUNCIL**





Backyard of unit 1

Unit 3 of 284A Piper St will also suffer a loss of privacy with the removal of the existing vegetation and no proposal on the development application to replace it. Refer to photo below.





The above photos clearly show the level of privacy currently enjoyed by the residents.

It should be noted that the other proposed development in a vacant block that adjoins 284A Piper St will not impact on the units' current level of privacy.

### Other comments

On the statement of Environmental Impact the applicant has stated:

1/ No loss of privacy (please refer to above)

2/ No impact to views, Unit 4 284A Piper will lose its view from the backyard

3/ Noise will not impact; the development of 6 additional dwellings will cause an increase in noise during and post construction; increased vehicle movements, increased number of residents.

4/It states there will be no site disturbance. This would appear to be contradictory given the nature of the development.

5/ I am also concerned that the developer plans to remove four trees of significant size with no plans to replace them.

Considering the importance of vegetation in reducing heat in our cities and their role in the environment, to lose such irreplaceable trees is shameful.

Whilst I do not oppose sustainable development and accept that a landowner within council regulations can develop their property I believe that any development needs to be sympathetic in relation to its proposed impact on existing dwellings and residents. I feel the proposed development does not, specifically due to the inclusion on two storey dwellings specifically Lots 5 and 6. Hence I would like to see council ensure that the developer implement some means of mitigating my particular concerns regarding the loss of privacy.

Yours sincerely

R Mottram



**From:** [PlanningAlerts](#)  
**To:** [Council](#)  
**Subject:** Comment on application 010.2021.00000588.001  
**Date:** Monday, 24 January 2022 4:32:10 PM

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## For the attention of the General Manager / Planning Manager / Planning Department

Application 010.2021.00000588.001  
Address 221 Peel St, Bathurst, NSW 2795  
Description Demolish sheds, construct 2 x single storey & 3 x two storey dwellings  
Name of commenter Mr and Mrs Gordon Newlyn  
Address of commenter 254 Peel Street Bathurst NSW  
Email of commenter [claire@accomwarehouse.com.au](mailto:claire@accomwarehouse.com.au)

### Comment

Hello BRC,

We would like to object to this development.

We live directly opposite 221 Peel Street. We foresee a huge increase in traffic. There will be many more car trips going and coming from this property. At night that will mean headlights directly affecting our front bedrooms. It seems that there will be too many houses on a tight block. They will have to cut down a grand, mature tree that is part of the beauty of the streetscape here. The development will not be in keeping with the heritage-style houses of late victorian style. Trying to mix western suburbs style mac-mansions with authentic, old, country-style dwellings. Please limit the number of proposed dwelling to be added on this block.

Along with the huge development of 12 high rise-types of dwellings already proposed right next door to this block. It will damage the lifestyle for our living here.

Kind regards,  
Claire Newlyn  
254 PEEL STREET BATHURST

---

This comment was submitted via PlanningAlerts, a free service run by [the OpenAustralia Foundation](#) for the public good. [View this application on PlanningAlerts](#)





15 January 2022

Mr David Sherley  
General Manager  
Bathurst Regional Council  
council@bathurst.nsw.gov.au

**ATTN: Ms Tamsin McIntosh**

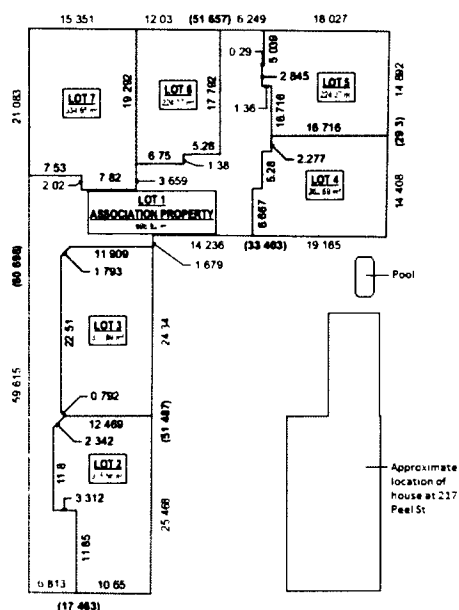
via email

Dear Mr Sherley

**Submission opposing “Lot 4” of Development Application (10 - 2021 - 588 - 1)**

## A Introduction

1. We are the owners of 217 Peel St, Bathurst.
2. We write to oppose that part of Development Application (10 - 2021 - 588 - 1) (the **DA**) designated as “Lot 4” in the plans attached to the Statement of Environmental Effects (the **SEE**) for the DA.
3. The diagram below was extracted from page 4 of the document attached to the SEE with the title beginning “PAN-172605 – Site plans ...”. We have added rough, not-to-scale, hand-drawn additions showing the approximate location of our house and pool relative to the proposed “Lot 4”.



### B Reasons for opposing “Lot 4”

4. We oppose the DA as it relates to “Lot 4” on the following grounds:

*The setback of the dwelling to our boundary is insufficient*

- a. The SEE does not contain the information Council requires to assess whether setbacks meet minimum requirements.



- b. In any event, the setback of the dwelling proposed for “Lot 4” would contravene the Bathurst Regional Development Control Plan 2014 (the **DCP**).

*Overshadowing*

- c. The development proposed for “Lot 4” would unreasonably overshadow our outdoor living space, especially our pool area.
- d. The SEE does not contain information about overshadowing that Council requires under the DCP.

*Privacy*

- e. The second storey of the dwelling house proposed to be developed at “Lot 4” would unreasonably interfere with our privacy.
- f. The SEE does not contain any details of how the development at “Lot 4” will meet the privacy-related requirements of the DCP.

5. Each of the grounds (a)-(f) above is explained in more detail in parts C-H respectively of this letter below.

**C Ground (a): The SEE does not contain the information Council requires to assess whether setbacks meet minimum requirements**

*Our submission*

6. Council’s form for the SEE requires an applicant to specify the applicable minimum setbacks under the DCP and the setbacks the applicant proposes.
7. We extract the relevant part of the SEE below, which the applicant has left blank.

<b>Setbacks under the DCP</b>	
<b>Required</b>	<b>Proposed</b>

8. The applicant’s failure to include this information defeats the purpose of public consultation on its proposed development, because interested members of the public are unable to comment on whether proposed setbacks are adequate and compliant. The absence of this information also leaves Council unable to validly determine the DA, because it cannot assess compliance with the DCP.

*The action we ask Council to take*

9. We ask Council to require the applicant to resubmit, and readvertise, its SEE with the missing information inserted. In particular, we ask that the applicant provides information about the required and proposed setbacks from the side wall of the dwelling proposed for “Lot 4” to the boundary of our property.
10. In the event that the applicant submits that the required setback is “In accordance with the NCC” (see, page 47 of the DCP), the applicant should be required to state what the setback required by the NCC is, and explain how it reached that conclusion.

**D Ground (b): The setback on the dwelling proposed for “Lot 4” would contravene the DCP**

*Our submission*



11. Page 48 of the DCP states:

b) Notwithstanding the table above, where Council is of the opinion that such a setback will: i) significantly overshadow neighbouring properties and/or, ii) adversely impact upon the privacy of neighbouring properties, then such a setback must be increased to the extent necessary to reduce the overshadowing or maintain the privacy of adjoining owners.

c) All applications for development (except single storey dwelling houses) must show the location of neighbouring buildings, neighbouring windows ...

12. For the reasons set out in sections E-H of this letter below, the dwelling proposed for “Lot 4” would both significantly overshadow, and adversely impact on the privacy of, our property.

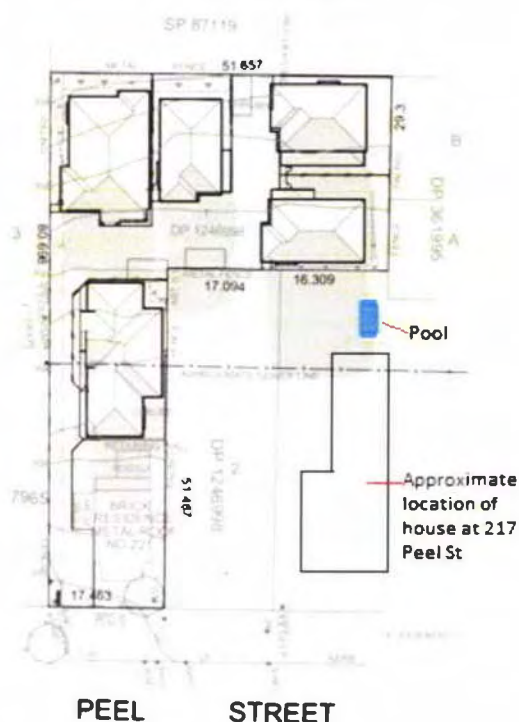
*The action we ask Council to take*

13. In order to reduce the overshadowing and privacy impact of the proposed development, we ask that Council impose development conditions requiring no part of the dwelling at “Lot 4” to be nearer to our boundary than 3 metres.

**E Ground (c): The development proposed for “Lot 4” would unreasonably overshadow our outdoor living space, especially our pool area**

*Our submission*

14. The diagram below was taken from page 5 of the document attached to the SEE with the title beginning “PAN-172605 – Site plans ...”. We have added rough, not-to-scale, hand-drawn additions showing the approximate location of our house and pool.



15. The diagram shows the forecast overshadowing at 3pm on June 21. It demonstrates that much of our backyard, and especially our pool, would be overshadowed by the dwelling proposed for “Lot 4”.



16. Sunshine is critical to the enjoyment of our garden and pool area. The dwelling proposed for “Lot 4” would block out sunshine from our garden and pool area, diminishing the enjoyment and happiness we derive from those areas, adversely impacting the value of our property, and reducing our quality of life.

*The action we ask Council to take*

17. We acknowledge that it is not reasonable for us to expect that no development at all ever occurs at “Lot 4”, and that we will have to accept some degree of overshadowing. However, we ask Council to address the unreasonable overshadowing proposed by the applicant by imposing development conditions limiting the height of any dwelling or structure at “Lot 4” to one storey and 4.5 metres.

**F Ground (d): The SEE does not contain information about overshadowing that Council requires under the DCP**

*Our submission*

18. The applicant has provided some overshadowing diagrams with its SEE. However, these do not meet the requirements of the DCP, which states on page 49 “The overshadowing diagrams should be provided in 1 hour intervals for the period 9.00am and 3.00pm on 21 June”.
19. The applicant has provided diagrams for 9am, noon and 3pm only.
20. By failing to provide the required diagrams, the applicant has inhibited the public’s ability to comment on its proposal in an informed way and Council’s ability to properly assess the impacts of the proposed development.

*The action we ask Council to take*

21. We ask Council to require the applicant to resubmit, and readvertise, its SEE with the missing overshadowing diagrams inserted.

**G Ground (e): The second storey of the dwelling house proposed to be developed at “Lot 4” would unreasonably interfere with our privacy.**

*Submission*

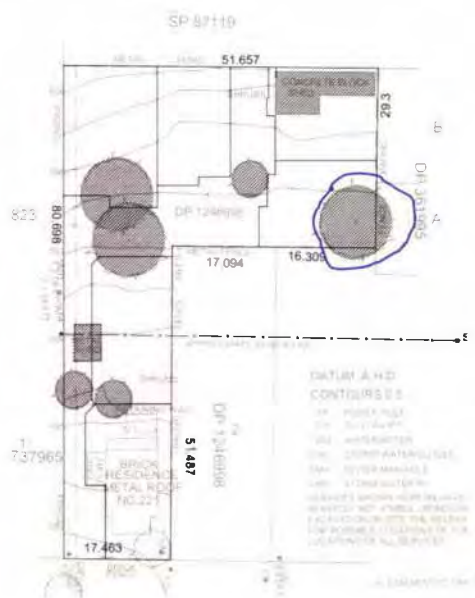
22. We extract below, from the document attached to the SEE with a title beginning “PAN-172605 – Plans (Lot 4) ...” two diagrams showing the side of the dwelling proposed for “Lot 4” which would face into our backyard, and draw your attention to the three windows on the second storey.





23. These windows would allow occupants of the dwelling proposed for “Lot 4” to see directly into our backyard and pool area. The resulting loss of privacy would discourage us to use these areas as frequently and as freely as we are currently able to use them, and would therefore adversely impact our property value and quality of life.
24. These windows would also command a direct line of sight into our master bedroom, again greatly diminishing our privacy.
25. There is a beautiful willow tree on “Lot 4” at the location we have marked in blue on the diagram below, which was extracted from page 1 of the document attached to the SEE with the title beginning “PAN-172605 – Site plans ...”.





26. This willow contributes to the enjoyment of our property, and to our quality of life and wellbeing, with its graceful beauty. Below is a photo of our pool area. The willow can be seen in the top right corner.





27. In addition to its beauty, the willow contributes privacy to our backyard and house through a natural screening effect.
28. We understand from the SEE that the applicant proposes to remove the willow, meaning that we would lose the privacy and other benefits the willow provides.

*The action we ask Council to take*

29. We accept that it is not reasonable for us to expect that no house will ever be built at “Lot 4” or that the level of privacy we currently enjoy from having no dwelling in that area will last forever. However, we ask that Council limit the unreasonable invasion of our privacy that would result from the development proposed by the applicant by imposing development conditions:
- a. limiting the height of any dwelling or structure at “Lot 4” to one storey and 4.5 metres; and
  - b. prohibiting the removal or major pruning of the lovely willow tree on “Lot 4”.

**H Ground (f): The SEE does not contain any details of how the development at “Lot 4” will meet the privacy-related requirements of the DCP**

30. Recognising the impact on privacy that can result from second-storey windows like those proposed by the applicant, the DCP states on page 48:
- c) Windows and balconies at first floor level are generally to: i) be screened by boundary landscaping that can be effective within 3 years, or ii) be screened by permanently fixed structures made of durable materials.
  - d) Long narrow windows, high level windows or roof lights should be used to provide natural light whilst maximising privacy along walls close to neighbouring dwellings/open space.
31. The SEE contains no details as to how the applicant proposes to address these requirements of the DCP. This omission diminishes the ability of the public to properly engage with and make submissions about the proposed development. It also inhibits Council’s ability to validly determine the DA because Council will be unable to discern whether the requirements of the DCP have been met.

*The action we ask Council to take*

32. We ask Council to require the applicant to resubmit, and readvertise, its SEE with the missing information about how the applicant proposes to address the requirements on page 48 of the DCP extracted above.
33. We accept that this additional information would not be required if Council accepts our submission above that the dwelling at “Lot 4” should be limited to one storey.

We would be grateful if you could please respond to the email to which this letter was attached, or message Tom on 0405257060 to confirm receipt of our submission.

Yours sincerely

Tom Shepherd and Jenna Ryan

217 Peel Street,

Bathurst NSW 2795



**From:** [Luke Stonestreet](#)  
**To:** [Council](#)  
**Cc:** [Robert Taylor](#); [Andrew Smith](#); [Ian North](#); [Jess Jennings](#); [Margaret Hogan](#); [Graeme Hanger OAM](#); [Ben Fry](#); [Kirrilee Burke](#); [Warren Aubin](#)  
**Subject:** Development Application No 2021/588  
**Date:** Tuesday, 18 January 2022 7:55:33 PM

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Luke William Stonestreet

278 Piper Street Bathurst

Development Application No 2021/588

I Luke Stonestreet, do not agree with this proposed double story development.

I am a very rational person & a two story development won't work on this block of land in question behind my house.

I have owned/lived here since 2013 & I brought the property for the nice views of Mt Panorama & the nice outlook.

I am a proud local man care about this community. I am not pro growth or anything the like however this development application is a total shit show!

I have no issues with single story houses or single story units being built.

If double story is to be built, Lot 4 will be looking right into my backyard. Double story windows right into my yard, it is terrible!

I have heard it is a Hotondo Homes development which council will know build low quality homes for a cheap price & is not what you want here.

Hotondo Homes use minimal local trades, Hotondo don't use companies like Steeline to provide their roofs which is a big employer & they do not a quality job in general.

As per things re the fine print form.....

Will this result in a lack of privacy..... For my family & my property YES if double story as looking right into my backyard & house.

Will proposed development effect my nice views of Mt Panorama..... yes views WILL BE BLOCKED OUT.

Not sure about noise as its not something really worries me!

There is a beautiful 100 year old plus willow tree which provides our house with a nice green outlook & is an amazing tree I like the tree & would hate to see it cut down in a nice green leafy area like ours.

Height of the structure if double story 7.5 metres is ridiculous.

I really hope normal hard working Bathurst people like myself who live here voices can be heard & not to let a double story development be built like this proposed shit!

Luke Stonestreet



**From:** [Tamsin McIntosh](#)  
**To:** [Council Out Mail](#)  
**Subject:** FW: 225a Peel St. Bathurst DA [SEC=UNOFFICIAL]  
**Date:** Friday, 28 January 2022 2:21:20 PM  
**Attachments:** [image001.png](#)  
[image002.jpg](#)  
[noname](#)  
[noname](#)  
[ATT00001.png](#)  
[ATT00002.jpg](#)

Please add to DA 2021/588 – submission received outside of notification period.

**Tamsin McIntosh**  
 Development Control Planner  
 Bathurst Regional Council  
 158 Russell Street Bathurst 2795  
 P: 02 6333 6272  
 W: [www.bathurst.nsw.gov.au](http://www.bathurst.nsw.gov.au)



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**From:** James Tayler <jwtayler@gmail.com>  
**Sent:** Tuesday, 25 January 2022 12:57 PM  
**To:** Lewis Wilde <Lewis.Wilde@bathurst.nsw.gov.au>  
**Cc:** Tamsin McIntosh <Tamsin.McIntosh@bathurst.nsw.gov.au>  
**Subject:** Re: 225a Peel St. Bathurst DA [SEC=OFFICIAL]

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Thanks Lewis, much appreciated.

Best,

On Tue, Jan 25, 2022 at 11:57 AM Lewis Wilde <[Lewis.Wilde@bathurst.nsw.gov.au](mailto:Lewis.Wilde@bathurst.nsw.gov.au)> wrote:

Hi James,

Thank you for your email. I am yet to thoroughly go through the amended plans, but I know that a significant redesign has been undertaken. It is on my cards to complete this in the latter half of this week.

This DA will be put before Council at some point, although I am not confident as to when. It certainly won't be to a meeting in February, so potentially March, but we will keep you posted on that.

I note that you are yet to formally agree.

I have cc'd Tamsin in as she is the Planner assessing the application for 221 Peel St.

I will be in touch when I have re-assessed the application for 225 Peel.

Regards,

Lewis

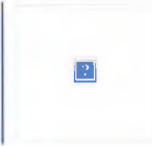
**Lewis Wilde**  
 Development Control Planner  
 Bathurst Regional Council  
 158 Russell Street Bathurst 2795  
 P: 02 6338 2818  
 W: [www.bathurst.nsw.gov.au](http://www.bathurst.nsw.gov.au)





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**Lewis Wilde**  
Development Control Planner  
Bathurst Regional Council  
158 Russell Street Bathurst 2795  
P: 02 6338 2818  
W: [www.bathurst.nsw.gov.au](http://www.bathurst.nsw.gov.au)



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**From:** James Tayler <[jwtayler@gmail.com](mailto:jwtayler@gmail.com)>  
**Sent:** Tuesday, 25 January 2022 11:32 AM  
**To:** Lewis Wilde <[Lewis.Wilde@bathurst.nsw.gov.au](mailto:Lewis.Wilde@bathurst.nsw.gov.au)>  
**Subject:** 225a Peel St. Bathurst DA

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Hi Lewis,

We read with interest the amended DA that was recently submitted. The increased density in the area closest to our boundary is disappointing to say the least, particularly when losing one of the houses, rather than squeezing it in as per the amended DA, would alleviate the significant privacy concerns of the neighbouring properties.

We hope that Council will consider asking for a reduction in the density of this proposed development, which, along with the development proposed at the adjoining 221 Peel street site, will significantly increase the overall population density on the Lambert and Peel Street block. Aside from significantly diluting the heritage appeal of this area, these developments collectively will clearly bring plenty of negative consequences in terms of traffic, and potential infrastructure issues such as sewerage and stormwater. We note also, the environmental impact of the 221 Peel St development, namely the proposed loss of significant established trees on this site.

Please also note that we have yet to formally agree to move the drainage easement over the lot neighbouring us.

Will the final decisions regarding these developments be held behind closed doors or will there be a council meeting that we will be able to attend?

Best, James

James W Tayler

Mob: (+61) (0)481 706 411

[jwtayler@gmail.com](mailto:jwtayler@gmail.com)

297 Lambert Street  
Bathurst  
NSW 2795

James W Tayler

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[jwtayler@gmail.com](mailto:jwtayler@gmail.com)



297 Lambert Street  
Bathurst  
NSW 2795



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# Western Advocate

KEEPING BATHURST INFORMED SINCE 1848

NEWS

## THE RETURN TO CAMPUS

Charles Sturt University

P4

NEWS

## WINDOWS' MEANING

P5

SPORT

## FIND THE BALANCE

P20

## Gracious honour for Libby

Libby Loneragan has been named Bathurst's Citizen of the Year for 2022 in recognition of her many decades of service and support to the health, arts and heritage sectors. A resident of Bathurst since 1969, Ms Loneragan has made vital contributions as a physiotherapist, as well as to the Bathurst Arts Council, National Trust and other organisations.

| Full story, page 4



**HUMBLE RECOGNITION:** Libby Loneragan has been named Bathurst's Citizen of the Year for 2022. Photo: SAM BOLT

# NO AP-PEEL

## Resident raises concerns about proposed homes for Peel Street

DEVELOPMENT

BY RACHEL CHAMBERLAIN

A RESIDENT has labelled plans to increase housing in Peel Street as "reckless overdevelopment".

Two developments have been proposed for neighbouring blocks at 221 and

225A Peel Street, including a \$3 million project to develop 12 adaptable homes for people whose circumstances have changed.

However, Piper Street resident Michael McCormick has raised multiple concerns in a submission to Bathurst Regional Council about the

proposal for 221 Peel Street.

Under this plan, two double-storey dwellings would be constructed and overlook Mr McCormick's backyard.

One of his key worries is the impact the two developments would have on the Heritage Conservation Area. "The heritage area of Ba-

thurst is unique in this country and should be preserved as much as possible. Similar to overseas historic towns it provides a significant tourist opportunity," he said.

"Council has the responsibility to preserve this area for future generations rather than cater to the whims of

opportunistic developers.

"To even consider such overdevelopment in a heritage conservation area makes a mockery of that classification."

The Statement of Environmental Effects for the adaptable homes says the development would not

"impact upon the amenity of adjoining properties".

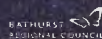
Mr McCormick disagrees.

He said there are 35 homes in the Peel, Piper, Lambert block, but the two proposals for Peel street would increase the number of homes by over 50 per cent.

| To page 5

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# Church windows turn 100

## Seeking the stories behind the tributes

**HISTORY**  
BY AMY REES

IT'S been 100 years this May since the stained glass windows were installed in the Bathurst Uniting Church, and the congregation is looking to celebrate with the descendants of the families who donated them.

Congregation member John Judge said they would love to get in contact with the descendants to hear the stories behind the windows, as each window was donated in memory of a loved one.

"We will have our own commemorative service, but when [the planning] started, we thought, I wonder if any of the people are still around," Mr Judge said.

Uniting Church Minister Reverend Keith Hamilton said they're still in the early stages of planning the celebrations but there will be a number of services honouring the families throughout the month of May.

Each window represents an image from the Bible and holds with it the story behind an individual with a connection to Bathurst.

Rev Hamilton hopes to share the stories with

“

If there are any families who can pass on stories to us, that would be excellent.

the community.

"If there are any families who can pass on stories to us, that would be excellent," he said.

The windows were donated by:

■ Mrs Walker to the memory of her soldier son.

■ Mrs Pascoe to the memory of her husband and son.

■ Henlen family in memory of their father and mother.

■ Mr W. Simmons in memory of his wife.

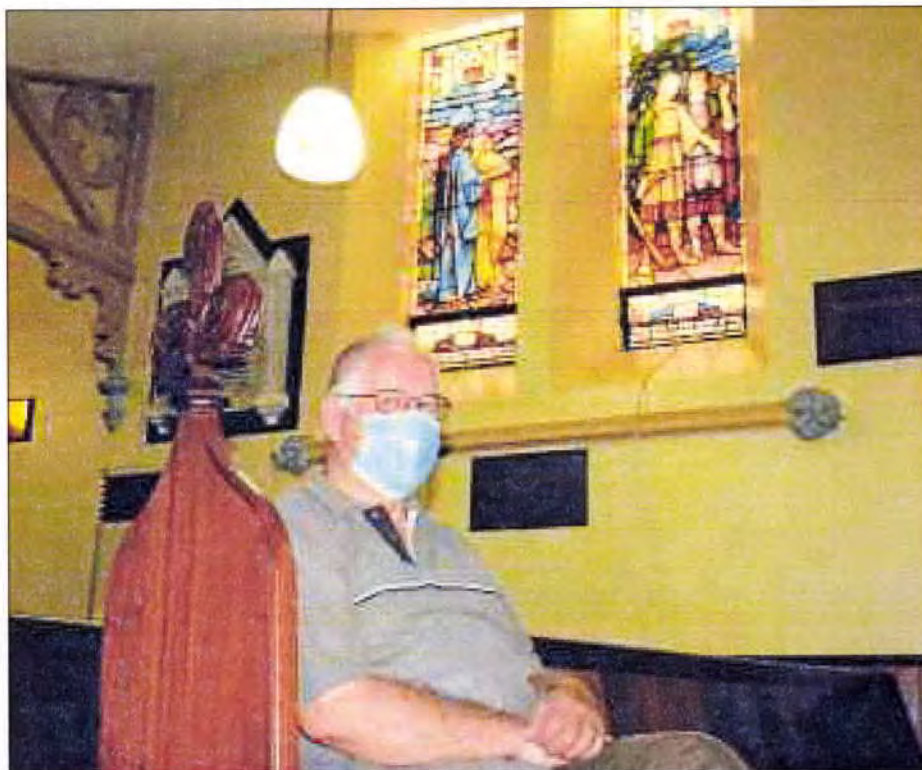
■ The Makepeace family to the Glory of God.

■ Mr C. Clifton in memory of his wife.

■ The Palmer family in memory of their parents.

■ Mr Jacob Neave in memory of his soldier son.

■ Miss Trewren in memory of her father, mother and brother.



**CENTENARY:** The Uniting Church will celebrate the centenary of the stained glass windows being installed and congregation member John Judge is looking forward to it. **Photo: AMY REES**

■ Mr A. B. James in memory of his wife.

■ The Armstrong family in memory of their mother and father.

■ The Paul family in

gratitude to God.

■ The Blomfield family in remembrance of God's love.

■ Messrs E. and W. Williams in memory of their

parents.

■ The Young Men of the circuit in memory of those who went to the Great War.

■ Mr C. F. Oates in memory of his father and mother.

■ The Stevens family as a memorial to their parents.

■ Girls' Club to the Praise of God's Holy Name.

■ Tremain family in memory of their father and mother.

# Safety, privacy and more to be impacted

[From page 1]

As a result, he anticipates there would be "stress" on infrastructure if both developments went ahead.

"The increase stress on infrastructure such as stormwater, sewerage, road, and traffic routes would be concerning for any suburban

block let alone a block in a heritage area dominated by heritage/older style homes," Mr McCormick said.

"It would seem paramount that these two proposals be considered together in view of the high impact occurring on the one vicinity."

With as many as 50 vehicles proposed to be attracted to the two developments, concern has also been raised about the safety of pedestrians.

"There are many students who walk past these entrances on their way to and from the high school," Mr McCormick said, adding that students also pass by at lunch

time to go to 7-Eleven.

"... The volume of cars would increase the risk to pedestrians.

"The increase in vehicles also increases the risks of accidents at the steep crest of Peel and Piper Street where vision is very limited particularly turning right onto Piper Street from Peel Street."

When it comes to the houses proposed for 221 Peel Street, privacy becomes a concern.

While the Statement of Environmental Effects denies impact on privacy, Mr McCormick said "this couldn't be further from the truth".

He said that one dwelling would have unimpeded

views of all his living areas, while the other dwelling would impinge on his family's privacy to a lesser extent.

Additionally, Mr McCormick's submission raises concerns about green space, garbage collection, stormwater, sewage, and the impact on the character of the heritage area.

The Senior Newspaper and Travelrite International invite you to join them on the 2022

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**THE Senior**



# OPINION

www.westernadvocate.com.au/comment

## EDITORIAL

# What about if it's the start of a slow erosion?



**I**N A country as casual as this one, and in the age of social media, there isn't much that can't be said about our politicians.

We routinely boo them at the football. We give them cruel, unappealing nicknames. We demand that they see themselves as no different to the most ordinary of us.

We have the opportunity (for our federal representatives) to hold them to account every three years or less (more often less).

If we don't feel they measure up, we simply boot them out - whether prime minister (John Howard in Bennelong), ex-prime minister (Tony Abbott in Warringah) or first-term MP (take your pick).

We no longer have to hope that our strongly worded criticism gets published as a letter to the editor so others can see what we think of those who represent us.

All of us can now have our say, publicly,

at any time and on any subject - without running the gauntlet of pesky newspaper letters editors or legal departments.

But as holders of high office, our politicians do deserve basic civility when we meet them - and especially so in a formal setting.

We might not agree with them, we might not particularly like them, but if we are going to go to their home, we should be willing to at least put on a veneer of politeness.

That's why it was disappointing to see outgoing Australian of the Year Grace Tame making her unhappiness - some would say repulsion - so obvious when she met with Prime Minister Scott Morrison this week.

There have been various defences mounted in the media, but the bottom line was that it was spectacularly rude.

And if it is to become the new norm - that an Australian of the Year who doesn't like

the current PM will be as authentic as possible when meeting with them - then January 2022 might be the beginning of a slow erosion, rather than an aberration.

If a subsequent Australian of the Year refused to shake the PM's hand, or berated him or her in front of the cameras, would that be defended or criticised? Would that be seen as authentic or too much?

Mr Morrison, to this point, remains the leader of the federal Coalition and the PM.

Voters will be given an opportunity to put him back in office or out on his ear some time in the next few months and Ms Tame (and countless others) have the chance to tell him what they think every hour of every day with a few taps of their phone.

But while he holds that office, he, and the PMs that will follow, deserve a base level of respect. That doesn't seem too controversial.

## LETTERS TO THE EDITOR

### It's not enough to just have a policy. It must also get used

**R**E: Bathurst Council Assigns Delegates And Adopts Policies (January 24).

That council has adopted an Audit and Risk Charter, an Internal Activity Charter, as well as a Conduct and Procedures Policy certainly is commendable.

Time will tell as to whether these instruments have any teeth or, more importantly, whether anyone has it in them to actually drive these instruments sufficiently hard to the point of restoring public good faith in local government.

The stage for this excellent endeavour was set by the O'Farrell state government when swept to record-breaking power on promises of good governance and transparency.

However, things don't look so good when the NSW Ombudsman needed to make clear to the State Government that a "cultural shift" is needed to make speaking up in the public sector an "easy, normal and safe thing to do" - in other words, work toward not leaving everything to the senior bureaucracy; be fearless to challenge them even though job advancement may be in their hands.

As for councillors, to ensure the proper working of the charters and policy adopted, you need to enact a council policy that reflects the minister's advice to get own legal advice otherwise the long-awaited "cultural shift" lamented by the Ombudsman and the wider public will never come to fruition, good intentions or not.

Ray Carter, South Bathurst



**DONE:** The Bathurst Regional Council Code of Conduct and the Bathurst Regional Council Procedures for the Administration of the Code of Conduct have been adopted.

### Not good enough in Peel Street

RE: Resident Raises Concerns About Proposed Homes For Peel Street (January 24).

I agree, in part, with Mr McCormick's concerns as to this development.

Once again, we see a gigantic development without proper infrastructure supporting it.

I refer to the total lack of accessible footpaths in this area of Peel Street leading to the nearby schools.

This will mean even more people, including those with a disability, having to traverse back and forth on what is a reasonably busy road, especially during school times.

Considering this development brags about catering for those with a disability and has included, thankfully, appropriate accessible accommodation, one would assume the developer should be responsible for providing the required accessible footpaths.

I also note these residents with a disability will have to traverse down the busy driveway leading to 12 accommodation units as the plans show no safe accessible footpath along

the length of the driveway.

Another concern is that the plans show roll back gutters a person with a disability will have to try to negotiate to transition from the driveway areas onto nearby paths - totally inadequate in a development that includes accommodation for people with a disability.

Time for council to really consider accessibility.

I am sure our new Australian of the Year would agree.

Bob Trimming, West Bathurst, disability access advocate

### Have your say

The Western Advocate welcomes letters for its opinion page. Ideally, letters will be a maximum of 200 words. Letter writers need to supply a name, home address and contact number for verification purposes (home address and contact number will not be published). Anonymous letters and non-de-plumes are not accepted. Letters may be edited for legal, space or other reasons.

## WHAT'S ON

### Make it a lunch date

BATHURST U3A's Welcome to 2022 Luncheon will be held on Thursday, February 3 at noon for 12.30pm at the George Hotel, George Street (own expense). Meanwhile, pharmacist Marcus Heiner will talk about modern pharmacy - how it is changing and how it should be used today - when Bathurst U3A holds its first Monday Talk Show of the year on February 7 from 1pm at Bathurst Panthers. There is no need to register; just turn up. Subsequent topics will include wills, trusts and power of attorney; shows at Bathurst Memorial Entertainment Centre; and the Pillars of Bathurst.

### Ready for the season

BATHURST Bulldogs Old Boys rugby will hold a meet and greet event at the Bulldogs rugby complex on Saturday, February 19, involving team members and new members who would like to register. Sixty players and members have already signed up to play in 2022.

### Events at the library

BATHURST Library will host a series of career-centric events in mid-February to coincide with the Bathurst Careers Expo at Charles Sturt University on February 15. The library's events will focus on volunteer options in Bathurst (February 16, 2pm), how to write an ideal resume (February 18, 10.30am) and how to successfully transition into a new career (February 19, 3pm), with The Neighbourhood Centre and careers coach Kirsten Brumby to contribute to proceedings. All three workshops will run free of charge, but seats are limited, so bookings are essential. For more information, call 6333 6281.

### Bikes in the CBD

The Bathurst Street and Custom Motorcycle Show will be held from 10am to 2pm on Russell Street on Saturday, February 12. As well as a large display of bikes and plenty of competition categories (including people's choice, best trike/sidecar and best paint), the show will feature stalls and food, a jumping castle and live music throughout the day. Entry will be free for general admission. For more information or to host a stall on the day, visit the Bathurst Bike Show website.

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### POST

PO Box 11  
Bathurst,  
NSW, 2795

All letters to the Western Advocate must carry the sender's full name, home address and day and evening telephone numbers for verification. The sender's first name, initial and surname/own will be published. Locally letters will be a maximum of 250 words. By submitting your letter for publication you agree that we may edit the letter for legal, space or other reasons and may after publication, republish it on the internet or in other media.





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Our Ref: 2022-148

28 March 2022

The General Manger  
Bathurst Regional Council  
Private Mail Bag 17  
Bathurst NSW 2795

Attention: Tamsin McIntosh

Dear Tamsin

**RE: DA 2021/588 RESPONSE TO SUBMISSIONS  
MULTI DWELLING HOUSING DEVELOPMENT**

Reference is made to the number of submissions received following notification of the development application to neighbours. It is noted that a comprehensive Statement of Environmental Effects has been prepared and submitted to Council (along with a number of revised plans and documents) that have addressed Councils LEP and DCP requirements to ensure that it is a compliant development.

Regardless, the following comments are made with respect to the points made in the submissions. It is noted that any development on the site has the potential to change the amenity and aesthetics of the site. Accordingly, the development has been adjusted from what was originally submitted to address the concerns raised by the objectors. Whilst at the same time, the applicant has the ability to lodge an application for the permitted land use and associated subdivision.

**PRIVACY**

It is noted that the visual appearance of the site will be altered as a result (new buildings and initial loss of vegetation), but the proposed development has been designed in line with Councils DCP requirements with respect to privacy.

There are no windows located on the proposed development that will create an unacceptable visual privacy issue. Units 4 and 5 have been setback further



than originally submitted with the DA to reduce the potential of overshadowing and privacy impacts.

It is noted that there is the ability for the new planting of vegetation to further ameliorate any visual impacts from a neighbouring property.

## OVERSHADOWING

Shadow diagrams (1 hour intervals) have been prepared for the proposed development and demonstrates compliance with the DCP. It is noted that the existing dwellings located on Peel Street adjoining the development site are located close to the street and will not be impacted upon by the proposed development. The open space areas of the rear yards of these properties will be overshadowed – but not significantly. The neighbouring pool will not be impacted upon until after 2pm on the 21 June (middle of winter when it is less likely to be used). It is noted that there is already trees in these backyards that provide shading and screening.

## SETBACKS

The front building line for the development has already been set by the location of the existing dwelling.

Location	Minimum Building Line	Garage/Carport Location
Within the Bathurst Heritage Conservation Area.	<ul style="list-style-type: none"> <li>Must complement the existing setbacks of surrounding buildings in the vicinity and within the streetscape. Visibility must be maintained on corner allotments.</li> </ul>	<ul style="list-style-type: none"> <li>Behind the building facing the street or, if unable to be located behind the building, must complement the surrounding setbacks of building locations in the vicinity.</li> <li>Visibility must be maintained on corner allotments.</li> </ul>

There are no garage doors facing the street.

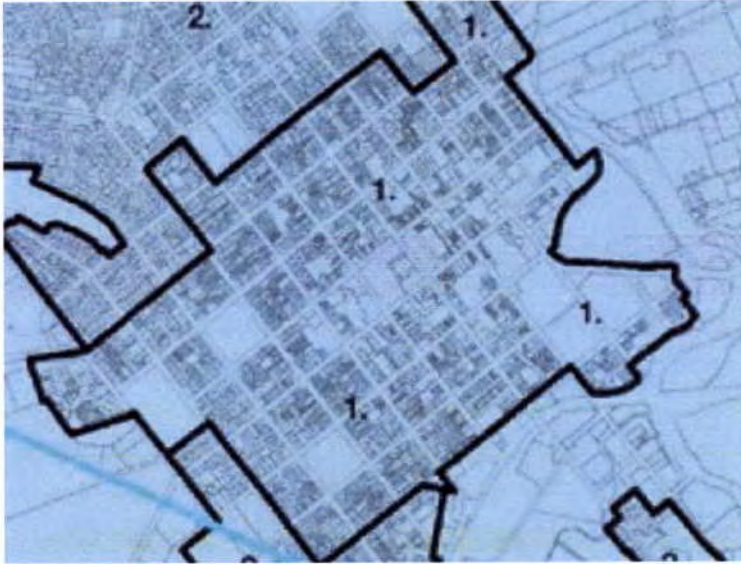
Side and rear setbacks – compliant with the National Construction Code. Each dwelling has been designed to ensure that there are no walls with a continuous wall of greater than 10m. All the proposed two storey dwellings are greater than 1.5m off the boundary. Refer to the plans for greater detail.

The proposed development is compliant to the DCP provisions.



## DENSITY

The subject land is within Precinct 1 (Medium Density).



### **Precinct 1 – Medium Density**

- a) To provide for a mixed residential character, with an emphasis on medium density housing.
- b) To enable a greater proportion of the population to live closer to the Bathurst CBD and the services and facilities located in the central area of the City.

Multi dwelling housing is permissible in Precinct 1.

The residential density is to be no greater than 88 persons per site hectare on lots less than 4000 square metres.

Based on the above, the maximum number of persons shall be 21.2344 persons.

It is proposed to provide for 20.7 people (allowed 21.23 people):

2 x 3 beds (3.3 persons) = 6.6 people

3 x 4 beds (3.6 persons) = 10.8 people

1 x 3 beds – existing house (3.3 persons)= 3.3 people

TOTAL = 20.7 people

### **IMPACTS ON THE EXISTING TREES AND LANDSCAPING**

Vegetation removal (willow tree and 2 gum trees in poor health) is required to facilitate the construction of the proposed development.



The site does not contain any threatened species or critical habitat.

There is the ability for future owners to plant trees over time to compensate for any removal.

It is noted that the development complies with Private Open Space and Landscape requirements as per the DCP.

Landscaping is proposed as per the site plan.

### **HERITAGE AND VISUAL IMPACTS**

The subject land is located within the Heritage Conservation area – however the site does not contain a heritage item. It is noted that there are no adjacent or adjoining heritage items. As the development is at the rear of the site, the impact on the heritage conservation area is minor.

It is noted that two storey developments are permitted on site and is within the 9m height restriction under the LEP. If Council didn't want two storey development on the subject land (or surrounding lands, they would have placed a lower height restriction.

### **OBSTRUCTION OF VIEWS**

The proposal is considered compatible with the surrounding area and will have minimal impact in regards to:

- Impacts on adjacent properties and land uses; and
- Interruptions of important views and vistas.

Whilst it is noted that the view from certain properties may change, this is not a reason as to why the proposed development should not proceed.

The expectation has always been that this lot would be developed with a dwelling and due to the sloping lot, a dwelling is sited in this location as it is the most appropriate and cost effective.

### **TRAFFIC AND SAFETY IMPACTS**

It is proposed to use the existing access off Peel Street to service all the dwellings on site. It is proposed to provide a 6m wide driveway (and reducing on site in part past Lot 3) to the rear dwellings. No new accesses are proposed to be created.

It is considered that the proposal will generate on average an additional 30 vehicle movements per day. This additional loading is considered



acceptable and can be accommodated by the existing street system without the need for any further upgrading. Councils DCP allows for this density on the subject land within Precinct 1.

It is noted that the driveway has been widened from the original proposal.

Vehicle turning paths have been provided on the plans to demonstrate the vehicles and enter and leave the site in a forward direction and manoeuvre comfortably around the site.

It is noted that the proposed development meets the person density limits set for the site and associated traffic generation.

### **GARBAGE BIN STORAGE AND COLLECTION**

There is space available on each dwelling site for the storage of garbage bins (refer to the revised site plans for the location on each dwelling site).

### **STORMWATER DRAINAGE**

Stormwater (roof and site) will be directed to the street. Detailed engineering plans to be provided at the Construction Certificate stage.

Should you have any questions with respect to this matter, please contact the office on 63624523.

Yours faithfully

**Anthony Daintith Town Planning Pty Ltd**



Anthony Daintith  
**Principal**





**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 9AM  
 SCALE 1:600



**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 10AM  
 SCALE 1:600



**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 11AM  
 SCALE 1:600



**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 12PM  
 SCALE 1:600



**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 1PM  
 SCALE 1:600



**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 2PM  
 SCALE 1:600



**PEEL STREET**  
**SHADOW DIAGRAM**  
 JUNE 21 - 3PM  
 SCALE 1:600

C	VDI	VN-GR	16/03/22
B	VDI	VN-GR	16/03/22
A	VDI	VN-GR	23/09/21
Rev	Amendment	Drawn	Date



CLIENT \_\_\_\_\_  
 DATE: / /  
 BUILDER \_\_\_\_\_  
 DATE: / /

PROPOSED NEW RESIDENCE FOR  
 McSWEENEY DEVELOPMENTS PTY LTD  
 AT LOT 1 DP 1246998  
 NO. 221 PEEL STREET,  
 BATHURST, NSW 2795

PLAN	SCALE	1:600
FACADE	SHEET SIZE	A2
BASIC CERT. No.	DATE	17/03/22
PRELIMINARY	DRAWN	VN-GB
TITLE	JOB No.	000235
SHADOW DIAGRAM	DWG No.	06

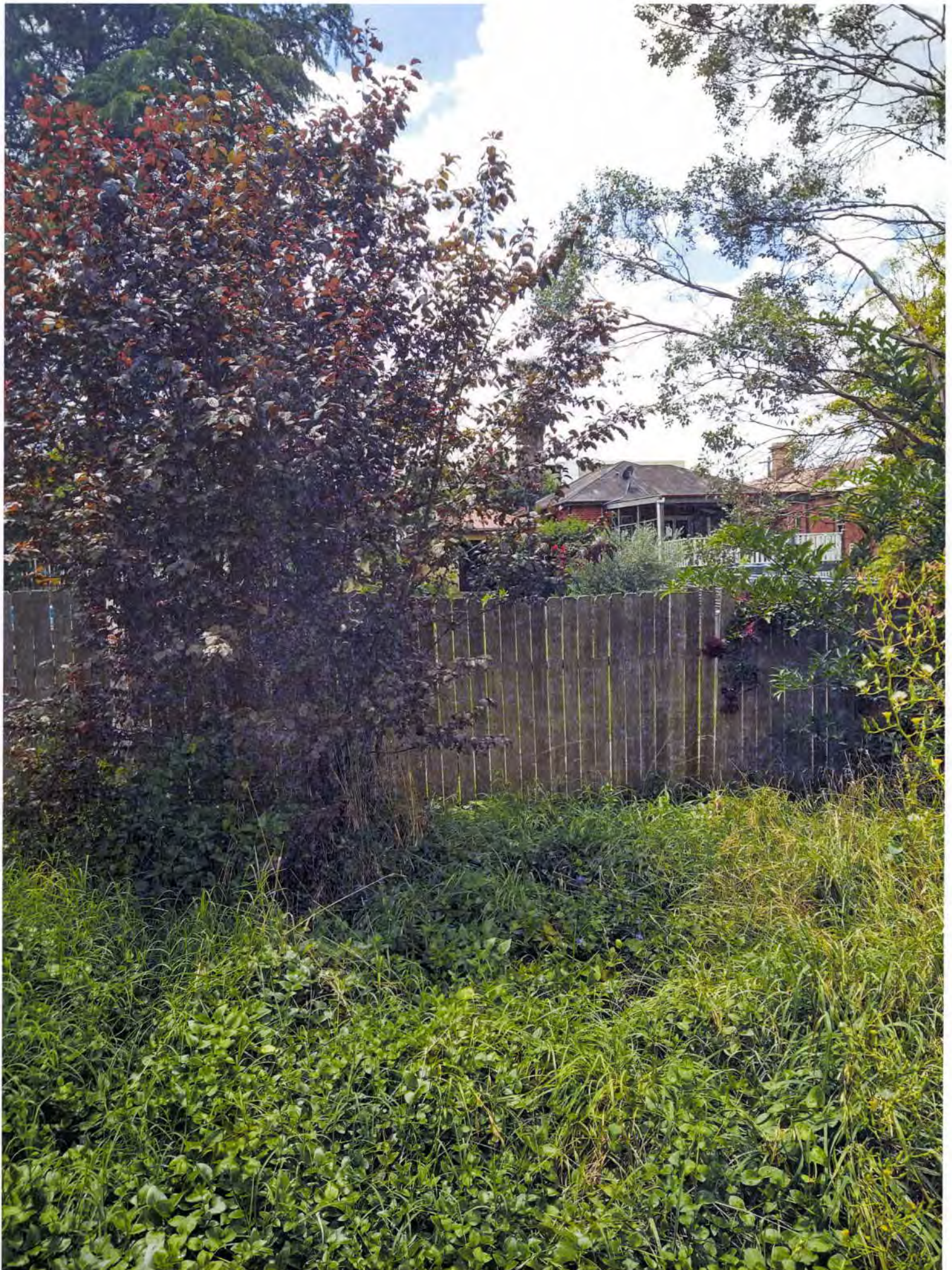
















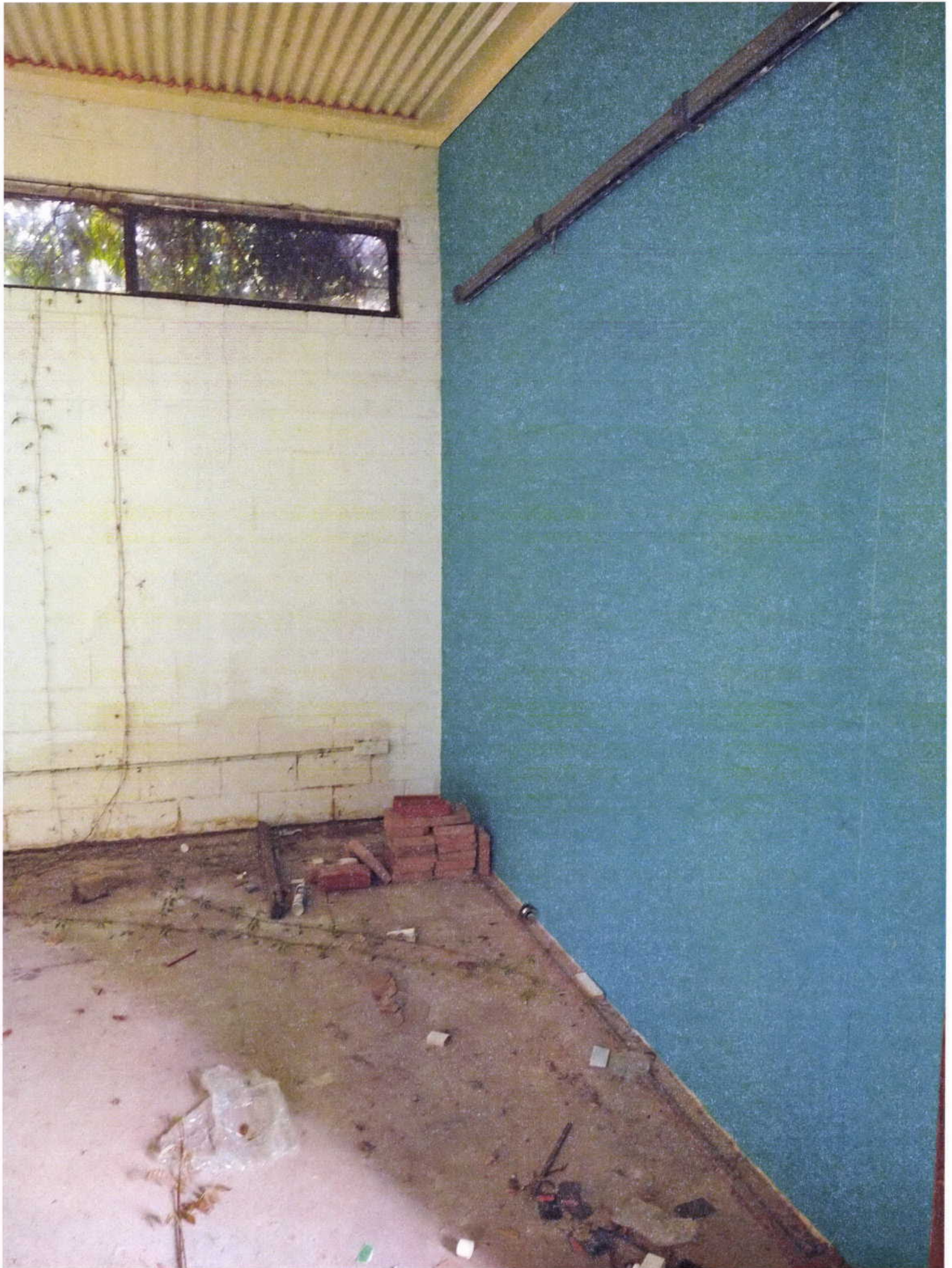




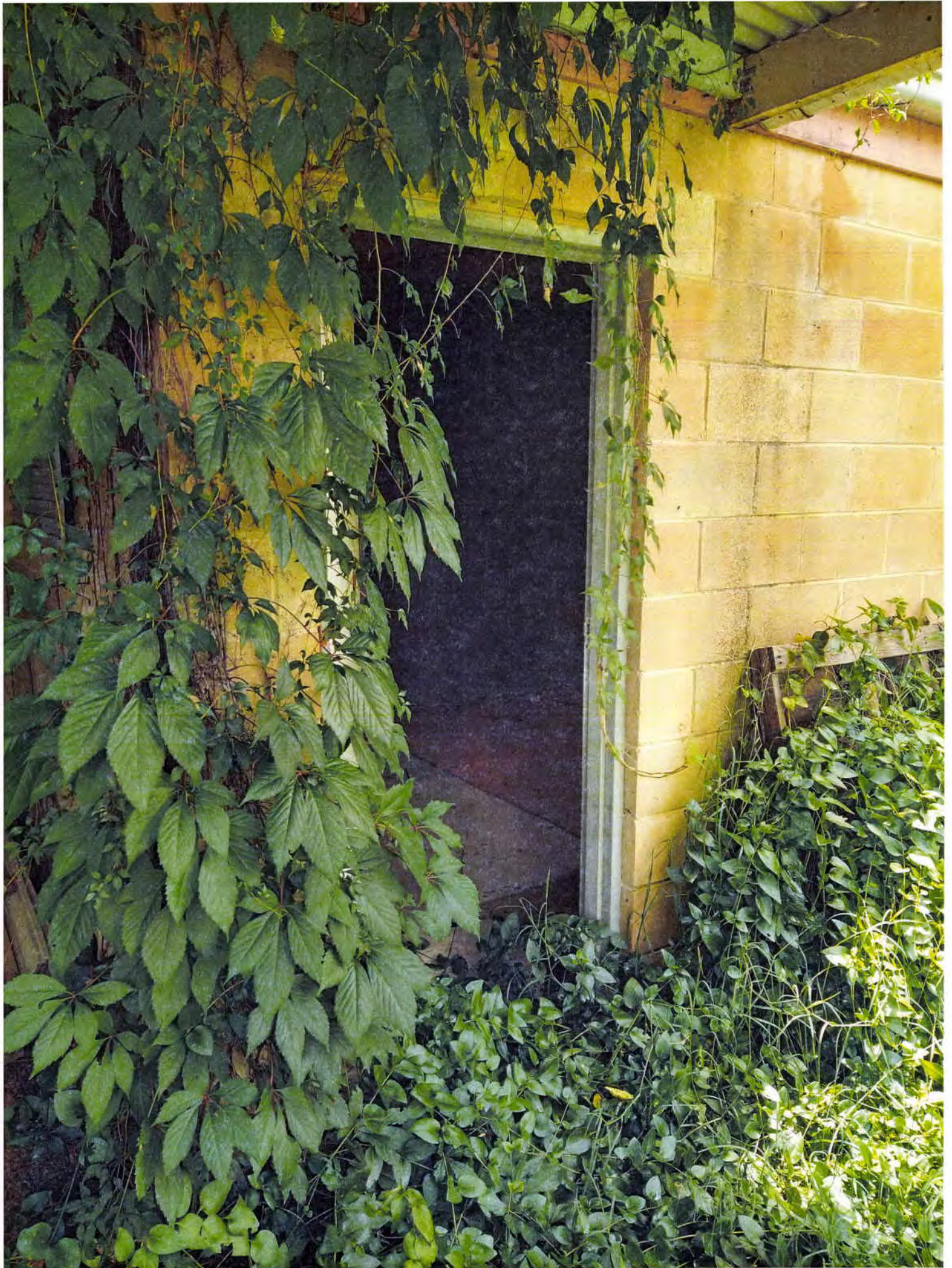




















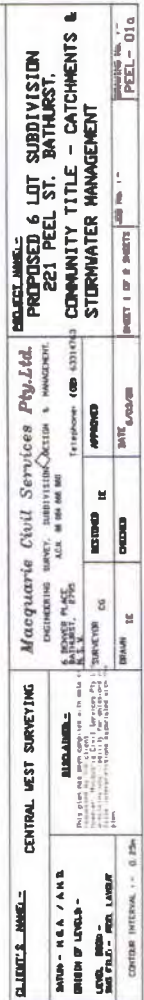








TUR 1500







INSET



ENTRANCE DETAILS

CLIENT'S NAME - CENTRAL WEST SURVEYING		Macquarie Civil Services Pty.Ltd.		PROJECT NAME -	
BATHURST - H.A. / A.N.D.		ENGINEERING SURVEY, SUBDIVISION DESIGN & MANAGEMENT.		PROPOSED 6 LOT SUBDIVISION	
ORIGIN OF LEVELS -		BATHURST, NSW		AT 221 PEEL ST. BATHURST.	
LEVEL - 100m PLS - PEEL LAYOUT		SURVEYOR CG		COMMUNITY TITLE - LAYOUT	
CENTRELINE INTERVAL - 0.00m		DESIGNER IC		DATE 9/09/22	
		CHECKED		SHEET 2 OF 2 SHEETS	
				JOB NO. -	
				PEEL - 01b	





**BATHURST REGIONAL COUNCIL**

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Drawn By: Kylie Denyer

Date: 5/04/2022

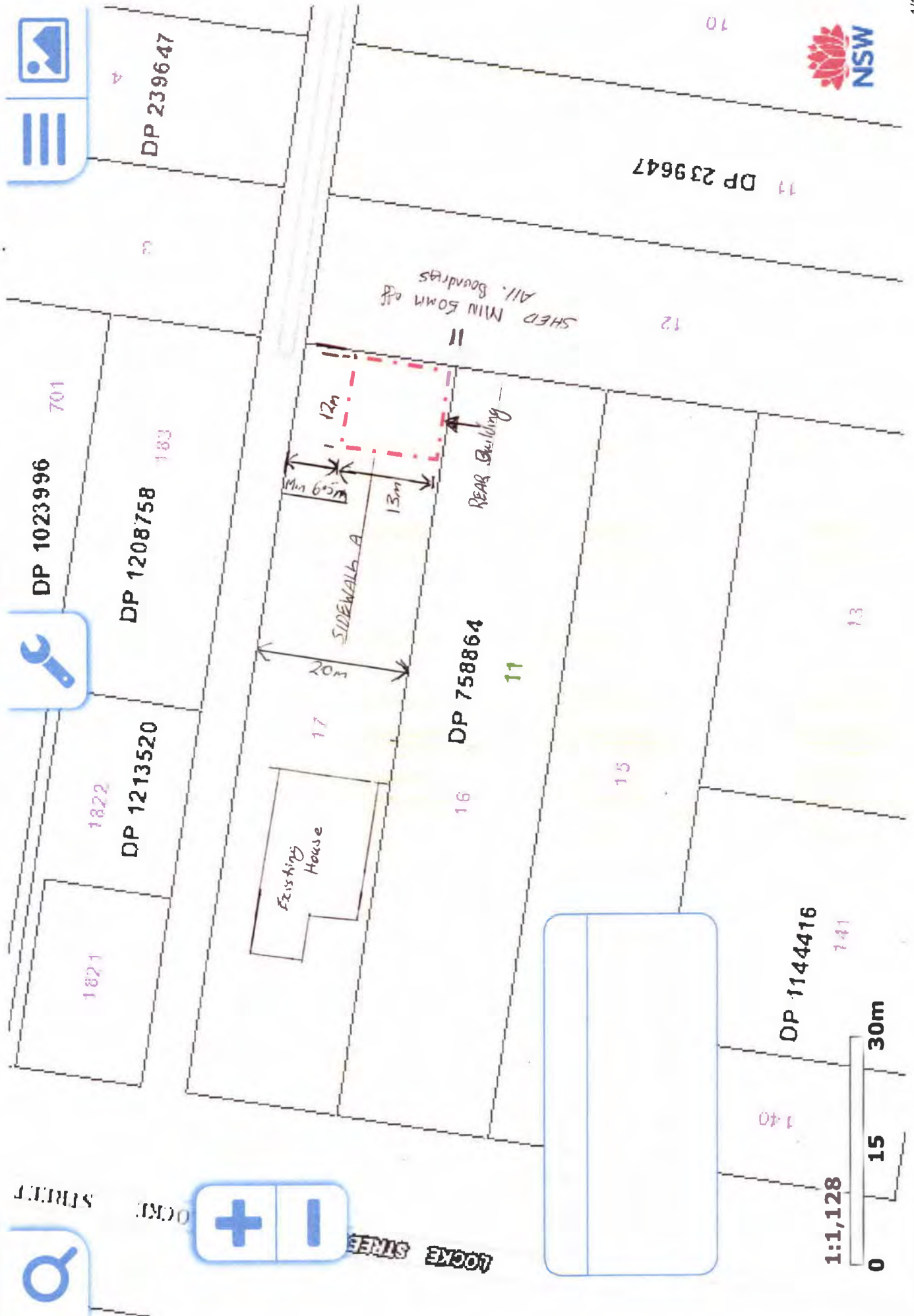
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Map Scale: 1:881 @ A4

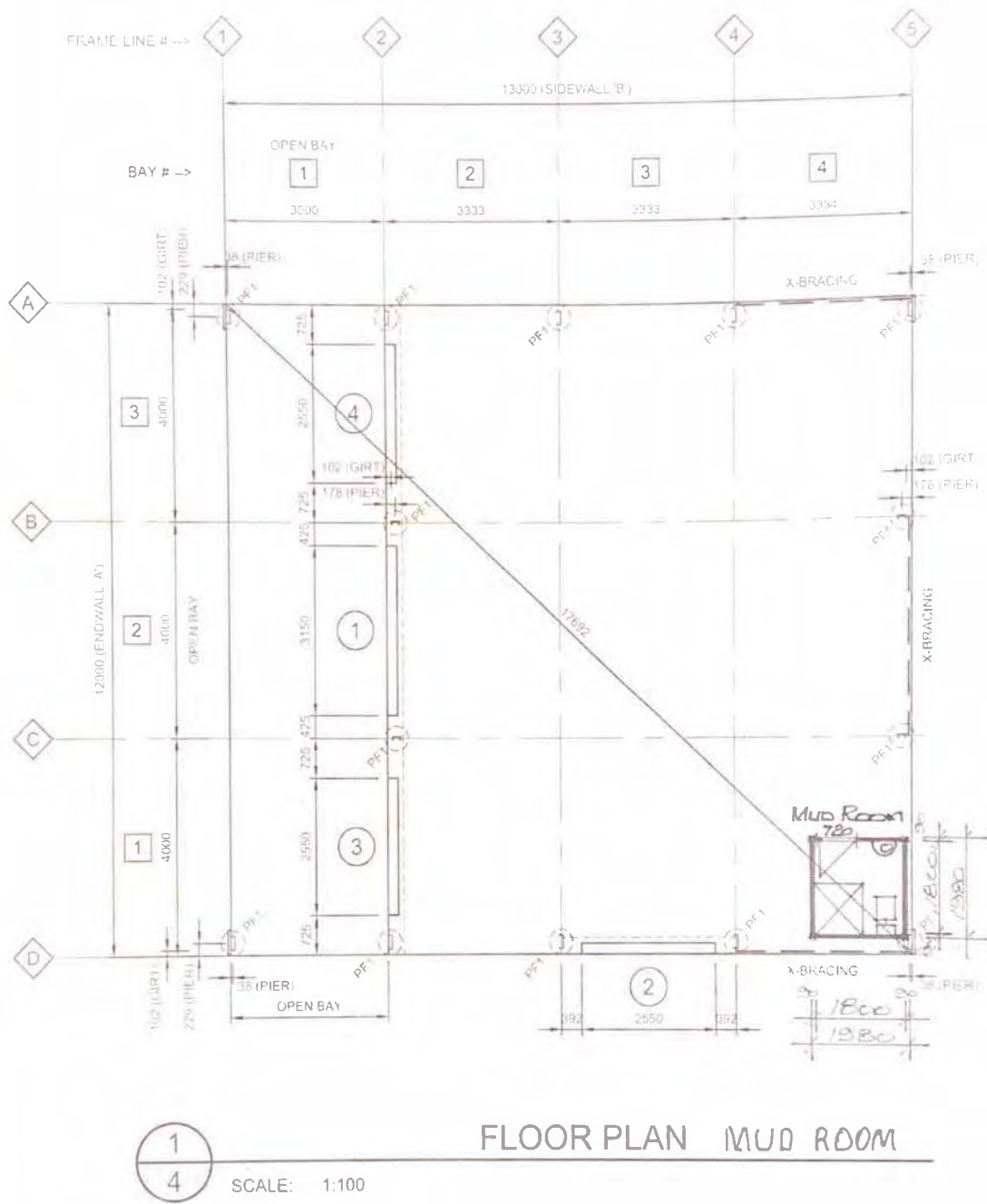


SIX Maps

22/12/2021, 17:03









## STRUCTURAL GENERAL NOTES

### 1.0 General

- 1 These drawings are
  - a) Jointly owned by Steelline and Shed Engineering Pty Ltd
  - b) Provided for the sole purpose of obtaining building approval and guiding construction of a single building at the job address shown in the title block
  - c) Prohibited to be used for any other purpose without written authorisation from Steelline and Shed Engineering Pty Ltd
  - d) Only valid if signed by the engineer and must not be altered in any way without signed approval from the engineer
  - e) Produced to scale but dimensions shall not be obtained by measuring the drawings. All dimensions are in millimetres unless stated otherwise
- 2 The engineer accepts no liability or responsibility for the contents of drawings that are invalid
- 3 The word 'the engineer' used in these notes refers to an employee or nominated representative of Shed Engineering Pty Ltd
- 4 The engineer is not the project manager or site supervisor for this project. It is the responsibility of the project manager or site supervisor in charge to ensure that the non-structural requirements of the Governing Building Code are considered and appropriately designed. This includes, but not limited to, fire & bushfire design, access requirements, future roof access requirements, lighting, glazing and electrical design, etc

### 2.0 Structural Design

- 2.1 The structural framing components detailed in these drawings have been designed in accordance with the following documents for the design criteria detailed in these notes:

Governing Building Code	2019 National Construction Code – Building Code Of Australia Amendment 1
Loading Standards	AS/NZS 1170 0 2002(+A5)
	AS/NZS 1170 1 2002(+A2)
	AS/NZS 1170 2 2011(+A5)
Cold formed Steel member standard	AS/NZS 4680 2018
- 2.2 These drawings are also the limit of the Structural Design, any requirements for additional structural design of other items included in the project are specifically excluded if not shown on these drawings. This includes, but not limited to, requirements for additional loads that aren't specified including flood design loads, additional roof loads from solar panels, retaining walls required on site, driveway design etc.
- 2.3 These structural drawings and specifications represent the finished structure. The building is not considered complete until the installation of all components and details shown herein are installed according to the drawings.
- 2.4 No alterations are to be made to this structure without written approval of the engineer. This includes, but not limited to, modification to the plans and/or specifications be the installation of additional openings, increased roof loads, skylight roof sheets or removal of cladding. If changes are made without written approval, such changes shall the legal and financial responsibility of the contractor or sub-contractors involved and it shall be their full responsibility to replace or repair the condition of the building as directed by the engineer.

### 3.0 Design Criteria

Building class	10a
Building Importance level	2
Wind region	A
Terrain category	2.96
Topographic multiplier	1
Shielding multiplier	0.84
Ultimate design wind speed	31.5 m/s
Slab imposed load	2.5 kPa or 9kN applied over 0.3x0.3m area (light vehicles)
Allowable bearing capacity of foundation supporting footings	100 kPa
Allowable bearing capacity of foundation supporting slab	50 kPa
Allowable skin friction of foundation	25 kPa
Soil Type	Non-aggressive (not saline or acid sulfate)

### 4.0 Installation Building Contractor Responsibilities

- 4.1 The contractor shall verify and confirm all site conditions and dimensions. Any discrepancies between drawings and site conditions shall be referred to the engineer for decision before proceeding with the work.
- 4.2 All workmanship and materials are to be in accordance with the Governing Building Code including all relevant Australian Standards and local statutory authorities except where varied by the contract documents.
- 4.3 The contractor shall be responsible for maintaining the structure in a stable condition and ensuring no part is overstressed under construction activities. They shall provide all temporary bracing, shoring or other means to avoid excessive stresses and to hold structural elements in place during erection. These temporary provisions shall remain in place until sufficient permanent members are erected to ensure the safety of partially erected structures. The contractor is responsible for meeting all laws regulating the erection of steel buildings including, but not limited to, Safe Work Australia guidelines.
- 4.4 The contractor shall be responsible for the location of all services in the vicinity of the works. Any services shown are provided for information only. The contractor shall confirm the location of all services prior to commencing and shall be responsible for the repair of any damage caused to services, as well as any loss incurred because of the damage to any service.

### 5.0 Foundation

- 5.1 The bearing capacity of the foundation supporting the footings and slab shall be confirmed before any concrete is placed.
- 5.2 No earth or debris is to fall into the footings or piers before and during placing of concrete.
- 5.3 All footings shall be located centrally under walls and columns unless noted otherwise.
- 5.4 Concrete embedment depths do not apply to locations where any uncompacted fill or disturbed ground exists or where walls of the excavation will not stand without support. Request further advice from the engineer in these circumstances.
- 5.5 Fill used for the support of a slab on ground shall be controlled fill or rolled fill as in accordance with clause 6.4.2 of AS 2870-2011.
- 5.6 Slabs less than 100sq m in plan area are suitable for AS 2870 site classes A, S & M. For larger slabs or for site classes M-D, H1, H1-D, H2, H2-D, E & E-D, the slab may experience cracking more than is considered normally acceptable. The cracking is considered of aesthetic concern only and should not effect the structural performance of the slab or shed. If this is not desired, contact the engineer for further advice.

### 6.0 Concrete

- 6.1 Concrete placement and workmanship shall be in accordance with AS 3600 & AS 2870.
- 6.2 Concrete shall be
  - a) N25 with slump of 100 mm in accordance with AS 1379-2007, with 20 mm maximum nominal aggregate size and no admixtures
  - b) consolidated by mechanical vibration
  - c) Cured for a minimum of 7 days using continuous ponding with potable water
- 6.3 No holes, chases or embedment of pipes other than those shown on the drawings shall be made in concrete members without prior approval of the engineer.

### 7.0 Reinforcement

- 7.1 Reinforcement shall comply with AS 4671-2001.
- 7.2 Reinforcement is represented diagrammatically and not necessarily shown in true projection.
- 7.3 Welding of reinforcement shall not be permitted without the approval of the engineer.
- 7.4 All reinforcement shall be securely supported in its correct position ensuring the correct cover during placing of concrete by approved bar chairs, spacers or support bars. Approved chairs include stainless steel or plastic bar chairs for bottom reinforcement and plastic tipped wire bar chairs for top reinforcement. All chairs to be spaced at maximum of 750mm centres.
- 7.5 Cover to reinforcement shall be
  - a) 50mm for surfaces of concrete in contact with the ground
  - b) 30mm for top surfaces of slabs fully enclosed by the building without open bays or
  - c) 60mm for top surfaces of slabs more than 1 km from the coastline with open bays
  - d) For buildings with open bays within 1km of the coast, contact the engineer for cover and concrete grade requirements
- 7.6 Reinforcement shall be lapped 500mm for 12mmØ bars and 800mm for 16mmØ bars.
- 7.7 Mesh reinforcement shall be lapped such that the two outermost wires of one sheet overlap the two outermost wires of the other sheet by 25 mm.
- 7.8 Hooks, bends and cogs to be in accordance with AS 3600-2009 unless noted otherwise on drawings.

### 8.0 Light Gauge Cold-formed Steel

- 8.1 All light gauge cold-formed steel shall comply with AS 1397-2007 and be the following grades:

Thickness(mm)	Steel grade (yield stress MPa)	Protective coating (g/m <sup>2</sup> )
BMT ≤ 1.0mm	G550	Z350
1.0mm < BMT < 1.5mm	G500	Z350
1.5mm ≤ BMT ≤ 3.0mm	G450	Z350
- 8.2 Welding of light gauge cold-formed steel shall not be permitted.
- 8.3 Column and rafter members shall not be drilled or notched without prior approval of the engineer.
- 8.4 Round holes may be drilled through any girt or purlin member within the middle third of the depth of that member and not within 600mm of member end unless noted otherwise.
- 8.5 All bolts used to connect light gauge cold-formed steel members shall be
  - a) Zinc coated M12 (min.) grade 4.6 snug tightened complying to AS 1111.1 & AS 1112.3 unless noted otherwise
  - b) Spaced no less than 3 bolt diameters between centres
  - c) Located no less than 1.5 bolt diameters from bolt centre to the end or edge of any light gauge member
- 8.6 All screws used to connect light gauge cold-formed steel members (excluding sheeting) shall be
  - a) 10g (min.) self-drilling screws complying with AS 3566.1
  - b) Corrosion resistance class 4 in accordance with AS 3566.2 for buildings within 1 km from the coastline with open bays or class 3 otherwise
  - c) Spaced no less than 3 bolt diameters between centres
  - d) Located no less than 1.5 bolt diameters from bolt centre to the end or edge of any light gauge member

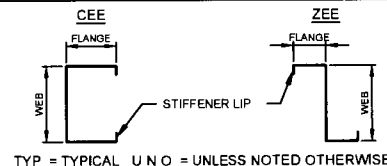
### 9.0 Roof & Wall Sheeting

- 9.1 Roof & wall sheeting shall comply with AS 1397 and have suitable corrosion protection complying with Table 3.5.1.1 of the 2019 NCC Volume 2.
- 9.2 During construction and maintenance, no foot traffic shall occur within end spans of sheeting. Foot traffic shall occur
  - a) Evenly across at least two ribs for corrugated profiled sheeting or
  - b) In the purlins for pan-type profiled sheeting
- 9.3 Any roof skylights shall be approved by the engineer.
- 9.4 Safety mesh shall be installed in accordance with the building code.

### 10.0 Door & Window Components


- 10.1 All roller doors shall be non-wind load rated and assumed to have failed at the ultimate limit state wind loading.
- 10.2 Personal access doors shall be rated for the wind loading parameters stated in the design criteria (see section 3.0).
- 10.3 All windows shall be in accordance with AS 1288 & AS 2047 as appropriate for the wind loading parameters stated in the design criteria (see section 3.0).

## COMPONENT DIAGRAM



REV	DATE	DESCRIPTION
A	23-09-2021	-



Signed  Date 23-09-2021  
Grant J Wood MIEAust CPENG NER RPEQ  
Registered EA Chartered Professional Engineer (No. 2283085)  
Registered Professional Engineer Q.L.D. (No. 14384)  
Registered Civil Engineer Building Practitioner VIC (No. EC40814)  
Registered Certifying Engineer (structural) NT (No. 30637165)

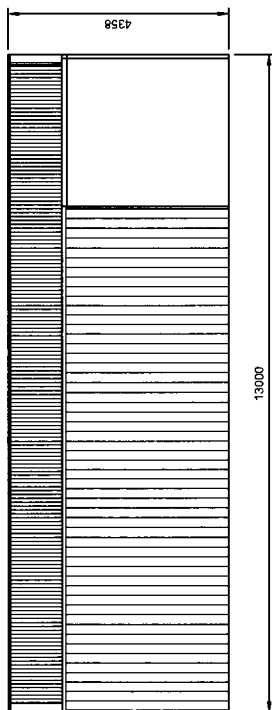
Customer Name	M & F Renshaw Partnership	DATE	23-09-2021
Site Address	37 Locke St Raglan, NSW, 2795	JOB NO	LNOR86969348
		SHEET	1 of 8



## REAR BUILDING ELEVATION

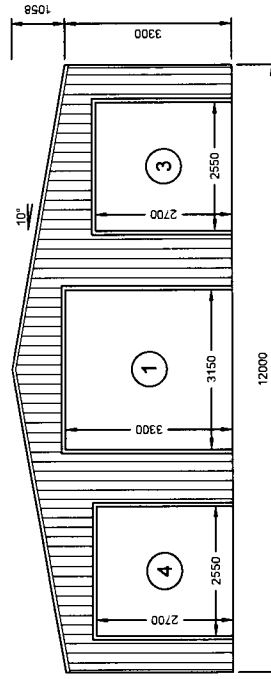
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## SIDEWALL B BUILDING ELEVATION

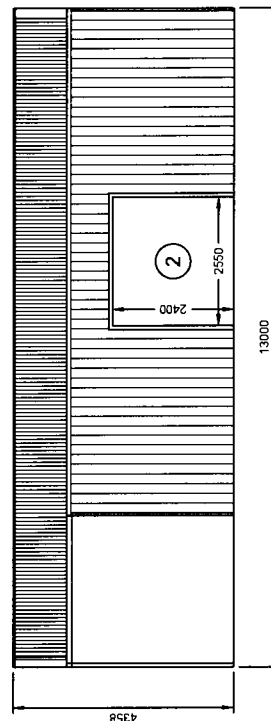
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## FRONT BUILDING ELEVATION

FRAME #2

SCALE 1 100

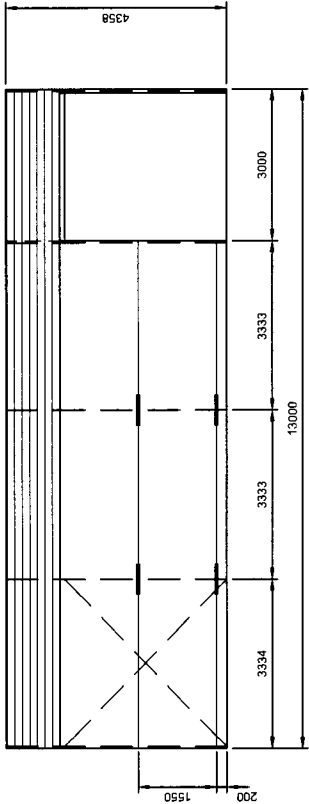


## SIDEWALL A BUILDING ELEVATION

SCALE 1 100

[illegible]

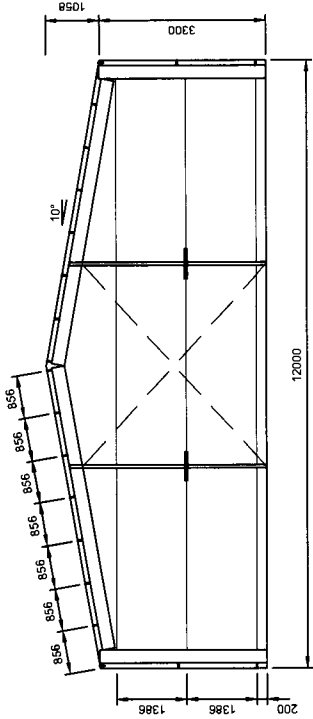




2 SIDEWALL B FRAMING ELEVATION

SCALE 1 100

3

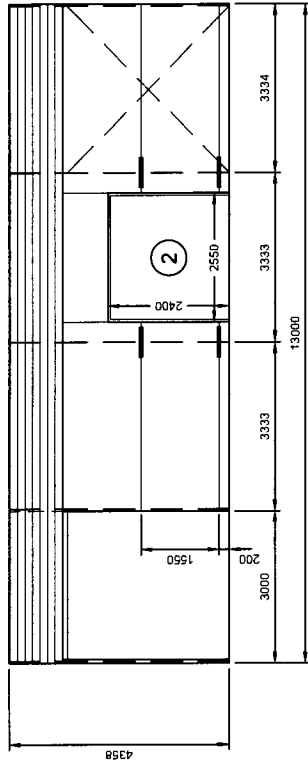


3 REAR FRAMING ELEVATION

SCALE 1 100

FRAME #5

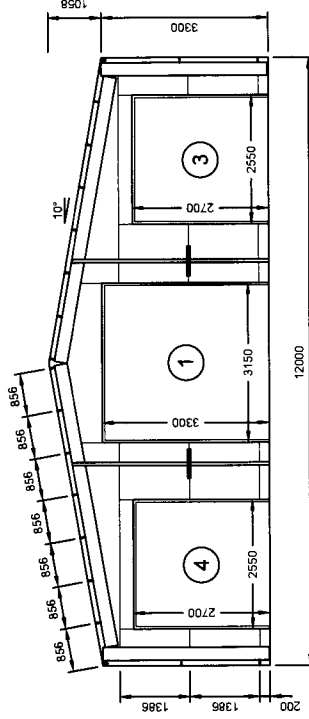
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1 SIDEWALL A FRAMING ELEVATION

SCALE 1 100

3



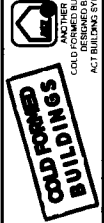
4 FRONT FRAMING ELEVATION

SCALE 1 100

FRAME #2

3

REV	DATE	DESCRIPTION
A	23-09-2021	



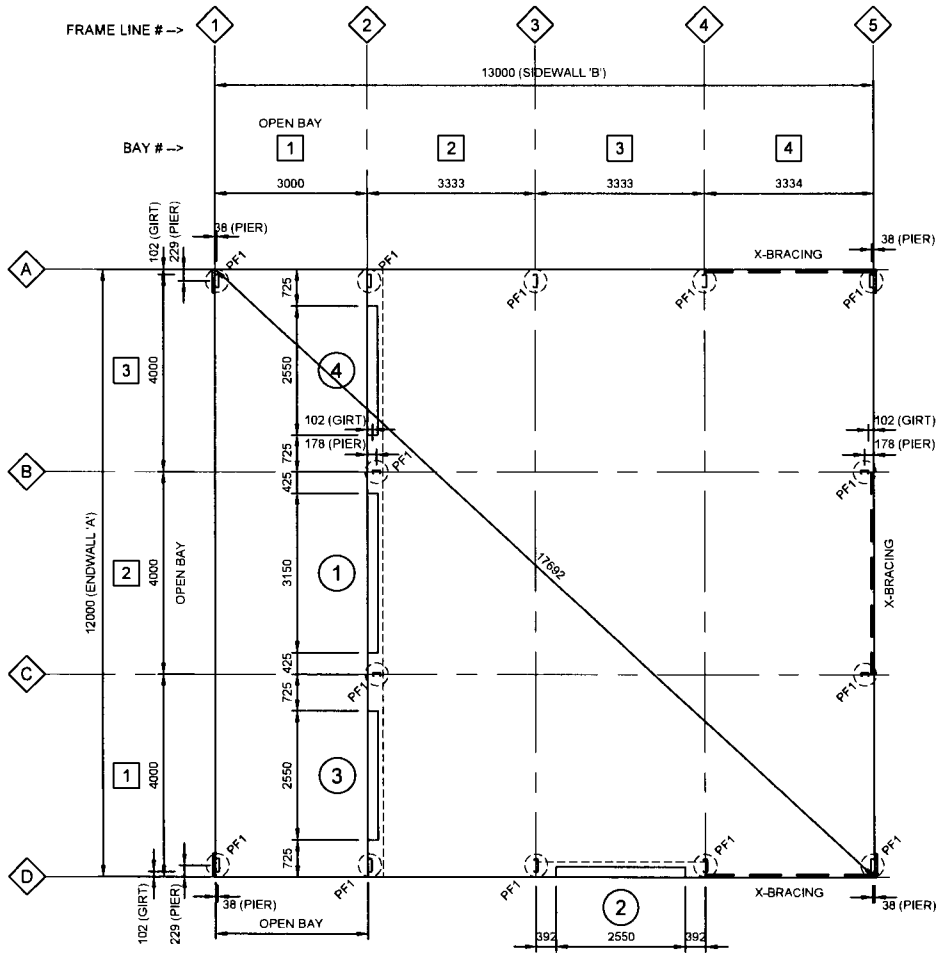
**SHED ENGINEERING**  
admin@shedeng.com.au  
PO Box 3084 AUSTINMER NSW 2515

Signed *Grant J Wood*  
Grant J Wood MEA/ast CPEng NER RREC  
Registered EA Chartered Professional Engineer (No. 238200)  
Registered Structural Engineer (No. 19357)  
Registered Civil Engineer (No. 19357)  
Registered Civil Engineering Practitioner (No. EC4914)  
Registered Consulting Engineer (Structural) (No. 30537 EES)

Customer Name M & F Renshaw Partnership  
Site Address 37 Locke St  
Raglan,  
NSW, 2795

DATE 23-09-2021  
JOB NO LNCOR869348  
SHEET 3 of 8

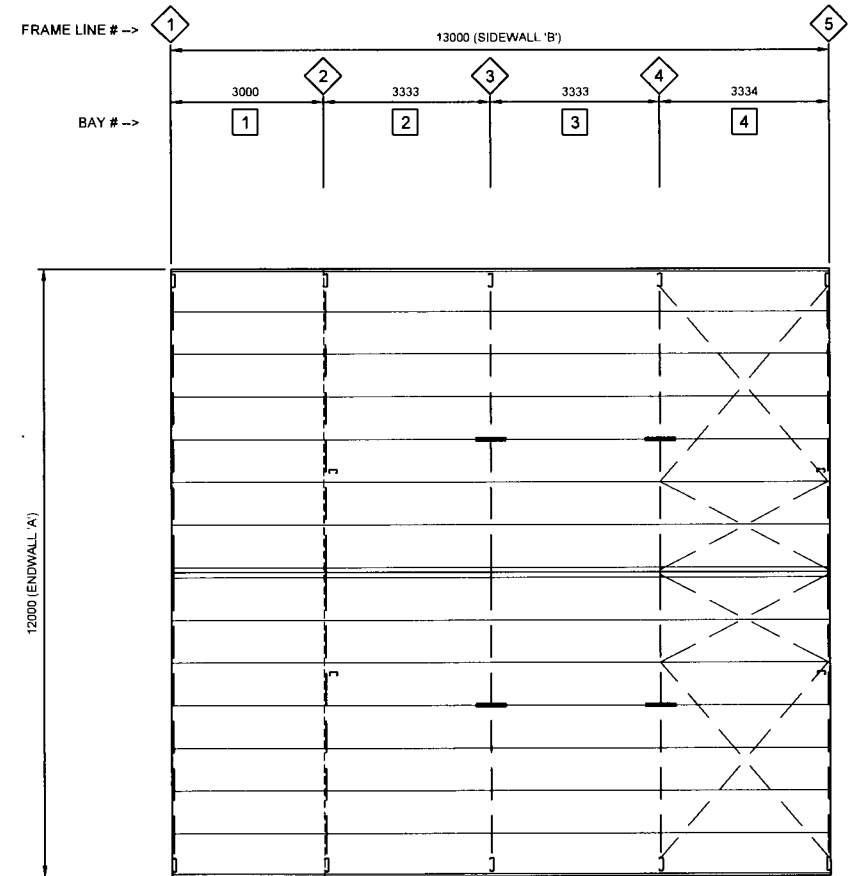




**1** FOOTING/SLAB FLOOR PLAN  
**4** SCALE 1 100

PF-1 - 450Ø REINFORCED CONCRETE PIERS TO DETAIL

SLAB IS DESIGNED FOR CARS AND LIGHT VANS NOT EXCEEDING 2500 kg GROSS MASS



**2** ROOF FRAMING PLAN  
**4** SCALE 1 100

REV	DATE	DESCRIPTION
A	23-09-2021	-

**COLD FORMED BUILDINGS**

ANOTHER  
COLD FORMED BUILDING  
DESIGNED BY  
ACT BUILDING SYSTEMS

**SHED ENGINEERING**

admin@shedeng.com.au  
PO Box 3084 AUSTINMER NSW 2515

Signed *Grant J Wood* Date 23-09-2021  
Grant J Wood MIEAust CPEng NER RPEQ  
Registered CA Chartered Professional Engineer (No. 2383209)  
Registered Professional Engineer QLD (No. 14384)  
Registered Civil Engineer Building Practitioner VIC (No. EC40914)  
Registered Certifying Engineer (structural) NT (No. 306371ES)

Customer Name M & F Renshaw Partnership  
Site Address 37 Locke St  
Raglan,  
NSW, 2795

DATE 23-09-2021  
JOB NO LNOR86969348  
SHEET 4 of 8



<p>ZEE PURLIN OR GIRT</p> <p>AT PURLINS OUTER MOST FLANGE POINTS UP SLOPE</p> <p>75mm MIN LAP OVER INTERIOR FRAME RAFTER OR COLUMN</p> <p>CEE RAFTER OR COLUMN</p> <p>(2) #14 SCREWS INTO RAFTER OR COLUMN INSIDE SCREW WITHIN 10mm OF ZEE WEB</p>	<p>CORNER COLUMN</p> <p>SIDEWALL EDGE OF SLAB (OR OUTSIDE OF WALL GIRTS)</p> <p>(4) #14 SCREWS AT EACH LEG OF CONNECTION ANGLE</p> <p>Z10012 ZEE ENDWALL GIRT</p> <p>NOTE UNLESS NOTED OTHERWISE USE THIS CONNECTION DETAIL FOR ALL CEE AND ZEE MEMBER-TO-MEMBER CONNECTIONS</p> <p>ENDWALL EDGE OF SLAB (OR OUTSIDE OF WALL GIRTS)</p> <p>TYP CONNECTION ANGLE</p>	<p>ENDWALLS SGL 32MM 1 2MM STRAP WITH (3) #14 SCREWS AT EACH END SIDEWALLS &amp; ROOF SGL 32MM 1 2MM STRAP WITH (3) #14 SCREWS AT EACH END</p> <p>CLEARSPAN FRAME (OR ENDWALL) COLUMN OR RAFTER, OR CORNER COLUMN</p> <p>X-BRACING STRAP PER NOTE ABOVE ATTACH TO OUTSIDE FACE OF COLUMNS AND TOP OF RAFTERS WITH # OF END SCREWS SPECIFIED ABOVE</p> <p>OUTSIDE FACE OF FOUNDATION AND/OR WALL GIRTS</p> <p>205mm MAX</p> <p>NOTES 1) CONNECT STRAP AT TOP OF ADJACENT COLUMN OR RAFTER IN SAME MANNER 2) IF DOUBLE STRAPS ARE SPECIFIED ABOVE INSTALL SIDE-BY-SIDE NOT ON TOP OF EACH OTHER</p>
<p><b>D</b></p> <p>PURLIN/GIRT CONNECTION</p>	<p><b>E</b></p> <p>CORNER COLUMN CONNECTIONS</p>	<p><b>M</b></p> <p>ROOF AND WALL X-BRACING CONNECTION</p>
<p>o INDICATES 16 mmø GRADE 4 6 BOLT</p> <p>C25024 FRAME RAFTER</p> <p>850 mm</p> <p>1475 mm</p> <p>C25024 FRAME COLUMN</p> <p>SGL 3mm 10 HAUNCH BRACKET</p> <p>C15012 KNEE BRACE (OMIT AT ENDWALLS)</p> <p>(5) 16 mmø GRADE 4 6 BOLTS AT EACH END OF KNEE BRACE</p> <p>2278 mm TO TOP OF CONCRETE FOUNDATION</p>	<p>C25024 FRAME RAFTER</p> <p>SGL 3mm 2 116 12 APEX BRACKET, WITH (12) 16 mmø GRADE 4 6 BOLTS PER BRACKET</p>	<p>C25024 ENDWALL RAFTER</p> <p>NOTE SEE DETAIL 10 FOR BASE CONNECTION OF ENDWALL MULLION</p> <p>150mm x 205mm x 200mm TALL MFA BRACKET WITH 2 X 14G TEK SCREWS INTO RAFTER WEB AND 2 14G TEK SCREWS INTO COLUMN WEB</p> <p>C15015 (OPEN SIDE OF CEE MAY FACE EITHER DIRECTION, U N O )</p>
<p><b>A</b></p> <p>HAUNCH CONNECTION</p>	<p><b>B</b></p> <p>APEX CONNECTION</p>	<p><b>C</b></p> <p>ENDWALL MULLION TO RAFTER</p>

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE

REV	DATE	DESCRIPTION
A	23-09-2021	-

COLD FORMED BUILDINGS



ANOTHER  
COLD FORMED BUILDING  
DESIGNED BY  
ACT BUILDING SYSTEMS



SHED ENGINEERING

admin@shedeng.com.au  
PO Box 3064 AUSTINMER NSW 2515

Signed  Date 23-09-2021

Grant J Wood MIEAust CPEng NER RPEQ  
Registered EA Chartered Professional Engineer (No 2383009)  
Registered Professional Engineer QLD (No 14384)  
Registered Civil Engineer Building Practitioner VIC (No EC40614)  
Registered Certifying Engineer (Structural) NT (No 326371ES)

Customer Name M & F Renshaw Partnership  
Site Address 37 Locke St  
Raglan,  
NSW, 2795

DATE 23-09-2021  
JOB NO LNOR86969348  
SHEET 5 of 8

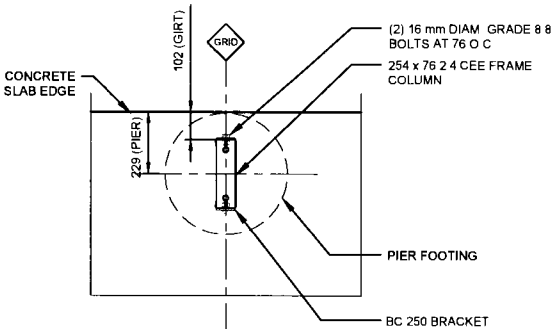
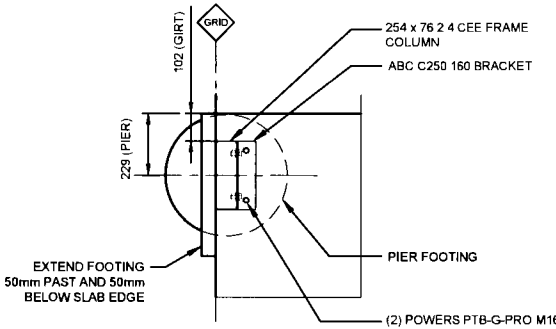
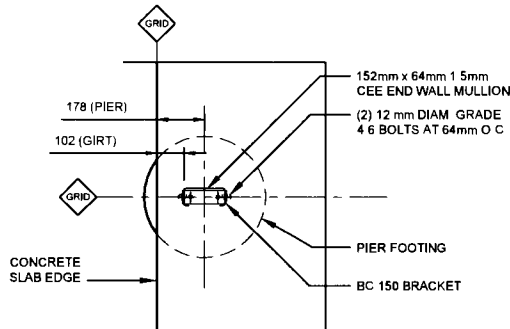
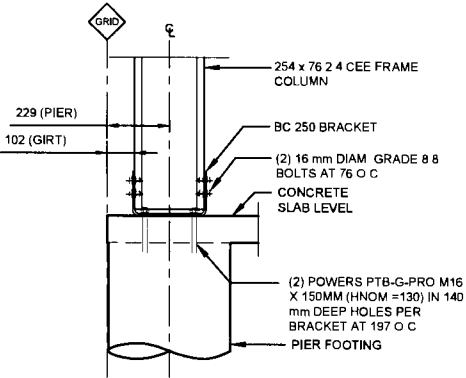
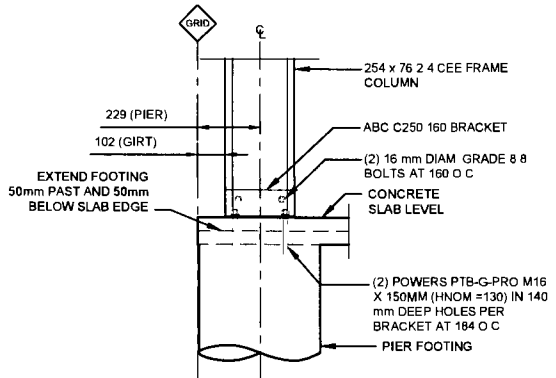
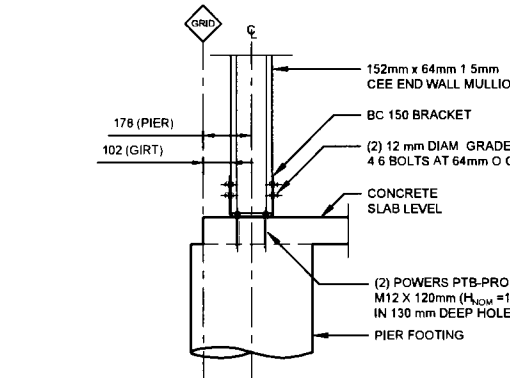


<p>2mm x 65mm TALL BENT U-PLATE EAVE PURLIN BRACKET</p> <p>TOP OF COLUMN</p> <p>(2) #14 SCREWS IN EACH LEG OF BRACKET 15mm FROM EDGE</p> <p>SINGLE CEE COLUMN</p> <p>CEE EAVE PURLIN</p> <p>93 mm</p> <p>WALL GIRT DEPTH</p> <p>(2) #14 SCREWS AT EACH EAVE PURLIN MEMBER TO BRACKET</p>	<p>NOTE SEE ROOF FRAMING PLAN AND ELEVATIONS FOR LOCATIONS OF FLYBRACING</p> <p>WALL GIRT OR ROOF PURLIN</p> <p>(2) #14 SCREWS PER CONNECTION</p> <p>typ 40°-50°</p> <p>COLUMN OR RAFTER</p> <p>INSTALL SAME STRAPPING AS USED FOR X-BRACING (OR MIN 25mm X 2mm)</p>
<p><b>O</b></p> <p><b>EAVE PURLIN BRACKET</b></p>	<p><b>P</b></p> <p><b>FLYBRACING CONNECTION</b></p>
<p>NOTE ONLY STRUCTURAL INFORMATION IS INCLUDED IN THIS DETAIL CONSULT PANEL MANUFACTURER FOR ADDTL WEATHERTIGHTNESS RECOMMENDATIONS</p> <p>762mm</p> <p>152.4mm</p> <p>50MM MULTI PURPOSE ROOF SCREW COLORBOND AT 152.4mm O C MAX AT HIGH RIBS AT ALL PURLINS AND EAVE PURLIN</p> <p><b>Steeline Corrugated 0.42</b></p>	<p>NOTE ONLY STRUCTURAL INFORMATION IS INCLUDED IN THIS DETAIL CONSULT PANEL MANUFACTURER FOR ADDTL WEATHERTIGHTNESS RECOMMENDATIONS</p> <p>762mm</p> <p>190.5mm</p> <p>TEK SCREW HEX W/SEAL 10X16 COLORBOND AT 190.5mm O C MAX ADJACENT TO HIGH RIBS AT ALL GIRTS AND EAVE PURLIN</p> <p><b>Steeline Steelclad 0.42</b></p>
<p><b>H</b></p> <p><b>ROOF SHEETING</b></p>	<p><b>I</b></p> <p><b>WALL SHEETING</b></p>

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE


<p>REV</p> <p>A</p>	<p>DATE</p> <p>23-09-2021</p>	<p>DESCRIPTION</p> <p>-</p>	<p><b>COLD FORMED BUILDINGS</b></p> <p>ANOTHER COLD FORMED BUILDING DESIGNED BY ACT BUILDING SYSTEMS</p>	<p><b>SHED ENGINEERING</b></p> <p>admin@shedeng.com.au</p> <p>PO Box 3084 AUSTINMER NSW 2515</p>	<p>Signed </p> <p>Date 23-09-2021</p> <p>Grant J Wood MIEAust CPEng NER RPEO</p> <p>Registered EA Chartered Professional Engineer (No. 2283009)</p> <p>Registered Professional Engineer - Q.L.D. (No. 14384)</p> <p>Registered Civil Engineer Building Practitioner - VIC (No. EC40914)</p> <p>Registered Certifying Engineer (structural) NT (No. 306371ES)</p>	<p>Customer Name M &amp; F Renshaw Partnership</p> <p>Site Address 37 Locke St</p> <p>Raglan, NSW, 2795</p>	<p>DATE 23-09-2021</p> <p>JOB NO LNOR86969348</p> <p>SHEET 6 of 8</p>
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 <p>NOTE: CENTRELINE OF PIER FOOTING TO BE ALIGNED WITH CENTRELINE OF COLUMN</p>		 <p>NOTE: CENTRELINE OF PIER FOOTING TO BE ALIGNED WITH CENTRELINE OF COLUMN</p>		 <p>NOTE: CENTRELINE OF PIER FOOTING TO BE ALIGNED WITH CENTRELINE OF COLUMN</p>	
F1	INTERNAL FRAME COLUMN BASE DETAIL 1	V1	CORNER COLUMN BASE DETAIL 1	W1	END WALL MULLION BASE DETAIL 1
 <p>NOTE: CENTRELINE OF PIER FOOTING TO BE ALIGNED WITH CENTRELINE OF COLUMN</p>		 <p>NOTE: CENTRELINE OF PIER FOOTING TO BE ALIGNED WITH CENTRELINE OF COLUMN</p>		 <p>NOTE: CENTRELINE OF PIER FOOTING TO BE ALIGNED WITH CENTRELINE OF COLUMN</p>	
F2	INTERNAL FRAME COLUMN BASE DETAIL 2	V2	CORNER COLUMN BASE DETAIL 2	W2	END WALL MULLION BASE DETAIL 2

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE


REV	DATE	DESCRIPTION
A	23-09-2021	-



ANOTHER  
COLD FORMED BUILDING  
DESIGNED BY  
ACT BUILDING SYSTEMS



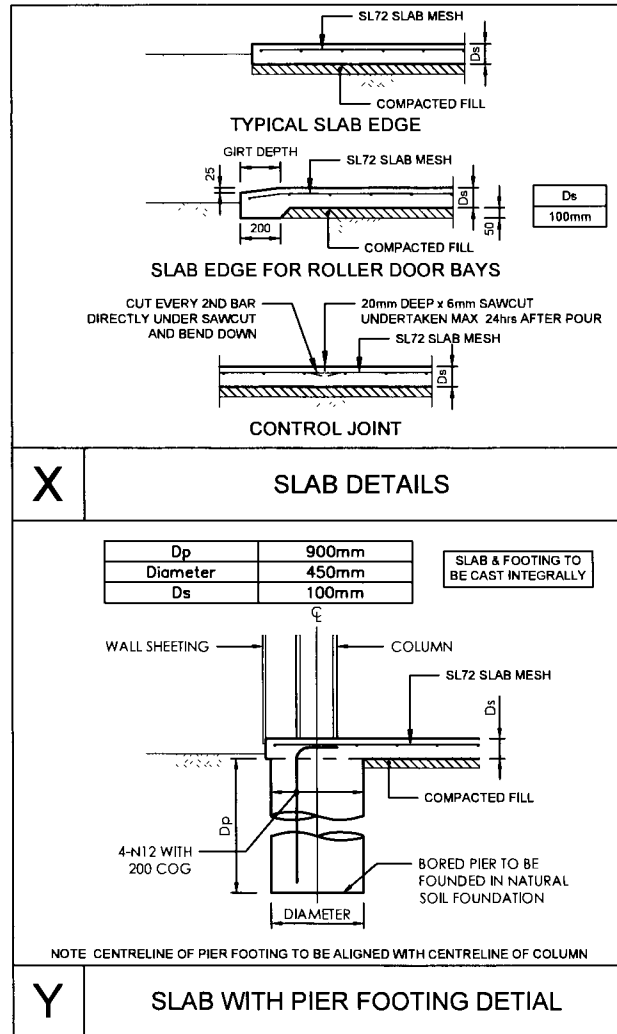
admin@shedeng.com.au  
PO Box 3084 AUSTINMER NSW 2515

Signed  Date 23-09-2021

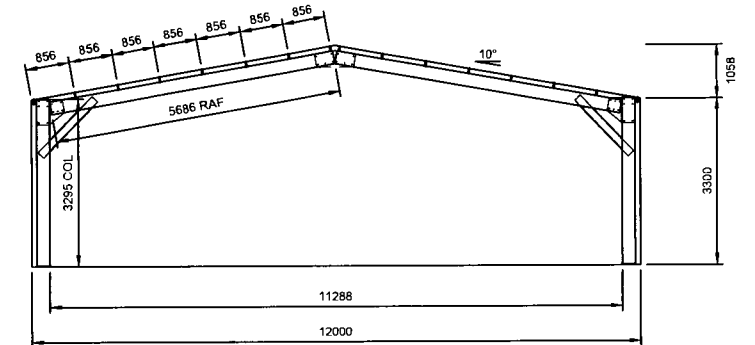
Grant J Wood MIEAust CPEng NER RPEQ  
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Registered Certifying Engineer (structural) NT (No. 308371ES)

Customer Name	M & F Renshaw Partnership	DATE	23-09-2021
Site Address	37 Locke St Raglan, NSW, 2795	JOB NO	LNOR86969348
		SHEET	7 of 8





MEMBER SCHEDULE			
COMPONENT		TYPE	
CLEAR SPAN PORTAL (FRAMES 1, 3, 4)	MEMBER	RAFTER	Single C25024
		COLUMN	Single C25024
		APEX BRACE	-
	BASE CONNECTION	KNEE BRACE	Single C15012
		BRACKET TYPE	Base cleat bolt down bracket BC.250V2
		ANCHOR BOLTS	(2) Powers PTB-ETA1-PRO M16 x 150mm (hnom =115)
ENDWALL PORTAL (FRAME 2)	MEMBER	RAFTER	Single C25024
		COLUMN	Single C25024
		APEX BRACE	-
	BASE CONNECTION	KNEE BRACE	-
		BRACKET TYPE	Base cleat bolt down bracket BC 250V2
		ANCHOR BOLTS	(2) Powers PTB-ETA1-PRO M16 x 150mm (hnom =115)
ENDWALL B PORTAL (FRAME 5)	MEMBER	RAFTER	Single C25024
		COLUMN	Single C25024
		APEX BRACE	-
	BASE CONNECTION	KNEE BRACE	-
		BRACKET TYPE	Angle base connection ABC C250 160
		ANCHOR BOLTS	(2) Powers PTB-ETA1-PRO M16 x 150mm (hnom =115)
ENDWALL MULLION	MEMBER	COLUMN	Single C15015
	BASE CONNECTION	BRACKET TYPE	Base cleat bolt down bracket BC 150
		ANCHOR BOLTS	(2) Powers PTB-G-PRO M12 x 120mm (hnom =104)
	MEMBER	ANCHOR BOLTS	(2) Powers PTB-G-PRO M12 x 120mm (hnom =104)
ROOF PURLINS		MEMBER	Single Z10012 @ 856mm centres
EAVE PURLIN		MEMBER	Single C10012
SIDEWALL GIRTS		MEMBER	Single Z10012 @ 1550mm centres
ENDWALL GIRTS		MEMBER	Single Z10012 @ 1386mm centres
OPENING (1)	MEMBER	JAMB	Single Z20019
	BASE CONNECTION	HEADER/SILL	Single C10012
		BRACKET TYPE	Angle base connection ABC C200 110
		ANCHOR BOLTS	(2) Powers PTB-PRO M12 x 120mm (hnom =104)
OPENING (2)	MEMBER	JAMB	Single Z15019
	BASE CONNECTION	HEADER/SILL	Single C10012
		BRACKET TYPE	Angle base connection ABC C150 70
		ANCHOR BOLTS	(2) Powers PTB-PRO M12 x 120mm (hnom =104)
OPENINGS (3-4)	MEMBER	JAMB	Single Z15015
	BASE CONNECTION	HEADER/SILL	Single C10012
		BRACKET TYPE	Angle base connection ABC C150 70
		ANCHOR BOLTS	(2) Powers PTB-PRO M12 x 120mm (hnom =104)
X-BRACING	STRAP		32mm x 12 strap



1  
8

## INTERNAL FRAMING ELEVATION

SCALE 1 100

FRAMES 1, 3, 4

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE

REV	DATE	DESCRIPTION	COLD FORMED BUILDINGS		SHED ENGINEERING		Customer Name M & F Renshaw Partnership		DATE 23-09-2021	
A	23-09-2021	-	COLD FORMED BUILDINGS		SHED ENGINEERING		Site Address 37 Locke St		JOB NO LNOR86969348	
			COLD FORMED BUILDINGS		SHED ENGINEERING		Raglan,		SHEET 8 of 8	
			COLD FORMED BUILDINGS		SHED ENGINEERING		NSW, 2795			



RECEIVED

14 FEB 2022

Mrs. KS Hogan

35 Locke St

Raglan 2795

0409394585

BATHURST REGIONAL COUNCIL

**BATHURST REGIONAL COUNCIL**

16 FEB 2022

REF. 2021/506/033

14 February 2022

Bathurst Regional Council

158 Russell St

Bathurst 2795

Dear Mr. Denyer

Re development application No 2021/506 modification. With this modification the shed has been moved from the northern side of Mr. Renshaw's property to the southern side and rotated 90 degs. This places the shed on my northern boundary with the highest part of the shed, 4.358 m, at a min 50 mm spacing from the boundary according to the modified site plan. Prior to this modification the highest part of the shed facing my boundary was 3.300 m and approximately 6.0m away.

My concerns:

- (a) To facilitate the construction of the shed a min 50mm from the boundary the fence would have to be removed.
- (b) People and or equipment involved in the construction of the shed would be using my back yard to build the shed.
- (c) Leaves and twigs from the surrounding gum trees will accumulate between the fence and the shed, creating a possible fire hazard or possible demise of the trees.



- (d) The height and new position of the shed will overshadow my property causing large portions of my yard to be permanently covered in frost during winter.
- (e) It is my firm belief based on past experience that any remediation work such as replacing the fence, damage etc., would not be carried out by the builders despite assurances to the contrary. This would possibly lead to an argument and eventually I would have to carry out the work myself.
- (f) I have concerns as to the real purpose of the shed when the size, the shape of the doors and to my understanding, Mr. Renshaw has an aircraft business at nearby Raglan airport, are taken into consideration

This letter has been precipitated by an incident during the removal of trees from Mr. Renshaw's property. There was an historic holden gemini van body of my husbands stored near the fence. Some of the branches of one of the large gumtrees which were being removed hung over the top of the gemini. Some days after the tree removalists had left my husband noticed the front windscreen of the gemini was shattered inwards. The tree removalists had been removing limbs over the top of the vehicle and as they did not inform me of any damage to the vehicle we can only assume the broken windscreen must have been an act of God.

To avoid any further possible distress, from the new positioning of the shed and any further acts of God that may occur during the construction of Mr. Renshaw's shed, I would like to make it clear that there will be no permission given to workers or machinery to enter my property at 35 Locke St Raglan. Importantly I would prefer the shed to be moved away from my boundary and towards the northern boundary of Mr. Renshaw's property as it was in the initial DA.

We are now pensioners and have lived here amicably with our neighbours for 40 years. All I am asking is that Bathurst Council continue to provide me with the enjoyable and quite life of a Bathurst home owner and that commonsense be used when making decisions in regards to this DA.

Rgds K Hogan





BATHURST REGIONAL COUNCIL

22 FEB 2022

REF. 2021/506/034

Mrs. KS Hogan  
35 Locke St  
Raglan 2795  
0409394585

14 February 2022

Bathurst Regional Council  
158 Russell St  
Bathurst 2795

Dear Mr. Denyer.

This is an amendment to my previous correspondence dated 14 February 2022. The changes and additions are in italics.

Re development application No 2021/506 modification. With this modification the shed has been moved from the northern side of Mr. Renshaw's property to the southern side and rotated 90 degs. This places the shed on my northern boundary with the highest part of the shed, 4.358 m, at a min 50 mm spacing from the boundary according to the modified site plan. Prior to this modification the highest part of the shed facing my boundary was 3.300 m and approximately 6.0m away.

My concerns:

- (a) To facilitate the construction of the shed at a min 50mm from the boundary, the fence would have to be removed.
- (b) People and or equipment involved in the construction of the shed would be using my back yard to build the shed.
- (c) *It is my understanding the shed will have water and sewerage.*

Page 1 of 3



- (d) It is my firm belief based on past experience that any remediation work such as replacing the fence, damage etc., would not be carried out by the builders despite assurances to the contrary. This would possibly lead to an argument and eventually I would have to carry out the work myself.
- (e) Leaves and twigs from the surrounding gum trees will accumulate between the fence and the shed, creating a possible fire hazard or possible demise of the trees.
- (f) The height and new position of the shed will overshadow my property causing large portions of my yard to be permanently covered in frost during winter.
- (g) *The positioning of a shed of that size, which would be better suited to an industrial estate not a residential area, hard up against my boundary, will lower the value of my property.*
- (h) *The view from my backyard where I can see the neighboring trees will now be dominated by the gable end of a huge industrial shed.*
- (i) *I find this whole DA rather unusual in that on the one hand you have the council installing concrete islands in this section of Locke St to reduce the traffic flow in front of the school and at the same allowing the construction of an industrial sized shed which can only be accessed from a lane which is accessed to and from this same section of Locke St.*
- (j) I have concerns as to the real purpose of the shed when the size of the shed, the shape of the doors and to my understanding, Mr. Renshaw has an aircraft business at nearby Raglan airport, are taken into consideration. *My concerns have been further increased by this new DA. The shed has been rotated so that access to the shed is only via the lane and the shed has been moved back to my boundary to increase the turning space.*



This letter has been precipitated by an incident during the removal of trees from Mr. Renshaw's property. There was an historic holden gemini van body of my husbands stored near the fence. Some of the branches of one of the large gumtrees which were being removed hung over the top of the gemini. Some days after the tree removalists had left my husband noticed the front windscreen of the gemini was shattered inwards. The tree removalists had been removing limbs over the top of the vehicle and as they did not inform me of any damage to the vehicle we can only assume the broken windscreen must have been an act of God.

To avoid any further possible distress, from the new positioning of the shed and any further acts of God that may occur during the construction of Mr. Renshaw's shed, I would like to make it clear that there will be no permission given to workers or machinery to enter my property at 35 Locke St Raglan. *Importantly for the above reasons set out under my concerns, I am opposed to the positioning of the shed in this modified DA as I believe this shed will be used for commercial use. I want the shed to be moved away from my boundary and to the northern boundary of Mr. Renshaw's property where it was originally and did not impact anyone. This was the position of the shed in the original DA and where there were no objections.*

We are now pensioners and have lived here amicably with our neighbor's for 40 years. All I am asking is that Bathurst Council continue to provide me with the enjoyable and quiet life of a Bathurst home owner and that commonsense be used when making decisions in regards to this DA.

Rgds K Hogan





10 March 2022

Bathurst Regional Council

158 Russell St

Bathurst 2795

Att Mr Denyer,

**Development Application No. 2021/506**

**Proposed Development: Construction of a shed**

**Premises: Lot: 17 Sec: 11 DP: 758864 37 Locke Street, Raglan**

In response to Mrs KS Hogan letter dated 14 Feb 22 and the amendment letter Council received on the 22 Feb 22.

My response to each point Mrs Hogan has raised in the amendment letter dated 22 Feb 22 is as follows.

- a) The fence will not be removed. That shed wall can be built and sheeted then stood and secured. I have built a double story building in a heritage area of Bathurst up against a brick wall and the neighbouring building less than 1m meter away. With no problems.
- b) We will not require any access to Mrs Hogan's back yard.
- c) Yes, the shed will have water and sewerage. As the house will be rented, if I am at the shed washing the boat or bike access to water and toilet facility's is needed.
- d) I am happy to get a quote from a fencer to replace the fence panels if they were damaged during construction. This quote would be for the width of the shed plus another panel. I would then be happy to place that amount into a bond with council until the shed is completed.
- e) As Mrs Hogan would be well aware there is a lot less leaves and twigs on my property now compared to when I bought it. I like to keep the property well maintained. So, this will not be an issue.
- f) I don't believe the height or position is an issue. The height of the shed 4.5m is about the same as a single-story house roof 4.2m – 4.6m. The height of the fence is 1.8m. Also, the size and height of the gum tress removed under this DA would have caused more overshadowing of the property than the shed will.
- g) The size of the shed is not of an industrial size 12m x 13m. The size of the shed is comparable to a lot of the sheds on blocks of land in Raglan. See 3 sheds in attached "six maps" with red boarder. Mrs Hogan looks to have a shed roughly 15m x 7m in the rear corner of her block. "Blue boarder".
- h) There is a shed that is 10m x 13m on property 44 Godfrey St Raglan. Half of this shed sits on the rear boundary of Mrs Hogan's Property. See attached photo. Also see 2 attached photos from where the shed would be located looking back at Mrs Hogan property from the first photo you can not see her house thru her trees. The second photo see can see maybe 30-40% of her roof. The shed will not take away much of the view.
- i) The access per the DA will be via the side of the existing house. There is already a gate in the fence to the crown road lane. Most residence that has access to this lane have a gate. But this is not a legal access as it is a crown road.



- j) I can assure Mrs Hogan & Council that I have no interest in using the shed for any commercial operations. I intend to store my boat (with wake board tower), bikes, and trailers in the shed. The reason to reposition the shed was to give more of a slope when backing the boat in. Aviation is very tightly controlled industry for me to do any aviation work there, I would need to have CASA approval. The first thing CASA would ask for is approval from Bathurst Regional Council for Aviation Work's to be carried out at a residential location. So, it just can't happen.

Regarding the Holden Gemini and the windscreen damage. I don't believe this has anything to do with the DA but I will address it.

I was not present on the day. I did employ a professional company Agile Arbor Tree Services to carry out this work. This work was carried out in Dec 21 and this is the first I have heard anything about it. If I had been contacted by Mr or Mrs Hogan when it was found a few days after I could have gone to the company and talked to them about it. But it's a bit hard to go to them after 3 months.

I believe the shed meets all council requirements for the location & position on the block. It is not an industrial shed by any means.

For your consideration

Yours Sincerely

Mark Renshaw.





1:1,128

0 15 30m













**BATHURST REGIONAL COUNCIL**

Bathurst Regional Council  
PMS 17  
158 Russell Street  
BATHURST NSW 2795  
Telephone: 02 6333 6111  
Fax: 02 6331 7211  
Email: [council@bathurstregional.gov.au](mailto:council@bathurstregional.gov.au)

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Drawn By: Kylie Denyer

Date: 5/04/2022

Projection: GDA94 / MGA zone 55

Map Scale: 1:1343 @ A4



**PROJECT:**  
27 DOVEY DRIVE, KELSO NSW 2795

**CLIENT:**  
AARON RICHARDSON

**DRAWING LIST**

- COVER SHEET
- SITE PLAN
- ELEVATION PLAN
- GENERAL NOTES
- LAYOUT
- SPECIFICATION SHEET
- BRACING
- CONCRETE PIERS
- SLAB DIMENSIONS
- CONNECTION DETAILS
- FLASHING FIXING DETAILS
- COMPONENT POSITION
- PURLIN AND GIRT PLAN



**LOCALITY PLAN**

NOT TO SCALE

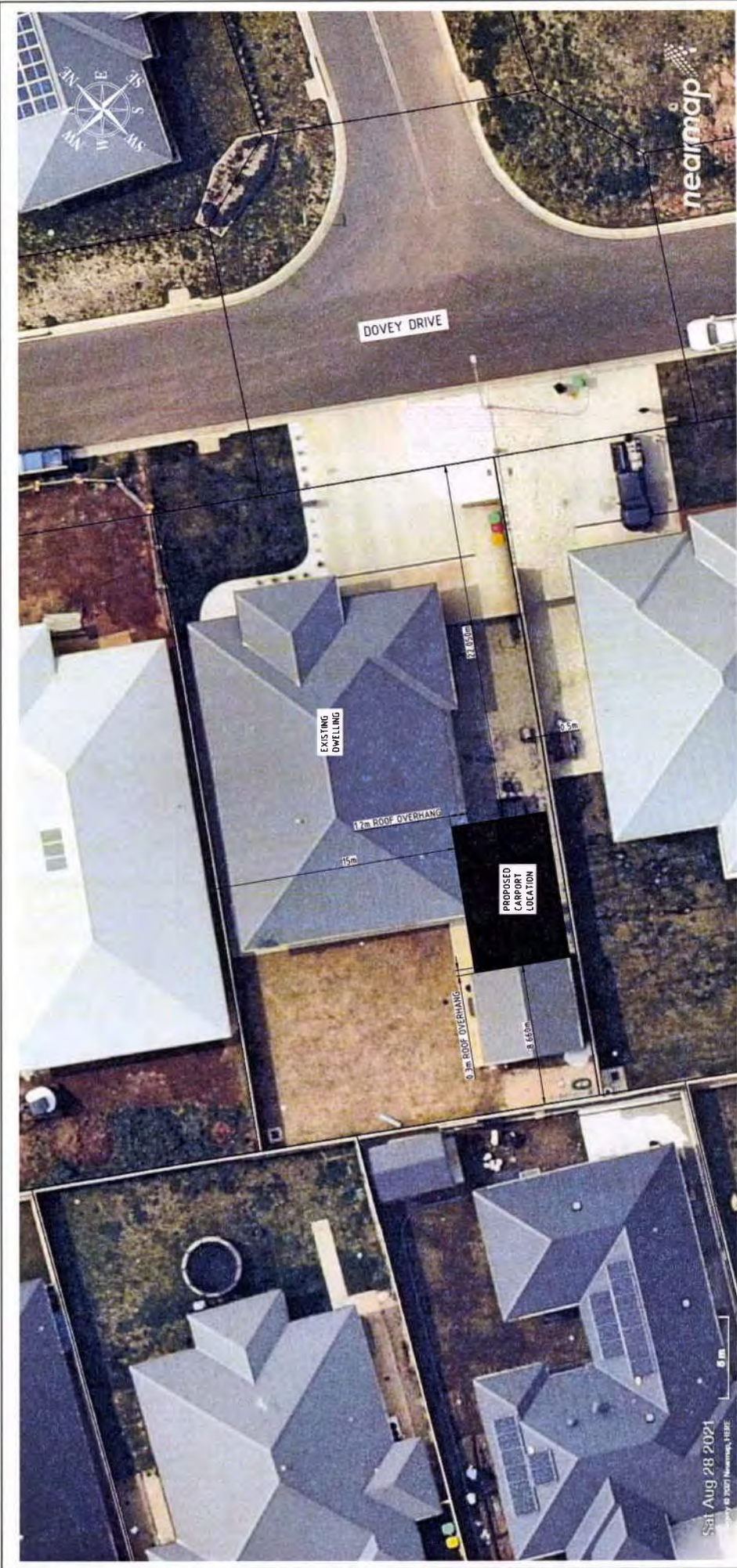
REVISION	DATE	INITIAL	PURCHASER NAME:
A	01/12/21	DS	AARON RICHARDSON
B	17/01/22	DS	SITE ADDRESS: 27 DOVEY DRIVE, KELSO NSW 2795
			PLAN: COVER SHEET



TDS BUILDING NSW PTY LTD  
PHONE: 0446 967 444  
EMAIL: orange@theshedcompany.com.au







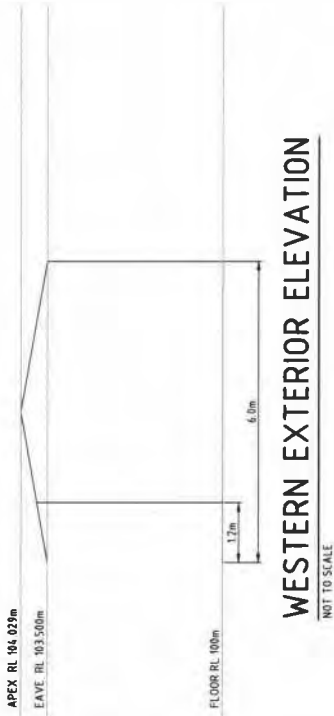
SITE PLAN  
NOT TO SCALE

NOTES:

- ALL OTHER DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED
- DO NOT SCALE OFF PLANS
- SERVICES LOCATIONS WERE DERIVED FROM SITE INSPECTION, DIAL BEFORE
- YOU DIG PLANS AND OBJECTS IDENTIFIED ON AERIAL MAPPING SERVICES
- LOCATIONS ARE NOT SURVEYED AND NOT ACCURATE

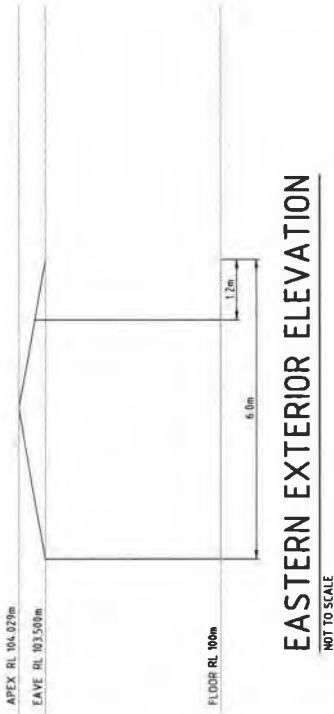
TSC BUILDING NSW PTY LTD PHONE 0466 967 444 EMAIL orange@theshedcompany.com.au							
TDS BUILDING NSW							
PURCHASER NAME AARON RICHARDSON				DATE 01/12/21			
SITE ADDRESS 27 DOVEY DRIVE, KELSO NSW 2795				INITIAL DS			
PLAN SITE PLAN				DATE 17/01/22			
				INITIAL DS			





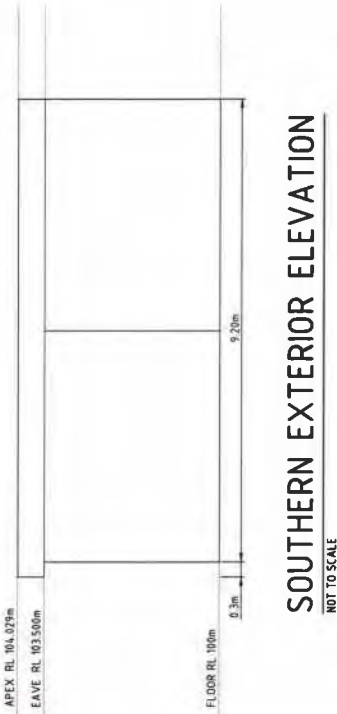
WESTERN EXTERIOR ELEVATION

NOT TO SCALE



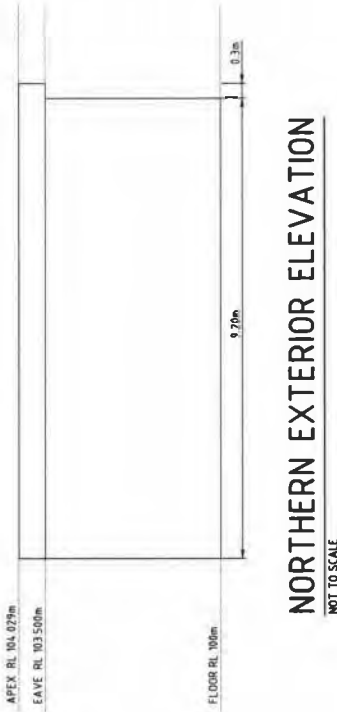
EASTERN EXTERIOR ELEVATION

NOT TO SCALE



SOUTHERN EXTERIOR ELEVATION

NOT TO SCALE



NORTHERN EXTERIOR ELEVATION

NOT TO SCALE

- NOTES:
- ALL OTHER DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED
  - DO NOT SCALE OFF PLANS
  - SERVICES LOCATIONS WERE DERIVED FROM SITE INSPECTION, DIAL BEFORE YOU DIG PLANS AND OBJECTS IDENTIFIED ON AERIAL MAPPING SERVICES LOCATIONS ARE NOT SURVEYED AND NOT ACCURATE

REVISION	DATE	INITIAL	PURCHASER NAME:	ELEVATION PLAN	
A	01/12/21	DS	AARON RICHARDSON		
B	17/01/22	DS	SITE ADDRESS: 27 DOVEY DRIVE, KELSO NSW 2795		
			PLAN:		



TSC BUILDING NSW PTY LTD  
PHONE 0466 967 644  
EMAIL [orange@theshedcompany.com.au](mailto:orange@theshedcompany.com.au)



RESIDENTIAL • RURAL • COMMERCIAL



Mr M August & Mrs K J August  
25 Dovey Drive, Kelso NSW 2795

2 February 2022

Environmental, Planning & Building Services Department  
Bathurst Regional Council  
[council@bathurst.nsw.gov.au](mailto:council@bathurst.nsw.gov.au)

Dear Sir / Madam,

### **SUBMISSION**

**Re: Development Application No 2021/604**  
**Proposed Development: Construction of a carport**  
**Premises: Lot 224, DP1252050, 27 Dovey Drive, Kelso**  
**Name of applicant: TDS Building NSW Pty Ltd**

We refer to your letter dated 21 January 2022 and wish to submit our objection to the proposed development of construction of a carport as per premises stated above.

After downloading & viewing available documentation on Council's online DA tracking system, our reasons for objection are outlined below:

#### **VISUAL IMPACT ON EXISTING URBAN DESIGN**

There is an existing shed 6m in length on the subject boundary, the addition of a carport of length 9.2m that will overlap the shed would create excessive development (>15 metres) along the adjoining northern boundary of our property, with no relief or break between the various building elements. As we are of higher elevation than the subject site, we would also be impacted by glare from the carport's roofline towards our outdoor entertaining space, as is the case with glare at certain times during the day from the existing shed.

#### **LOSS OF PRIVACY & NOISE TRANSMISSION**

Due to the close proximity of the proposed carport along the adjoining northern boundary of our property, we are very concerned that we will lose our privacy & that there will be increased noise transmission that will compromise our enjoyment of our only outdoor entertaining space. On Tuesday 1<sup>st</sup> February, during a discussion with Mr Richardson about the proposed carport he mentioned that the carport will be used as a dual functioning space; to garage a caravan and as an additional entertaining area to existing outdoor patio.

#### **VIEWS TO SURROUNDING LAND**

We note that the Statement of Environmental Effects that was completed by the applicant states on page 3 of 6 that the development is **not** likely to impact on views from adjoining land. *We strongly disagree with this statement* as the current view from inside and outside our house towards Laffing Waters / Mt Rankin would be lost by the addition of a carport overlapping the current shed. Please refer to attached photos on page 3.

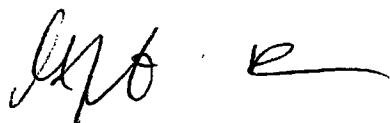


We note that there is a superseded site plan that was submitted to Council which shows the carport some distance from the shed and was alongside the existing dwelling. This would be more suitable as this design would provide relief & break up the excessive development along the northern boundary. It would also maintain the open feel to our outdoor entertaining area for views / breeze and sunlight. Note that the carport is over 4m in height. It would also limit the glare from the carports roof to our entertaining area. Furthermore, if the carport is also utilised as an entertaining area, then it is not directly opposite our entertaining area.

We do not object to a carport to house a caravan but it is the location of this carport and the impacts, ongoing, it will cause for us.

We hope that you please consider our objections & would welcome discussion on any of the points raised.

Yours sincerely,

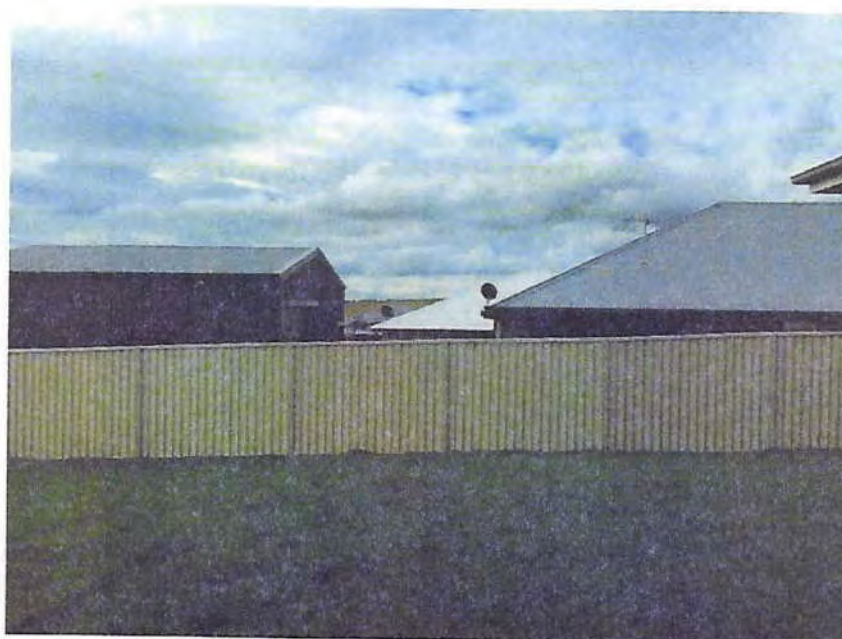
A handwritten signature in black ink, appearing to be 'M. August' followed by a flourish.

Mr M August & Mrs K J August





Picture 1: View from entertaining area to subject site



Picture 2: View from yard to subject site





**BATHURST REGIONAL COUNCIL**

Bathurst Regional Council  
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Drawn By: Kylie Denyer

Date: 6/04/2022

Projection: GDA94 / MGA zone 55

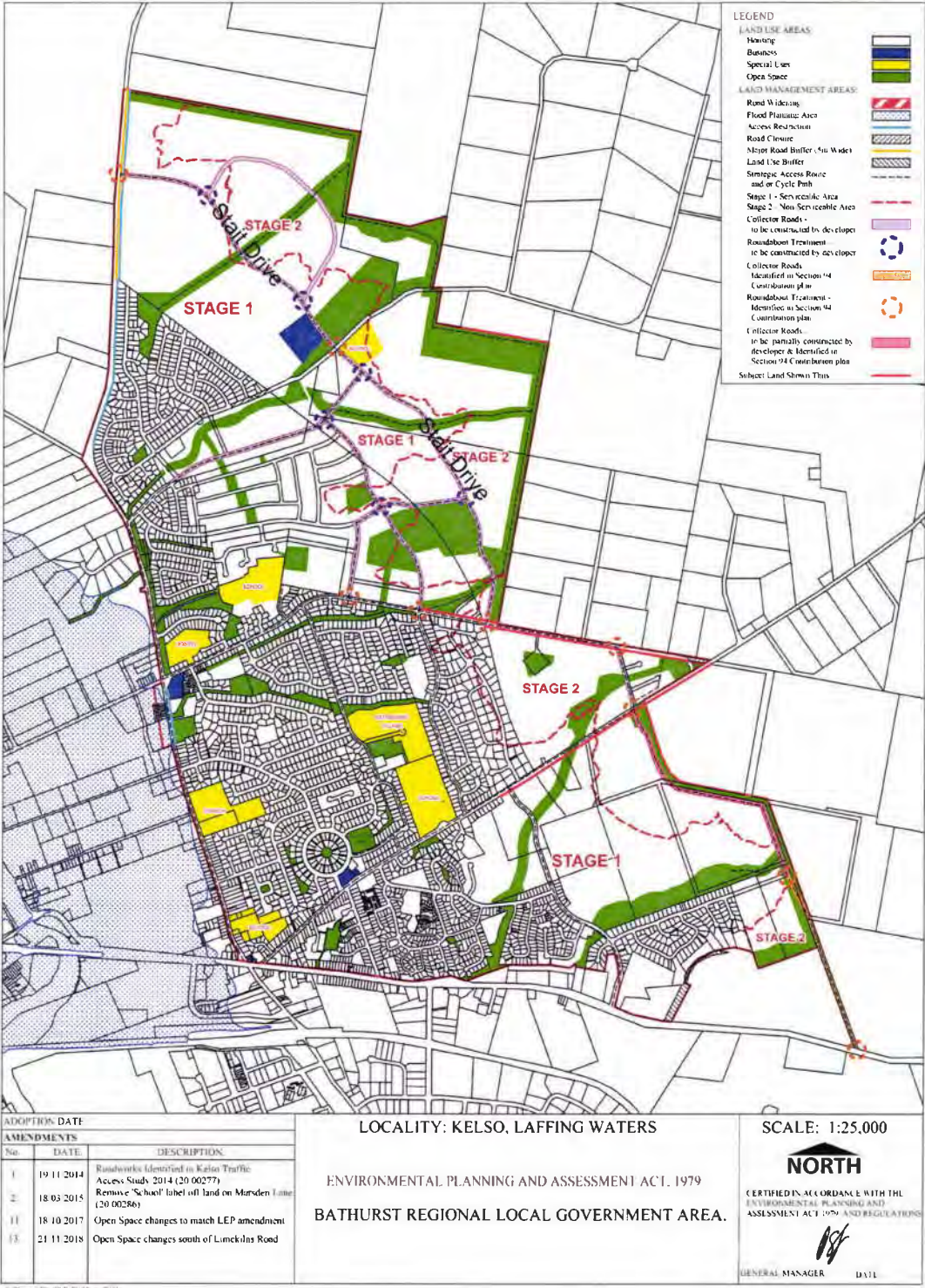
Map Scale: 1:11448 @ A4



Bathurst Regional Development Control Plan 2014

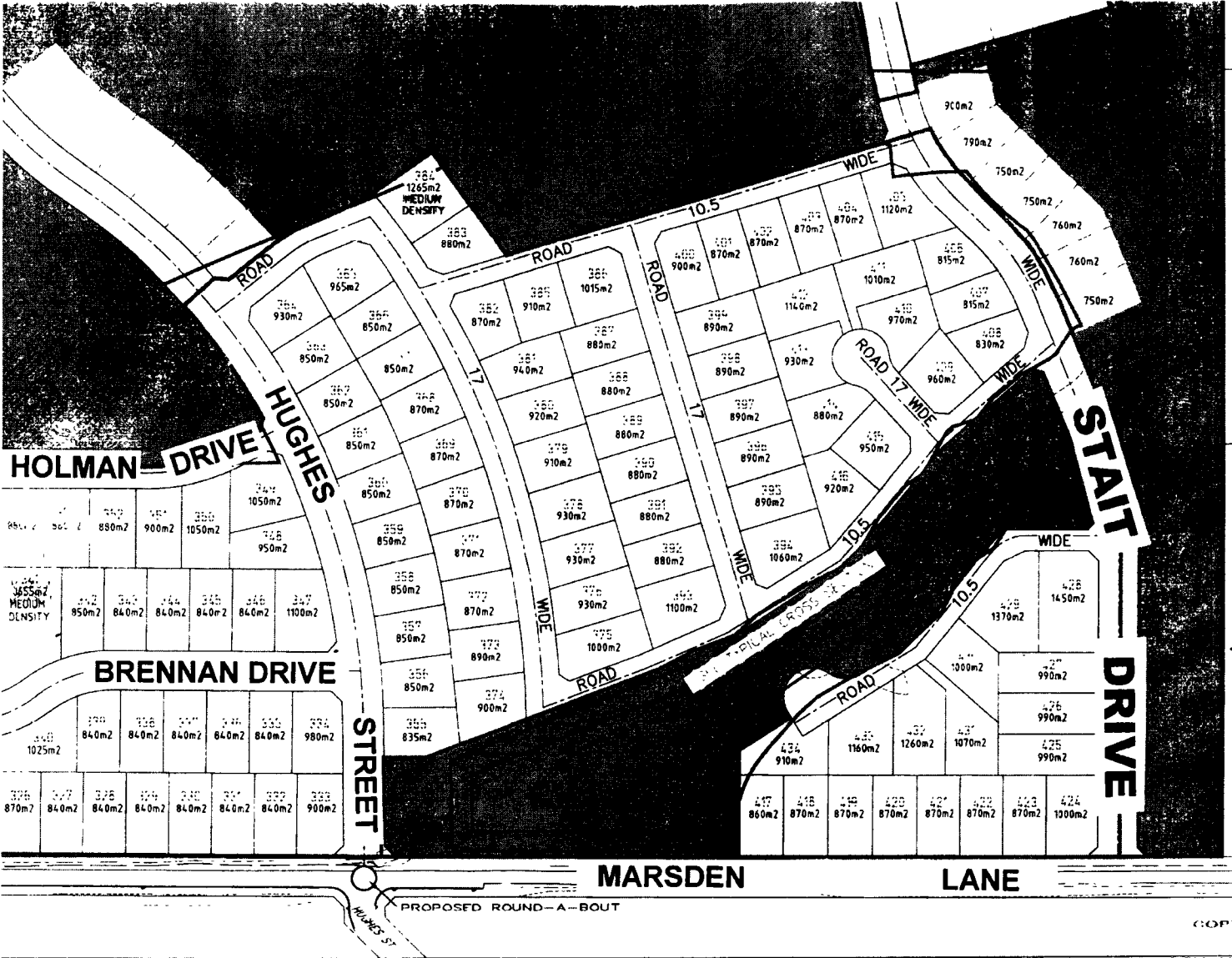
MAP No 4 – KELSO

BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014  
MAP No. 4 - KELSO





MARSDEN HEIGHTS, KELSO  
ROAD NAME PLAN



SURVEYOR: [Name] DATE: 14.11.2018  
HEIGHT DATUM: A.M.D. DRAWN: [Name]

PROPOSED SUBDIVISION - MARSDEN HI  
MARSDEN LANE & LAPPING WATERS





Post-Event Report  
Incorporating  
BizMonth – February 2022  
NSW Small Business Month – March 2022



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### Executive Summary

Due to the Delta outbreak, the 2021 BizMonth was held in February 2022, allowing the vast majority of events to be held with minimal COVID restrictions. A number of events were also held in March to coincide with the delayed NSW Government's Small Business Month, which is normally held annually in October.

This year included many different styles of events ranging from lectures, working groups, forums and the highlight, the BizMonth Business Lunch.

The event partners were Bathurst Regional Council, Bathurst Business Chamber, 2BS/BROCK, Western Advocate and Bathurst City Life.

The BizMonth Lunch sponsors were Commonwealth Bank, VERTO, ATCO, Bathurst Regional Security and NBN Co.

### Key points of interest:

- 155 people attended the BizMonth Business Lunch
- The IBM Launch panel discussion was sold out
- 100 people attended the Welcome Lunch for new residents

### Bathurst Regional Council's BizMonth Framework

Economic Development events create opportunities for business owners and employees to learn, share experiences and network with other business owners and employees in Bathurst.

Bathurst has a strong and diverse business base of 3,507 businesses, with strong growth in manufacturing, construction, education, technology and health industries. BizMonth was created to foster these local businesses with the following objectives:

1. To celebrate business in Bathurst and build an understanding of its importance within the community.
2. BizMonth forms part of Council's Buy Local initiative, including the [Bathurst Buy Local Gift Card](#) program, and encourages the public to support local business. It also encourages professional development through networking events and masterclasses.
3. Enhancing partnership between Bathurst Regional Council, Bathurst Business Chamber, 95.3 2BS and 99.3 B-Rock FM, Western Advocate and Bathurst City Life to promote local businesses.

### BizMonth Vision

*Attract and promote events specifically for businesses and members of the business community to gain new insights, ideas and connections.*

*To promote local business and the importance of buying local to the wider Bathurst community.*



### **Bathurst Regional Council's Community Strategic Plan**

These events meet the following objectives:

#### **Objective 2: A smart and vibrant economy**

*Strategy 2.1 Support local businesses and industry*

*Strategy 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships, and local skill development*

*Strategy 2.3 Develop Bathurst as a Smart City*

#### **Objective 4. Enabling Sustainable Growth**

*Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community*

#### **Objective 5. Community Leadership and collaboration**

*Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life*

#### **Objective 6. Community Leadership and collaboration**

*Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region*



## Economic Profile

Bathurst has a thriving business community that continues to grow and provide a valuable contribution to the region's economy.



### Gross Regional Product

2021 \$2.531 billion  
2020 \$2.479 billion  
NIEIR 2021



### Local Employment

2021 20,721  
2020 20,509  
NIEIR 2021



### Local Businesses

2021 3,507  
2020 3,414  
ABS 2021

Source: [www.economy.id.com.au/bathurst](http://www.economy.id.com.au/bathurst)





### Introduction

BizMonth commenced in 2015 as BizWeek and expanded to a month-long event in 2017 as interest in the event grew.

BizMonth is coordinated by the Economic Development team with assistance from the Bathurst Business Chamber.

BizMonth was due to be held in September 2021 but was postponed to February 2022 due to the Delta outbreak. With the NSW Government also posting Small Business Month from October 2021 to March 2022, the opportunity was taken to spread events over two months. This provided a less congested calendar of events and enabled Economic Development to tap into funding offered by the NSW Government as part of Small Business Month.



**BIZMONTH**  
AN INITIATIVE OF BATHURST REGIONAL COUNCIL

**Launch Event Speaker**

**Steve Davies**  
**IBM**

### **Mission**

*To provide events showcasing the latest in ideas, technology and best practice to the business community of the Bathurst Region and to reinforce the importance of small businesses in the Bathurst economy.*

### **2021 Objectives**

- **Provide a world class speaker - [achieved](#)**
- **Add new business events to the calendar – [achieved](#)**
- **Promote small business in Bathurst – [achieved](#)**
- **Engagement with the Bathurst Business Chamber members – [achieved](#)**

### **Key Personnel**

Jessica Wilkinson – Manager Economic Development, Bathurst Regional Council

David Flude – Business Development Officer, Bathurst Regional Council

Paul Jones – President Bathurst Business Chamber

Janeen Hosemans – General Manager, Bathurst Broadcasters



## Summary of Events Undertaken



### *Tuesday, 08 Feb 22 BizMonth Launch Event*

This sold-out event held at Upstairs was a panel discussion with representatives from IBM, CSU, nbn and Leading Edge. The event was sponsored by nbn.

Moderated by Janeen Hosemans (General Manager Bathurst Broadcasters), this discussion focussed on digital transformation with the following objectives:

- Digital transformation underway in Bathurst – current challenges and future plans
- Understanding the tech space and how it relates to connectivity
- Building tech hubs
- Making Bathurst an IT Centre of Excellence in NSW
- Role of education, private industry, Government in the above

The panel of experts included:

- Chris Cusack – General Manager nbn Local at nbn Australia
- Steve Davies – Client Innovation Centres IBM Australia and New Zealand
- Tom Burton – Chief Development Officer Charles Sturt University
- Chris Thorpe – Chief Executive Officer Leading Edge Data Centres

A blog on the event, including the content from the live streaming, will be uploaded shortly to the [Bathurstliveinvest.com.au](http://Bathurstliveinvest.com.au) site.



### *Wednesday, 09 Feb 22 Councillors Working Party Presentation*

The Economic Development team provided Councillors with an economic update on the Bathurst Economy, highlighting the diverse economy Bathurst has which allows the region to recover quickly from economic disruptions, such as COVID and natural disasters.



### *Thursday, 10 February 22 BizMonth Business Lunch*

Our Business Lunch is the highlight of the BizMonth calendar. Organised by Economic Development, the lunch is a wonderful opportunity for business professionals to network with each other and sit back and relax and hear from a guest speaker.

Held at Bathurst Goldfield's and attended by 152 people, this year's guest speaker was comedian and businessman, Shane Jacobson.

The event's main sponsor was Commonwealth Bank, support sponsors included VERTO, ATCO and Bathurst Regional Security and the associate sponsor was nbn.

Some feedback from the event is detailed below.

*That was GREAT!*

*Congratulations on a very successful Biz Lunch 2022. An inspired and inspiring choice of speaker!*

*Congratulations and thank you so much for organising such an enjoyable event.*

*Shane Jacobson was absolutely the right Guest Speaker and who we all needed to hear from at this point in time!*

*Shane not only spoke well, but was very generous with his time, speaking to many of the attendees present. Thanks again and well done!*



### *Tuesday, 15 Feb 22 Bathurst Careers Expo*

Unfortunately, due to back to school COVID restrictions, this event was cancelled. The 2022 Careers Expo will be held on 9 August 2022.

### *Friday, 18 February 22 Backing Business Forum*

Hosted by Regional Development Australia Central West and sponsored by Bathurst Regional Council. The theme for the 2022 forum was Rediscover and Relaunch, looking at the year that has been, what worked and what did not, and rediscover new tools to help businesses relaunch into the new business age.

This event included a pre-forum networking dinner at The Victoria on Thursday evening attended by the Economic Development team.



### *Thursday, 10 Mar 22 Business After 5 Event Meet Our New Council*

Hosted by Bathurst Regional Council, this event provided the opportunity for Councillors to engage with the new Business Chamber Board and Bathurst Business Chamber members.

An economic update presentation was delivered by Economic Development and was followed by a meet and greet between Councillors and Chamber members.

The event was hosted at the Bathurst Rail Museum and attended by over 40 people.





*Monday, 14 Mar 22 Cultivating and Nurturing Great Retailers Workshop*

The workshop was a collaboration between Bathurst Regional Council and the Bathurst Business Chamber with financial support from the NSW Government Small Business Month grant. The workshop was targeted to Bathurst retailers with a particular emphasis on business located in the CBD.

The Cultivating & Nurturing Great Retailers workshop was presented by Retail Life and included a two-segment interactive workshop;

**Segment 1: Success Starts Here**

Covered the essential elements for building a successful retail business in a ever-changing retail landscape, with the aim of inspiring change and motivating action.

**Segment 2: 3 Seconds to WOW**

Focusing on delivering memorable first impressions. Retailers learnt simple and affordable ideas to create memorable lasting first impressions for customers, including how to elevate store windows with visual tools and set the tone for your business.

In addition to the workshop, Retail Life conducted a range of one-on-one sessions with local retailers at their place of business.

**Feedback**

*Just a note to say how much I enjoyed my visit with Marguerite Bell from Retail life, I have been busy putting her advice into place and my boutique is looking fabulous!*

*The seminar was great with amazing insight into lots of interesting ideas regarding all aspects of business bricks and mortar retail, would love to have Marguerite for another session for sure!*

*A shout out and thank you to Marguerite from @livebreatheretail, and David and Jess from @bathurst\_council and @bathurstbusinesschamber for organising the interactive workshop with Retail Life. Thankyou*





*Sunday, 27 Mar 22 Welcome Lunch (Formerly Welcome Wagon)*

The Welcome to Bathurst Lunch is an event held twice a year to welcome new residents to Bathurst and provide them with the opportunity to meet the Mayor, Councillors and other new residents to Bathurst.

This event is conducted in partnership with the Bathurst Business Chamber.

A change of day and time resulted in the largest attendance for many years. Held at the Bathurst Visitors Information Centre over 50 families attended the lunch.

## Conclusion

BizMonth provides the Bathurst community with the opportunity to celebrate and recognise the success of our local businesses in a collective campaign. As part of Council's Bathurst Buy Local Campaign, this project also encouraged the community to support local business in various capacities including driving local sales growth, motivating business owners to think more creatively and celebrating together to publicly recognise and congratulate our local business leaders.

Jessica Wilkinson  
Manager Economic Development

David Flude  
Business Development Officer



<b>POLICY:</b>	SECTION 94
<b>DATE ADOPTED:</b>	N/A
<b>ORIGINAL ADOPTION:</b>	N/A
<b>FILE REFERENCE:</b>	20.00036
<b>OBJECTIVE:</b>	N/A

---

Council has in place the following Section 94 Plans:

- Bathurst CBD Car Parking
- Bathurst Regional Community Facilities
- Hereford Street
- Jordan Creek Stormwater Drainage Management
- Raglan Creek Stormwater Drainage Management
- Robin Hill Road and Drainage Construction
- Roadworks – New Residential Subdivisions
- Bathurst Regional Rural Roadworks
- Sawpit Creek (East) Stormwater Drainage Management
- Eglinton Open Space and Drainage
- Bathurst Regional Traffic Generating Development
- Bathurst Regional Open Space

Copies of these Section 94 Plans can be obtained from Council's Environmental, Planning & Building Services or its website [www.bathurst.nsw.gov.au](http://www.bathurst.nsw.gov.au).



**BATHURST REGIONAL COUNCIL**  
**INVESTMENT PERFORMANCE**

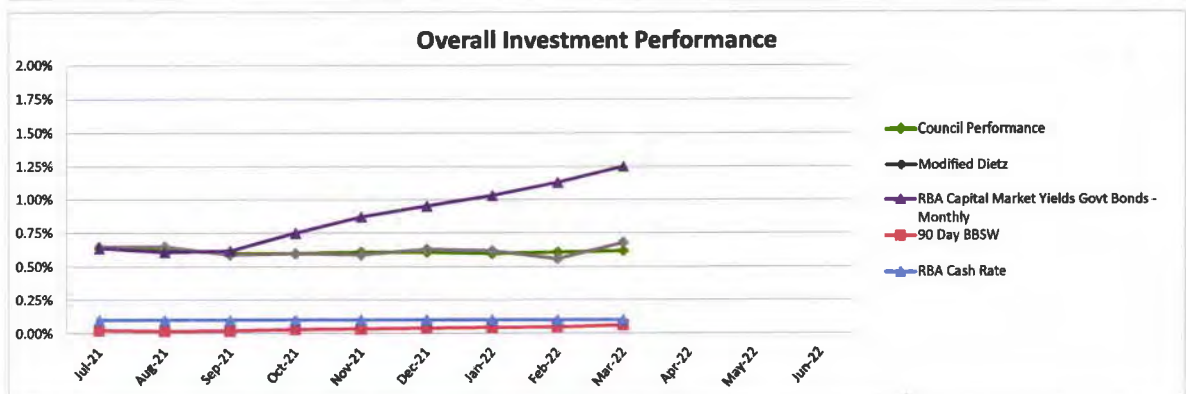
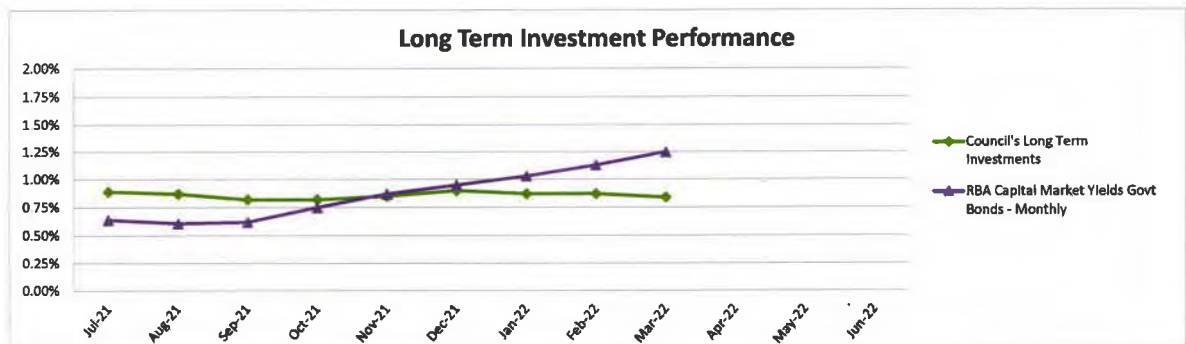
Investment Policy Benchmarks

**Benchmark 1 - The performance of the portfolio shall be against the industry standard 90 Day Bank Bill Index or the official RBA Cash Rate**

Council's current year to date performance compared to the two benchmarks is shown below. Council has outperformed both benchmarks.

Reserve Bank of Australia - Cash Rate	0.10%
AFMA - 90 Day Bank Bill Swap Rate (BBSW) Avg Mid	0.060%
RBA Capital Market Yields Govt Bonds - Monthly	1.25%
Modified Dietz Calculation	0.68%

	Short Term			Long Term		Overall Performance	
	RBA Cash Rate	90 Day BBSW	Council's Short Term Investments	RBA Capital Market Yields Govt Bonds - Monthly	Council's Long Term Investments	Modified Dietz Calculation	Council Performance
Jul-21	0.10%	0.024%	0.57%	0.64%	0.89%	0.65%	0.64%
Aug-21	0.10%	0.018%	0.56%	0.61%	0.87%	0.65%	0.63%
Sep-21	0.10%	0.019%	0.52%	0.62%	0.82%	0.59%	0.60%
Oct-21	0.10%	0.029%	0.51%	0.75%	0.82%	0.60%	0.60%
Nov-21	0.10%	0.033%	0.51%	0.87%	0.85%	0.59%	0.61%
Dec-21	0.10%	0.039%	0.50%	0.95%	0.90%	0.63%	0.61%
Jan-22	0.10%	0.043%	0.50%	1.03%	0.87%	0.62%	0.60%
Feb-22	0.10%	0.047%	0.51%	1.13%	0.87%	0.56%	0.61%
Mar-22	0.10%	0.060%	0.56%	1.25%	0.84%	0.68%	0.62%
Apr-22							
May-22							
Jun-22							





**BATHURST REGIONAL COUNCIL  
INVESTMENT PERFORMANCE**

**2a - Overall Portfolio Credit Framework**

To control the credit quality on the entire portfolio, the following credit framework limits the percentage of the portfolio exposed to any particular credit rating. AMP was recently downgraded from A- to BBB+ on the 27 Aug 2019. Council will reinvest into a complying rated institution at the maturity of these investments.

Short Term	Ratings	Maximum Holding %	Actual Holding %	
	A-1+	100	59%	Complies
	A-1	100	0%	Complies
	A-2	40	35%	Complies
	A-3 or unrated	Note*	6%	Complies
			<b>100%</b>	
Long Term	Ratings	Maximum Holding %	Actual Holding %	
	AAA	100	0%	Complies
	AA+ AA AA- A+ A	100	89%	Complies
	A-	40	0%	Complies
	BBB+ BBB	20	5%	Complies
	BBB- & unrated	Note *	6%	Complies
			<b>100%</b>	

\*Note: For reasons of practicality the number of these investments should be kept to a minimum.

**2b - Institutional Credit Framework**

To limit single entity exposure each individual institution will be limited by their credit rating. AMP was recently downgraded from A- to BBB+ on the 27 Aug 2019. Council will reinvest into a complying rated institution at the maturity of these investments.

	Ratings	Maximum Holding %	Actual Holding %	
CBA	AA-	40	6%	Complies
National Australia Bank Limited	AA-	40	39%	Complies
Westpac	AA-	40	7%	Complies
HSBC	AA-	30	2%	Complies
Suncorp Metway Ltd	AA-	30	7%	Complies
Macquarie Bank Limited	A+	30	3%	Complies
UBS AG Australia	A+	30	1%	Complies
Sumitomo Mitsui Banking Corp	A	30	1%	Complies
AMP	BBB+	5	3%	Complies
Bank of Queensland Limited	BBB+	5	14%	Does not comply
Bendigo & Adelaide Bank Ltd	BBB+	5	3%	Complies
Newcastle Permanent	BBB	5	0%	Complies
Members Equity Bank	BBB	5	8%	Does not comply
Auswide Bank	BBB	5	0%	Complies
Maritime Mining & Power Credit Union	ADI	Note*	6%	Complies
			<b>100%</b>	

\*Note: For reasons of practicality the number of these investments should be kept to a minimum.

\*Credit rating to Auswide Bank issued by Fitch Ratings equivalent Rating by S & P shown.

**2c - Maturity Profile**

The Investment Portfolio is to be invested within the following maturity constraints, Council has successfully met this criteria.

	Term Deposit	FRTD	TCD	FRN	Min %	Max %	Actual %	
Within one year	51,000,000	3,000,000	0	1,000,000	40	100	62%	Complies
One to three years	15,000,000	2,730,000	0	2,700,000	0	60	23%	Complies
Three to Five Years	3,000,000	1,500,000	0	7,100,000	0	30	13%	Complies
Over Five Years	0	0	0	1,700,000	0	15	2%	Complies
	<b>69,000,000</b>	<b>7,230,000</b>	<b>0</b>	<b>12,500,000</b>			<b>100%</b>	

Recommendation: That the report be noted.

**Responsible Accounting Officer**

Aaron Jones  
Director Corporate Services & Finance

Prepared By: Lesley Guy

6-Apr-22

Reviewed By: Tony Burgoyne



# 2021/22 Annual Operational Plan

## Bathurst 2040 Community Strategic Plan

As at 31<sup>st</sup> March 2022

### **Council's Vision:**

**Bathurst: A vibrant and innovative region that values our heritage, culture, diversity and strong economy.**

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As a community it is important to have a plan that outlines what we want and need as a community now and as the region grows. The NSW Government also requires all councils to have such a plan. The Bathurst 2040 Community Strategic Plan (CSP) is the highest level forward planning document of Bathurst Regional Council. It identifies the community's priorities and guides the direction for the Bathurst region over the next 20 years.

Six key objectives have been established in the CSP:

1. Our Sense of place and identity
2. A smart and vibrant economy
3. Environmental stewardship
4. Enabling sustainable growth
5. Community health, safety and well-being
6. Community leadership and collaboration

These objectives are supported by strategies, shown below, aimed at identifying the importance of each objective.

As a 20 year plan, the CSP is not able to be wholly implemented in one term of Council. The Delivery Program represents actions that the Council expects to achieve during the current term of election for the Council, typically four years. This Annual Operational Plan identifies the individual activities and projects that will be completed within the current financial year of the Delivery Program.



## **OBJECTIVE 1: Our sense of place and identity**

- 1.1 Respect, protect and promote the region's Aboriginal heritage assets
- 1.2 Protect, enhance and promote the region's European heritage assets and character
- 1.3 Enhance the cultural vitality of the region
- 1.4 Protect and improve the region's landscapes, views, vistas and open space
- 1.5 Promote good design in the built environment

## **OBJECTIVE 3: Environmental stewardship**

- 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River and other waterways
- 3.2 Protect the City's water supply
- 3.3 Minimise the City's environmental footprint, live more sustainably and use resources more wisely
- 3.4 Protect and improve the region's biodiversity
- 3.5 Increase resilience to natural hazards and climate change

## **OBJECTIVE 5: Community health, safety and well being**

- 5.1 Provide opportunities for our community to be healthy and active
- 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life
- 5.3 Help build resilient, inclusive communities
- 5.4 Make our public places safe and welcoming
- 5.5 Plan and respond to demographic changes in the community

# Bathurst 2040 Community Strategic Plan

## **OBJECTIVE 2: A smart and vibrant economy**

- 2.1 Support local business and industry
- 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development
- 2.3 Develop Bathurst as a Smart City
- 2.4 Support agriculture, local manufacturing, food production and education as significant contributors to the region's economy
- 2.5 Support Mount Panorama as a premier motor sport and event precinct
- 2.6 Promote our City and Villages as a tourist destination

## **OBJECTIVE 4: Enabling sustainable growth**

- 4.1 Facilitate development in the region that considers the current and future needs of our community
- 4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility
- 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region
- 4.4 Provide parking to meet the needs of the City
- 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region
- 4.6 Plan for, assess and regulate development activity

## **OBJECTIVE 6: Community leadership and collaboration**

- 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst Region
- 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently
- 6.3 Advocate for our community
- 6.4 Meet legislative and compliance requirements
- 6.5 Be open and fair in our decisions and our dealings with people
- 6.6 Manage our money and our assets to be sustainable now and into the future
- 6.7 Invest in our people
- 6.8 Implement opportunities for organisational improvement






On the following pages, each of Council's principal activities is shown along with their four year Delivery Program actions and the Annual Operational Plan tasks that will be undertaken. These actions and tasks are linked back to the Bathurst 2040 CSP to show the community how its needs and wants are being delivered.

The table below is a guide to reading the Delivery Program and Annual Operational Plan.

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – this year's Projects / Tasks	Tracking our Progress	Responsible Officer
From the Objectives shown on Page 2	What actions will be delivered to achieve the objective	What specific projects will be undertaken this year to address the 4 year actions	<b>Measurable KPI</b> How we will know when we have achieved our plans	Position Title – Director, Manager, Team Leader

The Performance Measures in this Plan have been rated by the responsible Directors as to their status of completion.

Below is a summary of the Status of all Performance Measures:




In progress – tracking as expected	Needs Attention	Urgent Attention
		
147 / 169	22 / 169	0 / 169
87 %	13 %	0 %



# Engineering Services

The key to developing a sound foundation for growth and prosperity of the Bathurst Region is by ensuring infrastructure needs are keeping pace with demand. The Engineering Services Department has the responsibility to ensure the current needs of the community are met and the capacity exists to cater for future growth. A clean and safe water supply, a quality local road network, and environmentally responsible waste management systems are all high priorities for engineering the future of the Bathurst Region.

## Asset Management



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
4.1 4.2 5.1	Improve pedestrian access within the urban area.	Completion of additional concrete footpaths/cycleways in accordance with the Bathurst Regional Community Access and Cycling Plan 2011.	500 lineal metres of footpath and/or cycleway completed.	Manager Works	Bant Street Lewins to Busby 166m Stanley St George to Rankin 200m Rankin St Stanley to Morrisset 200m Browning St William to George Park 50m Charlotte St 40m Graham Dve to Mendel Dve 300m complete Piper St – Havannah to Seymour 200m complete Lambert St – Stewart to Rankin 50m complete Rocket St – Stewart to Rankin complete Halfpenny Drive – 200m Gilmour to Newell complete Peel Street – Keppel to Piper 200m complete	
		Monitor condition of footpaths.	100% of urban footpath inspected	Manager Works	Level 1 (CBD) – 100% as at 26/10/20 Level 2 – 100% as at 23/7/20	
4.1 4.5	Maintain and improve the existing road infrastructure consistently throughout the network.	Improvement of road infrastructure to upgrade sub-standard sections of the sealed network.	Reconstruction and resealing works as per Council's 2021/2022 capital works and routine maintenance programs.  Completion of 2021/2022 Roads to Recovery Program.	Manager Works	The Bridle Track Widen and seal 500m approach to Howards Bridge – Complete Limekilns Rd Reconstruct, widen and seal 2km – Complete Limekilns Rd Stage II Reconstruct, widen and seal 2km – Complete 2km rehabilitate widen and seal on Freemantle Rd – Complete	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status																			
					1km rehabilitate widen and seal Rockley Rd – Complete 1.5km Freemantle Rd Stage II complete 2.2km Bridle Track rehabilitate, widen and seal – Complete 4km Turondale Rd widen and seal 3km complete 1.5km sealing of Redhill Rd – Complete Reconstruction of Prince street Perthville between Bathurst and Rockley Sts – Complete 1km reconstruct Hen&Chicken Lane complete																				
		Renewal of gravel road surface throughout the network.	Completion of 2021/2022 Unsealed Roads Gravel Resheeting program.	Manager Works	In progress/ongoing	<div><div></div><div></div><div></div></div>																			
		Undertake maintenance program in accordance with allocated budget.	Greater than 90% of the urban road network remains at condition index 3 or above.	Manager Works	<div>Complete (last assessment 2019, next assessment due 2023)</div> <table><thead><tr><th></th><th>Percentage</th><th>Condition Rating</th><th></th></tr></thead><tbody><tr><td>Excellent</td><td>35.0</td><td>1</td><td rowspan="2">96%</td></tr><tr><td>Good</td><td>38.9</td><td>2</td></tr><tr><td>Fair</td><td>22.1</td><td>3</td><td rowspan="3">4%</td></tr><tr><td>Poor</td><td>3.9</td><td>4</td></tr><tr><td>Bad</td><td>0.1</td><td>5</td></tr></tbody></table>		Percentage	Condition Rating		Excellent	35.0	1	96%	Good	38.9	2	Fair	22.1	3	4%	Poor	3.9	4	Bad	0.1
	Percentage	Condition Rating																							
Excellent	35.0	1	96%																						
Good	38.9	2																							
Fair	22.1	3	4%																						
Poor	3.9	4																							
Bad	0.1	5																							
4.1 4.3	Protection of urban areas on the Bathurst Floodplain	Completion of flood mitigation works as outlined in the Georges Plains Flood Management Plan.	Substantial Completion of Design and Environmental Assessment	Manager Technical Services	Funding Grant application through NSW Government Floodplain Management Program in 2020/21 unsuccessful. Further application has been made in 2021/22 program, decision pending.	<div><div></div><div></div><div></div></div>																			






### Mount Panorama




Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.4 6.5 6.8 2.5	Increase profile of Mount Panorama as the premier motor racing venue in Australia.	Construction of optic fibre communications loop	Installation of Optic fibre network to Mount Panorama Circuit as per 2021/2022 Capital Works Plan	Director Engineering Services	Current budget allocation will complete 1,700m of conduit. This will complete 5,640m of installation, leaving approx. 1,000m of conduit to be installed from future budgets.	
		Development of the second circuit	Development Consent obtained.	Director Engineering Services	Masterplan Complete. Preliminary Design Complete Aboriginal Cultural Heritage Assessment completed. Draft Environmental Impact Assessment completed, has been submitted to NSW Planning for adequacy review prior to lodgement. Community Consultation completed for EIS drafting. Detailed design and EIS completed Jan 2022. Ready for lodgement with EIS to NSW Planning.	






## Water, Sewer and Waste

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
3.2 3.3 3.5 4.3 6.2 6.6	Maintain and upgrade existing water and sewer infrastructure to meet the needs of all stakeholders into the future.	Operate, maintain, repair and upgrade Water Filtration Plant.	Achieve the Australian Drinking Water Standards 90% of the time.	Manager Water and Waste	Water Filtration Plant daily operations are ongoing, with maintenance and repairs conducted as required. The treatment processes are constantly monitored through a SCADA system and reviewed daily by staff.  To 31 January 2022, 1,235 tests were undertaken (through NSW Health Laboratory plus Council monitoring for fluoride) there was 98.3% compliance with Australian Drinking Water Guidelines.	
		Operate, maintain, repair and upgrade water distribution system.	Customer complaints regarding flow and pressure are kept below 52 p.a.	Manager Water and Waste	Water distribution system operations are ongoing, with monitoring, maintenance and repairs conducted as required.  The water main in Mountain Straight, Mount Panorama has now been re-laid.  Significant reservoir improvements have been completed, with further work planned, to continue to improve the integrity of the drinking water system around Bathurst.  To 31 January 2022, complaints regarding flow and pressure were 8 for the 2021/22 year.	
		Respond effectively to discoloured water complaints	100% of complaints investigated, actioned, and resolved.	Manager Water and Waste	Complaints regarding discoloured water are investigated, actioned, and resolved as soon as possible.  Complaints regarding discoloured water for period 1 July 2021 to 31 January 2022 were 23.	





Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Review, update and adhere to Drinking Water Management System (DWMS).	Australian Drinking Water Guidelines & DWMS compliance reported 6 monthly.	Manager Water and Waste	<p>A Drinking Water Management System (DWMS) document has been completed and is in effect. Details on addressing the actions to ensure continuous improvement are being documented.</p> <p>An internal review of the Drinking Water Management System's Critical Control Points (CCPs) is undertaken weekly and monthly. Continuous external monitoring of CCPs is undertaken externally by D2K Information Pty Ltd. CCP performance for the current financial year to 31 January 2022 averaged 98.3%.</p>	
		Winburndale Dam Flood Security Upgrade	Project is constructed and commissioned	Manager Water and Waste	<p>Work on this Tendered Item is progressing with work on the dam crest drilling underway and is over 79% complete as at the end of January 2022.</p> <p>A second project scope change request has been lodged, with a negative response being received and this is being followed up. Additional correspondence has been sent to DPIE.</p> <p>The project scope, cost &amp; timeframe have all been extended as significantly different foundation rock was encountered (than was found during geotechnical investigations) along the dam toe once onsite work commenced.</p>	
		Stormwater Harvesting Project Stage 1	Project is constructed and commissioned	Manager Water and Waste	<p>Survey, design reports and approvals are being progressed for this project, tenders have been advertised and are currently open to selected contractors who are pricing the proposed works.</p> <p>Tenders closed 27 July 2021, and assessment continues.</p>	




Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Review and update existing Best Practice Guidelines plans as required.	Best Practice Guidelines compliance reported quarterly.	Manager Water and Waste	<p>There are no new Best Practice Guidelines introduced since the 2007 Best Practice Guidelines.</p> <p>Compliance remains at 100%.</p> <p>See below for a new direction from DPIE in the form of a Roadmap, which is not yet implemented.</p> <p>In October 2021 DPIE has released their Roadmap to an improved regulatory framework for local water utilities, which will replace the Best Practice Management Framework. The implications and impacts on Council are being reviewed, and monitoring of this continues.</p>	
		Continue implementation of Trade Waste Policy.	Maintain approvals at over 90% of active businesses	Manager Water and Waste	<p>Trade Waste Policy is current, has been approved by NSW Office of Water, and adopted by Council.</p> <p>As of 31 January 2022, there were 336 approvals in place, with 361 active businesses (93%).</p> <p>The recently released 2021 Liquid Trade Waste Management Guidelines from DPIE are being reviewed to determine whether any changes are required.</p>	
		Monitor and action developments from State Government regarding changes in the Best Practice Guidelines	Review Guidelines monthly, then action as required.	Manager Water and Waste	<p>The existing level of compliance with the Best Practice Guidelines is 100% for both Water and Sewer.</p> <p>The review of further initiatives will be commenced, once DPIE advises the outcomes of their proposed review of the guidelines.</p> <p>In October 2021 DPIE has released their Roadmap to an improved regulatory framework for local water utilities, which will replace the Best Practice</p>	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					Management Framework. The implications and impacts on Council are being reviewed, and monitoring of this continues.	
		Prepare reports and studies for Winburndale Dam and Chifley Dam to achieve compliance with Dams Safety NSW regulatory requirements.	Compliance with Dams Safety NSW requirements reported 6 monthly.	Manager Water and Waste	<p>For both Chifley and Winburndale, a Dam Safety Emergency Plan is in place.</p> <p>Chifley Dam is safe to withstand a 1 in 1,000,000-year flood event.</p> <p>A surveillance inspection of Chifley Dam was undertaken in December 2021. Winburndale Dam surveillance inspections are on hold for the next 12 months during the construction period.</p> <p>Winburndale Dam is not yet safe to withstand a 1 in 100,000-year flood event, however detailed design is complete, the tender has been awarded and construction has commenced and is well advanced to significantly improve the dam safety.</p> <p>Grant funding was sought through the NSW Safe and Secure Water Program. Council has been successful in procuring \$2.225 million towards this project under the Program.</p> <p>A tender was awarded at the 3 July 2019 Council Meeting to EODO for Winburndale Dam Safety Upgrade. Work is currently over 79% complete for the project at the end of January 2022.</p>	
		Work with CNSWJO on Water Utilities Alliance goals	<p>Meeting attended.</p> <p>Relevant projects supported.</p> <p>Goals delivered.</p>	Manager Water and Waste	<p>Work is continuing, through meetings and projects. Alliance Business Plan has been developed and adopted. Bi-monthly meetings attended online, with other projects and correspondence dealt with as required.</p>	





Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Operate, maintain, repair and upgrade Waste Water Treatment Works to comply with licence conditions.	Achieve over 90 % compliance with EPA licence conditions.	Manager Water and Waste	<p>Wastewater Treatment Works operations are ongoing, with maintenance and repairs conducted as required.</p> <p>A new biosolids contract commenced on 01 October 2021 and until 31 January 2022, 3274 tonnes of biosolids have been delivered to site under the new contract.</p> <p>The relining the major incoming sewer carrier mains and is 100% complete as at the end of January 2022.</p> <p>A trial to limit discharge odours from Sewer Pump Station no 2 commenced in November 2021 initial results indicate a positive result. Continued monitoring is on going</p> <p>Plans for minor upgrades are underway. Daily and weekly sampling and monitoring of the plant's performance are continuing, with internal and external testing performed.</p> <p>Ongoing testing of wastewater discharged to the Macquarie River as per EPA Licence 1647 for the period commencing 1 April each year continues. For the licence year commencing on 1 April 2021, 344 tests were completed till 31 January 2022, and 98% compliance achieved.</p>	







Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Continue program of sewer main CCTV inspection, and lining if warranted	Mains where blockages or overflows occur are inspected	Manager Water and Waste	Identification of appropriate locations for CCTV pipe inspection is ongoing through customer issues, staff advice and development proposals.  Any issues found are scheduled for repair or replacement as required.	
		Identify, plan and undertake water and sewer construction works.	Complete capital works program	Manager Water and Waste	Liaison with Technical Services staff to obtain advice on road projects and / or developments is continuing.  The aim is to ensure water and sewer services are relocated prior to RMS or BRC projects commencing.	
1.4 3.3 4.3 6.2 6.6	Maintain and upgrade existing waste infrastructure to meet stakeholder requirements.	Replace waste collection vehicles on a 4-yearly cycle.	One waste collection vehicle replaced	Manager Water and Waste	The waste collection vehicle fleet is up to date.	
		Review Waste Management Centre filling plans to ensure the optimum long-term strategy is delivered, and to enable future planning timelines to be developed.	Survey and monitor the remaining air space of the landfill annually.  Air space reduction minimised.	Manager Water and Waste	A stormwater management audit of the WMC has been conducted by EPA staff. A review has been conducted by an independent consultant. The final report has been received and recommendations are being put into effect. Aerial survey was completed on 19 April 2021 which is done annually to monitor actual fill and the final fill plan.	
2.2 3.3 6.1 6.2 6.6	Reduce waste to landfill.	Work with NetWaste on waste projects and opportunities, for greater diversion from landfill and increased efficiencies.	Meeting attended.  Relevant projects supported and delivered.	Manager Water and Waste	Several ongoing projects are supported, with bi-monthly meetings attended online.  New projects or opportunities are assessed as they arise.	






Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					Almost all options available to Bathurst Regional Council through NetWaste are supported. Examples include recycling of waste tyres, mattresses, Household Chemical Cleanout, Waste 2 Art and collection and recycling of scrap metal. Recycling and organics collection service started in April 2016. The contract is proceeding well. A textile recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.	
		Council to continue education and promotion of appropriate WasteWise behaviours regarding green waste and recycling. Promote recycling to maximise diversion from landfill.	10 recycling promotion and education programs run.  Monitor combined diversion and report 6 monthly.	Manager Water and Waste	For 2021/22 to the end of December 2021, food and garden tonnage is 2935 and recycling is 1228 giving a total of 4163 tonnes.  23226 tonnes of food and garden waste have been sent for composting in the first 69 months (April 2016 to December 2021).  Combined with recycling, totals show a diversion from landfill of over 36,671 tonnes, or over 36.6 million kilograms over this time.  Sustainability is one focus area where education works are continuing, and the recycling contract education strategies are also underway.	
		Identify, assess and implement appropriate diversion opportunities.	Opportunities reviewed to determine cost/benefit and reported 6 monthly.	Manager Water and Waste	Council participates in 8 NetWaste Regional collection contracts being used - motor oil, wood/timber processing, landfill environmental monitoring, regional waste services, tyres, household chemical cleanout, and mattress recycling. Scrap metal and E-waste recycling is continuing with a separate Council arrangement.	



## Recreation

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
1.4 5.1 5.5	Plan for increasing population and aging population in the provision of suitable recreational projects	Construct additional facilities as determined in budget.	Construction of 5 & 6 <sup>th</sup> sports fields at Hereford Street	Manager Technical Services	Field construction contract awarded. On site works have commenced. Main infrastructure works completed, including subgrade works and irrigation. Works progressing with intermediate soil layer. Delays being experienced due to regular rainfall, which is delaying installation of top sports field sand profile and turfing, resulting in turf rescheduled for Late April 2022, pending upon season temperatures.	
		Update sporting venues, including associated infrastructure.	Replacement of synthetic turf surface to 2 courts – John Matthews Tennis Centre	Manager Recreation	Budget reallocated to Macquarie View Tennis club house due to the need for essential repairs. Scope of works and specifications being finalised. Designs finalised with Macquarie View Tennis Club and expected to call quotations by April 2022, with works completed by end June 2022.	
		Update parks including associated infrastructure.	Reconstruction of the playing field – Bathurst Sportsground	Manager Recreation	Field construction contract awarded. On site works have commenced. Main infrastructure works completed, including subgrade works, irrigation and final sand layer. Turfing commenced, however delayed due to flooding at turf farm. Anticipate turfing to be completed by end of April 2022.	
			Construct stage 1 of Centennial Park Masterplan	Manager Recreation	Tenders closed 26 October and reported to Council on 16 February 2022. Council resolved not to accept the only tender submission due to high price. Council also resolved to make further funding available in the 2022/23 Operational Plan and call tenderer again in the 2022/23 financial year.	
1.4 5.1 5.5	Maintain existing and future recreational areas.	Maintain existing levels of service to all parks, reserves, open space areas and other recreational facilities	Maintenance activities undertaken to all recreation Assets in accordance with adopted	Manager Recreation	Ongoing as part of adopted maintenance service levels and funding provisions of the current Council Operational Plan.	





			maintenance service levels in the Asset Management Plan.			
1.4 5.1 5.5	Continue environmental programs identified within the Bathurst Vegetation Management Plan	To ensure that appropriate Environmental Management Plans for the Bathurst Region are current, relevant and provide long term strategies for the Region	Arrange for 11 Tree Planting and volunteer engagement activities.	Manager Recreation	Community and volunteer tree planting proposed to commence in August 2021 has been postponed due to Covid restrictions and Bathurst Lockdown orders. Volunteer programs recommenced in January 2022. Five planting days have been held in total this financial year.	
			Complete the revegetation component of the Queen Charlotte's Vale Creek Grant Project	Manager Recreation	Revegetation site protection fencing complete. Stage 1 of woody weed control commenced in December 2020. Plant supply contract awarded. Community planting recommenced in January 2022 with school programs anticipated for April 2022, and main contract planting to commence in May 2022. Expect completion of all on-site works under this grant by June 2022. Works also to include a 12 month maintenance program which will expire March 2023.	
			Develop a Vegetation Plan Of Management for Brooke Moore Woodland Reserve	Manager Recreation	Draft plan developed and presented to Council in August 2021. Plan placed on public exhibition and closed September 2021. Council adopted the Vegetation Plan at its October Ordinary Meeting 2021. Project complete	





# Corporate Services & Finance

Looking after its staff and ensuring open and transparent government is the main priority at Bathurst Regional Council. Council employs approximately 378 full time equivalent staff in 20 locations and attracting and keeping good people is our priority. For the fourth time in succession, in the bi-annual Employee Opinion Survey, Council rated above the Australian Local Government Industry Standard for employee satisfaction.

## Human Resources

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.1 6.2	Establish and build on effective networks with other councils to identify areas for operational improvements and efficiencies.	Participate in cross-functional teams with CNSWJO and LGNSW HR network to identify opportunities for efficiencies and best practice.	Participation of HR Team members in relevant HR meetings and networking opportunities working with relevant committees and sub-committees to ensure developing & implementing HR best practice.	Manager Human Resources	Council HR continues to regularly meet with other Councils within the NSW JO area as part of quarterly HR Group meetings, to discuss current HR issues and exchange ideas for improved service delivery. In addition, we also regularly meet now with the WHS and Training Development groups. HR meetings with "Evo-city" council HR are also ongoing as all Councils of similar size to BRC. Quarterly meetings facilitated by LGNSW are also attended by HR staff. The two HR Business Partners are attending the LGNSW HR conference. This conference is not only a great development opportunity for the staff involved (and hence Council) but also an excellent networking opportunity.	
1.1 5.3 6.4 6.7 6.8	Ensure all staff complete induction training, ongoing compliance updates and professional development.	Continue building on improvements made to the staff induction program, onboarding and performance areas. Develop and implement Training & Development policy and supporting plan.	Training & Development Policy and plan implemented. Management KPI implemented for staff compliance training.	Manager Human Resources	The new staff induction program has now been implemented with a focus on providing all new staff with a positive and informative (and compliant) start to their time with Council. In addition, an improved recruitment and onboarding process has also recently been developed & implemented. Computer terminals have been set up at the Depot training area to further improve training opportunities for our outdoor staff and maximise use of our e-	







Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					learning platform. This should support all staff to complete their required compliance training during their probation period with an aim to have most staff completed within their first month of employment Changes to the post recruitment through to end of probation have also now been further streamlined. Plans to review and improve the recruitment process will be commenced later in 2022. Work to develop the Employee Engagement Program and Workforce strategy has commenced.	
<b>6.2</b> <b>6.4</b> <b>6.7</b> <b>6.8</b>	Provide a range of education and training opportunities for Council's workforce.	Implement targeted position to support education & training of BRC staff.  Develop and implement BRC Training policy and plan.  Implement plan.	Training & Development now centrally co-ordinated across Council.  Training & Development policy and plan implemented.	Manager Human Resources	The Performance Appraisal process implemented in 2020 has been further streamlined. Further improvements based on feedback continue to be made. Improvements in relation to education & training have been implemented as part of this process, including dedicated resource to support co-ordination of staff training & development. The BRC Training Plan has also now been developed and adopted. The BRC Workforce strategy and supporting action plan has been drafted.	
<b>6.7</b> <b>6.8</b>	Develop and implement programs and initiatives to foster a strong leadership culture.	Review current framework that underpins leadership capability and identify areas for improvement.  Focus on improvement of Employee Engagement Programs and supporting training.	Management to leadership training arranged for all Managers.  Employee Engagement policy drafted.  Training & Development policy and plan implemented.	Manager Human Resources	A full review of this area has now commenced with plans to development an Employee Engagement Program covering all aspects of the employee lifecycle and focus on career development and succession planning. The Employee Engagement policy has now been approved through Dept. Heads. Further improvements will continue to be implemented as part of the revised Performance strategy across all staff levels. Targeted Senior & Middle Management training has commenced with stage 1 of this training completed as well as second round coaching sessions. The focus on	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					2022 will be connectiveness. This new phase commenced Mid March 2022.	



## Governance

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.4 6.5 6.8	Ensure Council policies reflect community needs and organisational requirements.	Regular review of Council's policies (Policy Manual).	Individual Policies reviewed for relevance and compliance with statutory requirements	Manager Corporate Governance	All Council policies are undergoing review. Policies are then forwarded to Council meetings for adoption. Program continuing.	
6.4 6.5	Implementation of the Government Information Public Access Act (GIPA Act)	Provision of Contract Register on Council's website.	Register updated monthly.	Manager Corporate Governance	Online Contract Register is available. We continue to review opportunities for improvement.	
		Action requests for information under GIPA Act.	Information requests (formal and informal) actioned in accordance with statutory guidelines.	Manager Corporate Governance	1 application received in July 2021. Application has been processed. 1 application received in August 2021. Application has been processed. 1 application received in September 2021. Application has been processed. Nil applications received in October 2021. 4 applications received in November 2021. Applications have been processed. Nil applications received in December 2021. 1 application received January 2022. Application has been processed. 1 application received February 2022. Application has been processed. 2 applications received March 2022. Applications have been processed.	
4.3 6.4	Ensure Council's continuity of operations.	Review of Disaster Recovery Plan and Business Continuity Plan.	Plan reviews completed	Manager Corporate Governance	Information Services Disaster Recovery Plan scheduled to be tested on 21 August 2021 has been deferred for testing once again. A suitable date for testing has been delayed due to covid-19 restrictions. Testing has been deferred to a later date yet to be set in early 2022.	







## Information Services

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
2.3 2.5 6.8	Improve long-term viability and availability of electronic data for both the current and long term.	Perform Penetration testing to ensure the security of BRC Data	Allcom Networks were engaged to perform the Penetration testing	Manager Information Services	Penetration testing was performed on the week of the 6 <sup>th</sup> of December. Council has received the testing report. This testing included external and internal penetration testing. Council's IT section is currently creating a plan to correct the issues identified.	
		Implement Multi Factor Authentication for all staff that require external access to BRC data and systems.	Multi Factor authentication purchased, configured and deployed to staff.	Manager Information Services	Multi Factor authentication has been deployed to all staff. However, some staff have not activated it. A review will be undertaken by June 30, 2022, to ascertain if those staff need access to Office 365.	
		Implement a regimen of Cyber Security training for all staff at BRC.	Cyber Security training purchased, and training program implemented.	Manager Information Services	Training has been purchased and a schedule has been developed. Training will now continue on a rolling basis.	
		Implement regular backup to cloud based data repository to defend BRC against ransom ware attack.	Cloud storage for backups implemented and regular backups instigated.	Manager Information Services	An immutable storage device has been purchased and configured. Backups to this device have begun	
		Develop and implement Cyber Security Framework and ancillary documents to guide BRC's cyber security program	Cyber Security Framework developed and approved by the General Manager	Manager Information Services	Cyber security framework and documents have been developed and are in draft. These documents will be sent to Cyber Security NSW for review. It is intended to have the framework completed and implemented by June 30 2022.	
		Implement cloud based VOIP telephone system.	Phone system installed and functioning.	Manager Information Services	The new VOIP phone system has been pushed to fiscal year 21-22 due to resource limitations and COVID-19.	
		Perform Disaster Recover testing at BRC's DR site.	Tests performed and results reported to General Manager.	Manager Information Services	Full DR testing is being rescheduled due to COVID-19 lock down and other factors. After testing a report will be written detailing the results obtained.	
2.2 2.3 2.6 5.2	Support the Smart Cities project.	Implement Stage 3 of CBD CTV	System installed and functioning.	Manager Information Services	Stage 3 of the CBD CCTV system has been installed and is operational.	




## Finance

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.1 6.6	Ensure Council's long term financial sustainability.	Review need for special variation in rate income.	Long Term Financial Plan complete and adopted by Council.  Special Rate Variation considered by Council.	Manager Financial Services	Long Term Financial Plan completed for 2021/22.  Council has not applied for a special rate variation for 2022/23 Operating/Delivery Plan.	
		Improve Council's cash flows.	Rates and Charges Outstanding Ratio less than 10%.	Manager Financial Services	As per 2020/21 Financial Statements achieved 6.29%  (2019/20 6.49%) (2018/19 6.22%) (2017/18 6.17%) (2016/17 5.68%) (2015/16 5.85%)	
		Ensure Council's level of debt is manageable.	Debt service cover ratio greater than 2.	Manager Financial Services	As per 2020/21 Financial Statements achieved 1.71 times (2019/20 1.06) (2018/19 2.17) (2017/18 3.66) (2016/17 4.12) (2015/16 3.95)	
		Maximise invested funds within prudential guidelines.	Outperform monthly 90 day bank bill swap rate.	Manager Financial Services	At 31 <sup>st</sup> March 2022 current year average:  • Investment earnings – 0.62% (2020/21 average 0.79%) • 90 day Bank Bill Swap Rate – 0.060%	



# Events

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
<b>1.3</b> <b>2.1</b> <b>2.2</b> <b>2.5</b> <b>2.6</b> <b>5.2</b> <b>5.3</b> <b>6.3</b>	Coordinate and deliver events to enhance the cultural life of residents and promote the Bathurst Region	Deliver events including New Years Eve, Australia Day, Bathurst Cycling Classic, NRL game, Bathurst 1000 off track events.	90% or more of residents attend an event.	Manager Events	<p>July</p> <ul style="list-style-type: none"> <li>Successfully delivered the Bathurst winter festival with the out door ice rink, illuminations, food and wine events, music, entertainment, business engagement, rides and community spirit.</li> <li>The festival presented many challenges with major construction works for the Court House changing the illumination locations and layout of the whole festival. One day one of the festival, the NSW Government put Sydney into lockdown due to Covid 19 threats and introduced new restrictions. These restrictions reduced capacity on the ice rink and the over all number of people in one space. Despite these challenges, the festival was still a success and the community was able to embrace the festival.</li> <li>The illumination location footprint was spread wide over Bathurst to ensure social distancing was maintained. The theme for this year was People &amp; Place with illuminations featuring stories and talents of local Bathurst people through art, music, photography and movement.</li> <li>Food and wine nights still went ahead as part of the festival, with reduced capacity and a more local focus. The festival footprint was reduced to cater for smaller crowds. Entertainment moved to showcase the locals with outside of region musicians and entertainment unable to attend.</li> <li>Overall, the festival was a local success for community, businesses and residents.</li> </ul> <p>August</p> <ul style="list-style-type: none"> <li>Wrap up of the Bathurst Winter festival. Which includes settlements, debriefs with wide variety of stakeholders, surveys, future planning and thanking those who were involved.</li> <li>Planning underway for car racing events; Bathurst 1000 off track events, challenge Bathurst, Bathurst International – working with the ever-changing dates and restrictions.</li> <li>Planning underway for NYE – working with multi layered approach, pending restrictions.</li> </ul>	





					<ul style="list-style-type: none"> <li>• Planning for school holiday activities with change of date of Bathurst 1000 This includes chalk art and the popular scavenger hunt from 2020</li> <li>• Reporting on previous events for the GM – NRL, Cycling Classic and Winter festival</li> <li>• Award submission for 2019 Winter festival</li> <li>• Updating the event Manual</li> </ul> <p>September</p> <ul style="list-style-type: none"> <li>• Planning for Love your Local campaign This includes promoting local business, providing activities for children, engaging the local community</li> <li>• Event manual complete</li> <li>• Planning undertaken for car races Bx1000 off track events</li> <li>• Working with community groups to deliver on events not run by council</li> </ul> <p>October</p> <ul style="list-style-type: none"> <li>• Planning undertaken for car races Bx1000 off track events, Challenge Bathurst, and Bathurst 6 hour</li> <li>• Planning underway for NYE and Australia Day</li> <li>• Delivered on love your local campaign during covid lockdown 338 Businesses listed, 2,000 craft activity booklets posted</li> <li>• Community engagement on social media – reach 19,341 people</li> <li>• Planning for Bathurst Winter Festival – 3 year Tenders for Ice rink and Illuminations</li> <li>• Finalist for NSW Tourism Awards – Bathurst Winter Festival</li> <li>• Re-structured BRC Event website</li> </ul> <p>November</p> <ul style="list-style-type: none"> <li>• Event delivery of Challenge Bathurst including campground administration, reception, fit out and general event assistance</li> <li>• Event delivery of Garage Sale Trail – 30 stalls registered</li> <li>• Installation of Christmas decorations in CBD</li> <li>• Tenders Advertised for the Bathurst Winter Festival Ice Rink &amp; Illuminations</li> <li>• Events Facebook page reached 19,343</li> </ul>	
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					<p>December</p> <ul style="list-style-type: none"> <li>• Event delivery of Bathurst 1000 off track events</li> <li>• 328 entries for the Winners presentation, 67 tickets sold to the Legends at the Museum event</li> <li>• Saturday Street Fair - 12 food vendors, 2 alcohol vendors, 20 market stalls and 1587 rides tickets sold</li> <li>• Event delivery of NYE Party in the Park</li> <li>• 4,323 tickets sold to NYE Party in the park</li> <li>• Live streaming of Fireworks display had a reach 2,060</li> <li>• Campground tickets on sale for Bathurst 6 Hour</li> <li>• Events Facebook page reached 21,905</li> </ul> <p>January</p> <ul style="list-style-type: none"> <li>• Delivered on Australia Day activities – Citizenship &amp; awards ceremony, Free entry to the Manning Aquatic Centre, 2 x free BBQs</li> <li>• NRL tickets on sale</li> <li>• Reports finalised for NYE &amp; Bx1000 Off track events</li> <li>• Event survey and feedback sent for NYE &amp; Bx1000 off track events</li> </ul>	
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## Property

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
1.5 6.4 6.5 6.8	Manage development of new residential and commercial land releases to ensure appropriate level of supply.	Complete development of land in accordance with Council plans.	Provision of land to meet demands	Property Management Coordinator	<p>Sunnybright Stages 'A', 'B' and 'C' had all lots sold and settled as of 31 December 2021.</p> <p>Kelso Industrial Park has 0 lots available at end of March 2022.</p> <p>Stage 11 of Bathurst Trade Centre sold, pending DA approval. Expected March 2022.</p> <p>Kelso Industrial Park grant funding (Drought Relief) – DA lodged, plans on hold due to CoVid19.</p>	
2.1 4.1 6.4	Ensure best available return on investment on Council properties.	Review of Council's Property Portfolio	Lease Register updated.	Property Management Coordinator	Return on Investment document being created and completed December 2021.	



## Corporate Communications

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – this year's Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.1	Communicate and engage with the community	Bathurst Regional Council Community Survey.	Overall satisfaction rating > 70%	Manager Corporate Communications	2021 Community Survey completed. Survey result found that 75% of the community is somewhat satisfied or higher (ie satisfied or very satisfied) with Council.	
		Ensure community consultation occurs	<p>All consultation projects included on the "Your Say" platform</p> <p>Followers on social media &gt; 13,000</p> <p>BRC Website visits &gt; 40,000</p>	Manager Corporate Communications	<p>As at 31 March 2022:</p> <p>100% consultation projects on Your Say Bathurst (Irrigation portal, Lodging planning applications online, Bathurst town centre master plan, Streets as Shared spaces, Sofala Village Plan, Rockley Village Plan, Peel Village Plan, Financial Assistance COVID-19 Stimulus measures, go-kart track development, Expressions of Interest former TAFE precinct, Bathurst Region Heritage Plan 2021-2025, Our Region Our Future, Aboriginal Commitment Strategy survey, Artist Residency – EOI, Inland Sea of Sound feedback, Blayney Road Common &amp; Vietnam Veterans Memorial Park</p> <p>Social media followers:</p> <p>July: 14,953</p> <p>August: 15,189</p> <p>September: 15,374</p> <p>October: 15,444</p> <p>November: 15,973</p> <p>December: 16,120</p> <p>January: 16,242</p> <p>February: 16,316</p> <p>BRC Facebook Page: 14,662</p> <p>BRC Twitter Page: 1,771</p> <p><b>March Total: 16,433 (sum of FB &amp; Twitter)</b></p> <p>Website visits</p> <p>July: 63,941</p> <p>August: 39,391</p> <p>September: 43,506</p>	





					<p>October: 48,021  November: 77,257  December: 105,820  January: 48,103  February: 48,243  Bathurst Regional Council: 26,116  BMEC: 10,433  Mount Panorama: 9,514</p> <p>Bathurst NRL: 7,295</p> <p>Museums: 4,100</p> <p>Art Gallery: 2,725</p> <p>Cobb &amp; Co: 687</p> <p>Hill End Art: 656</p> <p>Bathurst Winter Festival: 577</p> <p>Bathurst Childcare: 242</p> <p><b>March total: 62,345</b></p>	
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# Cultural & Community Services

Bathurst Regional Council supports a vibrant culture and community. Lifestyle in the Bathurst Region is enriched by providing a diverse range of cultural facilities and programs and by promoting cultural diversity. Community well-being is promoted through social planning, community development and ensuring access to community services.





## Community Services

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
5.1 5.2 5.3 5.5	Work in partnership with key stakeholders to develop administer and deliver community planning that reflects the strengths and needs of specific sectors and the community as a whole.	Undertake the actions identified in the Bathurst Community Safety Plan in partnership with the Bathurst Regional Community Safety Committee	Provide administrative support to four (4) meetings of the Bathurst Regional Community Safety Committee.  Relevant campaigns /projects developed and implemented as per actions identified in the Bathurst Community Safety Plan.	Manager Community Services	No (0) Community Safety Meetings were held in March 2022.  YTD four (4) Community Safety Committee meetings held.  A fraud and mobility scooter campaign continued to be presented on Council's website for public information in March 2022.  YTD two (2) campaigns undertaken in accordance with the Bathurst Community Safety Plan.	
6.3		Implementation of the strategies and actions identified in the Disability Inclusion Action Plan (DIAP) that address each of the four focus areas of the plan 2017-2021.	Monthly review to determine the number of actions in progress or complete.  Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Disability Inclusion Action Plan (DIAP).	Manager Community Services	Review of actions and strategies listed in the Disability Inclusion Action Plan (DIAP).  23 of 50 actions in progress (46%) 11 of 50 actions complete (22%) 16 of 50 actions incomplete (32%)  While COVID-19 has had an impact on the DIAP with 12 out of the 50 actions affected (24%), many actions are "ongoing" and remain a priority for Council.  Research and drafting of second DIAP continued in March 2022.	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
			Research and draft second DIAP 2022-2026		Consultation for the second DIAP concluded in August 2021.	
		Adopt Positive Ageing Strategy and implement strategies and actions identified in the Strategy	Draft Positive Ageing Strategy adopted by Council for public exhibition.	Manager Community Services	The Draft Positive Ageing Strategy 2021-2026 was adopted by Council 16 June 2021 and placed on public exhibition until 15 July 2021.	<div><div></div><div></div><div></div></div>
			Final Positive Ageing Strategy adopted by Council, following public exhibition	Manager Community Services	The Positive Ageing Strategy was presented to Council and adopted by Council on 18 August 2021.	<div><div></div><div></div><div></div></div>
			Monthly review to determine the number of actions in progress or complete.	Manager Community Services	Monthly review of actions was completed in March 2022.  YTD twenty-four (24) of fifty-nine (59) actions are in progress (40%).	<div><div></div><div></div><div></div></div>
			Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Positive Ageing Strategy.	Manager Community Services	Creating Connections, a program aiming to combat social isolation in older people, was postponed in August 2021 and February 2022 due to COVID-19. The program will occur in May 2022. A program of events occurred in March 2022 to celebrate Seniors Festival.	<div><div></div><div></div><div></div></div>
			Collaborate with key stakeholders to develop and deliver programs/ activities to meet the needs of the Indigenous community.	Manager Community Services	YTD three (3) community development projects have been delivered.	<div><div></div><div></div><div></div></div>
			Research and draft Bathurst Regional Council's Aboriginal Commitment Strategy	Manager Community Services	Drafting of the Aboriginal Commitment Strategy continued in March 2022.	<div><div></div><div></div><div></div></div>
5.1 4.3 1.3 5.4 6.2 6.3	The provision of the Kelso Community Hub as a safe community hub and venue for outreach service provision that meet the	Encourage and facilitate the use of Kelso Community Hub to meet community needs	Facilitate two (2) collaborative projects with key stakeholders at the Kelso community Hub.	Manager Community Services	Zero (0) collaborative project was facilitated during March 2022. YTD seven (7) collaborative projects facilitated.  Information was distributed to seven (7) organisations in March 2022.	<div><div></div><div></div><div></div></div>



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
	needs of the community.		Information distributed regarding hire of Kelso Community Hub to meet the needs of community.  Provide two (2) Kelso Community Hub update reports to Council.		YTD twenty-two (22) organisations distributed with information.  One (1) Kelso Community Hub update reports provided to Council during March 2022.  YTD one (1) update report provided to Council.	
5.1 5.3 1.3 6.2 6.3 6.7	Value and support opportunities for young people to understand the processes of Local Government and be involved in relevant projects.	Value and support opportunities for young people to understand the processes of Local Government and be involved in relevant projects.	Facilitation of six (6) Bathurst Regional Youth Council meetings, including attendance numbers	Manager Community Services	One (1) Youth Council Main Meeting held March 2022,  YTD five (5) Youth Council meeting held with 14 Youth Councillors in attendance.	
			Undertake and/or participate in six (6) initiatives, activities, programs and events.	Manager Community Services	No (0) initiative was implemented in March 2022. YTD three (3) activities undertaken.	
5.1 5.2 5.3 5.4	Provision of high quality child care facilities to cater for children aged 0-12 years in the Bathurst Community	Update policies and procedures to ensure alignment with: 1. Education and Care Services National Quality Standards. 2. Education and Care Services National Regulations and Law	50% of policies reviewed	Manager Community Services	YTD 100% Policies reviewed to align with the commencement of 2022.	
			Develop and Maintain current Service Self-Assessment	Manager Community Services	Both FDC and LDC have current Self-Assessment tools in place for March 2022.  YTD two (2) reviews have commenced/occurred.	









Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.3 6.4 6.7	The provision of Council's Children Services, setting a benchmark for education and care in the Bathurst LGA	Undertake actions identified in the Children's Services Strategic Plan 2021-2023	Undertake one (1) peer review of Educational programs in long day care services	Manager Community Services	No peer review completed during March 2022  YTD zero (0) peer reviews undertaken	
			Facilitate one (1) survey for Family Day Care (FDC) and Long Day Care (LDC) families for review of service delivery.	Manager Community Services	Zero (0) surveys completed during March 2022.  YTD zero (0) surveys undertaken for Long Day Care; 1 (one) survey undertaken for Family Day Care.	
			Provide one (1) Children's Services update report to Council	Manager Community Services	No reports submitted to Council in March 2022.  YTD one (1) report submitted to Council.	
		Increase occupancy rates within Children's Services	85% occupancy rate for long day care	Manager Community Services	Occupancy rate for March 2022 is 98%. Occupancy remained stable for first quarter of year.  YTD current occupancy rate at 98%	
			30% increase of Family Day Care Educators	Manager Community Services	Zero (0) Educators recruited during March 2022. Processes have commenced for the recruitment of two educators in March.  YTD a 17.5% increase in Educator numbers has occurred.	
			20% increase in daily usage of family day care	Manager Community Services	In March 2022, the average daily attendance remained at 60 children per day.  YTD 5.8% increase in average daily attendances has occurred.	
	Promotion of Children's Services.	Build community awareness of services offered by Children's Services section	Deliver two (2) family information evenings for Children's Services	Manager Community Services	No information evenings delivered in March 2022.  YTD zero (0) information evenings held.	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
			Facilitate two (2) marketing mechanisms	Manager Community Services	Zero (0) marketing mechanisms were undertaken during March 2022.  In March the service acknowledged International Women's Day and new staff at the service. Both Facebook posts were successful in reach and promoting the long day care service.  YTD three (3) marketing mechanisms implemented.	
			Facilitate one (1) marketing mechanism relating to the Preschool Program	Manager Community Services	Zero (0) marketing in March 2022.  YTD one (1) marketing measure undertaken.	
	Connect and collaborate with Children's Services networks locally and regionally to ensure services provision reflects strengths and needs of the sector.	Complete one (1) education and care needs analysis	Facilitate one (1) industry forum	Manager Community Services	No facilitation of an industry forum occurred during March 2022.  YTD zero (0) industry forums undertaken.	
			Facilitate one (1) local survey	Manager Community Services	No surveys completed in March 2022.  YTD zero (0) survey undertaken.	




# **Bathurst Library**

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
4.3	Develop a strategic approach to planning the next-practice library	Review the Mobile Library Service	Report to Council by June 2022	Manager Library Services	Mobile and Home Library review in draft.	
5.3	Maintain and improve community participation in the Library Services	Maintain and improve membership base	Membership is 28% or more of total population	Manager Library Services	To date, the total active membership of Bathurst Library is 11,041 = 26% of Bathurst population.  Excluding non-2795 members, membership is 10,331= 24% of Bathurst population.  Reciprocal/Temporary (non-2795 postcode) membership is 710.	
		Maintain and improve visitations	Yearly visitations are 84,000 or more (monthly average: 7,000)	Manager Library Services	Library closed Sunday 15 August 2021 and reopened on Monday 18 October 2021 to people with Australian Government proof of full vaccination. On 15 December 2021, the library reopened to all.  YTD: 43,917 people visited the library. March: 6,472 people visited the library.	
		Maintain and improve program and event delivery	Deliver 200 or more programs / events per year (monthly average: 16.6)	Manager Library Services	YTD: 118 Programs delivered. March: 26 Programs delivered.	
		Maintain and improve attendance at programs and events	4,800 attendees or more to programs / events per year (monthly average: 400)	Manager Library Services	YTD: 1,722 attendees March: 456 attendees	
5.3	Maintain and improve access to information and life-long learning	Maintain and increase circulation of all library material	Loans exceed 240,000 per year (monthly average: 20,000)	Manager Library Services	YTD: 118,668 items borrowed  March: 16,056 items borrowed (4,832 electronically)	







Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Improve online information	Audit Bathurst newspaper collections for digitisation needs by June 2022.	Manager Library Services	Recording of Bathurst newspapers digitised on Trove and Bathurst Library physical microform ongoing.	
		Improve adult digital literacy skills	Provide at least 20 technology sessions/workshops for adults yearly	Manager Library Services	YTD: 23 digital literacy programs delivered  March: 3 Adult digital literacy programs delivered  Tech assistance is also provided over the phone.	
		Improve Readers Resources	Curate and promote the new Book Club kit collection (minimum 50 titles) by June 2022	Manager Library Services	57 kits processed and catalogued to date. Web page being built. Brochure and procedures in draft.	
			Launch and promote four (4) online reading challenges by June 2022	Manager Library Services	YTD: 7 challenges launched and promoted	
		Promote Wiradjuri and Aboriginal Collection content: 1 promotion per month	Promote Wiradjuri and Aboriginal Collection content: one (1) promotion per month	Manager Library Services	Discover More Wiradjuri culture Facebook post, posted 7 March 2022. 401 people reached.	
6.1	Communicate and engage with the community	Growth in followers on the library social media platforms	More than 2,900 Facebook likes and more than 930 Twitter followers	Manager Library Services	Facebook: 3,520  Twitter platform has been archived.  Note: Facebook changed from Likes to Followers in October.	
		Monitor community satisfaction with Library Services, Programs and Collections	Analyse and report on Library Community Survey by December 2021	Manager Library Services	Report to Council and Survey Summary submitted to and noted at Ordinary Council Meeting Wednesday 17 November 2021.	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.2	Maintain and create partnerships with local organisations and neighbouring councils	Foster relationships with local schools and day care centres	Deliver at least two (2) new activities to local schools and two (2) new activities to day care centres by June 2022	Manager Library Services	High Schools emailed to discuss library staff to speak to schools in early 2022.  Little Bang Discover Club sessions booked with Scallywags.  Collaboration with Goodstart for Paint the Town Read initiative	



**Bathurst Regional Art Gallery**

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
1.3	Provide a focus on the visual arts for the community by providing education and public programs that challenge thinking and stimulate creativity, and promote cultural vitality in the region through the development and care of the permanent collection, temporary exhibitions and research facilities.	Increase community participation and engagement through public programs and events	Minimum eight (8) public / education programs delivered per exhibition slot.	Art Gallery Director	YTD: 46 Programs; 1105 participants  March: Pub/Ed Programs: 3 - Art of Wine (25), Guides U3A tour (10); Youth Art Prize (300)	
		Increase student and teacher engagement through education programs and outreach	5% increase in school engagement on 2020/2021.	Art Gallery Director	February: 2 programs, St Stanislaus College visit, Home Teachers Community session. 18 participants March: HOME Teacher gallery induction	
		Provide opportunities for the professional development of regionally based artists.	Staging of four (4) regional artist projects with at least 3,250 attendees Commission four (4) new works by regional artists.	Art Gallery Director	YTD: Six (6) regional artist projects; Attendance: 17,489 1. Chester Neale: Etched in Fire.; 2. Euan Macleod & Andrew Merry: Stirring the Ash. 3. Angela Malone: Winter Paintings. Attendance: 1077 4. Karin Smith & Colin Fenn (31 July – 7 Nov) Attendance: 7,759 5. BRAGS Art Fair Online 1 – 30 Nov 6. Peter Wilson: Ceramics (20 Nov – 1 Jan). Attendance: 3,114 7. HOME 2021 (Jan). Attendance: 2609 8. CEL: Locust Jones, Genevieve Carroll, Harrie Fasher and Tom Buckland (Feb): 2275  YTD: Five (5) Commissioned Artworks: February: Harrie Fasher, Genevieve Carroll, Tom Buckland, Locust Jones; WBYK (Sonny Day and Biddy Maroney) - Projection art	
		Develop community access to and understanding of contemporary indigenous art.	Stage two (2) exhibitions of contemporary Aboriginal art.	Art Gallery Director	YTD: Three (3) exhibitions of contemporary Aboriginal art. Attendance: 1196 1. Myall Creek and Beyond (31 July – 7 Nov) 2. Karla Dickens: Mother's Little Helpers (31 July – 7 Nov)	





Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					3. Paddy Fordham Wainburranga: Recent Acquisitions (31 July – 7 Nov)	
		Develop First Nations led program for 2024.	Contract First Nations Curator.	Art Gallery Director	EOI closed 9 December 2021.	
		Develop community access to the permanent collection.	Gallery Store conversion project 'grant ready'.	Art Gallery Director	August: RTAF application submitted  September: BRAG Art Store Collection Project # 2: hanging racks removed for relocation to CWCF  December: Create NSW Creative Capital Grant submitted (unsuccessful)  January: \$350,000 grant for new public toilets  February/March: Meeting with Engineers re: amenities	
		Develop community access to the permanent collection through exhibition, research, loans, and touring exhibitions	Staging two (2) permanent collection exhibitions with at least 3,000 attendees combined	Art Gallery Director	YTD: Two (2) permanent collection exhibitions with 1196 attendees  1. Karla Dickens: Mother's Little Helpers (31 July – 7 Nov)  2. Paddy Fordham Wainburranga: Recent Acquisitions (31 July – 7 Nov)	
			Develop Masterplan for Gallery refurbishment including permanent collection Foyer Gallery	Art Gallery Director	YTD: 100% complete	








Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
<b>4.1 2.6</b>	Communicate and engage with the community	Increase community engagement on social media platforms.	Increase followers across social media platforms by 5% on 2020/2021 figures.	Art Gallery Director	YTD: 10,187. Target: 7,660. July: 7,371 August: 7,420 September: 7,457 October: 7,530 November: 7,635 December: 8,624 (NB jump due to Facebook change from 'likes' to 'followers') January: 9,647 February: 10,066 March: 10,187	
<b>5.2</b>	Promote cultural activity in the Bathurst CBD, neighbourhoods and the region's villages through the development of inclusive and accessible satellite programs and events, and the promotion of Hill End as a significant site of contemporary and historic Australian art and culture.	Develop community understanding of the achievements of the Hill End Artists in Residency (AIR) Program.	EOI for Hill End AIR leases complete.	Art Gallery Director	December: lease hold-over declined  January: Lease end: cottage contents pack up. Status of leases made public and BRAG's commitment to support community.  February: AGD attended NPWS stakeholders meeting. Key handover.  March: Participate in NPWS site visit.	
		Develop Community understanding of the Hill End Artists in Residence (AIR) Program	Staging of at least three (3) Hill End Artists in Residence exhibitions with at least 4,000 attendees combined	Art Gallery Director	YTD: One (1) residency exhibition staged  December – February: Partnered with HEAC on 9x5 exhibition at CWA Hall in Hill End. Attendance: 257	
		Ensure ongoing sustainability of the Hill End AIR cottage leases	Expression of Interest for NPWS leases (Haefligers and Murrays) submitted.	Art Gallery Director	December: lease hold-over declined  January: Lease end: cottage contents pack up and key handover.  February: Keys to the cottages returned to NPWS. EOI to be launched by NPWS.  March: Participate in NPWS site visit for EOI.	




Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Develop activities within the Public Art Policy as resources permit.	Develop and deliver three (3) programs for <i>Out There Bathurst</i> platforms.	Art Gallery Director	<p>YTD: Four (4) public art programs delivered</p> <ol style="list-style-type: none"> <li>1. July: Banha Belong</li> <li>2. Adaptation inflatable – Winter Festival installation</li> <li>3. September: 2021/22 Out There Bathurst Schedule developed</li> <li>4. October-January: Step into Spring, Youth Programs</li> </ol> <p>Jan: SASS Birunga mural painted prior to installation</p> <p>February: SASS Birunga mural installed at Post Office. BRAG Out There projections outside gallery. Screens installed TAFE precinct</p> <p>March: Open Air Projections: Students, WBYK.</p>	
<b>1.3</b> <b>6.6</b>	Increase in revenue generated from gallery retail outlet and programs	An increase on 2020/2021 total revenue generated from gallery retail and sales	5% increase in revenue	Art Gallery Director	<p>YTD 2021-2022: \$47,242.05, -6% on 2020/2021 YTD.</p> <p>Closed due to COVID from 15 August – 19 October</p> <p>March: \$4,488.20</p>	



**Bathurst Memorial Entertainment Centre**



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
4.1 1.1 1.2 5.3 6.2	Implement a strategic approach to planning the next-practice Performing Arts Centre	Consultant to develop framework, provide timeline, and produce interim solution	Timeline and interim solution provided by April Framework provided by April	Manager BMEC	Interim solution and Framework both finalised and provided on 12 July 2021. The NSW government has announced a \$60 million Creative Capital Fund. For applications over \$250k and up to \$5 million. There is an EOI stage with successful applicants progressing to a full application. BMEC was successful in passing the EOI stage for the Chifley Dam BARN which formed part of NPPAF recommendations. The full application is due by 11 April 2022.	
5.2 5.3	Maintain and improve community participation in BMEC services and activities	Maintain and improve average number of tickets purchased per Member	Average of at least five (5) tickets per Member	Manager BMEC	YTD 12.5 tickets purchased per member. Member numbers for the 2022 Season are currently sitting at 66. Membership numbers have decreased significantly since membership for couple only required one person to become a Member.	
		Maintain and improve venue attendance	Attendances exceed 55,000	Manager BMEC	Venue attendance year to date totals 19,714	
		Maintain and improve program and event delivery	Deliver approximately 14 Season and other events, seven (7) associated workshops and a Local Stages Program including LEAP program, local writers' and readers' festival and other performing arts development	Manager BMEC	17 Events were programmed in the 2021 Annual Season which is a calendar year program. Eleven of these were delivered with six cancelled or postponed due to COVID-19. 18 events were programmed in the 2020 Annual Season. Two (2) were delivered and 16 cancelled due to COVID-19. To date 5 events were programmed for the 2022 Annual Season. Three have been successfully presented with two postponed until later in the year.	
		Maintain and improve attendance at programs and events	5,200 attendees or more to Season shows and 4,000 at associated and Local Stages projects per year	Manager BMEC	YTD 361 attendees at Season events.  Drama workshops x 2 per week attended by 18 young people All access workshops x 1 per week attended x 7 people with disabilities	




Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
1.1 1.2 5.3	Communicate and engage with the community	Growth in community engagement	At least one (1) intrinsic impact study per year.  2% growth in social media followers over 2020/2021	Manager BMEC	YTD 15.2% growth in facebook followers from March 2021  BMEC currently has: <ul style="list-style-type: none"> <li>3986 facebook followers</li> <li>1,096 instagram followers</li> </ul>	




## Museums

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
2.6 1.1 1.2 1.3 6.6	An increase in total visitor numbers to the Bathurst Regional Council managed museums of 8% over 4 years	An increase of 8% total visitors from 2017/2018 numbers to: <ul style="list-style-type: none"> <li>Australian Fossil and Mineral Museum</li> <li>National Motor Racing Museum</li> <li>Chifley Home and Education Centre</li> <li>Bathurst Rail Museum</li> </ul>	Total increase of 8% in visitor numbers	Manager Museums	<p>Total number of visitors to museums in March 2022 was 4,769 which is a 30% increase from March 2018 numbers of 3,644.</p> <p><i>Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order.</i></p> <p>In March 2022 the following visitor numbers occurred:</p> <p><b>Australian Fossil &amp; Mineral Museum (reopened 21/10/21)</b> 888 which is a 37% decrease from March 2018 visitor numbers of 1,428.</p> <p><b>National Motor Racing Museum (reopened 20/10/21)</b> 2,025 which is a 4% decrease from March 2018 visitor numbers of 2,126.</p> <p><b>Bathurst Rail Museum (reopened 22/10/21)</b> 1,856 visitors for March 2022</p> <p><b>Chifley Home &amp; Education Centre (remains closed due to COVID-19)</b> Zero (0) which is a 100% decrease from March 2018 visitor numbers of 90.</p> <p>Year to date (YTD) total visitors to Council Museums is 41,664 which is an 5% decrease from 44,117 YTD 2018.</p>	
2.6 1.1 1.2 1.3 6.6	An increase in the total educational/schools engagement with the Bathurst Regional Council managed museums of 8% over 4 years	An increase of 8% in total education/ school engagement from 2017/2018 numbers to: <ul style="list-style-type: none"> <li>Australian Fossil and Mineral Museum</li> <li>National Motor Racing Museum</li> <li>Chifley Home and Education Centre</li> <li>Bathurst Rail Museum</li> </ul>	Total increase of 8% in education/ school engagement	Manager Museums	<p>The number of education/school engagement across the Museums in March 2022 was 166 which is a 49% decrease from March 2018 numbers of 328.</p> <p><i>Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order.</i></p> <p>In March 2022 the following education/school engagement occurred:</p>	




Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					<p><b>Australian Fossil &amp; Mineral Museum (reopened 21/10/21)</b> 166 education visitors in March 2022 which was a 31% decrease of March 2018 visitor number of 243.</p> <p><b>National Motor Racing Museum (reopened 20/10/21)</b> Zero (0) education visitors in March 2022 which was a 100% decrease of March 2018 visitor numbers of 51.</p> <p><b>Bathurst Rail Museum (reopened 22/10/21)</b> Zero (0) educational visitors in March 2022.</p> <p><b>Chifley Home &amp; Education Centre (remains closed due to COVID-19)</b> Zero (0) which is a 100% decrease of March 2018 visitor numbers of 34.</p> <p>Year to date (YTD) total education/school visitors to Council Museums is 7,120 which is a 128% increase from 3,115 YTD 2018. (This increase was due to online education program at AFMM and BRM)</p>	
<b>2.6</b> <b>1.1</b> <b>1.2</b> <b>1.3</b> <b>6.6</b>	The provision of a range of public programs, exhibitions and community events at the Bathurst Regional Council managed museums	Undertake exhibitions, public programs and community events across the Bathurst Regional Council managed museums	Minimum six (6) exhibitions, five (5) public programs and two (2) community events	Manager Museums	<p>YTD ten (10) exhibitions YTD three (3) Community Events YTD five (5) Public Programs <i>Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order.</i></p> <p>In March 2022 the following has occurred:  <b>Exhibitions</b>  <b>Australian Fossil and Mineral Museum (reopened 21/10/21)</b> <ul style="list-style-type: none"> <li>Local Schools, Local Stories – the Earth is changing – exhibition of dioramas by MacKillop College, Bathurst - ongoing</li> </ul> <b>National Motor Racing Museum (reopened 20/10/21)</b> <ul style="list-style-type: none"> <li>Larry Perkins Special Exhibition opened – ongoing</li> </ul> </p>	







Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					<p><b>Bathurst Rail Museum (reopened 22/10/21)</b></p> <ul style="list-style-type: none"> <li>Local Stories cabinet – Stuart Family display - ongoing</li> </ul> <p><b>Chifley Home and Education Centre</b></p> <ul style="list-style-type: none"> <li>Online exhibition - CSU Art Education students – 'Isolated Connections' – ongoing</li> </ul> <p><b>Community Events</b> - Nil</p> <p><b>Public programs</b></p> <ul style="list-style-type: none"> <li>Seniors week – guided tour and afternoon tea at Rail Museum and AFMM</li> </ul>	
<p><b>2.6</b> <b>1.1</b> <b>1.2</b> <b>1.3</b> <b>6.6</b></p>	An overall increase in revenue generated from museum retail outlets and venue hire across the Bathurst Regional Council managed museums	<p>An increase of 8% gross total revenue from 2017/2018 numbers for:</p> <ul style="list-style-type: none"> <li>Australian Fossil and Mineral Museum</li> <li>National Motor Racing Museum</li> <li>Chifley Home and Education Centre</li> <li>Bathurst Rail Museum</li> </ul>	Total increase of 8% in revenue	Manager Museums	<p>Total retail and venue hire gross income across the Museums in March 2022 was \$40,179 which is a 96% increase on March 2018 income of \$20,483.</p> <p><i>Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order.</i></p> <p>In March 2022 the following retail and venue hire gross revenue was achieved:</p> <p><b>Australian Fossil &amp; Mineral Museum (reopened 21/10/21)</b> \$10,933 which is a 80% increase on March 2018 income of \$6,043.</p> <p><b>National Motor Racing Museum (reopened 20/10/21)</b> \$22,537 which is a 56% increase on March 2018 income of \$14,391.</p> <p><b>Bathurst Rail Museum (reopened 22/10/21)</b> \$6,709 for March 2022.</p> <p><b>Chifley Home and Education Centre:</b> Remains closed due to COVID-19.</p>	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					<p>\$0 which is a 100% decrease on March 2018 income of \$48.</p> <p>Year to date (YTD) total gross revenue for Council Museums is \$283,654 which is a 0.03% decrease from \$283,756 YTD 2018.</p>	
<p>1.1</p> <p>1.2</p> <p>1.3</p> <p>6.6</p>	Central Tablelands Collection Facility	Complete construction of Central Tablelands Collection Facility and commence operations.	Complete construction and commence operations.	Manager Museums	<p>In March 2022 CTCF Construction is progressing well with completion expected end of June.</p> <ul style="list-style-type: none"> <li>• Art racking completed</li> <li>• Museum unit Wall and ceilings sealed with painters commencing.</li> <li>• Final two steel Sections at front being assembled to meet lock up stage.</li> <li>• Procurement of 99kw solar PV array nearing completion.</li> <li>• Mains and Switch boards installed and connected</li> </ul>	





## Tourism

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
2.1 6.1	Grow the number and engagement of businesses associated with the Visitor Economy	Work with local operators in the provision of visitor services and destination experiences	Ten (10) new packages, products or experiences developed	Manager Tourism & Visitor Services	YTD eight (8) new products developed. Bathurst 'Lockdown Love' packages – local products sold online through September/October 2021 Autumn Colours/Heritage Week 2022 program – three new tour experiences added – Miss Traill's House, TAFE Building Tours and 'Charles Darwin in Bathurst' plus one additional new experience for Heritage Week, 'Wine at Rail' Rockley – interpretive signage for village discovery walk in development New Bathurst Wine Explorer tour The 'Bathurst Wine Trail' - self-drive weekend on fourth Saturday of month to coincide with Farmer's Markets launched March 2022. New Hill End Event - "Hill End 150" to commemorate 150 years since discovery of Holtermann nugget in 2022. Planning meeting held February 2022.	
		Grow Regional Tourism Partnership program	Number of tourism partners increased by 10%	Manager Tourism & Visitor Services	125 tourism partners as of 31 March 2021. Full year target of 206. Campaign targeting new businesses ongoing. Paid partnership renewals impacted by Covid impacts.	
		Increase stakeholder advertising in Destination Planner	Advertising revenue increased 10%	Manager Tourism & Visitor Services	20 Ads booked to 31 March. Securing new advertising also impacted by Covid pressures upon businesses.	
2.6	Provide visitors and prospective visitors to the area with quality information and services.	Develop new engaging content for Bathurst Step Beyond App	One (1) new tour product added and promoted	Manager Tourism & Visitor Services	YTD one new product completed, 3 additional being developed/planned: 1. Hill End Tour, new tour live as of December 2021 2. St Joseph's Perthville, completed. To be launched July 2022 3. Walking tour of Rockley – meeting held March 2022. Script in development 4. Wiradjuri Tour (Mount Panorama/Wahluu Boardwalk), meeting held with Elders 28 July 2021.	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Increase volume of online tour, event and accommodation bookings	Increase of 10% total bookings through online portal	Manager Tourism & Visitor Services	YTD –5.7% decrease against 2020/2021 figures to total \$50,757. No sales August-October 2021 due to Covid shutdown. March 2022 - \$5,799 in sales.	
		Develop annual Destination Planner	2022 Destination Planner published	Manager Tourism & Visitor Services	Print quotes received and printer appointed. Design work complete.	
		Develop new Bathurst region villages touring itineraries and inter-region itineraries based on shared thematic elements	Six (6) new itineraries created and published on website/available at BVIC.	Manager Tourism & Visitor Services	YTD four (4) new itineraries with Geo tourism/outdoors themes published on website and two (2) new promotional itineraries developed for Media PR kits distributed October 2021 and media visits February/March 2022. Two (2) new itineraries developed for DNSW campaign March 2022. Eight in total YTD.	
		Increase local range of retail products and souvenirs at BVIC and develop e-commerce facility	Retail sales at BVIC increase by 10% over previous year	Manager Tourism & Visitor Services	YTD 30.3% decrease to \$48,089 March 2022 \$7,863, gross retail revenue being 24.6% increase against March 2021. YTD result significantly affected by COVID19 lockdown with BVIC closed to 14 October and no travel from Sydney.	
2.6	Effectively promote and market the Bathurst Region as a key destination	Implement new 2021-2023 marketing plan	30% of actions completed or underway	Manager Tourism & Visitor Services	New plan adopted by Council at February meeting.  24 of 39 action items (61%) completed or underway as of 31 March 2022	
		Implement online content strategy	Destination website page views increase 15% Total social media following (includes Facebook, Instagram and Twitter) increase 20%	Manager Tourism & Visitor Services	Pageviews: YTD 12.8% decrease on 2020/2021 (No travel from Greater Sydney July-November 2021 due to COVID 19 lock down). To 31 March 2022, 261,974 total pageviews. Total Users increases 35.3% to 105,385 over same period driven by single page searches for COVID19 information. Social Media: YTD of 7.7% total social media increase to total 20,729 followers	
		Work with industry and specialist agencies as required to generate brand building earned media coverage through public relations activity	120 media articles generated (across all platforms).	Manager Tourism & Visitor Services	Specialist PR Agency and BVIC collaborated to create media articles in Sun Herald Traveller, Holidays with Kids and Downtown Magazine. One media famil in March from Dorian Mode, NRMA Open Road magazine.	



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					Media kits - 'Open Summer' Bathurst gift boxes designed at BVIC and distributed to 28 journalists, outlets and influencers with articles and media visits ongoing in response Seven (7) media articles (including influencer posts) generated in March, 81 total YTD	
2.6	Increase total number of visitors and overnight stays in the Bathurst region	Promote Bathurst region to niche and specialist markets as identified in Destination Management Plan and 2021 Marketing Plan	Overnight visitors increase by 5%  Average length of stay increases by 5%  Measurement based on Tourism Research Australia annual data	Manager Tourism & Visitor Services	Annual Tourism Research Australia figures released October 2020 (most recent) Overnight visitor nights increased by 6.1% Average length of stay steady at average three nights 'Localis' analytics platform at 31 March shows forward accommodation bookings from 1 April to 30 September 2022 are 61% higher than at same period in 2021	
		Promote BVIC as essential step off point for Bathurst region.	Annual visitation to BVIC increases 3%	Manager Tourism & Visitor Services	YTD visitation decrease of 47% on 2020/2021, March 2022 - visitation of 3,618, +0.7% against February 2021 COVID-19 lock down, Greater Sydney YTD and all NSW from 15 August - 11 October.	



## Destination Management



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
2.6	Utilise the Destination Management Plan as a basis for marketing, promotion and tourism development	Implement the Strategic priorities of the 2019 DMP	35% of actions completed or underway	Manager Tourism & Visitor Services	YTD 36.5% or 38 of the 104 priority actions completed or underway as of 31 March 2021.	
2.6	Support the Tourism Reference Group, which consists of a cross section of the industry	Implement the Industry Engagement Strategy	Hold at least: <ul style="list-style-type: none"> <li>four (4) targeted meetings with industry</li> <li>four (4) industry capacity building workshops</li> </ul>	Manager Tourism & Visitor Services	YTD three (3) industry meetings held Meeting held with Bathurst Region Vignerons Association (BRVA) 19 July Meeting held with National Trust/Bathurst Heritage Network 31 January with follow up meeting 31 March. Meeting with Bathurst cycling network 14 February Workshops as basis for developing new Tourism Wayfinding and Signage Strategy planned – deferred to July/August 2022 due to budget reallocations. No meetings in March	
2.6	Connect with industry	Continue monthly industry eDM  Host industry gatherings  Increase engagement with industry website	Minimum of 12 eDMs issued.  Hold at least four (4) industry networking events.  Pageviews increase 20%	Manager Tourism & Visitor Services	eDMs Issued: YTD 16 March – two (2) Industry Events: YTD one industry events held – Networking and Bathurst area famil for Orange Tourism (VIC) staff held 1 March 2022 Pageviews: 37 pageviews in February 2022, 727 YTD. 14.8% increase YTD	
2.6	Set and measure benchmarks	Publish annual market intelligence report to strengthen knowledge and guide investment.  Establish accommodation benchmarking in the Bathurst LGA	Market intelligence report produced.  More than ten (10) accommodation operators contribute data to accommodation monitoring	Manager Tourism & Visitor Services	Working with Location analytics company 'Localis' on providing data sets and on building industry friendly dashboard. Initial discussions held with key stakeholders. Report being drafted Partnership with UWS – research mentoring to tourism students and collaborative survey completed. Use of Localis platform COMPLETES this objective with data drawn from 36 properties available to Council.	



## Environmental, Planning & Building Services

Council will manage growth and development in alignment with Council's and the NSW Government's planning instruments and controls, and continue forward planning through reviews of the Housing Strategy, Open Space Strategy and Transport and Parking Strategy. Adoption of a new Economic Development Strategy will identify opportunities for continued growth, mindful of Council's obligations to environmental stewardship, heritage conservation and good urban design.





### Environmental

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.4 5.2 5.4	Meet Council's responsibilities under the Companion Animals Act 1998 by continuing to provide community programs relating to responsible pet ownership	Complete Responsible Pet Ownership community programs  Maintain and enhance areas for off-leash recreation for dogs	Two Community desexing programs conducted  Pet Education event held  Educational radio interviews conducted weekly  Educational social media posts conducted monthly  Maintain Kefford Street Off Leash areas fortnightly	Team Leader Regulatory Services	The first community desexing program was held between 1 and 12 November 2021 with 110 dogs and cats desexed.  Pet Day was held on 9 July 2021 in conjunction with Bathurst Winter Festival activities. The online event was popular with the local community.  Weekly radio interviews were undertaken in February 2022.  One Facebook post was made in January 2022 on use of the off leash areas.  Off leash areas maintained by contractors when necessary.	
6.4 5.4	Meet Council's responsibilities under the Companion Animals Act 1998 and Impounding Act 1993 by promptly responding to customer requests and implementing enforcement action for breaches	Investigate animal related complaints, including matters reported after hours  Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches	95% of customer requests responded to within adopted corporate standards  100% response to customer requests reported out of hours	Team Leader Regulatory Services	94.42% of customer requests responded to within adopted corporate standards for the period 1 July 2021 to 28 February 2022.  82 customer requests were investigated during the month of February 2022, with 585 registered with Council for the period 1 July 2021 to 28 February 2022.  100% of customer requests responded to out of hours	





Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
6.4	Meet Council's responsibilities under the Prevention of Cruelty to Animals Act 1979 and the Impounding Act 1993 in the operation of the Small and Large Animal Impounding Facilities	Operate Small Animal Pound at Vale Road site	<p>Implement social media program to promote rehoming of impounded dogs and cats</p> <p>Increase the % of impounded dogs returned to owner or sold or released to welfare organisation</p> <p>Increase the % of impounded cats returned to owner or sold or released to welfare organisation</p>	Team Leader Regulatory Services	<p>One adoption post was made during January 2022. Three "help we are lost" posts were made during January 2022, trying to reunite impounded pets with their owners.</p> <p>87.0% of dogs were returned to owner, sold or released to welfare organisations in the period between 1 July and 31 October 2021.</p> <p>72.23% of cats were returned to owner, sold or released to welfare organisations in the period between 1 July and 31 October 2021.</p>	
		New Small Animal Impounding Facility construction completed	Construction 50% complete by 31 December 2021	Manager Environment	Subsurface works such as water and sewer lines, and external concrete panels for the dog kennel building were installed in February 2022. Rain has caused several weeks in delays to the construction program.	
6.4 4.4 5.2 5.4	Meet Council's responsibilities under the Road Rules 2014 and Fines Act 1996	<p>Monitor and enforce parking regulations on public roads</p> <p>Implement a community education program regarding the Australian Road Rules</p>	<p>Daily monitoring undertaken</p> <p>Educational social media posts conducted monthly</p>	Team Leader Regulatory Services	<p>Infrequent monitoring undertaken (other than priority areas) due to Covid.</p> <p>One educational post made in February 2022.</p>	
6.4 5.2	Meet Council's contractual obligations under the Local Government Act 1993 in monitoring and enforcing parking regulations in off street car parks	Monitor and enforce parking regulations in off street car parks in accordance with contractual obligations	100% compliance with contractual obligations	Team Leader Regulatory Services	Increased monitoring of car parks (relative to previous months) was undertaken during February 2022.	
3.1 3.2 3.3 3.4 6.4 1.4	Meet Council's responsibilities under the Protection of the Environment Operations Act	<p>Investigate customer requests and pollution incidents</p> <p>Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches</p>	95% of customer requests responded to within adopted corporate standards	Manager Environment	<p>99.47% of customer requests responded to within adopted corporate standards for the period 1 July 2021 to 28 February 2022.</p> <p>13 customer requests were registered with Council in the month of February 2022, with 186 registered for the period 1 July 2021 to 28 February 2022.</p>	






Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Undertake educational programs to enhance community knowledge	Monthly posts on the @sustainablebathurst Facebook page	Manager Environment	Posts in February focused on waste wise behaviour in the home and the opportunity to contribute to strategic plans currently on exhibition.	
3.3 3.5 6.1	Continue to improve the community's awareness and capacity regarding environmental sustainability	Communicate sustainability messages via a range of on-line and traditional media sources. Conduct sustainability education programs	Weekly posts on the @sustainablebathurst Facebook page Conduct Sustainable Living Expo in March 2022  Implement the River Connections program targeting primary school aged students by December 2021	Manager Environment	Posts in February focused on community tree planting days and renewable energy initiatives at Council facilities.  Applications for Council's Sustainable Schools Grant program were awarded in September 2021. Follow-up visits with schools commenced in February 2022.  A review of the 2021 SLE event commenced in July 2021. The 2022 event has been cancelled as there is no longer funding available.  The cultural emersion sessions and teacher training sessions for term 1 were completed in January 2022. "Big River day" and other field activities have been scheduled for March 2022.	
3.1 3.2 6.4	Implement Council's Onsite Sewage Management Strategy and meet Council's obligations under the Local Government Act 1993	Conduct inspections and issue approvals for existing onsite sewage management systems without approvals or requiring renewal	Increase the number of onsite sewage management systems with a current approval to operate	Manager Environment	Inspection program is ongoing with a focus on high risk systems and systems where the ownership is changing due to sale of the property.  151 approvals to operate have been issued for the period 1 July 2021 to 31 January 2022.	
3.1 3.4 3.5 1.4	Meet Council's obligations under the Local Government Act 1993 and community expectations to manage, restore, enhance and conserve the natural environment	Implement the Urban Waterways Management Plan  Implement the Biodiversity Management Plan  Implement the Pest Bird Management Plan	Implement a priority project identified in the Urban Waterways Management Plan.  Implement a priority project identified in the Biodiversity Management Plan.  Implement a priority project identified in the Pest Bird Management Plan	Manager Environment	Some maintenance of previous UWMP projects was undertaken in Spring 2021.  The Backyard Bird Count in association with Birdlife Australia was completed in October 2021. The count contributes to Council's understanding of bird populations and is relevant to both biodiversity and pest bird management. The 2021 program was the most successful to date, with 20,000 birds sighted across the week.  Consultation with the community continues in the development of the Wattle Flat	




Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Implement the Roadside Vegetation Management Plan	Implement a priority project in the Roadside Vegetation Management Plan		<p>Racecourse Plan of Management with a final draft circulated to stakeholders for consideration.</p> <p>Pigeon removal works were conducted at three sites in December 2021. 115 pigeons were removed from the CBD and Council's works depot. 114 pigeons and 82 starlings were removed from the Waste Management Centre, and 58 pest birds of various species were removed from the Mount Panorama racetrack precinct.</p> <p>Installation of signage ordered for high conservation value sections of roadway identified in the RVMP commenced in January 2022, focussing on priority areas in Napoleon Reef.</p>	
3.5 3.3 6.6	Implement energy efficiency and renewable energy projects at Council facilities	Implement the Renewable Energy Action Plan	Implement a priority project identified in the Renewable Energy Action Plan	Energy Strategy Officer	<p>The installation of a 46kW solar array at the Waste Management Centre was completed in December 2021.</p> <p>Contract was awarded in October 2020 for the installation of a 40kW solar array and 25kW battery storage system at the Bathurst Rail Museum. Installation of a 24kW array and the batteries was completed in June 2021. The balance of the system required a \$69 permit from the NSW Heritage Office, which was refused on aesthetic grounds, and an appeal was unsuccessful. Installation of the remaining 16kW of the array (on a building not requiring the \$60 permit) was completed in mid-December 2021.</p>	
3.1 3.4 6.4 1.4 4.6	Meet Council's obligations under the Biodiversity Conservation Act 2016, Fisheries Management Act 1994 and Water Management Act 2000	<p>Ensure the assessment of development applications meets all of the requirements of the Biodiversity Conservation Act 2016, Fisheries Management Act 1994, Vegetation SEPP and Koala SEPP</p> <p>Ensure that Council activities are compliant with the</p>	<p>Number of development applications assessed and professional advice provided.</p> <p>Council policies and plans are reviewed and updated where required to ensure consistency with current legislation</p>	Manager Environment	<p>36 development applications were assigned for environmental assessment in February 2022.</p> <p>Advice provided during February 2022 for various Council activities and their implications under the Biodiversity Conservation Act.</p> <p>A new web-based enquiry process was developed in August 2020 which will</p>	





Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
	Meet Council's obligations under SEPP55 and related planning policies	requirements of the Biodiversity Conservation Act 2016  Ensure the assessment of development applications meets all of the requirements of SEPP55 and Council's Contaminated Land Policy	Assess vegetation removal applications in urban zones in accordance with the vegetation SEPP in Council's DCP.  Professional advice provided including pre-DA advice on contaminated land matters		streamline the enquiry and application process for vegetation removal. Assistance to customers continues.  Advice provided on a regular basis. Staff have participated in technical training in contaminated land management during April and May 2021. A new project officer was engaged in December 2021 to assist in implementing further capacity building programs for staff.	
<b>2.3</b> <b>3.3</b> <b>5.2</b>	Contribute to the development of Bathurst as a Smart City	Implement the Electric Vehicle Transition Plan	Implement a priority project identified in the Electric Vehicle Transition plan	Manager Environment	Procurement of the first hybrid vehicles for the passenger fleet commenced in July 2021, however the quotes received did not include any hybrid vehicles.  The first full electric vehicle for the fleet was ordered by Council in October 2021 and arrived in late January 2022. Data will be collected to measure range in real world driving.  Investigation of options to procure an electric vehicle for garbage collection is ongoing. Options for possible hydrogen powered vehicles are also being investigated.	
<b>3.3</b> <b>3.5</b> <b>6.4</b> <b>3.1</b>	Meet Council's statutory reporting obligations under the Local Government Act 1993	Monitor the operational footprint of Council's operations and report on trends identified.  Measure and collate the trends in environmental condition across the Local Government Area	Collate data and prepare reports on Environmental data on an annual basis	Manager Environment	Trends in Council's operational footprint included in the monthly report prepared for internal review, with annual data included in the State of Environment (SOE) reporting.  The Regional and BRC SOE reports were presented to Council at it's ordinary meeting in November 2021 and are now available on Council's website.	
<b>6.4</b> <b>5.4</b>	Meet Council's obligations in the Food Regulation Partnership and the Food Act 2003	Conduct a program of inspections of food premises including home-based food premises to ensure compliance with regulations	Conduct an inspection of all high and medium risk food premises by June 2022  Implement a risk based inspection program for home-based food premises	Manager Environment	Food inspection program ongoing during February 2022. Advice to businesses on ensuring that they are compliant with the requirements of the Public Health Orders has continued.  The Annual Food Regulation Report was submitted to the NSW Food Authority in mid-July 2021.	





Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
			<p>Prepare and distribute educational material on food safety three times annually</p> <p>95% of customer requests responded to within adopted corporate standards</p>		<p>100% of customer requests responded to within adopted corporate standards for the period 1 July 2021 to 28 February 2022.</p> <p>No customer requests were registered with Council during February 2022, with 12 registered for the period 1 July 2021 to 28 February 2022.</p>	
6.4 5.4	Meet Council's obligations under the Public Health Act 2010 and associated regulations	Conduct a program of inspections of skin penetration premises, public swimming and spa pools and cooling towers	<p>Conduct an inspection of all skin penetration premises</p> <p>Conduct an inspection of all public swimming pools and spa pools</p> <p>Implement the activities identified as Council's role in Legionella management and the inspection of cooling towers</p> <p>95% of customer requests responded to within adopted corporate standards</p>	Manager Environment	<p>Skin penetration premises were not inspected during February 2022 as resources were focused on other areas such as food regulation.</p> <p>Public swimming pool inspections will recommence in Summer 2021/22.</p> <p>Legionella Management Plan was finalised in September 2021 and adopted by Council in February 2022 after a period on public exhibition.</p> <p>100% responded to within adopted corporate standards between 1 July 2021 and 28 February 2022.</p> <p>6 customer requests were registered with Council during February 2022, with 60 registered for the period 1 July 2021 to 28 February 2022. .</p>	






## Planning

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
1.5 2.1 3.3 4.6 5.5 6.4	Prepare relevant planning proposals to ensure Council's planning controls remain relevant and up to date.	Prepare draft LEP and DCP amendments	Planning proposals referred to NSW Department of Planning & Environment for gazettal	Manager Strategic Planning	<ol style="list-style-type: none"> <li>1. LEP Amendment: Moveable and Monumental Heritage. Gazetted</li> <li>2. LEP and DCP Amendment: Laffing Waters Master Plan. Gateway Determination received. Finalising documentation for public exhibition.</li> <li>3. LEP and DCP Amendment: Heritage Conservation Area Review. Gazetted.</li> <li>4. Schedule 5 update Heritage Planning Proposal – 50 items being researched for listing. Planning Proposal being prepared.</li> <li>5. Community Participation Plan Amendment –to update notification procedures for new development adjacent to rural heritage items – adopted by Council.</li> <li>6. DCP amendment – Update Section 9.6 Flooding – adopted by Council.</li> <li>7. DCP Amendment – Gorman's Hill – include lands at Gorman's Hill in Residential density precinct 1 adopted by Council.</li> <li>8. Mount Haven map amendment under section 3.22. Gazetted.</li> <li>9. Bathurst Integrated Medical Centre Planning Proposal – strategic assessment completed and PP submitted to DPE - awaiting Gateway Determination.</li> <li>10. North St Perthville – reinstate R1 zone – planning proposal documentation being prepared.</li> <li>11. DCP Amendment – 2 Ashworth Drive – reconsider the extent of the landuse buffer. Draft DCP amendment being prepared.</li> </ol>	
1.5 2.1 3.3 4.6 5.5	Investigate relevant land use and planning issues of the Bathurst Region.	Prepare studies and plans.	Draft studies/plans are well underway by 30 June 2022	Manager Strategic Planning	<ol style="list-style-type: none"> <li>1. Hereford Street Corridor investigations – Presented to Council at October meeting.</li> </ol>	





6.4					<ol style="list-style-type: none"> <li>CBD Car parking surveys – data from two surveys received and being analysed.</li> <li>Bathurst Region Community Strategic Plan – Infrastructure survey completed. Draft Plan on public exhibition until 29 April 2022.</li> <li>Bathurst Region Active Transport Strategy – Community consultation completed. Final report received and made available on Yoursay website.</li> <li>Bathurst Streets as Shared Spaces – works underway. Consultation with stakeholders continuing. Some delays due to COVID-19. Council's EOI for SaSS stage 2 funding successful with Council full funding application lodged in February.</li> <li>Village Plans – visioning consultation for Sofala, Rockley and Peel completed and draft plans being prepared.</li> <li>Bathurst Town Centre Master Plan – "What Bathurst Said Report" presented to Council and placed on Yoursay Web page.</li> <li>EOI for former TAFE site – EOI documentation released on 28 September. Public tours held on 6 December. Industry day held on 16 December. EOI closes 3 May 2022.</li> </ol>	
4.1 4.6 6.4	Review and update Council's section 7.11 plans.	Review existing or prepare new s7.11 Plans	Draft plans considered and adopted by Council	Manager Strategic Planning	<ol style="list-style-type: none"> <li>Investigations underway to determine if stormwater plan should be moved to section 64 of LGA 1993.</li> </ol>	
1.1 1.2 1.5 4.6 5.5	Implement the Bathurst Regional Heritage Plan.	Provide a Heritage Advisory Service.	Number of site visits undertaken by the heritage advisory service.	Manager Strategic Planning	<ol style="list-style-type: none"> <li>2021/22 site visits to date: 57 (Due to COVID -19 some site visits are occurring on-line/virtually or only with staff attending).</li> <li>Review of guidelines for preparation of Statement of Heritage Impact completed and being placed on Council's website.</li> <li>Preparation of guidelines for the preparation of heritage interpretation strategies completed and being placed on Council's website.</li> </ol>	



					4. Heritage Assessment advice provided for 143 development applications to date.	
		Provide heritage incentive funding programs to protect, maintain, enhance and promote the regions heritage assets.	Value of works generated from Council's incentive funds.	Manager Strategic Planning	<ol style="list-style-type: none"> <li>1. Bathurst Region Local heritage fund – Applications for funding under the 2021/22 program assessed. Funding offers distributed to 46 projects. 2021/22 projects being finalised. Applications for 2022/23 being called.</li> <li>2. Bathurst Region Conservation and Interpretation Fund – Applications for funding under the 2021/22 program assessed. Funding offers distributed to 11 projects. 2021/22 projects being finalised. Applications for 2022/23 being called.</li> <li>3. Bathurst CBD Main Street Improvement Fund – Applications for funding under the 2021/22 program assessed. Funding offers distributed to 19 projects. 2021/22 projects being finalised. Applications for 2022/23 being called.</li> </ol>	
		Prepare and implement projects for the interpretation and display of cultural heritage and history information.	New interpretative/promotional information made available.	Manager Strategic Planning	<ol style="list-style-type: none"> <li>1. Mount Panorama Wahluu Boardwalk – Contractors Stage 1 signage delivered and awaiting installation.</li> <li>2. Pillars of Bathurst project: Nominations for new Pillars in 2022 closed 25 October 2021. 26 nominations received and assessed. Nominees notified. Plaques and brochure being prepared.</li> </ol>	
		Prepare research/studies into the region's heritage values	<p>Studies/plans considered and adopted by Council.</p> <p>Number of local heritage items included in the Local Environmental Plan.</p>	Manager Strategic Planning	<ol style="list-style-type: none"> <li>1. Bathurst Region Heritage Plan 2021-25: adopted by Council.</li> <li>2. Former Ambulance Station Conservation Management Plan – completed and presented to Council.</li> <li>3. Condition Assessment and Maintenance Plan for the Street and Park Lamp Standards – NSW Heritage grant accepted. Quotation being negotiated.</li> </ol>	






## Development Assessment



Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date				Status
1.5 4.1 4.6 6.4	Ensure the assessment of development and other applications, in accordance with planning instruments, development control plans and policies, occurs within appropriate timeframes.	To be at or below the state average for determination times of development applications	Comparative data provided as part of annual Local Development Performance Management (LDPM) to DPIE	Manager Development Assessment		NSW State Average 2018-19	Bathurst Regional Council <b>Mar 2022</b>	Bathurst Regional Council year to date average	
					Average gross days taken to determine a DA	91	108.95	76.70	
					Average nett days taken to determine a DA	49	71.79	57.98	
		To be at or below the state average of determination times for complying development	Comparative data provided as part of annual Local Development Performance Management (LDPM) to DPIE	Manager Development Assessment		NSW State Average 2018-19	Bathurst Regional Council <b>Mar 2022</b>	Bathurst Regional Council year to date average	
					Average days taken to determine a CDC	16	3.86	5.95	



## Economic Development

CSP 2040 Objective Reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
<b>2.1</b> <b>2.2</b> <b>2.3</b> <b>2.4</b> <b>2.6</b> <b>4.1</b> <b>4.5</b> <b>5.5</b> <b>6.3</b>	Implementation of the Economic Development Strategy 2018-2022 and associated actions.	Nurture economic infrastructure development by supporting the development of the aerodrome, industrial precincts and telecommunications.	Seek funding for economic infrastructure projects.	Manager Economic Development	<ul style="list-style-type: none"> <li>- Aerodrome promotional prospectus completed. New website copy complete for airport. Early scoping for Airport Masterplan.</li> <li>- DA approved for Stage 1 of Kelso Industrial Estate expansion (\$4.8M Drought Stimulus Fund)</li> <li>- Aerodrome scope finalised with grant authority (Growing Local Economies Fund \$2.9M).</li> <li>- Lease signed for Leading Edge data centre</li> <li>- Early stages of Funding proposal for better NBN connection for Raglan and parts of Kelso underway, as well as a proposal for business NBN at the Airport.</li> <li>- Working with Telstra on funding proposal for better connectivity at Hill End. Grant not available at this time.</li> </ul>	
		Market-leading promotional campaigns to increase residential relocations and a sense of place.	<p>Continued support for joint regional relocation campaigns.</p> <p>All 4 entrance billboards and welcome signs updated/maintained as required.</p> <p>Lifestyle promotional content created/updated, including the Bathurst Region website / Bathurst Business Hub.</p>	Manager Economic Development	<ul style="list-style-type: none"> <li>- Contributed to Move to More Campaign.</li> <li>- Listed Bathurst and villages on Pointer Remote.</li> <li>- New Resident Guide underway.</li> <li>- Reinstated process for responding to Evo City enquiries.</li> <li>- Funding to change over billboards not available this financial year.</li> <li>- New Live section on Bathurst Business Hub live. Website to change to <a href="http://liveinvestbathurst.com.au">liveinvestbathurst.com.au</a>.</li> <li>- Four new resident interviews and photography sessions undertaken.</li> </ul>	
		Support local businesses and start-ups through engagement, support and economic programs.	<p>12 eNewsletters issued.</p> <p>Cluster Strategy developed and cluster groups activated.</p>	Manager Economic Development	<ul style="list-style-type: none"> <li>- All eNewsletters sent to date.</li> <li>- Cluster Strategy complete. Events/engagements around cluster groups planned.</li> <li>- BizMonth postponed to February. Details organised.</li> </ul>	



		<p>Run BizMonth, Buy Local Gift Cards and Business engagement programs.</p> <p>Bathurst Business Hub website updated/maintained.</p> <p>Attendance at 75% of Business Chamber After-Hours events.</p> <p>Representation at all "Upstairs Start-up Hub" board meetings.</p> <p>Promote resources to businesses including the ID websites and Spendmapp.</p>		<ul style="list-style-type: none"> <li>- Secured regular spot in Business Chamber Board meeting. Representation at all Business Chamber events to date.</li> <li>- All Upstairs Startup hub board meetings attended to date.</li> <li>- Redesigned Bathurst Business Hub website. New content being developed. Site to be rebranded to liveinvestbathurst.com.au</li> <li>- Update to Forecast id population projections.</li> <li>- Spendmapp used to track impact of COVID on economy.</li> </ul>	
	Grow local employment, investment and attract new businesses	<p>Organise the Bathurst Careers Expo with minimum 40 stalls and 1,500 attendees.</p> <p>Minimum of 60 new local jobs promoted each month via EVO Cities.</p> <p>Develop relocation proposals, relocation materials and support the relocation of new businesses.</p>	Manager Economic Development	<ul style="list-style-type: none"> <li>- 830 jobs posted on Evojobs in first month of financial year.</li> <li>- Bathurst Careers Expo postponed to 15<sup>th</sup> February 2022. Currently in doubt due to Omicron outbreak.</li> <li>- Ongoing support for the relocation of numerous businesses, particular interest from manufacturing and IT businesses.</li> <li>- Invest Bathurst campaign being developed including social media/TVC ad, new brochure and updated website.</li> <li>- Assistance IBM deal recently announced.</li> </ul>	
	<p>Develop Bathurst into a Smart Community of national significance.</p> <p>Support innovative practices from industry.</p>	<p>Monthly Project Group meetings held.</p> <p>Seek funding and roll out Smart Community priority projects.</p> <p>Promote Bathurst as a Smart Community.</p>	Manager Economic Development	<ul style="list-style-type: none"> <li>- Monthly meetings held to date.</li> <li>- Discussions ongoing with various IT software development firms to be based in Bathurst.</li> <li>- Smart benches installed.</li> <li>- Investigations into various new Smart projects</li> <li>- Discussions with Spatial Services on creating digital twin for the Bathurst TC.</li> </ul>	



**Bathurst Regional Council****Budget review for the quarter ended - 31 March 2022**

The Quarterly Budget Review Statement (QBRs) is the mechanism whereby councillors and the community are informed of Council's financial position at the end of each quarter, allowing Council's progress and performance against the annual budget to be monitored.

Council's Responsible Accounting Officer is required to prepare and submit a Quarterly Budget Review Statement (QBRs) to the governing body of council in accordance with clause 203(1) of The Local Government (General) Regulation 2005.

The Local Government Code of Accounting Practice and Financial Reporting requires the QBRs to contain the following components:

	<b>Page</b>
1. Statement by Responsible Accounting Officer on Council's Financial Position	2
2. Recommended Budget Variations	3-4
3. Budget Review Income & Expenditure Statement (Consolidated)	5
4. Budget Review Capital Budget	6
5. Budget Review Cash and Investment Position	7
6. Budget Review Key Performance Indicators	8
7. Budget Review Contractors and Other Expenses	
Part A - Contractors List	9
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Engineering Services Department	12
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In accordance with Council's charter at section 8 of the Act, Councillors need to have regard for long term and cumulative effects of their decisions, so it is therefore important to understand the impacts of any significant changes that are proposed, including anything that will impact Council's ability to achieve our objectives and goals.



## Bathurst Regional Council

### Budget review for the quarter ended - 31 March 2022

#### 1. Statement by Responsible Accounting Officer on Council's Financial Position

The following statement is made in accordance with Clause 203(2) of the Local Government (General) Regulations 2005.

It is my opinion that the Quarterly Budget Review Statement for Bathurst Regional Council for the quarter ended 31/03/2022 indicates that Council's projected financial position at 30/06/2022 will be satisfactory at year end, having regard to the projected estimates of income and expenditure and the original budgeted income and expenditure.

Signed:

\_\_\_\_\_  
Aaron Jones  
Responsible Accounting Officer

Date:

\_\_\_\_/\_\_\_\_/\_\_\_\_



## 2. Recommended Budget Variations

Council has the opportunity to review and approve variances to the original budget for the year in the QBRs. Any changes to the budget must be approved by Council and councillors need to be aware by resolving to accept this QBRs they are approving the proposed changes.

The following budget variations are recommended:

<b>Income</b>	<b>\$</b>
Decrease Income - COVID - as approved in previous Council Meetings <sup>1</sup>	(128,500)
Increase Income - COVID - as approved in previous Council Meetings <sup>1</sup>	9,000
Increase Income - Grant - Water Supply - Bathurst Stormwater Harvesting	5,000,000
Increase Income - Grant LRCI R3 - Urban Sealed Rd, Leena St	1,050,000
Increase Income - Grant LRCI R3 - Library - Improvements accessible Public Toilets	350,000
Increase Income - Grant LRCI R3 - Urban Sealed Rd, George St	320,000
Increase Income - Grant LRCI R3 - Mount Panorama - Refurbishment Of Sign	320,000
Increase Income - Grant LRCI R3 - Footpaths & Cycleways	257,118
Increase Income - Grant - Urban Sealed Rd, Morrisset St Roundabout	100,000
Increase Income - Grant LRCI R3 - Footpath Russell St Courthouse	100,000
Decrease Income - Transfer from Capital Reserve - Sewerage Services	(100,000)
Increase Income - Internal Contributions - Parks - Morse Park Toilet	100,000
Increase Income - Grant LRCI R3 - Footpath Hill St Rockley	50,000
Increase Income - Grant LRCI R3 - Active Parks - Carrington Park	50,000
Increase Income - Grant - Central Tablelands Collections Facility - Minor works R1	45,661
Increase Income - Internal Contributions - Works Plant	35,000
Increase Income - Internal Contribution - Civic Centre	24,565
Decrease Income - Transfer from Reserve - Environmental Services	(24,565)
Increase Income - Grant - Economic Development - Festival of Place Summer Night Fund	15,000
Increase Income - Various < \$5,000	2,300
	<b>7,575,579</b>

<b>Expenditure</b>	<b>\$</b>
Decrease Expenditure - COVID - as approved in previous Council Meetings <sup>1</sup>	(219,000)
Increase Expenditure - COVID - as approved in previous Council Meetings <sup>1</sup>	99,500
Increase Expenditure - Water Infrastructure - Bathurst Stormwater Harvesting	5,000,000
Increase Expenditure - Urban Sealed roads - Leena St	1,050,000
Increase Expenditure - Aerodrome - Land Improvement - Additional Leasable hangar space	500,000
Decrease Expenditure - Structures - Aerodrome Lighting Upgrade	(500,000)
Increase Expenditure - Buildings - Library - Accessible Public Toilets	350,000
Increase Expenditure - Urban Sealed Roads - George St	320,000
Increase Expenditure - Land improvements - Mount Panorama - Refurbishment Of Sign	320,000
Increase Expenditure - Footpaths & Cycleways - Unallocated	257,118
Increase Expenditure - Urban Sealed Roads - Morrisset St Roundabout	100,000
Increase Expenditure - Footpaths - Russell St Courthouse	100,000
Increase Expenditure - Buildings - Morse Park Toilet	100,000
Decrease Expenditure - Buildings - Sewerage Services	(100,000)
Decrease Expenditure - Museum Unit - Employee Costs	(70,000)
Increase Expenditure - AFMM - Employee Costs	70,000
Increase Expenditure - Land Improvement - Aerodrome - Security gates	60,000
Decrease Expenditure - Urban Sealed roads - Aerodrome Apron reseal works	(60,000)
Increase Expenditure - Footpaths - Hill St Rockley	50,000
Increase Expenditure - Land Improvement - Carrington Park Fencing	50,000
Increase Expenditure - Buildings - Works Depot Amenities/Training Room	50,000
Increase Expenditure - Internal Contributions - Human Resources - WC Safety and Incentive rebate program	35,000
Decrease Expenditure - Human Resources - WC Safety and Incentive rebate program	(28,760)
Increase Expenditure - Central Tablelands Collections Facility - Furniture & Equip	25,661
Decrease Expenditure - Environmental Services - Revolving Energy Fund	(24,565)
Increase Expenditure - Internal contributions - Environmental Services - Revolving Energy Fund	24,565
Increase Expenditure - Central Tablelands Collections Facility - Consultants other	20,000
Increase Expenditure - Economic Development - Festival of Place Summer Night Fund	15,000
Decrease Expenditure - Works Depot - Materials Purchased	(12,000)
Increase Expenditure - Internal Contributions - Civic Centre - Revolving Energy Fund	11,166
Decrease Expenditure - Internal Council Charges - Environmental Services - Revolving Energy Fund	(11,166)
Decrease Expenditure - Development Assessment Employee Costs	(10,000)
Increase Expenditure - Development Assessment - Consultant fees	10,000
Decrease Expenditure - Human Resources- Contractors WC Safety and Incentive rebate program	(6,240)



## Attachment 9.3.2.2

Increase Expenditure - Various < \$5,000	2,300
Decrease Expenditure - Various < \$5,000	(3,000)
	<b>7,575,579</b>
<b>Total</b>	<b>0</b>

NOTE - 1 - additional costs and/or lost income due to the ongoing COVID-19 pandemic have been identified by Council in Item 8.3.8 of Council Meeting of 15/09/2021, Item 8.3.7 of Council Meeting of 17/11/2021 and Item 9.3.6 of Council Meeting of 16/03/2022. These forecasts predict a total net cost to Council for 2021/22 of \$927,547. As at 31/03/2022, \$927,547 of savings have been identified to offset this net loss. Further costs and savings are to be identified in the next quarter if required. As these COVID costs/savings have been detailed and approved by Council, the individual increases & decreases to income & expenditure have been summarised above.

The above variations are referred to in the 'Budget Review Income & Expenditure Statement (Consolidated)', 'Budget Review Capital Budget' and 'Budget Review Cash and Investment Position' as recommended changes for Council. The anticipated effect of these variations is displayed in the projected year end results.



## Bathurst Regional Council

Budget review for the quarter ended - 31 March 2022

## 3. Budget Review Income &amp; Expenditure Statement (Consolidated)

	Original Budget 2021/2022	Carry Forwards	Approved Changes Council Minutes COVID <sup>1</sup>	September Review	December Review	Revised Budget 2021/2022	Recommended Changes for Council	Projected Year End Result	Actual YTD
\$'000									
<b>Income from Continuing Operations</b>									
<b>Revenue:</b>									
Rates & Annual Charges	51,370					51,370		51,370	39,985
User Charges & Fees	29,685		(467)	(32)	7	29,193		29,193	10,648
Interest & Investments Revenue	1,178					1,178		1,178	482
Other Revenue	5,033		(230)		106	4,909		4,909	1,394
Grants & Contributions provided for Operating Purposes	12,571	1,019	(5)	102	(576)	13,111	63	13,174	7,348
Grants & Contributions provided for Capital Purposes	20,077	58,585	(100)	1,283	1,229	81,074	7,597	88,672	9,032
<b>Other Income:</b>									
Net gains from the disposal of assets	18,366	242			(266)	18,342		18,342	8,611
Rental Income	-					-		-	1,827
<b>Total Income from Continuing Operations</b>	<b>138,281</b>	<b>59,845</b>	<b>(802)</b>	<b>1,353</b>	<b>501</b>	<b>199,178</b>	<b>7,660</b>	<b>206,838</b>	<b>79,327</b>
<b>Expenses from Continuing Operations</b>									
Employee Benefits & On-Costs	32,344	60	(246)	(60)	24	32,121	(3)	32,118	25,472
Borrowing Costs	1,095					1,095		1,095	787
Materials & Contractors	34,616	3,633	(403)	162	(320)	37,688	(14)	37,674	25,578
Depreciation & Amortisation	26,785					26,785		26,785	19,412
Other Expenses	12,700	85	(152)	12	(4)	12,642	5	12,647	8,298
<b>Total Expenses from Continuing Operations</b>	<b>107,540</b>	<b>3,778</b>	<b>(801)</b>	<b>114</b>	<b>(300)</b>	<b>110,331</b>	<b>(12)</b>	<b>110,319</b>	<b>79,547</b>
<b>Net Operating Result from Continuing Operations</b>	<b>30,741</b>	<b>56,067</b>	<b>(1)</b>	<b>1,239</b>	<b>801</b>	<b>88,847</b>	<b>7,672</b>	<b>96,519</b>	<b>(220)</b>
<b>Net Operating Result Before Grants &amp; Contributions Provided for Capital Purposes</b>	<b>10,664</b>	<b>(2,517)</b>	<b>99</b>	<b>(44)</b>	<b>(428)</b>	<b>7,773</b>	<b>75</b>	<b>7,847</b>	<b>(9,251)</b>

NOTE - 1 - additional costs and/or lost income due to the ongoing COVID-19 pandemic have been identified by Council in Item 8.3.8 of Council Meeting of 15/09/2021, Item 8.3.7 of Council Meeting of 17/11/2021 and Item 9.3.6 of Council Meeting of 16/03/2022. These forecasts predict a total net cost to Council for 2021/22 of \$927,547. As at 31/03/2022, \$927,547 of savings have been identified to offset this net loss. Further costs and savings are to be identified in the next quarter if required. As these COVID costs/savings have been detailed and approved by Council, the individual increases & decreases to income & expenditure have been summarised above.

**Notes:**

Original budget +/- approved budget changes in previous quarters = Revised Budget  
 Revised Budget +/- recommended changes this quarter = Projected Year End Result

Interest on unexpended loans is not calculated until the end of financial year, as it is assumed that all loan funds will be used in the period in which they are taken out.

Salaries and wages capital oncost is not calculated until the end of financial year.

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/03/2022 and should be read in conjunction with the other sections in the QBR. Recommended changes in this section are listed in section 2. Recommended Budget Variations.



## Bathurst Regional Council

## Budget review for the quarter ended - 31 March 2022

## 4. Budget Review Capital Budget

	Original Budget 2021/2022	Carry Forwards	Approved Changes Council Minutes COVID <sup>1</sup>	September Review	December Review	Revised Budget 2021/2022	Recommended Changes for Council	Projected Year End Result	Actual YTD
<b>Capital Expenditure</b>									
Plant & Equipment	3,405	1,139			(82)	4,461		4,461	3,001
Office Equipment	35	34				69		69	61
Furniture & Fittings						-		-	-
Land	150		(150)			-		-	-
Land Under Roads						-		-	-
Land Improvements	1,150	1,379		(2)	(91)	2,436	930	3,366	544
Buildings	3,961	8,081	(50)	141	51	12,184	350	12,534	5,044
Structures	5,012	621		(15)	97	5,714	(500)	5,214	2,079
Roads, Bridges, Footpaths	10,157	57,299		1,292	278	69,026	1,817	70,843	6,373
Bulk Earthworks	85					85		85	44
Stormwater	1,305	268				1,573		1,573	1,551
Water Supply	7,613	3,873		2,100	450	14,036	5,000	19,036	5,356
Sewerage Network	3,273	639		600	550	5,063		5,063	740
Other Assets	295				51	346		346	262
Investment Property						-		-	-
Real Estate	15,170					15,170		15,170	328
<b>Total Capital Expenditure</b>	<b>51,612</b>	<b>73,332</b>	<b>(200)</b>	<b>4,116</b>	<b>1,304</b>	<b>130,164</b>	<b>7,597</b>	<b>137,761</b>	<b>25,382</b>
<b>Funded by</b>									
Loans	4,060					4,060		4,060	-
Asset Sales	861	242			(266)	837		837	475
Reserves - Internal	9,070	2,425		698	65	12,258	(100)	12,158	3,838
Reserves - External	5,337	5,492		2,100	1,000	13,929		13,929	2,790
Reserves - Loans		6,479			30	6,508		6,508	1,278
Grants & Contributions	11,501	58,825		1,268	58	71,653	7,497	79,150	7,104
Recurrent revenue	20,783	(132)	(200)	50	418	20,919	200	21,119	9,896
Other	-			-	-	-	-	-	-
<b>Total</b>	<b>51,612</b>	<b>73,332</b>	<b>(200)</b>	<b>4,116</b>	<b>1,304</b>	<b>130,164</b>	<b>7,597</b>	<b>137,761</b>	<b>25,382</b>

**Note:**

Loans are not drawn down until close to the end of the financial year, in anticipation that interest rates will fall.

Salaries and wages capital oncost is not calculated until the end of financial year.

Original budget +/- approved budget changes in previous quarters = Revised Budget

Revised Budget +/- recommended changes this quarter = Projected Year End Result

NOTE - 1 - additional costs and/or lost income due to the ongoing COVID-19 pandemic have been identified by Council in Item 8.3.8 of Council Meeting of 15/09/2021, Item 8.3.7 of Council Meeting of 17/11/2021 and Item 9.3.6 of Council Meeting of 16/03/2022. These forecasts predict a total net cost to Council for 2021/22 of \$927,547. As at 31/03/2022, \$927,547 of savings have been identified to offset this net loss. Further costs and savings are to be identified in the next quarter if required. As these COVID costs/savings have been detailed and approved by Council, the individual increases & decreases to income & expenditure have been summarised above.

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/03/2022 and should be read in conjunction with the other sections in the QBRs. Recommended changes in this section are listed in section 2 of the QBRs Recommended Budget Variations.



## Bathurst Regional Council

Budget review for the quarter ended - 31 March 2022

## 5. Budget Review Cash and Investments Position

	Original Budget 2021/2022	Carry Forwards	Approved Changes Council Minutes COVID <sup>1</sup>	September Review	December Review	Revised Budget 2021/2022	Recommended Changes for Council	Projected Year End Result	Actual YTD
\$'000									
<b>External Restrictions - Included in Liabilities</b>									
Specific Purpose Unexpended Loans - General Fund (1)	-	-	-	-	-	-	-	-	2,250
Specific Purpose Unexpended Loans - Water Fund (1)	-	-	-	-	-	-	-	-	-
<b>External Restrictions - Included in Liabilities</b>	-	-	-	-	-	-	-	-	<b>2,250</b>
<b>External Restrictions</b>									
<u>General Fund</u>									
Developer Contributions - General (2)	14,147	(1,560)	-	-	-	12,587	-	12,587	11,030
Specific Purpose Unexpended Grants (3)	1,099	(310)	-	(9)	(40)	739	-	739	1,415
<u>Water Fund</u>									
Developer Contributions - Water (2)	6,788	-	-	(2,100)	(450)	4,238	-	4,238	7,143
Specific Purpose Unexpended Grants - Water (3)	7	-	-	-	-	7	-	7	7
Water Supplies - Reserves (4)	653	-	-	-	(115)	538	-	538	4,543
<u>Sewer Funds</u>									
Developer Contributions - Sewer (2)	20,016	-	-	-	(550)	19,466	-	19,466	22,714
Specific Purpose Unexpended Grants - Sewer (3)	-	-	-	-	-	-	-	-	-
Sewerage Services - Reserves (4)	16,116	-	-	(600)	(15)	15,501	-	15,501	23,310
<u>Domestic Waste Management</u>									
Specific Purpose Unexpended Grants - Waste (3)	3	-	-	-	-	3	-	3	3
Domestic Waste Management - Reserves (4)	1,797	(53)	-	-	(58)	1,686	-	1,686	2,098
<b>External Restrictions</b>	<b>60,625</b>	<b>(1,923)</b>	<b>-</b>	<b>(2,709)</b>	<b>(1,227)</b>	<b>54,765</b>	<b>-</b>	<b>54,765</b>	<b>72,263</b>
<b>Total Externally Restricted</b>	<b>60,625</b>	<b>(1,923)</b>	<b>-</b>	<b>(2,709)</b>	<b>(1,227)</b>	<b>54,765</b>	<b>-</b>	<b>54,765</b>	<b>74,513</b>
<b>Internal Restrictions - Waste Services</b>									
Waste Services - Reserves	617	(43)	-	-	(7)	567	-	567	1,978
Waste Services - Internal Restrictions	16,922	(111)	-	-	-	16,812	-	16,812	12,759
<b>Internal Restrictions - Waste Services</b>	<b>17,539</b>	<b>(153)</b>	<b>-</b>	<b>-</b>	<b>(7)</b>	<b>17,378</b>	<b>-</b>	<b>17,378</b>	<b>14,738</b>
<b>Internal Restrictions - Ordinary Services</b>									
Corporate Services & Finance	11,277	(69)	-	(20)	-	11,188	(60)	11,128	525
Cultural & Community Services	922	-	-	(98)	-	824	-	824	392
Engineering Services	1,128	(335)	-	(50)	(184)	559	-	559	962
Environmental, Planning & Building Services	8	(8)	-	-	-	( )	11	11	8
<b>Internal Restrictions - Ordinary Services</b>	<b>13,334</b>	<b>(412)</b>	<b>-</b>	<b>(168)</b>	<b>(184)</b>	<b>12,571</b>	<b>(48)</b>	<b>12,523</b>	<b>1,886</b>
<b>Total Internally Restricted</b>	<b>30,873</b>	<b>(565)</b>	<b>-</b>	<b>(168)</b>	<b>(191)</b>	<b>29,950</b>	<b>(48)</b>	<b>29,901</b>	<b>16,624</b>
<b>Total Restricted</b>	<b>91,498</b>	<b>(2,488)</b>	<b>-</b>	<b>(2,877)</b>	<b>(1,418)</b>	<b>84,715</b>	<b>(48)</b>	<b>84,666</b>	<b>91,137</b>
<b>Total Cash and Investments</b>	<b>91,571</b>	<b>(2,488)</b>	<b>-</b>	<b>(2,877)</b>	<b>(1,418)</b>	<b>84,788</b>	<b>(48)</b>	<b>84,739</b>	<b>91,906</b>
<b>Available Cash</b>	<b>73</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>73</b>	<b>-</b>	<b>73</b>	<b>770</b>

## Investments

All funds have been invested in accordance with Council's investment policies, the Minister's Order dated 12th January 2011, the Local Government Act 1993, and associated regulations.

## Cash

This Cash at Bank amount has been reconciled to Council's physical Bank Statements. The date of completion of this bank reconciliation is 31/03/2022. "Cash" includes cash and funds held in Cash on Call accounts.

## Reconciliation of Cash &amp; Investments

The below reconciliation displays how the above mentioned funds are held and invested.

Cash	3,176
Short Term -Term Deposits	69,000
Long Term -Term Deposits	7,230
Floating Rate Notes	12,500
<b>Total Cash and Investments</b>	<b>91,906</b>

## Notes:

The **Available Cash** position excludes restricted funds. External restrictions are funds that must be spent for a specific purpose and cannot be used by council for general operations. Internal restrictions are funds that council has determined will be used for a specific future purpose.

- (1) Loans money must be applied for the purpose for which the loans were raised.
- (2) Development contributions which are not yet expended for the provision of services and amenities in accordance with contribution plans.
- (3) Grants which are not yet expended for the purpose for which the grants were obtained.
- (4) Water, Sewer & Domestic Waste Management are externally restricted assets and must be applied for the purpose for which they were raised.

Original budget +/- approved budget changes in previous quarters = Revised Budget  
Revised Budget +/- recommended changes this quarter = Projected Year End Result

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/03/2022 and should be read in conjunction with the other sections in the QBRs. Recommended changes in this section are listed in section 2 of the QBRs Recommended Budget Variations.



## Bathurst Regional Council

## Budget review for the quarter ended - 31 March 2022

## 6. Budget Review Key Performance Indicators

	September		December		March		June		Prior Years		
	Amounts	Indicator	Amounts	Indicator	Amounts	Indicator	Amounts	Indicator	2021	2020	2019
<b>1. Building &amp; Infrastructure Renewal Ratio</b>											
Asset Renewal (Building & Infrastructure)	2,481	37.05%	6,383	50.20%	9,892	50.96%			46.85%	75.58%	56.70%
Depreciation, Amortisation & Impairment (Building & Infrastructure Assets)	6,696		12,716		19,412						

This section is still under development, with more KPI ratio's to be added

**Notes:**

Capitalisation of Interest on unexpended loans is not calculated until the end of financial year, as it is assumed that all loan funds will be used in the period in which they are taken out

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/03/2022 and should be read in conjunction with the other sections in the QBRS. Recommended changes in this section are listed in section 2 of the QBRS Recommended Budget Variations



# Bathurst Regional Council

Budget review for the quarter ended - 31 March 2022

## 7. Budget Review Contractors and Other Expenses Part A - Contractors Listing

Date	Order Number	Company	Contract details	Amount \$	Total Amount \$	Explanation (If not Budgeted)
17/01/2022	169160	Stantec Australia Pty Ltd	Bathurst Water Harvesting Scheme - Aquatic Ecology	107,306.10	107,306.10	
18/01/2022	169218	Statewide Mutual	Settlement In Public Liability Matter	88,495.00	88,495.00	
27/01/2022	169477	Omega Chemicals	Omega Chemicals : Supply As Per Quotation	60,775.00	60,775.00	
1/02/2022	169652	Colas NSW Pty Ltd	Reseal Hill End Road 0 - 3 Km	120,543.74		
			Reseal Various Rural Roads	287,011.90		
			Reseal Various Urban Roads	299,978.56	707,534.20	
1/02/2022	169665	Hibbo Hire Pty Ltd	Granite	52,800.00	52,800.00	
16/02/2022	170352	Mott Macdonald Australia Pty Ltd	Supply Temporary Flow Meters	109,769.00	109,769.00	
16/02/2022	170354	Mott Macdonald Australia Pty Ltd	Supply Permanent Flow Meters	90,398.00	90,398.00	
16/02/2022	170355	Mott Macdonald Australia Pty Ltd	Undertake Pressure Monitoring At Various Locations	86,625.00	86,625.00	
18/02/2022	170484	River Park Constructions Pty Ltd	37.00718 - Refurbishment Of Morse Park Amenities Block	96,420.00	96,420.00	
18/02/2022	170486	ELS Projects Pty Limited	Accessible Toilets Refurbishment At Machattie Pk	99,330.80	99,330.80	
21/02/2022	170527	Alto Valves & Fittings	Water Treatment - Magnesium Hydroxide Supply	157,300.00	157,300.00	
25/02/2022	170746	Dunbar Hire Pty Ltd t/as Dunbar Scaffold Hire	Scaffolding And Decking For Bathurst NRL	60,830.00	60,830.00	
25/02/2022	170747	AVESCO Events Unit Trust	Cleaning Contribution 2021 Bathurst 100	122,519.10	122,519.10	
1/03/2022	170855	NBN Co Limited	NBN Connection To Airport	61,600.00	61,600.00	
1/03/2022	170862	Audit Office of NSW	Audit Fees 2021/22	81,400.00	81,400.00	
3/03/2022	170977	ESEM Projects	Winter Festival Illuminations	242,000.00	242,000.00	
3/03/2022	170987	Colas NSW Pty Ltd	Seal Hen And Chicken Lane From 5.38 To 6.54 Km	56,236.62		
			Reseal Various Urban Streets	238,156.21	294,392.83	
8/03/2022	171163	Renzo Tonin & Associates (NSW) Pty Limited	Kart Track Apple Orchard Acoustic Assessment	60,000.00	60,000.00	
9/03/2022	171288	Webber Concrete Constructions	Installation Of Concrete Box Culverts On Rivulet Rd	118,500.00	118,500.00	
14/03/2022	171420	Penrith District Rugby League	Services provided	82,500.00	82,500.00	
17/03/2022	171577	Electoral Commission NSW	2021 Local Government Election	355,869.00	355,869.00	
17/03/2022	171589	WEARS Australia	Chifley Dam Bathurst Repair Of Main Mixers	110,220.00	110,220.00	
29/03/2022	172006	IXOM Operations Pty Ltd	Supply chemicals as Per Tender No 36.00737	188,100.00	188,100.00	
31/03/2022	172110	Colas NSW Pty Ltd	Reseal Various City Streets	94,504.42	94,504.42	
31/03/2022	172119	Penrith District Rugby League	Services provided	262,807.05	262,807.05	
					<b>3,791,996</b>	

### Notes:

1. Minimum reporting level is 1% of estimated income from continuing operations or \$50,000, whichever is the lesser.
2. Contractors to be listed are those entered into during the quarter.
3. Contracts for employment are not required to be included.
4. Where a contract for a service etc. was not included in the budget, an explanation is to be given.
5. Above amounts are GST inclusive (where applicable).

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/03/2022 and should be read in conjunction with the other sections in the QBR.



## Bathurst Regional Council

Budget review for the quarter ended - 31 March 2022

### 7. Budget Review Contractors and Other Expenses

#### Part B - Consultancy and Legal Expenses

Expense	Budgeted \$	Expenditure YTD \$
<b>Consultancies</b>	<b>2,854,040</b>	<b>1,198,137</b>
<b>Engineering</b>	<b>2,112,321</b>	<b>829,213</b>
Water Drought Management		239,655
Mt Panorama Second Track Design		182,853
Chifley Dam Maintenance		91,545
Winburndale Dam operating		64,385
Sewer - Solar Panels for WWTW		57,129
Drinking Water Management System		41,123
Go Kart Track		37,905
Water Best Practice Guidelines Maintenance		31,727
Mt Panorama Section 10 application		30,925
Llanarth Open Space landscaping design		17,651
Carrington Park Grandstand extension		13,536
Design of Centennial Park Upgrade		8,800
Mt Panorama sign refurbishment		6,600
Other minor consultancies costs (Pool of cost under \$5,000)		5,379
<b>Corporate Services and Finance</b>	<b>391,001</b>	<b>174,830</b>
HR Consultants		61,200
IT Consultants		35,030
Events Consultants		18,506
Councillor Code of Conduct complaints		30,450
HR Employee Assistance Program		10,894
Community Survey		8,500
Other minor consultancies costs (Pool of cost under \$5,000)		3,912
<b>Cultural &amp; Community Services</b>	<b>30,718</b>	<b>10,679</b>
Aboriginal commitment strategy		5,720
Other minor consultancies costs (Pool of cost under \$5,000)		4,959
<b>Development and Environmental Services</b>	<b>320,000</b>	<b>183,415</b>
Active Transport Plan		31,300
Bathurst Integrated Medical Centre		19,890
State of Environment Reports		15,660
Hereford Street Duplication Investigations		13,640
Streets as Shared Spaces		13,244
Bathurst Animal Rehoming Centre		12,928
NSW Regional Cities group		10,000
Professional Town Planning services		9,966
Heritage Advisory Grant		9,455
Evo Cities		8,151
BizMonth		7,925
Technology Park		5,960
Biodiversity Management & Education		5,890
Heritage Studies & Urban Design		5,815
Other minor consultancies costs (Pool of cost under \$5,000)		13,591

Explanation - Actual YTD expenditure for the year is in line with Budget.



## Bathurst Regional Council

Budget review for the quarter ended - 31 March 2022

### 7. Budget Review Contractors and Other Expenses Part B - Consultancy and Legal Expenses

Expense	Budgeted \$	Expenditure YTD \$
<b>External Legal Fees</b>	<b>607,615</b>	<b>453,307</b>
<b>Engineering</b>	<b>306,506</b>	<b>233,849</b>
Drought Management		150,745
Property Acquisition for Roads		55,265
Mt Panorama Section 10 application		18,880
Water Best Practice Guidelines Maintenance		6,793
Other minor legal costs (Pool of cost under \$5,000)		2,166
<b>Corporate Services and Finance</b>	<b>198,000</b>	<b>156,116</b>
Debt collection services		36,623
Aboriginal claims		34,576
Legal costs - public liability claim		33,192
Former TAFE - adaptive re-use		17,902
HR Advice		16,876
Former Ambulance Station		5,718
Corporate Services - General Legal Expenses		3,880
Land Development		2,422
Legal costs - Code of Conduct complaints		1,750
Other minor legal costs (Pool of cost under \$5,000)		3,177
<b>Cultural &amp; Community Services</b>	<b>17,109</b>	<b>4,480</b>
Other minor legal costs (Pool of cost under \$5,000)		4,480
<b>Development and Environmental Services</b>	<b>86,000</b>	<b>58,862</b>
Legal costs - DA		52,847
Technology Park		6,015

Explanation - Actual expenditure for the year is in line with Budget.

#### **Notes:**

##### **Definition of consultant:**

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision-making by management. Generally it is the advisory nature of the work that differentiates a consultant from other contractors.

This section forms part of Bathurst Regional Council's Quarterly Budget Review Statement for the quarter ending 31/03/2022 and should be read in conjunction with the other sections in the QBRS.



## Bathurst Regional Council

### Budget review for the quarter ended - 31 March 2022

#### 8. Budget Review by Department in Funding Format

	2021/22 Original Budget	2021/22 Revised Budget	Mar YTD Actuals
<b>Engineering</b>			
<b>Engineering Works</b>			
Income	(15,839,424)	(27,462,559)	(8,202,647)
Expenditure	21,113,192	32,666,615	16,267,675
<b>Engineering Works</b>	<b>5,273,768</b>	<b>5,204,056</b>	<b>8,065,028</b>
<b>Recreation</b>			
Income	(7,562,285)	(15,137,434)	(3,160,766)
Expenditure	15,304,601	22,879,750	8,310,519
<b>Recreation</b>	<b>7,742,316</b>	<b>7,742,316</b>	<b>5,149,753</b>
<b>Technical Services</b>			
Income	(4,436,186)	(4,782,814)	(1,738,459)
Expenditure	5,503,871	5,777,499	3,745,833
<b>Technical Services</b>	<b>1,067,685</b>	<b>994,685</b>	<b>2,007,374</b>
<b>Water</b>			
Income	(24,823,531)	(36,540,073)	(17,301,326)
Expenditure	24,279,932	35,996,474	16,763,178
<b>Water</b>	<b>(543,599)</b>	<b>(543,599)</b>	<b>(538,148)</b>
<b>Wastewater</b>			
Income	(20,796,795)	(22,898,183)	(15,209,147)
Expenditure	20,274,902	22,376,290	14,547,521
<b>Wastewater</b>	<b>(521,893)</b>	<b>(521,893)</b>	<b>(661,625)</b>
<b>Waste Management</b>			
Income	(15,992,588)	(16,263,575)	(12,923,301)
Expenditure	15,992,588	16,263,575	12,923,301
<b>Waste Management</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Engineering Office</b>			
Income	(2,926,294)	(3,241,286)	(2,246,534)
Expenditure	4,864,265	5,179,257	4,103,762
<b>Engineering Office</b>	<b>1,937,971</b>	<b>1,937,971</b>	<b>1,857,228</b>
<b>Mount Panorama</b>			
Income	(4,150,280)	(51,020,665)	(1,277,882)
Expenditure	4,284,343	51,154,728	2,902,570
<b>Mount Panorama</b>	<b>134,063</b>	<b>134,063</b>	<b>1,624,687</b>
<b>Total Engineering</b>	<b>15,090,311</b>	<b>14,947,599</b>	<b>17,504,298</b>

#### Notes:

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.



## Bathurst Regional Council

### Budget review for the quarter ended - 31 March 2022

#### 8. Budget Review by Department in Funding Format

	2021/22 Original Budget	2021/22 Revised Budget	Mar YTD Actuals
<b>Corporate Services and Finance</b>			
<b>Governance</b>			
Income	(386,650)	(324,070)	(50,980)
Expenditure	1,790,080	1,712,500	1,054,566
<b>Governance</b>	<b>1,403,430</b>	<b>1,388,430</b>	<b>1,003,587</b>
<b>Administration</b>			
Income	(11,750,877)	(11,861,054)	(11,095,598)
Expenditure	17,957,185	18,266,096	10,777,749
<b>Administration</b>	<b>6,206,308</b>	<b>6,405,042</b>	<b>(317,849)</b>
<b>Contribution to Other Organisations</b>			
Income	(492,504)	(513,865)	(406,419)
Expenditure	2,064,882	2,086,243	1,398,440
<b>Contribution to Other Organisations</b>	<b>1,572,378</b>	<b>1,572,378</b>	<b>992,021</b>
<b>Land &amp; Buildings</b>			
Income	(40,504,302)	(40,740,971)	(10,522,978)
Expenditure	40,037,643	40,274,312	11,245,438
<b>Land &amp; Buildings</b>	<b>(466,659)</b>	<b>(466,659)</b>	<b>722,460</b>
<b>Funding Operations</b>			
Income	(38,080,659)	(38,080,659)	(23,956,238)
Expenditure	3,917,820	3,917,820	416,598
<b>Funding Operations</b>	<b>(34,162,839)</b>	<b>(34,162,839)</b>	<b>(23,539,640)</b>
<b>Total Corporate Services and Finance</b>	<b>(25,447,382)</b>	<b>(25,263,648)</b>	<b>(21,139,421)</b>

#### **Notes:**

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.



## Bathurst Regional Council

### Budget review for the quarter ended - 31 March 2022

#### 8. Budget Review by Department in Funding Format

	2021/22 Original Budget	2021/22 Revised Budget	Mar YTD Actuals
<b>Cultural &amp; Community Services</b>			
<b>Community &amp; Children Services</b>			
Income	(3,076,206)	(3,149,946)	(2,118,212)
Expenditure	3,243,382	3,239,122	2,151,678
<b>Community &amp; Children Services</b>	<b>167,176</b>	<b>89,176</b>	<b>33,465</b>
<b>Cultural &amp; Community Services Office</b>			
Income	(126,000)	(129,800)	(95,940)
Expenditure	1,156,225	1,140,025	796,531
<b>Cultural &amp; Community Services Office</b>	<b>1,030,225</b>	<b>1,010,225</b>	<b>700,591</b>
<b>Library Services</b>			
Income	(200,695)	(576,073)	(192,619)
Expenditure	1,825,139	2,178,517	1,312,593
<b>Library Services</b>	<b>1,624,444</b>	<b>1,602,444</b>	<b>1,119,975</b>
<b>Tourism</b>			
Income	(295,352)	(302,000)	(125,590)
Expenditure	1,265,729	1,212,377	711,039
<b>Tourism</b>	<b>970,377</b>	<b>910,377</b>	<b>585,449</b>
<b>Art Galleries</b>			
Income	(314,690)	(481,752)	(132,237)
Expenditure	1,205,395	1,372,528	761,141
<b>Art Galleries</b>	<b>890,705</b>	<b>890,776</b>	<b>628,904</b>
<b>Entertainment Centres</b>			
Income	(1,194,045)	(1,160,976)	(316,312)
Expenditure	2,198,028	2,207,566	1,213,993
<b>Entertainment Centres</b>	<b>1,003,983</b>	<b>1,046,590</b>	<b>897,682</b>
<b>Museums</b>			
Income	(2,760,277)	(5,356,708)	(3,359,085)
Expenditure	3,977,728	6,744,060	4,416,825
<b>Museums</b>	<b>1,217,451</b>	<b>1,387,352</b>	<b>1,057,740</b>
<b>Total Cultural &amp; Community Services</b>	<b>6,904,361</b>	<b>6,936,940</b>	<b>5,023,806</b>

#### **Notes:**

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.



## Bathurst Regional Council

### Budget review for the quarter ended - 31 March 2022

#### 8. Budget Review by Department in Funding Format

	2021/22 Original Budget	2021/22 Revised Budget	Mar YTD Actuals
<b>Development and Environmental Services</b>			
<b>Environmental Services</b>			
Income	(2,158,416)	(6,468,294)	(2,451,055)
Expenditure	2,939,660	7,315,937	2,850,694
<b>Environmental Services</b>	<b>781,244</b>	<b>847,643</b>	<b>399,639</b>
<b>Planning Services</b>			
Income	(227,000)	(1,045,864)	(610,661)
Expenditure	1,843,733	2,607,597	1,779,876
<b>Planning Services</b>	<b>1,616,733</b>	<b>1,561,733</b>	<b>1,169,215</b>
<b>Building Services</b>			
Income	(1,568,072)	(1,521,523)	(1,126,629)
Expenditure	2,007,431	1,960,882	1,463,890
<b>Building Services</b>	<b>439,359</b>	<b>439,359</b>	<b>337,260</b>
<b>Economic Development</b>			
Income	(59,652)	(49,585)	(47,382)
Expenditure	662,231	567,164	367,398
<b>Economic Development</b>	<b>602,579</b>	<b>517,579</b>	<b>320,016</b>
<b>Total Development and Environmental Services</b>	<b>3,439,915</b>	<b>3,366,314</b>	<b>2,226,130</b>
<b>Grand Total</b>	<b>(12,795)</b>	<b>(12,795)</b>	<b>3,614,812</b>

**Notes:**

1. Section 8 is in funding format, which includes capital expenditure & all sources of funds.
2. Section 8 does not include depreciation expense.
3. Section 8 includes internal transactions.



# Attachment 9.3.3.1

2021-2022 Section 356 Donations  
Report as at 31 March 2022

Details	Reference	Date	Standard Annual Donations	Specific Donations	Mt Pan Fee Waived	BMEC Donations	Sundry Donations	TOTAL
			\$	\$	\$	\$	\$	\$
<b>Annual Budget</b>			<b>85,067.00</b>	<b>20,800.00</b>	<b>35,000.00</b>	<b>60,000.00</b>	<b>20,000.00</b>	<b>220,867.00</b>
<b>Spent to date:</b>								
Country Women's Association of NSW - Central Western Group (CWA)	Operation Plan	27/07/2021		-300.00				-300.00
Perthville Development Group Inc	Operation Plan	27/07/2021		-1,000.00				-1,000.00
Bathurst Edgell Jog	Operation Plan	27/07/2021		-5,000.00				-5,000.00
Bathurst Edgell Jog	Refund - event cancelled	29/09/2021		5,000.00				5,000.00
Bathurst Remembers / AVAMS / Communications and Resources Project	Operation Plan	27/07/2021		-4,000.00				-4,000.00
WRAS Annual Subscription/donation	Operation Plan	27/07/2021	-2,595.00					-2,595.00
Bathurst AH&P Association	Operation Plan	28/07/2021	-8,244.00					-8,244.00
Monkey Hill UHF Repeater	Operation Plan	30/07/2021	-1,000.00					-1,000.00
Lions Club of Bathurst Inc	Operation Plan	30/07/2021	-2,000.00					-2,000.00
Lifeline Central West	Operation Plan	30/07/2021		-2,500.00				-2,500.00
Bathurst Gardener's Club Inc	Operation Plan	30/07/2021		-500.00				-500.00
BMEC - CPSA Monthly Meetings - 1st July	Operation Plan	30/07/2021				-898.64		-898.64
Bathurst District Historical Society (BDHS) - VJ Day	Operation Plan	31/07/2021		-3,000.00				-3,000.00
Sofala & District AH&P Association	Operation Plan	31/07/2021	-350.00					-350.00
Bathurst Junior Sports Awards	Operation Plan	31/07/2021	-5,000.00					-5,000.00
The Neighbourhood Centre (formerly BINC)	Operation Plan	1/08/2021	-900.00					-900.00
Sofala Progress Association	Operation Plan	13/08/2021	-720.00					-720.00
Central Tablelands Rowing Club Inc	18/08/21 Item 8 2 7	31/08/2021					-5,000.00	-5,000.00
Central Tablelands Woodcraft Inc	Operation Plan	16/09/2021		-500.00				-500.00
Evans Art Council	Operation Plan	27/09/2021	-3,000.00					-3,000.00
Bathurst City Colts Water Account	Operation Plan	6/10/2021	-3,205.38					-3,205.38
Bathurst City & RSL Band Association Inc	Operation Plan	14/10/2021	-5,000.00					-5,000.00
Bathurst City Bowling Club	Operation Plan	14/10/2021		-1,000.00				-1,000.00
Bathurst Gardener's Club Inc	Operation Plan	19/10/2021		-500.00				-500.00
Meadow Flat Public School - presentation day	S356 Policy	15/12/2021					-60.00	-60.00
BMEC - CPSA Monthly Meetings - 4/11/21	Operation Plan	17/12/2021				-638.18		-638.18
BMEC - CPSA Monthly Meetings - 4/11/21 - New Councillor Forum	Operation Plan	31/12/2021				-794.54		-794.54
BMEC - CPSA Monthly Meetings - 5/8/21	Operation Plan	31/12/2021				-1,063.40		-1,063.40
Small Schools Creative Arts Festival 27/10/21	S356 Policy	31/12/2021				-496.00		-496.00
O'Connell School presentation day 15/12/21	S356 Policy	31/12/2021				-248.00		-248.00
CSU Foundation Trust (Gordon Bullock Scholarship)	Operation Plan	8/02/2022	-3,000.00					-3,000.00
CSU Foundation Trust	Operation Plan	8/02/2022	-5,000.00					-5,000.00
Bushrangers ARFC (BDRSC grants)	Operation Plan	16/03/2022	-738.00					-738.00
Bushrangers ARFC (BDRSC grants)	Operation Plan	16/03/2022	-600.00					-600.00
Bathurst Cycling Club Inc (BDRSC grants)	Operation Plan	16/03/2022	-3,000.00					-3,000.00
Panorama Motorcycle Club (BDRSC grants)	Operation Plan	16/03/2022	-2,500.00					-2,500.00
Bathurst Rifle Club (BDRSC grants)	Operation Plan	16/03/2022	-1,200.00					-1,200.00
Bathurst Hockey Association (BDRSC grants)	Operation Plan	16/03/2022	-4,880.00					-4,880.00
BMEC - CPSA Monthly Meetings - 3/2/22	Operation Plan	18/03/2022				-985.28		-985.28
BMEC - CPSA Monthly Meetings - 3/3/22	Operation Plan	18/03/2022				-1,205.00		-1,205.00
<b>Amount Spent</b>			<b>-52,932.38</b>	<b>-13,300.00</b>	<b>0.00</b>	<b>-6,329.04</b>	<b>-5,060.00</b>	<b>-77,621.42</b>
<b>Available Balance before commitments</b>			<b>32,134.62</b>	<b>7,500.00</b>	<b>35,000.00</b>	<b>53,670.96</b>	<b>14,940.00</b>	<b>143,245.58</b>
<b>Committed:</b>								
Macquarie Philharmonia - Platinum Donation	Operation Plan		-2,000.00					-2,000.00
Bathurst City Colts Water Account	Operation Plan		-3,828.62					-3,828.62
Bathurst District Sport & Rec (BDRSC) grants	Operation Plan		-7,082.00					-7,082.00
Mitchell Conservatorium - BMEC Concerts	Operation Plan					-7,000.00		-7,000.00
BMEC - Bathurst Eisteddfod Sep 2021	Operation Plan					-30,000.00		-30,000.00
BMEC - Bathurst Youth Council	Operation Plan					-2,000.00		-2,000.00
BMEC - CPSA Monthly Meetings	Operation Plan					-5,414.96		-5,414.96
Russell St Road Closures	Operation Plan		-10,000.00					-10,000.00
Western Sydney University Medical Scholarship	Operation Plan		-7,500.00					-7,500.00
Bathurst Seymour Centre Inc	Operation Plan			-2,500.00				-2,500.00
Bathurst Street & Custom Motorcycle Show	19/05/21 Item 08 02 6						0.00	0.00
Lions Club of Mount Panorama Inc	16/03/22 Item 9 3 6						-35.00	-35.00
<b>Amount Committed</b>			<b>-30,410.62</b>	<b>-2,500.00</b>	<b>0.00</b>	<b>-44,414.96</b>	<b>-35.00</b>	<b>-77,360.58</b>
Adjustment between Funds								
<b>Available Balance</b>			<b>1,724.00</b>	<b>5,000.00</b>	<b>35,000.00</b>	<b>9,256.00</b>	<b>14,905.00</b>	<b>65,885.00</b>

Summary Remaining Budget	\$
Standard Annual Donations	1,724.00
Specified Donations	5,000.00
Mt Pan Fee Waived	35,000.00
BMEC Donations	9,256.00
Sundry Donations	14,905.00
<b>Total Remaining</b>	<b>65,885.00</b>

Summary	\$
Total Budget	220,867.00
Less: Amount Spent	-77,621.42
Less: Amount Committed	-77,360.58
<b>Total Remaining</b>	<b>65,885.00</b>



# Market Rental Subsidies for 2021/22

NAME OF TENANT	LOCATION	Current Rent PA	Estimated Market Rent	BRC Rental Subsidy
Mitchell Conservatorium	Machattie Park Cottage	561.00	17,140.00	16,579.00
Central Tablelands Woodcraft Inc	Learmonth Park	588.00	15,950.00	15,362.00
Community Opportunity Shop Inc	8 Lions Club Drive	1,122.00	21,266.00	20,144.00
Community Opportunity Shop Inc	Veggie Patch Church Lane	1.00	15,950.00	15,949.00
Air Services Australia	Aerodrome - Communication	1.00	19,139.00	19,138.00
Taxi Cabs of Bathurst Co-operative Society Ltd	Communication tower	1,308.00	19,139.00	17,831.00
Master Communications & Electronics Pty Ltd	Communication tower	4,547.00	19,139.00	14,592.00
Bathurst City & RSL Band Association	Walmer Park	233.00	21,266.00	21,033.00
Bathurst Lions Club Inc	Short St	1.10	15,950.00	15,948.90
Evans Arts Council Inc	Lee Street	500.00	5,317.00	4,817.00
Bathurst District Historical Society Inc	Mitre Street	1.00	10,634.00	10,633.00
Bathurst District Historical Society Inc	16 Stanley Street	1.00	10,634.00	10,633.00
Bathurst Meals on Wheels Inc	4 Watt Drive	1.00	53,163.00	53,162.00
Department of Defence (Air Cadets)	Aerodrome - Lot 25	90.91	13,648.00	13,557.09
Department of Defence (Air Cadets)	Aerodrome - Lot 36	90.91	39,425.00	39,334.09
				<b><u>288,713.08</u></b>



<b>POLICY:</b>	GOVERNANCE – PAYMENT OF EXPENSES AND PROVISION OF FACILITIES FOR COUNCILLORS
<b>DATE ADOPTED:</b>	Director Corporate Services & Finance Report #1 Policy 4 September 2019 Council 16 October 2019 Minute Book No. 13040  Director Corporate Services & Finance Report #1 Policy 3 July 2019 Council 17 July 2019 Minute Book No. 12999
<b>ORIGINAL ADOPTION:</b>	Director Corporate Services & Finance Report #1 Policy 1 December 2004 Council 8 December 2004 Minute Book No. 9416
<b>FILE REFERENCE:</b>	11.00008
<b>OBJECTIVE:</b>	Provide guidelines for payment of expenses and provision of facilities for Councillors in accordance with the Local Government Act.

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### 1. PURPOSE

Section 252 of the Local Government Act 1993, requires Councils to adopt a policy for the payment of expenses and provision of facilities to the Mayor, Deputy Mayor and Councillors.

The policy identifies expenses that will be paid and facilities that will be provided, to the Mayor, Deputy Mayor and Councillors in relation to discharging the functions of civic office.

**In the event that an Administrator is appointed for Bathurst Regional Council, this policy will apply to the Administrator in the same manner as the Mayor.**

### 2. OBJECTIVE

- To ensure that no Councillors suffer hardship by reason of meeting their civic responsibilities as an elected person.
- To adequately reimburse Councillors for expenses incurred in the performance of their duties, including expenses incurred in becoming adequately informed on subjects relevant to their civic duties.

### 3. STATEMENT OF PRINCIPLES

The Councillors are the elected governing body of Bathurst. To assist them to discharge their civic, statutory and policy making functions, they are entitled to be provided with the range of necessary facilities and to be reimbursed the expenses specified in this policy.



Recognising the special role of the Mayor this policy allows for the payment of some additional expenses and the provision of some additional facilities.

Claims for facilities and expenses not included in the policy will not be approved.

Where replacement equipment or facilities is required, Council's policy on plant and asset replacement will be followed. Equipment and facilities will be compatible with and of the same standard as other Council equipment and facilities.

Council's facilities and services, as detailed in this Policy, are available to Councillors while carrying out the functions of civic office. These facilities and services are not available for use by members of a Councillor's family, unless the use is directly related to attendance at a civic function or to another aspect of the Councillor's civic duties.

#### **4. LEGISLATIVE & LEGAL REQUIREMENTS**

The Local Government Act 1993 (Chapter 9, Part 2, Division 5) states:

##### 248 Fixing and payment of annual fees for Councillors

- (1) A Council must pay each Councillor an annual fee.
- (2) A Council may fix the annual fee and, if it does so, it must fix the annual fee in accordance with the appropriate determination of the Remuneration Tribunal.
- (3) The annual fee so fixed must be the same for each Councillor.
- (4) A Council that does not fix the annual fee must pay the appropriate minimum fee determined by the Remuneration Tribunal.

##### 248A Annual fees or other remuneration not to be paid during period of suspension

A council must not at any time pay any fee or other remuneration, to which a councillor would otherwise be entitled as the holder of a civic office, in respect of any period during which:

- (a) the councillor is suspended from civic office under this Act, or
- (b) the councillor's right to be paid any fee or other remuneration is suspended under this Act,

unless another provision of this Act specifically authorises payment to be made, or specifically permits a person to authorise payment to be made, when the suspension is terminated.

##### 249 Fixing and payment of annual fees for the Mayor

- (1) A Council must pay the Mayor an annual fee.
- (2) The annual fee must be paid in addition to the fee paid to the Mayor as a Councillor.
- (3) A Council may fix the annual fee and, if it does so, it must fix the annual fee in accordance with the appropriate determination of the Remuneration Tribunal.
- (4) A council that does not fix the annual fee must pay the appropriate minimum fee determined by the Remuneration Tribunal..
- (5) A Council may pay the Deputy Mayor (if there is one) a fee determined by the Council for such time as the Deputy Mayor acts in the office of the Mayor. The amount of the fee so paid must be deducted from the Mayor's annual fee.

##### 250 At what intervals are fees to be paid?

Fees payable under this Division by a Council are payable monthly in arrears for each month (or part of a month) for which the Councillor holds office."

##### 251 What is the consequence of paying fees?



- (1) A person is not, for the purposes of any Act, taken to be an employee of a Council and is not disqualified from holding civic office merely because the person is paid a fee under this Division.
- (2) A fee paid under this Division does not constitute salary for the purposes of any Act.”

### 252 Payment of expenses and provision of facilities

- (1) Within the first 12 months of each term of a council, the council must adopt a policy concerning the payment of expenses incurred or to be incurred by, and the provision of facilities to, the mayor, the deputy mayor (if there is one) and the other councillors in relation to discharging the functions of civic office.
- (2) The policy may provide for fees payable under this Division to be reduced by an amount representing the private benefit to the mayor or a councillor of a facility provided by the council to the mayor or councillor.
- (3) A council must not pay any expenses incurred or to be incurred by, or provide any facilities to, the mayor, the deputy mayor (if there is one) or a councillor otherwise than in accordance with a policy under this section.
- (4) A council may from time to time amend a policy under this section.
- (5) A policy under this section must comply with the provisions of this Act, the regulations and any relevant guidelines issued under section 23A.

### 253 Requirements before policy concerning expenses and facilities can be adopted or amended

- (1) A council must give public notice of its intention to adopt or amend a policy for the payment of expenses or provision of facilities allowing at least 28 days for the making of public submissions.
- (2) Before adopting or amending the policy, the council must consider any submissions made within the time allowed for submissions and make any appropriate changes to the draft policy or amendment.
- (3) Despite subsections (1) and (2), a council need not give public notice of a proposed amendment to its policy for the payment of expenses or provision of facilities if the council is of the opinion that the proposed amendment is not substantial.
- (4) (Repealed)
- (5) A council must comply with this section when proposing to adopt a policy each year in accordance with section 252 (1) even if the council proposes to adopt a policy that is the same as its existing policy.

### 254 Decision to be made in open meeting – Section 254

The Council or a Council committee all the members of which are Councillors must not close to the public that part of its meeting at which a policy for the payment of expenses or provision of facilities is adopted or at which any proposal concerning those matters is discussed or considered.

### 254A Circumstances in which annual fees may be withheld

- (1) Despite this Division, a council may resolve that an annual fee will not be paid to councillor or that a councillor will be paid a reduced annual fee determined by the council:
  - (a) for any period of not more than 3 months for which the councillor is absent, with or without leave, from an ordinary meeting or ordinary meetings of the council, or
  - (b) in any other circumstances prescribed by the regulations.

**Note.** Section 428 (2) (f) requires a council to include, in its annual report:

- the total amount of money expended during the year on mayoral fees and councillor fees



- the council's policy on the provision of facilities for, and the payment of expenses to councillors
  - the total amount of money expended during the year on providing those facilities and paying those expenses.
- (2) Despite this Division, if a councillor is absent, with or without leave of the council, from ordinary meetings of the council for any period of more than 3 months, the council must not pay any annual fee, or part of an annual fee, to that councillor that relates to the period of absence that is in excess of 3 months.

The Local Government (General) Regulation 2005 states:

404 Circumstances in which Councillors' annual fees may be reduced or not paid.

For the purposes of Section 254(A) of the Act, the prescribed circumstance for the non-payment or reduction of a Councillor's annual fee is the circumstance where both of the following conditions are satisfied:

- (a) The payment of the annual fee adversely affects the Councillor's entitlement to a pension, benefit or allowance under any legislation of the Commonwealth, a Territory or a State (including NSW),
- (b) The Councillor agrees to a non-payment or reduction.

### **5. REPORTING REQUIREMENTS**

The Local Government Act, 1993 imposes reporting requirements on Councils. Council's Annual Report satisfies the reporting requirements imposed under the Local Government Act 1993 and the Local Government (General) Regulation 2005.

### **6. OTHER GOVERNMENT POLICY PROVISIONS**

This policy has been developed in accordance with the following policies and documents provided by various government departments.

- Office of Local Government Guidelines for Payment of Expenses and Provision of Facilities to Mayors and Councillors.
- Office of Local Government Circulars (issued from time to time) including but not limited to:-
  - 04/04 Appropriate Controls on the use of Council Credit Cards
  - 05/08 Legal Assistance for Councillors and Council Employees
  - 08/24 Misuse of Council Resources
  - 08/37 Council decision making prior to ordinary elections
- Office of Local Government Model Code of Conduct.
- Council's Adopted Code of Conduct
- Various ICAC Publications.

### **7. ANNUAL FEE**

Pursuant to Section 248 of the Local Government Act, 1993, an annual fee will be paid to each Councillor in twelve instalments (monthly in arrears). In addition to this, the Mayor will be paid an annual fee in accordance with Section 249 of the Act, to be paid in twelve instalments (monthly in arrears). The amount to be paid will be as determined by the Local Government Remuneration Tribunal and adopted in Council's Management Plan for that year.



Councillor's will be entitled to Superannuation payments from 1 July 2022 at the equivalent amount provided for, under the Commonwealth superannuation legislation the payment will need to be made into a complying superannuation fund which will be nominated by the Councillor. [Refer DCSF #7.1.2 Extraordinary meeting 23 June 2021].

### **8. ACCESS AND USE OF FACILITIES/EQUIPMENT**

Councillors are to be provided with access and use of the following:

- (i) A room suitably furnished for use by all Councillors;
- (ii) Access to a motor vehicle if available, or alternative arrangement (eg hire car), for the purposes of attending official functions or meetings outside the Council area; (see also Clause 15);
- (iii) Use of Council photocopiers, telephones, computers, (& associated equipment) and fax machine in the course of the Councillor undertaking official business.

#### **(iv) Access to Council Operated Facilities**

To assist Councillors to understand the operations of and to promote the various facilities to the community, Council will provide each Councillor with

- (a) annual admission (for the use of the Councillor only) to the following Council operated facilities:
  - Australian Fossil and Mineral Museum
  - National Motor Racing Museum
  - Chifley Home and Education Centre
  - Rail Museum
- (b) two adult tickets (for the use of the Councillor and their spouse/partner) to each of the Theatre Season performances at the Bathurst Memorial Entertainment Centre.

#### **(v) Access to Motor Sport Events**

To assist Councillors to promote Bathurst and network with dignitaries, Council will provide four (4) tickets per Councillor to attend all days of each motor racing event (including attendance at Mayoral functions) that requires full track closure at Mount Panorama.

At some events, Councillors may be provided with access to a reserved parking allocation for one vehicle per Councillor.

In addition to those facilities/equipment listed above, the Mayor will be provided with the use of:

- (vi) An office suitably furnished
- (vii) Mayoral robes and chains;



- (viii) A corporate credit card to meet expenses connected with the entertainment of guests of the city;
- (ix) A “Rex” card to allow the Mayor access to the Rex lounge at the airport for the conduct of meetings and whilst waiting between meetings and flights (a card will also be provided to the Deputy Mayor for official use).

## **9. PROVISION OF EQUIPMENT**

Each Councillor will be provided with the following:

- (i) Business cards.
- (ii) Councillor letterhead.
- (iii) A name badge.
- (iv) Stationery, office supplies and other consumables.
- (v) Provision of car parking sticker for parking in designated/authorised parking areas.
- (vi) A corporate credit card to meet expenses as authorized in carrying out the Councillor’s role.
- (vii) Each Councillor will be provided with the following for Council use:
  - A computer, e.g. i-Pad or Laptop and associated equipment (printer etc.)
  - Access to the internet.
  - Facsimile transmission device (Fax) (including installation at the principal place of residence).
  - A document shredder.

NB: All rental, call and stationery costs incurred in the course of Council activities will be met by Council.

- (viii) Councillors will have the following options in relation to telephone calls made in the course of Council business:
  - a. Council will reimburse Councillors for the cost of official mobile and landline calls made in the course of Council business up to a limit of \$100 per month. Claims for reimbursement of calls must be made on the appropriate expenditure claim form.
  - or**
  - b. Council will provide Councillors with a mobile phone for Council business, limited to an amount of \$100 per month.

In addition to the equipment listed above the Mayor will be provided with the following:

- (ix) A mobile phone with rental and all charges to be met by Council;
- (x) A motor vehicle (including private use) on the basis that all costs are met by the Council. NOTE – that during periods of “leave of absence” of the Mayor the vehicle will be made available to the Deputy Mayor under the same terms and conditions.
- (xi) A permanently allocated parking space.



**Note: A person's re-election to the Council is considered a personal interest. Official Council material such as letterhead, publications, websites, email, as well as council services and forms must not be used for any such personal interests.**

### **9.1 Acquisition and Return of Council Equipment and Facilities by Councillors**

All equipment provided to the Mayor, Deputy Mayor or a Councillor to assist them to carry out their official duties remains the property of Council and is to be returned to Council upon the Mayor or the Councillor ceasing to hold office.

A Councillor may at the cessation of their duties request to purchase the equipment provided to them for their official duties or part thereof. Any items offered for sale to a Councillor under this clause will be offered on the basis that they are valued at a fair market price or the current written down value, whichever is the greater.

### **9.2 Private Benefit**

Councillors should not generally use Council equipment for their own personal benefit. However, it is acknowledged that incidental use of Council equipment for private benefit may occur. Such incidental use will not be subject to repayment.

Where more substantial use of Council equipment occurs Council will seek reimbursement at a rate determined by the

(i) Mayor/Deputy Mayor and the General Manager or

(ii) the Council,

depending upon the circumstances.

## **10. ADMINISTRATIVE SUPPORT**

Councillors will be provided with secretarial support in relation to official correspondence.

## **11. TRAINING**

Councillors will be provided with training to enhance their ability to carry out their civic responsibilities. An allowance is made in the annual budget for provision of training to Councillors. The type of training attended would normally be approved by the Council but may, in some circumstances, be approved by the Mayor.

## **12. INSURANCE**

Council will provide appropriate insurance for Councillors including insurance against personal injury whether fatal or not, arising out of, or in the course of carrying out duties, or the performance by such Councillor at functions in his/her capacity as a member of Council.

Council will provide the following Insurance cover for Councillors undertaking official Council business:

- Public Liability.
- Councillors and Officers.



- Personal Accident.
- Travel Insurance (where approved) for interstate and overseas travel on Council business.

### 13. SUSTENANCE/MEALS

Councillors are entitled to the provision of a meal and/or refreshments in conjunction with the Committee/Council meeting or at any official ceremony authorised by Council or the Mayor, or in carrying out their Councillor's responsibilities including meetings with residents, ratepayers or guests of the city.

### 14. LEGAL

In the event that indemnity is not granted under the existing Councillors and Officers liability policy in relation to:

- (a) any enquiry, investigation or hearing into the conduct of a Councillor:
  - (i) by the Independent Commission Against Corruption;
  - (ii) by the Office of the Ombudsman;
  - (iii) by the Administrative Decisions Tribunal;
  - (iv) by the Office of Local Government, Department of Premier and Cabinet
  - (v) by the NSW Police Force;
  - (vi) by the Director of Public Prosecutions;
  - (viii) by Council's Conduct Review Committee/Reviewer
  - (ix) by the Local Government Pecuniary Interest Tribunal; or
  - (ix) pursuant to FOI legislation;
  - (x) pursuant to Privacy and Personal Information Protection legislation
- (b) legal proceedings against a Councillor:

Council shall reimburse such Councillor on a solicitor/client basis for all legal and associated expenses properly and reasonably incurred having regard to the nature of the enquiry, investigation, hearing or proceedings, provided that:

- (i) the enquiry, investigation, hearing or proceedings relate to conduct arising out of or in connection with a Councillor's performance of his or her civic duty or the exercise of his or her functions as a Councillor;
- (ii) the enquiry, investigation, hearing or proceedings have been finalised and have resulted in a finding, in the opinion of the Council, substantially favourable to the Councillor;
- (iii) the amount of any such reimbursement shall be limited to the amount of moneys that are not otherwise recoverable by a Councillor on any other basis;
- (iv) the Council authorises the reimbursement by resolution.

Note: Council cannot pay any legal expenses for

- (a) legal proceedings initiated by a councillor
- (b) a councillor seeking legal advice in respect of possible defamation

### 15. EXPENSES



- (a) Council will reimburse claims for expenses for actual costs incurred by Councillors in relation to discharging the functions of civic office.

The fundraising activities of political parties, including political fundraising events, are considered to be personal interests. Council will not pay expenses or provide facilities to councillors in relation to supporting and/or attending such activities and events.

- (b) In relation to discharging the functions of civic office, the following facilities will be provided:

- Mayoral Office.
- Councillors' meeting room.
- Provision of a meal/refreshments in conjunction with the Committee/Council meeting.

- (c) Where a Councillor provides his/her own motor vehicle for transport in relation to discharging the functions of civic office, reimbursement of costs will be made on either:

- (i) a per kilometre basis at the rates specified under Clause 4 of the Local Government (State) Award, or
- (ii) based on the presentation of a fuel docket/receipt.

- (d) Where travel is by air, Council will pay the cost of an economy class ticket.

- (e) Costs of vehicle hire, taxi fares and/or public transport which are reasonably incurred while attending conferences will be reimbursed by the Council.

- (f) Council will reimburse the cost of parking fees (upon the provision of an appropriate receipt) and the cost of any road tolls paid while on Council business.

In regard to "functions of Civic Office", the following guide is provided:

Travel expenses relate to travel that is on Council business (this can be within NSW or interstate, where approved), including:

- to and from Council meetings;
- to and from Committee meetings, Working Parties etc of which the Councillor is a member;
- to and from meetings of external bodies to which the Councillor is an approved delegate;
- inspections within the area of the Council where such inspections have been arranged by a resolution of Council, or by Mayoral approval;
- to and from the periodical conferences, training courses and seminars of Local Government related organisations at which attendance has been approved by a resolution of Council or by Mayoral approval;
- to and from public meetings where such meetings have been arranged by a resolution of Council or by Mayoral approval.



NB: For the purposes of this Policy, travel within the ACT is regarded as travel within NSW.

Payment is subject to:

- the travel being undertaken expediently and by the shortest practicable route;
- claims must be made within three (3) months of incurring the expense;
- wherever possible and appropriate, a Council vehicle will be made available for use by a Councillor travelling outside the Bathurst Regional Council boundary on Council approved business.

N.B. The driver of the vehicle (whether a Council vehicle or private vehicle) will be personally responsible for all traffic or parking fines incurred while travelling on Council business. Under no circumstances will Council reimburse costs associated with traffic or parking infringement fines.

A copy of the "Claim for Reimbursement of Expenses" form is at Appendix A.

### **15.1 Payment of expenses for spouses, partners and accompanying persons**

Council will pay the cost of attendance of a spouse, partner or accompanying person at an official function of the Council (which includes BMEC Theatre Season performances) or other official functions that are of a formal and ceremonial nature. Examples would include Citizenship ceremonies, civic receptions/functions and charitable functions for charities supported by the Council.

Council will also pay for any reasonable expenses incurred for a spouse, partner or accompanying person of the Mayor, or of a Councillor when they are representing the Mayor, when they are called upon to attend an official function of Council or, carry out an official ceremonial duty while accompanying the Mayor (or the Mayor's representative) outside the Council's area, but within the State of New South Wales. Reasonable expenses would include the cost of the ticket and meal etc.

In all other instances any costs incurred as a result of the attendance by a spouse, partner or accompanying person shall be met by the respective Councillor.

### **15.2 Payment in Advance:**

The Council will normally pay all costs associated with attendance by a Councillor on official Council business at a conference, seminar or function in advance. Where this is not appropriate or possible:

- a cash allowance or cheque equivalent thereto will be paid to the attendee in advance;
- An allowance for estimated "out-of-pocket" expenses may be paid to an attendee in advance upon request.

Payment via either of these methods will require the provision of a reconciliation statement, verification of expenses and the refund of any unexpended amount being submitted within ten (10) days of the close of the conference, seminar or function.

N.B. Councillors are provided with a credit card to minimise the requirement for payments in advance.



**15.3 Childcare**

Council will reimburse Councillors for the cost of child care services incurred while on authorised Council business. The amount of reimbursement will be the actual cost incurred, with a maximum of \$25 per hour applying.

**15.4 Dependant Care Related Expenses**

Council will reimburse Councillors for the reasonable cost of child/dependant care services (including care of elderly, disabled and/or sick immediate family members of Councillors) incurred while attending Council meetings, Committee meetings, workshops, briefing sessions and other meetings relating to Council's operations.

Councillors will be reimbursed for expenses associated with child/dependent care paid to providers other than immediate family, spouse or partner up to 2 hours before and after such meetings (based on advertised commencement time) subject to the prescribed form being completed and/or the production of appropriate documentation/receipts.

**15.5 Councillor Care Related Expenses**

Council will give consideration to the payment of other related expenses associated with the special requirements of Councillors such as disability and access needs, including reasonable transportation provisions for those unable or unwilling to drive a vehicle, to allow them to perform their normal civic duties and responsibilities. Costs could include accommodation, meals and travel expenses for carers, accompanying a Councillor where required.

**16. CORPORATE CREDIT CARD**

Councillors will, upon request, be given a Corporate Credit Card with a limit of \$1,000.

**17. PROVISION OF COUNCIL UNIFORM**

Councillors are to be provided with a Council uniform. The initial purchase will be subsidised to a maximum of \$800.00 and thereafter an annual allowance for maintenance of a maximum \$200.00 per annum.

A councillor who is re-elected for a new term of office shall, during the first year of that term, be entitled to an allowance of up to a maximum of \$400 and thereafter the annual maintenance amount will apply.

Where Councillors are required to wear personal protective equipment (PPE), this will be provided up to a maximum of \$500 in any one term of Council.

**18. CODE OF CONDUCT**

Councillors should be aware that where actions are taken in Breach of the Code of Conduct, the failure to comply with the Code of Conduct may be evidence of a lack of good faith which may lead to a denial of payment under the Policy.



Further, Chapter 13, Part 5 of the Local Government Act allows the Office of Local Government to surcharge Councillors to recover any deficiency or loss to Council arising from actions involving misconduct. Councillors should be aware that where actions are taken in breach of the Code of Conduct, the failure to comply with the Code of Conduct may be evidence of misconduct which may lead to personal liability pursuant to the surcharge provision of the Local Government Act in connection with such actions.

### **19. CONFERENCES**

In this part **Conference** means conferences, seminars, congresses, forums, workshops, courses, meetings, deputations, information and training sessions, events, etc. held within Australia, related to the industry of local government.

#### **19.1 Who May Attend Conferences**

Councillors may be nominated to attend conferences by:

- the Council, by resolution duly taken;
- the Mayor, acting within his/her delegated authority.

In addition the Mayor may nominate a substitute Councillor in his or her absence to attend functions within and outside the Council area on those occasions where the Mayor is unable to be in attendance.

#### **19.2 What Conferences May be Attended**

The conferences to which this policy applies shall generally be confined to:-

- Local Government NSW (LGNSW) and Australian Local Government Association(ALGA) Conferences.
- Special "one-off" conferences called or sponsored by the LGNSW and/or ALGA on important issues.
- Annual conferences of the major Professions in Local Government.
- Australian Sister Cities Conferences.
- Regional Organisation of Councils Conferences.
- Conferences, which further training and development efforts of the Council and of Councillors, or which relate to or impact upon the Council's functions.
- Any Meetings or Conferences of organisations or bodies on which a Councillor of the Council may be elected, or appointed to be, a delegate or member of the Council or the LGNSW.

Other conferences that may be attended would include those listed in the report provided to Council (from time to time) adopting the delegates/duty delegates.

#### **19.3 Registration**

The Council will pay all normal registration costs which are charged by organisers, including the costs of related official luncheons, dinners and tours which are relevant to the interests of the Council or assist Councillors to discharge the functions of their civic office.

#### **19.4 Expenses Incurred**

Payment or reimbursement of expenses incurred or to be incurred shall be subject to the requirements that:



- (a) travel expenses relate to travel that is on Council business;
- (b) the travel being undertaken with all due expedition, and by the shortest practicable route;
- (c) only reasonable amounts are claimed or accepted towards necessary out-of-pocket expenses;
- (d) out-of-pocket expenses for which amounts are claimed relate only to the verified costs of refreshments, meals, travel, registration fees, accommodation, stationery and the like;
- (e) any time occupied or travel incurred in other than Council business is not included in the calculation of expenses to be paid; and
- (f) the claim is made not later than three (3) months after the expenses were incurred, and upon copies of all relevant dockets, receipts and the like being attached to a written claim for payment/reimbursement.

### **19.5 Categories of Payment or Reimbursement**

The categories of payment or reimbursement are as follows:

#### **(a) Travel**

See Clause 15 of this policy

#### **(b) Accommodation**

Reasonable accommodation costs (including meals), including the night before and/or after the conference where this is necessary, will be met by the Council.

#### **(c) Out-of-Pocket Expenses**

Reasonable out-of-pocket or incidental expenses will be reimbursed for costs associated with attending the conference, including entertainment, but excluding expenses of a normal private nature. Incidental expenses are taken to include items such as:

- (i) hotel/motel charges other than accommodation;
- (ii) telephone, facsimile and wi-fi costs;
- (iii) refreshments/meals not included in the Registration fee;
- (iv) any optional activity in a Conference program;
- (v) taxi fares;
- (vi) parking fees.

### **19.6 Payment of Conference expenses**

Councillors, from time to time, may find it necessary to pay day-to-day expenses out of their own pocket. Councillors must then submit a claim (on the claim form attached to this policy) for reimbursement of those expenses in accordance with this policy. Payment of incidental expenses will be limited to a maximum of \$100 per day.

The General Manager reserves the right to decline the reimbursement of any expenses he/she considers to be inappropriate or unreasonable and refer them for further consideration in accordance with the dispute procedures listed in this policy.



### **19.7 Spouse/Partner**

Where the attendee is accompanied by his or her spouse/partner the attendee will pay for any cost supplement involved in the accommodation. All costs for the spouse/partner (including travel and meals) are to be borne by the attendee.

Council will pay for the attendance by a spouse or partner of an attendee at the Local Government NSW Conference. Payment of expenses in these instances will be limited to the cost of registration at the conference and the cost of the official conference dinner.

### **19.8 Reimbursement of Expenses**

All claims for reimbursement of actual expenses incurred by a Councillor in the course of their official duties are to be made under the following conditions:-

- provision of appropriate tax invoices, receipts;
- submission of claim on the Council claim form provided at Annexure A;
- all claims being submitted within 3 months of the expenditure being incurred (except as otherwise specified in this policy);
- completion of a statutory declaration.

## **20. OVERSEAS TRAVEL**

Council will pay the same expenses as detailed above (for conferences) for Councillors travelling overseas on Council business provided Council resolves that such travel be undertaken. Any proposal for overseas travel must be considered at an Open Council Meeting through a report from the General Manager or other appropriate staff member.

Reports are to indicate:

- Who is to take part in the travel;
- The objectives for undertaking the trip, including an explanation of the benefits that will accrue to the community/Council from taking the trip;
- The duration of the trip and general details of travel arrangements;
- The approximate cost of the trip, including accommodation and other expenses payable.

If the trip is to be sponsored by private enterprise, ICAC guidelines and reporting structures shall be followed.

For overseas travel, a daily meal and an incidental expenses allowance will be paid to each authorised attendee in accordance with the appropriate Australian Taxation Office Determination, provided that such expenses are subject to a period of stay not exceeding the period for the conference or authorised business plus one day each way for travelling. Any such payment will be considered as a Payment in Advance and dealt with in accordance with the requirements of clause 15.2 Payment in Advance of this policy.

Where possible proposals for overseas travel by Councillors and staff on Council business should be included in the annual management plan to ensure community awareness.

## **21. DISPUTE RESOLUTION - PAYMENT OF EXPENSE CLAIMS**



Approval for expenses claimed as a result of attendance at a conference, seminar or function for which there is no formal Council resolution to attend will normally be made jointly by the General Manager and the Mayor (or if the claim is made by the Mayor, the General Manager and the Deputy Mayor or another Councillor). In the event of a dispute as to the payment of expenses claimed by a Councillor the General Manager will prepare a report for consideration at the ordinary monthly Council meeting and the report will be provided as part of the business paper for the meeting. The Council's decision will be final.



## Appendix A

Civic Centre  
158 Russell Street  
BATHURST NSW 2795

Telephone 02 6333 6111  
Facsimile 02 6331 7211  
council@bathurst.nsw.gov.au  
www.bathurst.nsw.gov.au  
www.bathurstregion.com.au

Correspondence to:  
Private Mail Bag 17  
BATHURST NSW 2795

### MEMBER FOR COUNCIL CLAIM FOR REIMBURSEMENT OF EXPENSES

**NAME OF CLAIMANT:** .....

**ADDRESS:** .....

In accordance with the provisions of Clause 252 of the Local Government Act, 1993, I hereby claim the amount set out hereunder for expenses for conveyance by private car and subsistence in traveling:

**MOTOR VEHICLE USAGE CLAIM:**

DATE	Meeting / Purpose / Location	KM Travelled	Vehicle Engine Capacity	Amount \$
<b>TOTAL</b>				<b>\$</b>

**EXPENSES INCURRED:**

DATE	Meeting / Purpose / Location	Amount \$
<b>TOTAL</b>		<b>\$</b>

Signature: \_\_\_\_\_ Date: / /

**Please note, these expenses claimed will be paid directly into your nominated bank account.**

**PLEASE ATTACH ALL TAX INVOICES FOR REIMBURSEMENT**

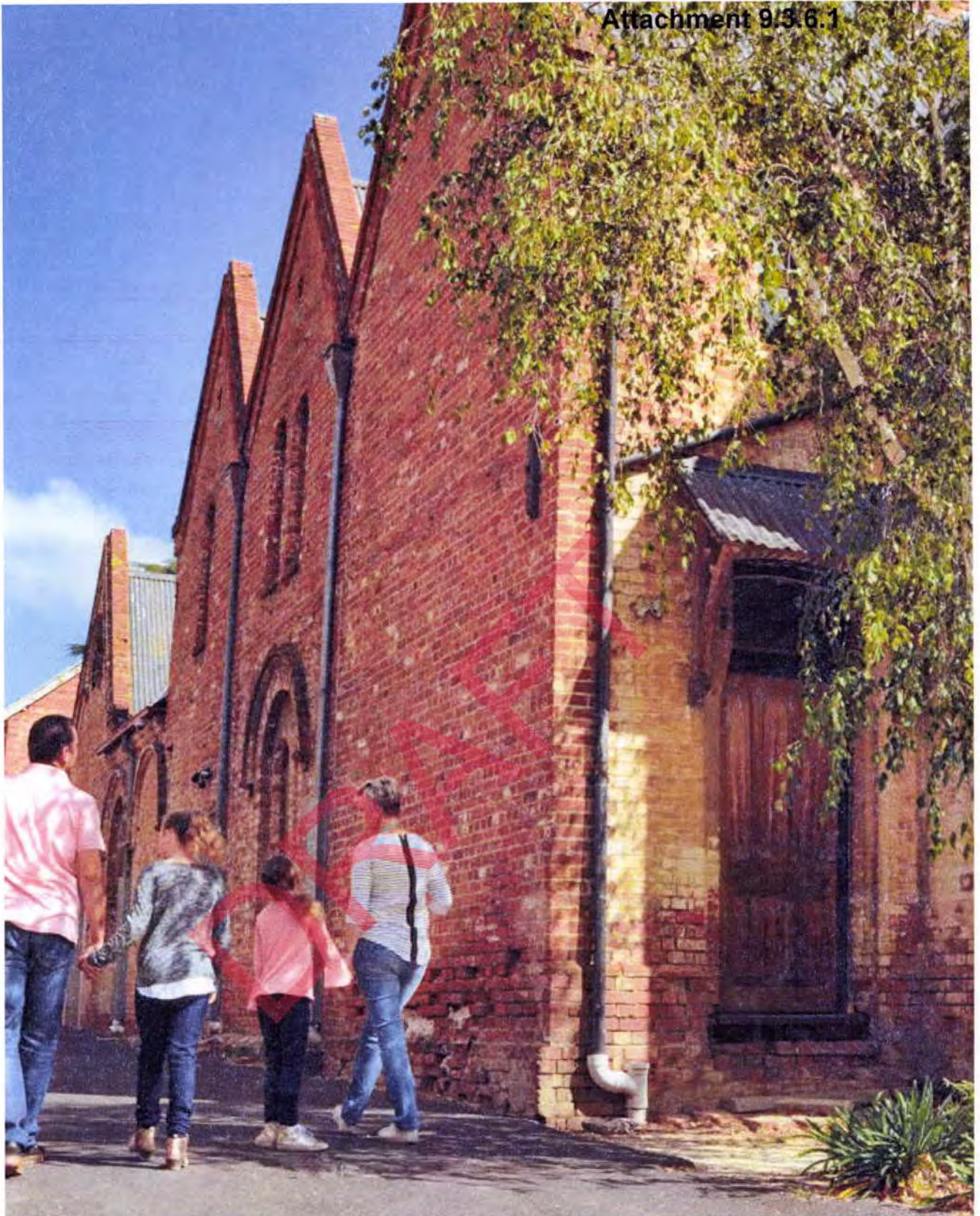
These expenses have been verified by me and reimbursement is authorised.

Signature: \_\_\_\_\_ Date: / /  
**GENERAL MANAGER**

OFFICE USE ONLY		Creditor No:
Motor Vehicle Usage Claim	\$	03020.0330.0619
Expenses	\$	
<b>TOTAL</b>	<b>\$</b>	

*The information on this form is being collected to allow Council to process your application and/or carry out its statutory obligations. All information collected will be held by Council and will only be used for the purpose for which it was collected. An individual may view their personal information and may correct any errors.*





# OUR *Region* OUR *Future*

**Bathurst Regional Council**  
**Delivery Program 2022–2026**  
**and Operational Plan 2022/2023**

Page 1



DRAFT

Adopted for advertising and public submissions:

20 April 2022

Submissions close:

20 May 2022



### *Acknowledgement of Wiradjuri Country and Traditional Custodians*

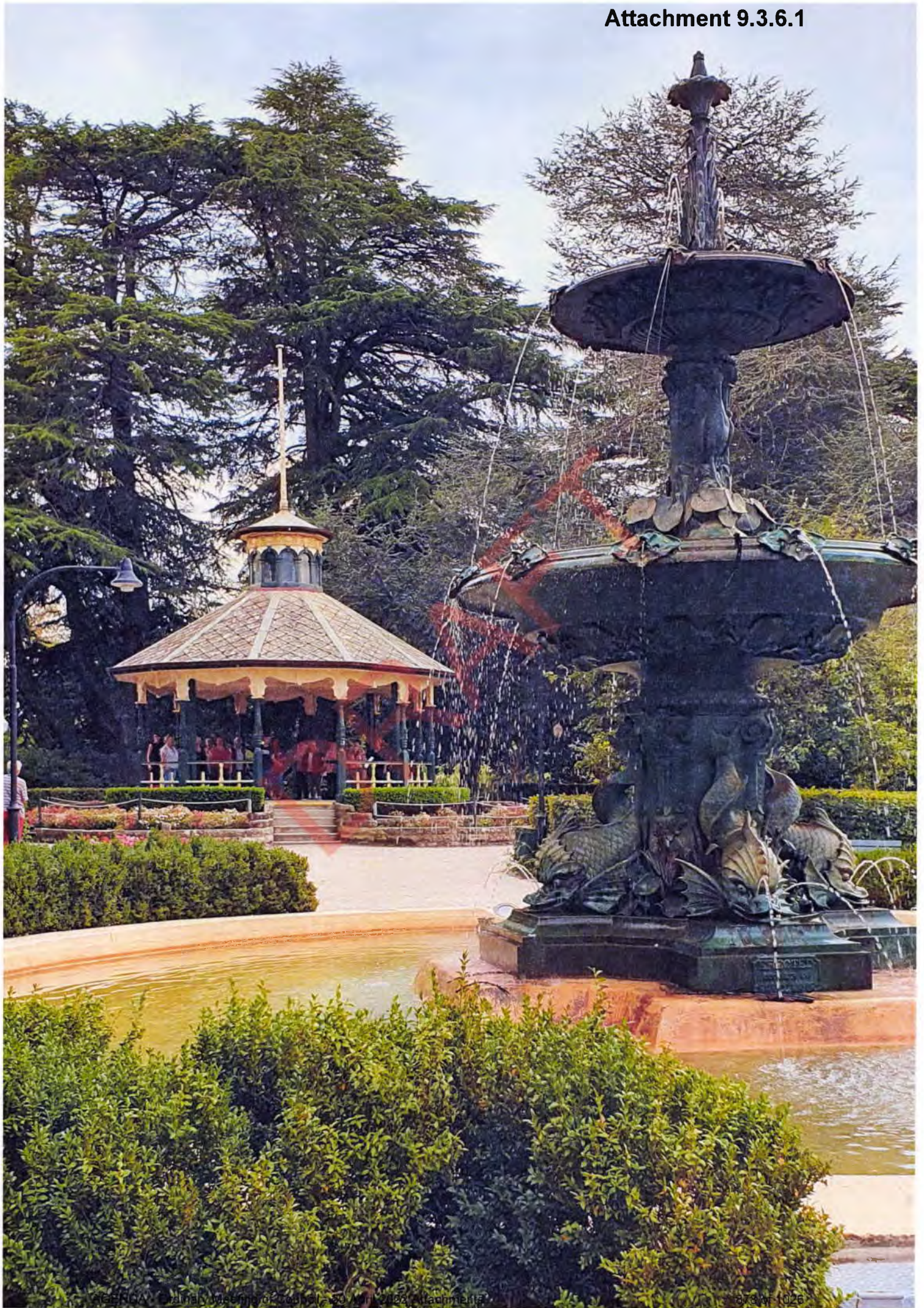
Bathurst Regional Council acknowledges the Wiradjuri people as Traditional Custodians of the land on which this document was prepared. Council acknowledges that the Wiradjuri People were the first people of this region and are survivors of more than 200 years of dispossession. We recognise the strength, resilience, and determination of all Aboriginal and Torres Strait Islander people.

The Wiradjuri nation is the largest Aboriginal group in New South Wales. The Wiradjuri People are known as "the people of the three rivers", being the Kalari (Lachlan), the Murrumbidjeri (Murrumbidgee) and the Wambuul (Macquarie). Council acknowledges the connection that Wiradjuri People have to these waterways, the land, and the animals within this nation, including the Googar (Goanna) which is the Wiradjuri totem.

Council pays respect to Wiradjuri Elders, past, present and emerging and acknowledge other Indigenous people who work and live on Wiradjuri Country.

We acknowledge the history, stories, traditions and cultural practices of Aboriginal people and commit to Yindyamarra ways  
– to be respectful, gentle and polite,  
show honour and do slowly.







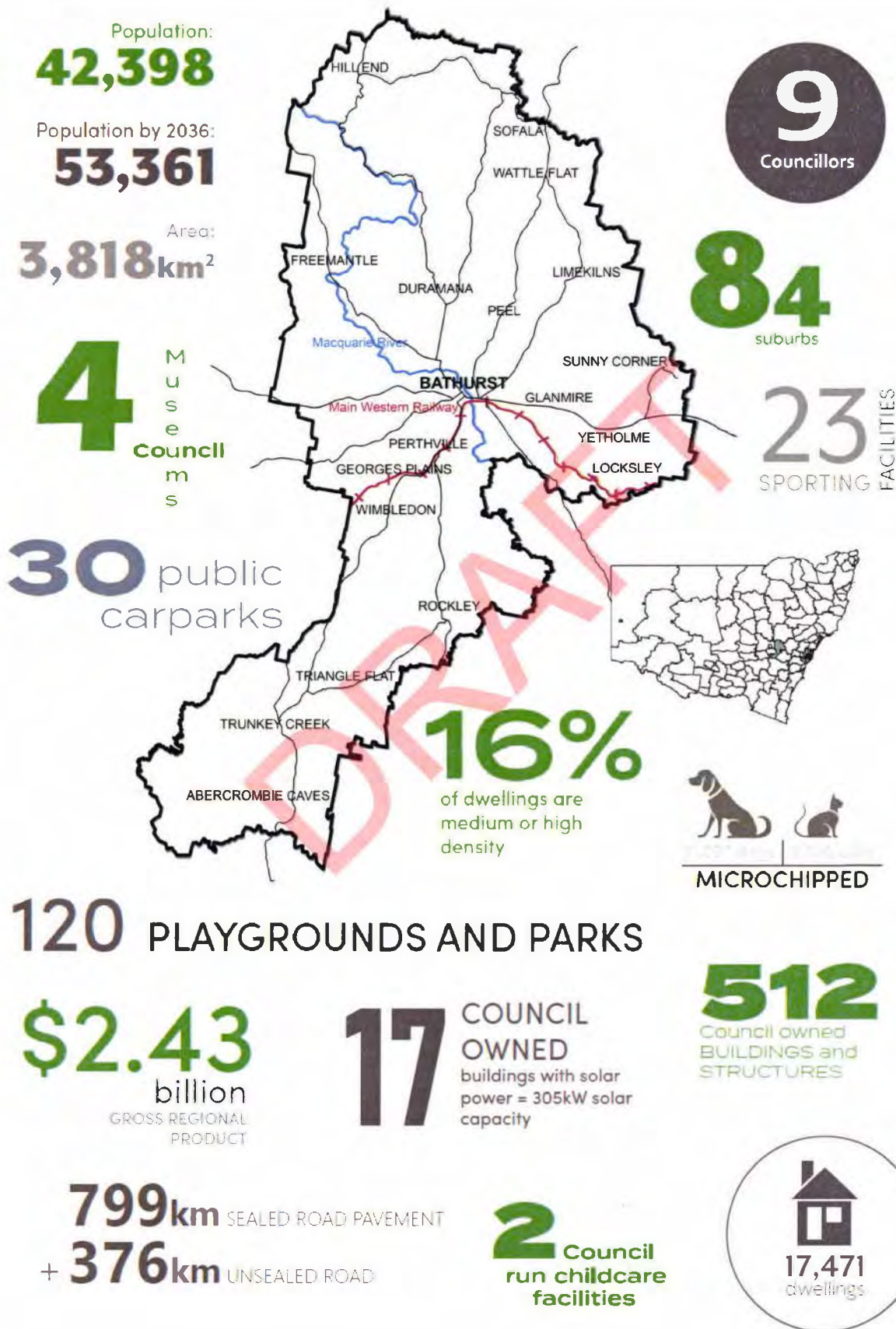
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OUR Region





APPROX.  
**138** km  
CYCLEWAY AND  
FOOTPATH

 **28%**  
couples  
with  
children

**84%**  
of workforce  
are local residents

**MANUFACTURING**  
sector the largest economic contributor

**MEDIAN**  
resident age is 37

**19,000** ha  
of LAND ZONED nature  
reserves, NATIONAL PARKS  
and recreation

**5.4%**  
of our population  
identify as Aboriginal  
or Torres Strait Islander

**657Kw**  
Total capacity  
of Council's  
solar

**27%**  
RESIDENTS  
aged under 20

**13**  
cemeteries

**1,028,000**  
ANNUAL VISITORS

**15**  
Public  
e-vehicle  
chargers

Education  
sector the  
largest

**EMPLOYER**

**5** top languages spoken  
1. English  
2. Filipino  
3. Mandarin  
4. Arabic  
5. Cantonese



**Centre  
of  
Education**

Charles Sturt University  
TAFE  
6 high schools  
18 primary schools  
2 special support schools

**3,521**  
local businesses

**299** children  
enrolled in childcare  
in Council run services

**1815**  
Australia's first  
European Inland  
Settlement

**245** km of  
DRAINAGE PIPELINE



OUR Values

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*From the Mayor and General Manager*

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The Delivery Program 2022 – 2026 and Annual Operational Plan 2022/2023 outlines the strategies and financial resources required to implement the key directions identified by the community in our Bathurst Community Strategic Plan (CSP), *Our Region Our Future*.

The CSP strives to balance a vibrant local economy, social well-being, population growth, environmental management and local leadership.

This plan allocates the funding to support projects identified for the coming year that help deliver on these long-term goals.

Key water security projects remain as priorities with the Winburndale Dam flood security upgrade moving closer to completion, while our planning is well advanced for the construction of the Bathurst storm water harvesting project.

Other major capital projects including the construction of the Central Tablelands Collection Facility, the Bathurst Animal Rehoming Centre and the construction of new fields at Hereford Street are nearing completion and will be ready for use through this budget period.

We continue our investment in the maintenance and upgrading of current infrastructure, our road and bridge network, key facilities such as the Water Filtration Plant and Wastewater Treatment Plant and the extension of our footpath and cycleway network.

Supporting the continued development of our economy through business attraction and tourism remain cornerstones of our policy to support a vibrant, thriving community.

These major projects sit alongside the work undertaken by Council and its dedicated staff, delivering services and facilities to our community everyday.



Cr Robert Taylor  
Mayor of Bathurst

David Sherley  
General Manager



## *Bathurst Regional Council*

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### OUR Vision

*"A vibrant and innovative region that values our  
heritage, environment, culture, diversity and strong economy"*



Mayor Robert Taylor



Cr Warren Aubin



Cr Kirralee Burke



Cr Ben Fry



Cr Graeme Hanger



Cr Margaret Hogan



Cr Jess Jennings



Cr Ian North



Cr Andrew Smith



## Council Structure

**Mayor / Council**

**General Manager**

**David Sherley**

### Director Corporate Services & Finance

**Aaron Jones**

Payroll, Administration, Governance, Stores/Purchasing, Information Services, Geographic Information System, Records, Human Resources, Risk Management/Insurance, Rates, Creditors/debtors, Business Papers, Government Information (Public Access), Public Interest Disclosures, Work, Health & Safety, Internal Audit, Annual Report, Delivery & Operational Plan, Financial Management, Committee Secretariat, Switchboard, Customer Request Management System, Customer Service, State Emergency Service, Rural Fire Service, Emergency Management, Marketing, Property Development & Management, Mount Panorama Business/Conferencing & Events, Sister City, Corporate Communications

### Director Engineering Services

**Darren Sturgiss**

Water, Sewer, Waste & Recycling Collection, Waste Management Centre, Parks & Gardens, Manning Aquatic Centre, Depot, Plant (Workshop), Floodplain Management, Mount Panorama Operations, Maintenance (roads, bridges, kerb & guttering), Construction (roads, bridges), Contract Management, Design Works, Disaster Planning & Response, Aerodrome, Asset Management, Project Management, Forward Planning: Environment, Recreation & Infrastructure, Rural Works, Indoor Sports Stadium, Tennis Courts, Netball Courts, Bathurst Bike Park, Traffic Management, Buildings Maintenance, Subdivision Design & Construction, Vegetation Management Plan, Cemeteries, Drainage/ Stormwater, Private Works

### Director Environmental, Planning & Building Services

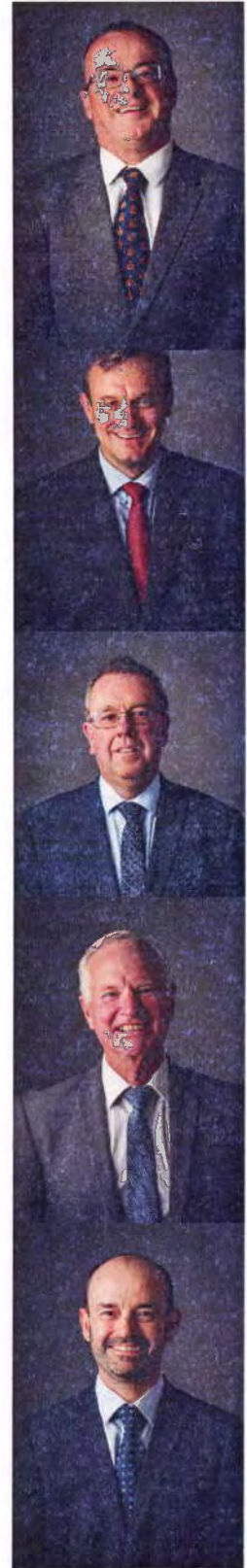
**Neil Southern**

Land Use Planning, Environmental Planning, Building Control, Health, Pollution Control, Development Control & Applications, Parking Rangers, Stock Impounding, Heritage & Conservation, Regulatory Functions, Animal Control, Companion Animals, Food/Health Inspections, State of Environment, Septic Tanks, Strategic Planning, Subdivision Planning, Section 7.11 Contributions, Plumbing & Drainage, Environmental Management, Contamination, Economic Development, Sustainability.

### Director Cultural & Community Services

**Alan Cattermole**

Art Gallery, Library, Chifley Home and Education Centre, Australian Fossil & Mineral Museum - home of the Somerville Collection, Bathurst Memorial Entertainment Centre, Scallywags Childcare, Family Day Care, Community Services, Cultural Planning, Access and Inclusion, Community Social and Strategic Planning, Community Development, Historical Society, Youth Council, Community Safety, Community Facilities, Community Halls / Groups: Eglinton, Raglan & Perthville, Community Organisations: Rockley, Hill End, Sofala, Eglinton, Wattle Flat, Trunkey Creek, The Neighbourhood Centre, Home & Community Care Centre & Kelso Community Hub, Club Grants, Community Interagencies, Senior Citizens Centre, National Motor Racing Museum, Bathurst Rail Museum, Tourism, Destination Management, Central Tablelands Collection Facility





## *Integrated Planning and Reporting Context*

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**Our Region Our Future**, the Bathurst region's Community Strategic Plan (CSP), is a plan for our community that describes how we can achieve our region's vision. It is the highest-level forward planning document of Bathurst Regional Council. It identifies the community's priorities and guides the direction for the Bathurst region over the next 20 years. The CSP is based on the aspirations, knowledge and values expressed by our residents who provide feedback about Council's many community engagement projects.

The CSP is supported by a range of other strategies and plans to help Council achieve the vision of the community. These include a Resourcing Strategy which incorporates a Workforce Plan to make certain the Council has properly skilled people and can access the necessary funds to do its work; Asset Management Plans account for the renewal of Council's infrastructure; and a Long Term Financial Plan ensures Council can properly plan its income and expenditure over the long term to remain financially sustainable.

Our Region Our Future reflects the priorities of our residents including these value statements.

- We value our sense of place and identity.
- We aspire to have a smart and vibrant economy.
- We strengthen environmental stewardship.
- We encourage sustainable and balanced growth.
- We foster community health, safety and well being.
- We advocate for community leadership and collaboration.

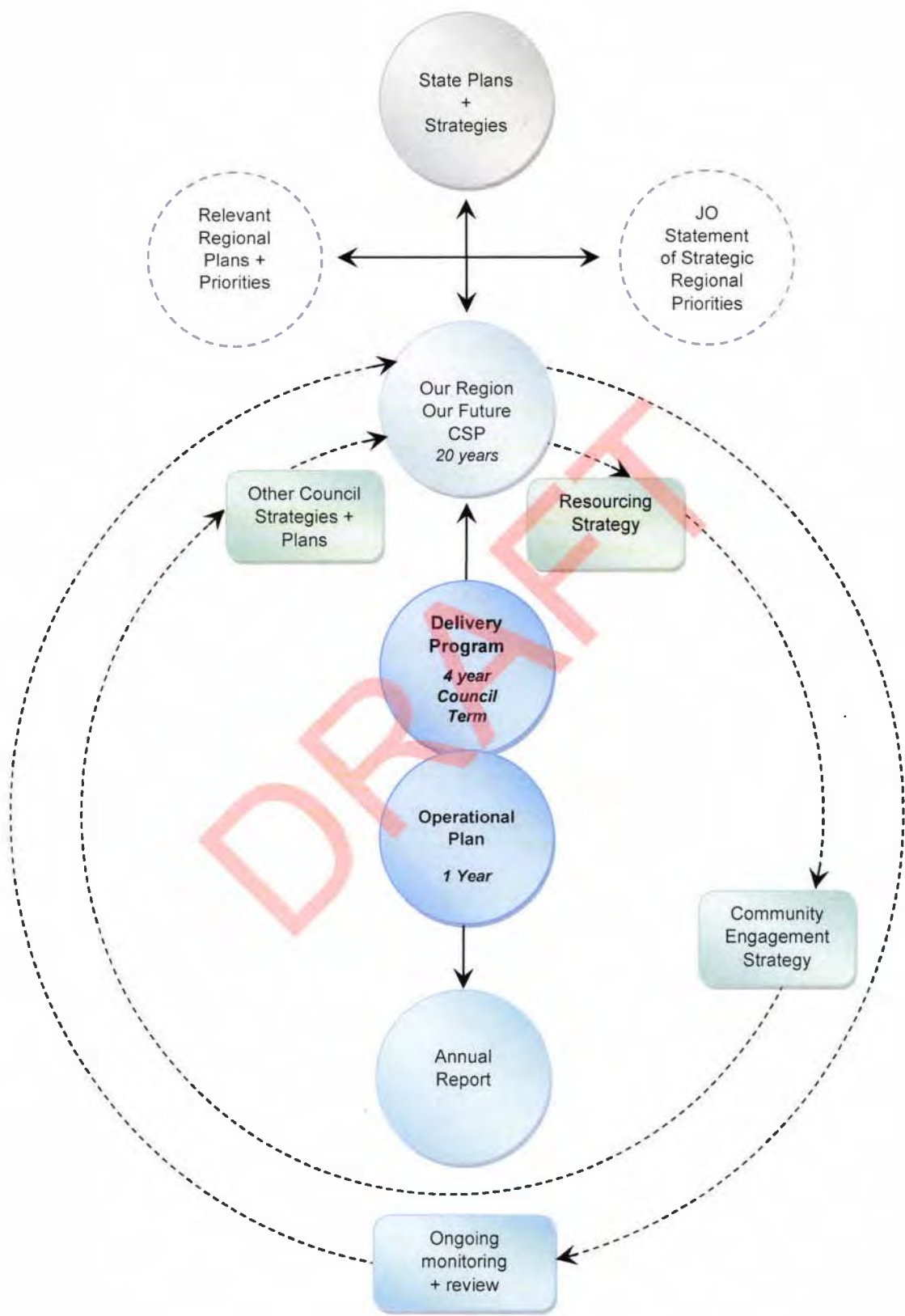
### ***The Delivery Program and Operational Plan***

The Delivery Program (DP) links the strategic direction of the CSP with its implementation via the Annual Operational Plan (AOP). The Delivery Program guides the Council's work program over the Council term. It sets out clear priorities, ongoing activities and specific actions Council will undertake towards achieving the community's desired future.

The Annual Operational Plan spells out the details of the Delivery Program, i.e. the individual projects and activities that will be undertaken for the year to achieve the commitments made in the Delivery Program.

The DP/AOP shows Council maintaining services at their current levels and this is based on Council's income having the rate maintained at 2.5% through the granting of a special variation by IPART. If Council's income is reduced through a reduction in the level of rates, then Council will need to revise its Delivery Program and reduce and / or stop some services and restructure the organisation from 1 July 2022. To prepare for this scenario Council has completed preliminary work and the proposed service level reductions will be outlined in a further document.







## *OUR Region OUR Future - Bathurst Community Strategic Plan 2022*

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Below are the objectives identified by the Council and the community

### **Objective 1. We value OUR SENSE OF PLACE AND IDENTITY**

- Strategy 1.1 Respect, protect and promote the region's Indigenous heritage assets
- Strategy 1.2 Protect, enhance and promote the region's Non-Indigenous assets and character
- Strategy 1.3 Enhance the cultural vitality of the region
- Strategy 1.4 Protect and improve the region's landscapes, views, vistas and open space
- Strategy 1.5 Promote good design in the built environment

### **Objective 2. We aspire to have A SMART AND VIBRANT ECONOMY**

- Strategy 2.1 Support local business and industry
- Strategy 2.2 Grow local employment, investment and attract new businesses and skills by nurturing and supporting entrepreneurs, partnerships and local skill development
- Strategy 2.3 Develop Bathurst as a Smart City
- Strategy 2.4 Promote our City and Villages as an attractive place to live
- Strategy 2.5 Support Mount Panorama Wapitani as a premier motor sport and event precinct
- Strategy 2.6 Promote our City and Villages as a tourist destination

### **Objective 3. Strengthen ENVIRONMENTAL STEWARDSHIP**

- Strategy 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River - Wapitani and other waterways
- Strategy 3.2 Improve water security
- Strategy 3.3 Minimise the City's environmental footprint, live more sustainably and use resources more wisely
- Strategy 3.4 Protect and improve the region's biodiversity
- Strategy 3.5 Increase resilience to natural hazards and climate change



**Objective 4. We encourage SUSTAINABLE AND BALANCED GROWTH**

- Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community
- Strategy 4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility
- Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region
- Strategy 4.4 Provide parking to meet the needs of the City
- Strategy 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region
- Strategy 4.6 Plan for, assess and regulate development activity

**Objective 5. We foster COMMUNITY HEALTH, SAFETY AND WELL BEING**

- Strategy 5.1 Provide opportunities for our community to be healthy and active
- Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life
- Strategy 5.3 Help build resilient, inclusive communities
- Strategy 5.4 Make our public places safe and welcoming
- Strategy 5.5 Plan and respond to demographic changes in the community

**Objective 6. We advocate for COMMUNITY LEADERSHIP AND COLLABORATION**

- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region
- Strategy 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently
- Strategy 6.3 Advocate for our community
- Strategy 6.4 Meet legislative and compliance requirements
- Strategy 6.5 Be open and fair in our decisions and our dealings with people
- Strategy 6.6 Manage our money and our assets to be sustainable now and into the future
- Strategy 6.7 Invest in our people
- Strategy 6.8 Implement opportunities for organisational improvement
- Strategy 6.9 Progressive Local Leadership



## *Service Delivery Review*

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Council strives to deliver the best practice and best value services to the community. As a part of that process, Council constantly reviews how services are delivered, what the community requires through its Community Engagement Strategy, and the community satisfaction with the current levels of service.

Council has provided a high level of service to our community over many years. The dedicated efforts of staff have led to an organisation clearly focused on providing best value for our growing community. However, Council operates in a changing environment that requires regular review of the services we deliver and how they are provided. Only through ongoing best value review will we sustainably meet the ever-changing needs of the community and mitigate problems that we face today or arise in the future.

Council has previously completed service reviews on an ad hoc basis and is now developing a systematic program of reviews.

The Service Delivery Reviews will look at a wide range of issues raised by the community and Councillors. The objective of the process is to achieve outcomes that will best address the issues raised while always keeping focus on achieving both the community's and corporate long-term objectives.

The review will also analyse how we will deliver existing services while providing opportunities and organisational capacity to ensure that we can develop best value services for our community in the future. It will also be undertaken with the vision of creating an organisation that is focussed on delivering value for money services to the Bathurst Region community in a sustainable manner.

The process, simplified, becomes:



There are many reasons for reviewing the current service delivery:

- The nature and focus of service delivery and demands on Council are changing continuously.
- Some Council services have experienced higher demand from the community (such as sporting and cultural facilities) while others have increased legislative requirements to comply with (such as asset management and integrated planning).
- The community has clarified its strategic vision in the Community Strategic Plan process. Achievement of Council's role in the CSP will require focusing on the priority objectives which may involve changes to Council services.
- There are important community perspectives communicated by Councillors on what the community needs that must be incorporated into Council Service Delivery.
- Addressing our delivery of environmental, social, economic and governance sustainability requires a balance and prioritisation of services acknowledging that:



- Requirements to provide for a growing community are more extensive, expensive and refined.
- Pressures on sustaining our natural environment as we continue to grow are greater than they have ever been.
- Maintaining a prosperous economy will be increasingly difficult to achieve in a globalised economy.
- Council's traditional income base is limited and choices need to be made about the services that we will deliver.
- A number of functions could benefit from a clearer focus and economies of scale or through co-location of "like" services (e.g. infrastructure management, major projects and compliance).
- There are opportunities to reduce costs, increase revenue, implement productivity savings, improve sustainability and the quality of services.
- There is a need to determine the higher priority activities of Council and from this establishing the preferred structure without increasing staff levels or funding.
- It is a requirement under the Local Government Act s332 to undertake a review of Council's structure within 12 months of a Council election.
- Council is also committed to ensuring that we provide sustainable service delivery for the: Social Progress, Environmental Stewardship and Economic Growth. This is sometimes described as the "triple bottom line".

The objectives of the Service Reviews are to provide a better outcome for our community by:

- Focusing on improving service to our customers both internally and externally
- Reviewing the current organisation structure to develop improved service delivery (i.e. increased productivity, better resource management, decreased costs, removing duplication and raising additional revenue.)
- Ensuring there is job security.

In short, the reviews will seek to provide answers to the above questions; not as an end in itself, but as a catalyst for ongoing improvement.

The results should ensure that:

- Council is more customer focused, both internally and externally.
- Council is able to deliver better service aligned with the community's priority objectives.
- There is a flexible structure closely aligned to Council's long-term objectives and reflective of good governance.
- Council provides the best value for the community in the way our limited resources are allocated.
- The structure embraces the benefits of co-location, economies of scale and end to end process management.
- Council's services and finances are sustainable.
- There is job security for staff.

A detailed plan will be developed during the 2022/2023 year with a view to starting on identified reviews in the following years. Those will be identified in the next revision of this Delivery Program.



## *OUR Services*

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Council's structure consists of four (4) functional areas: Engineering Services; Corporate Services and Finance; Cultural and Community Services; Environmental Planning and Building Services. Below are Council's principal activities.

### **ENGINEERING SERVICES**

#### **ROADS**

To provide a road, bridge and footpath infrastructure network that provides safe and convenient pedestrian and vehicular travel to, from and within the council area.

#### **WATER SERVICES**

To provide a safe, reliable and cost effective water supply that meets the needs of residential, commercial and industrial clients and caters for the economic growth of the area.

#### **SEWERAGE SERVICES**

To provide a safe, reliable and cost effective sewerage service that meets the needs of residential, commercial and industrial clients and caters for the economic growth of the area.

#### **WASTE SERVICES**

To provide an ecologically sustainable, reliable and efficient waste management collection and recycling service that meets the needs of residential, commercial and industrial clients and caters for the economic growth of the area.

#### **PARKS, GARDENS, RESERVES & SPORTING FACILITIES**

To provide a range of parks, gardens, recreational and sporting areas that allow the people of Bathurst to participate in a wide range of passive and sporting pursuits and maintain the visual amenity of the City of Bathurst, surrounding villages and rural areas.

#### **ASSET MANAGEMENT**

To develop a maintenance and renewal program that ensures Council and community assets are maintained and provided in a manner that is economically sustainable for access by future generations.

### **CORPORATE SERVICES AND FINANCE**

#### **CORPORATE SERVICES**

To implement financial and administrative policies and procedures that allow for the economically sustainable management of Council activities, protects Council and Community assets and provides representative and responsive government.

This activity involves:

- Human Resources & Risk Management
- Governance
- Information Services
- Financial Services
- Events
- Property and Land Development
- Corporate Communications

#### **MOUNT PANORAMA PRECINCT**

To provide activities that increase utilisation of the facilities at Mt Panorama and promote it as a prime location for conferences, motor racing and tourism activities.



## **CULTURAL AND COMMUNITY SERVICES**

### **CULTURAL SERVICES**

To engage and enrich cultural life in the Bathurst Region through the provision of a professionally managed diverse range of activities including exhibitions, performances, educational outreach, public programs and locally developed projects via its peak arts facilities: Bathurst Memorial Entertainment Centre, National Motor Racing Museum, Bathurst Regional Art Gallery, the Australian Fossil and Mineral Museum incorporating the Somerville Collection, Chifley Home and Education Centre, Bathurst Rail Museum and the Bathurst Library.

### **COMMUNITY SERVICES**

The principle activities of the Community Services section are to facilitate community participation and community development, plan and advocate for community needs and provide community infrastructure and programs to ensure residents have access to a broad range of community services.

### **TOURISM & VISITOR SERVICES**

Effectively promote and market the Bathurst Region as a key destination by providing visitors and prospective visitors to the area with quality information and services.

## **ENVIRONMENTAL, PLANNING AND BUILDING SERVICES**

### **BUILT & NATURAL ENVIRONMENT**

To implement policies and procedures that enhance both the built and natural environment for all existing and future residents as well as visitors to the region. To plan for and manage development across the Region, with particular emphasis on new subdivision design and development within Heritage Conservation Areas. To implement environmental education programs and policies that encourage all people to strive for a safer and sustainable environment into the future. To encourage and assist in the promotion of more energy efficient buildings and subdivision design that result in a reduction in environmental footprint.

### **ECONOMIC DEVELOPMENT**

To identify trends and develop the key economic drivers of the Region in partnership with other stakeholders. To facilitate the growth and economic development of the Region through Council business activities, promotional and marketing activities that encourage and assist existing business, attract new business and promote the benefits, attractions and points of difference of the Bathurst region.

On the following pages, each of Council's services is shown along with their four year delivery program actions and the annual operational tasks that will be undertaken. These actions and tasks are linked back to the OUR Region OUR Future CSP to show the community how its needs and wants are being delivered.

The table below is a guide to reading the delivery program and operational plan.



## Engineering Services

The key to developing a sound foundation for growth and prosperity of the Bathurst Region is by ensuring infrastructure needs are keeping pace with demand. The Engineering Services Department has the responsibility to ensure the current needs of the community are met and the capacity exists to cater for future growth. A clean and safe water supply, a quality local road network, and environmentally responsible waste management systems are all high priorities for engineering the future of the Bathurst Region.

### Asset Management

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
4.1 4.2 5.1	Improve pedestrian access within the urban area.	Completion of additional concrete footpaths/cycleways in accordance with the Bathurst Regional Community Access and Cycling Plan 2011.	500 lineal metres of footpath and/or cycleway completed.	Manager Works
		Monitor condition of footpaths.	100% of urban footpath inspected	Manager Works
4.1 4.5	Maintain and improve the existing road infrastructure consistently throughout the network.	Improvement of road infrastructure to upgrade sub-standard sections of the sealed network.	Reconstruction and resealing works as per Council's 2022/2023 capital works and routine maintenance programs.  Completion of 2022/2023 Roads to Recovery Program.	Manager Works
		Renewal of gravel road surface throughout the network.	Completion of 2022/2023 Unsealed Roads Gravel Resheeting program.	Manager Works
		Undertake maintenance program in accordance with allocated budget.	Greater than 90% of the urban road network remains at condition index 3 or above.	Manager Works
4.1 4.3	Protection of urban areas on the Bathurst Floodplain	Completion of flood mitigation works as outlined in the Georges Plains Flood Management Plan.	Substantial Completion of Design and Environmental Assessment	Manager Technical Services



## Water, Sewer and Waste

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
3.2 3.3 3.5 4.3 6.2 6.6	Maintain and upgrade existing water and sewer infrastructure to meet the needs of all stakeholders into the future.	Operate, maintain, repair and upgrade Water Filtration Plant.	Achieve the Australian Drinking Water Standards 90% of the time.	Manager Water and Waste
		Operate, maintain, repair and upgrade water distribution system.	Customer complaints regarding flow and pressure are kept below 52 p.a.	Manager Water and Waste
		Respond effectively to water quality complaints	100% of complaints investigated, actioned and resolved.	Manager Water and Waste
		Review, update and adhere to Drinking Water Management System (DWMS).	Australian Drinking Water Guidelines & DWMS compliance reported monthly.	Manager Water and Waste
		Winburndale Dam Flood Security Upgrade	Project is constructed and commissioned	Manager Water and Waste
		Stormwater Harvesting Project Stage 1	Project is constructed and commissioned	Manager Water and Waste
		Review and update existing Best Practice Guidelines plans as required.	Best Practice Guidelines compliance reported quarterly.	Manager Water and Waste
		Continue implementation of Trade Waste Policy.	Maintain approvals at over 90% of active businesses	Manager Water and Waste
		Monitor and action developments from State Government regarding changes in the Best Practice Guidelines	Review Guidelines monthly, then action as required.	Manager Water and Waste
		Prepare reports and studies for Winburndale Dam and Chifley Dam to achieve compliance with Dams Safety NSW regulatory requirements	Compliance with Dams Safety NSW requirements reported annually.	Manager Water and Waste
		Work with Central NSW Joint Organisation on Water Utilities Alliance goals	Meetings attended. Relevant projects supported. Goals delivered.	Manager Water and Waste
		Operate, maintain, repair and upgrade Waste Water Treatment Works to comply with licence conditions	Achieve over 90 % compliance with EPA licence conditions.	Manager Water and Waste



Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
		Continue program of sewer main CCTV inspection, and lining if warranted	Mains where blockages or overflows occur are inspected	Manager Water and Waste
		Identify, plan and undertake water and sewer construction works.	Complete capital works program	Manager Water and Waste
1.4 3.3 4.3 6.2 6.6	Maintain and upgrade existing waste infrastructure to meet stakeholder requirements.	Replace waste collection vehicles on a 4 yearly cycle.	One waste collection vehicle replaced	Manager Water and Waste
		Review Waste Management Centre filling plans to ensure the optimum long term strategy is delivered, and to enable future planning timelines to be developed.	Survey and monitor the remaining air space of the landfill annually.  Air space reduction minimised.	Manager Water and Waste
2.2 3.3 6.1 6.2 6.6	Reduce waste to landfill.	Work with NetWaste on waste projects and opportunities, for greater diversion from landfill and increased efficiencies.	Meetings attended. Relevant projects supported and delivered.	Manager Water and Waste
		Council to continue education and promotion of appropriate WasteWise behaviours regarding green waste and recycling. Promote recycling to maximise diversion from landfill.	Recycling promotion and education programs run and reported annually.  Monitor combined diversion and report annually.	Manager Water and Waste
		Identify, assess and implement appropriate diversion opportunities.	Opportunities reviewed to determine cost/benefit and reported annually.	Manager Water and Waste





## Recreation

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.4 5.1 5.5	Plan for increasing population and aging population in the provision of suitable recreational projects	Construct additional facilities as determined in budget.	Construction of multi sports court Ralph Cameron Park	Manager Recreation
		Update sporting venues, including associated infrastructure.	Reconstruction of Court 6 Eglinton Tennis Centre  Acrylic resurfacing of 2 courts John Matthews Netball Complex	Manager Recreation  Manager Recreation
		Update parks including associated infrastructure.	Construct stage 1 of Centennial Park Masterplan	Manager Recreation
1.4 5.1 5.5	Maintain existing and future recreational areas.	Maintain existing levels of service to all parks, reserves, open space areas and other recreational facilities	Maintenance activities undertaken to all recreation Assets in accordance with adopted maintenance service levels in the Asset Management Plan.	Manager Recreation
1.4 5.1 5.5	Continue environmental programs identified within the Bathurst Vegetation Management Plan	To ensure that appropriate Environmental Management Plans for the Bathurst Region are current, relevant and provide long term strategies for the Region	Arrange for 11 Tree Planting and volunteer engagement activities.	Manager Recreation
			Weed Control Project Inner Track Mount Panorama	Manager Recreation
			Gully erosion control project HillView Estate Reserve	Manager Recreation

## Mount Panorama

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.4 6.5 6.8 2.5	Increase profile of Mount Panorama as the premier motor racing venue in Australia.	Construction of optic fibre communications loop	Installation of Optic fibre network to Mount Panorama Circuit as per 2022/2023 Capital Works Plan	Director Engineering Services
		Development of the second circuit	Development Consent obtained.	Director Engineering Services



## Corporate Services & Finance

Attracting, retaining & Investing in the safety & wellbeing and ongoing development of our people, whilst supporting an open and transparent, customer focused workplace culture is the main priority at Bathurst Regional Council. Council employs approximately 492 full time equivalent staff in 20 locations to provide services to support our community needs.

### Human Resources

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
3.1 5.3 5.5 6.1 6.2 6.4 6.6 6.8 6.9	Ensure appropriate structure and resourcing is effectively supported & implemented to meet organisational needs.	Organisational Structure designed to ensure CSP can be adequately & appropriately supported.  Resourcing prioritised to ensure Statutory & legislative requirements can be effectively supported and operational needs met.	Organisational structure supports a collaborative culture where Strategic objectives and community needs are achieved within budgetary constraints. Resourcing is appropriately allocated.  Employee feedback is utilised to continually improve workplace culture and employee engagement.	Manager Human Resources
5.3 5.5 6.2 6.4 6.5 6.7 6.8	Promote and support a safe workplace in line with statutory and legislative requirements with a focus on employee wellbeing.	Build and maintain a workplace culture that supports physical & mental health and wellbeing of our people.  Council focuses on injury prevention, including discrimination, bullying and harassment & discrimination.	An effective WHS system is developed & effectively implemented. WHS related training programs focus on identified high priority areas (Manual handling, Mental health) as well as Compliance related training.  A proactive and supportive approach is implemented to support injured workers recover at work.	Manager Human Resources
1.1 6.1 6.2 6.4 6.7 6.8 6.9	Training and development is fairly & effectively supported for all Council employees with an aim to retain talent, develop current & future leaders, increase job satisfaction and morale and improve productivity and safety.	Training needs are identified and effectively implemented for all Council staff.  Training focus is on ensuring compliance requirements (WHS, Skills based) are met but also on investing in the ongoing development of our people.	Training & Development is centrally co-ordinated.  Training plan is developed, consulted on & effectively implemented and maintained.  90% of Council staff complete e-learning compliance modules in first 3 months of commencement.  Manager to Leader Program is effectively implemented.	Manager Human Resources



Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.1 2.2 5.3 5.5 6.1 6.4 6.6 6.8 6.8	Ensure Council complies with equal employment opportunity laws at every stage of the employee lifecycle and in line with the Council EEO policy. Promote an inclusive workforce representative of the community we support.	Council promotes an inclusive workplace and all stages of the employee lifecycle.  Relevant policies, procedures and plans developed and implemented.	Council EEO policy developed and implemented.  Acceptable behaviour & conduct in the workplace policy developed and implemented.  Targeted training to improve the awareness and understanding of the benefits of a diverse workplace and the EEO laws are implemented.	Manager Human Resources

### Governance

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.4 6.5 6.8 6.9	Ensure Council policies reflect community needs and organisational requirements.	Regular review of Council's policies (Policy Manual).	Individual Policies reviewed for relevance and compliance with statutory requirements	Manager Corporate Governance
6.4 6.5	Implementation of the Government Information Public Access Act (GIPA Act)	Provision of Contract Register on Council's website.  Action requests for information under GIPA Act.	Register updated monthly.  Information requests (formal and informal) actioned in accordance with statutory guidelines.	Manager Corporate Governance  Manager Corporate Governance
4.3 6.4	Ensure Council's continuity of operations.	Review of Disaster Recovery Plan and Business Continuity Plan.	Plan reviews completed	Manager Corporate Governance
6.4 6.5 6.8 6.9	Ensure Audit and Risk Management Committee effective operation	Regular risk management reporting.  Service delivery review program development.	Quarterly risk register updates.  Program developed by 30 June 2023.	Manager Corporate Governance
6.4 6.5 6.6 6.8	Manage insurance claims in a timely, effective and efficient manner	Manage insurance claims and provide data to inform strategic decision making  Coordinate participation in the Statewide Mutual Continuous Improvement Pathway (CIP) program.	Monthly insurance reports to Department Heads.  Submission of completed CIP workbooks to Statewide Mutual	Manager Corporate Governance



## Events

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.3 2.1 2.2 2.6 5.2 5.3 6.3	Coordinate and deliver events to enhance the cultural life of residents and promote the Bathurst Region	Deliver events including New Years Eve, Australia Day, NRL game, Bathurst 1000 off track events.	90% or more of residents attend an event.	Events Manager

## Information Services

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
2.3 2.5 6.8	Improve long-term viability and availability of electronic data for both the current and long term.	Perform Penetration testing to ensure the security of Bathurst Regional Council Data	Engage Third Party to perform Penetration tests.	Manager Information Services
		Upgrade ERP (Civica Authority) to version 7.1	It is anticipated that this upgrade will occur in Calendar 2022	Manager Information Services
		Continue regimen of cyber-Security training for all staff & Councillors at Bathurst Regional Council.	Microsoft Cyber Security training, Phishing simulation has been purchased, and training program implemented. Councillors & staff will continue to be provided with the opportunity to attend Cyber Security NSW training	Manager Information Services
		Continuous upgrading of Cyber Security posture based upon recommendations from Penetration Testing.	This is a continuous process.	Manager Information Services
		Upgrade GIS from GDA94 to GDA 2020.	Ensure that BRC GIS is current by implementing GDA2020 it is anticipated that this will be completed in 22-23 financial year.	Manager Information Services
		Implement cloud based VOIP telephone system.	Proof of Concept for Microsoft Teams calling is underway. This will allow staff to test the viability of this technology. It is then expected that the system will be implemented in 22-23	Manager Information Services
		Perform Disaster Recover testing at Bathurst Regional Council's DR site.	It is anticipated that full test will be performed by End of August 2022.	Manager Information Services
2.2 2.3 2.6 5.2	Support the Smart Cities project.	Install fibre optic cable from Mt Panorama to Civic Centre via the collections facility.	It is anticipated that the link will be fully installed and operational in calendar 2022	Manager Information Services



**Property**

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.5 6.4 6.5 6.8	Manage development of new residential land releases to ensure appropriate level of supply.	Complete development of residential land in accordance with Council plans.	Provision of land to meet demands	Property Manager
2.1 4.1 6.4	Manage development of new commercial and industrial land releases as required to meet the needs of new businesses.	Development in Bathurst Trade Centre and Kelso Industrial Park as required.	Provision of land to meet demands.	Property Manager

**Finance**

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.1 6.6 6.9	Ensure Council's long term financial sustainability.	Review need for special variation in rate income.	Long Term Financial Plan complete and adopted by Council.	Manager Financial Services
			Special Rate Variation considered by Council.	
		Improve Council's cash flows.	Rates and Charges Outstanding Ratio less than 10%.	Manager Financial Services
		Ensure Council's level of debt is manageable.	Debt service ratio less than 10%.	Manager Financial Services
		Maximise invested funds within prudential guidelines.	Outperform monthly 90 day bank bill swap rate.	Manager Financial Services
		Monitor, review and update Long Term Financial Plan	Long Term Financial Plan 2022-2032 adopted	Manager Financial Services

**Corporate Communications**

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.1	Communicate and engage with the community	Bathurst Regional Council Community Survey.	Overall satisfaction rating > 70%	Manager Corporate Communications
		Ensure community consultation occurs	All consultation projects included on the "Your Say" platform	Manager Corporate Communications
			Followers on social media > 14,000 BRC Website visits > 40,000	



## Cultural & Community Services

Bathurst Regional Council supports a vibrant culture and community. Lifestyle in the Bathurst Region is enriched by providing a diverse range of cultural facilities and programs and by promoting cultural diversity. Community well-being is promoted through social planning, community development and ensuring access to community services.

### Community Services

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.3	Work in partnership with key stakeholders to develop, administer and deliver community planning that reflects the strengths and needs of specific sectors and the community as a whole.	Undertake the actions identified in the Bathurst Community Safety Plan in partnership with the Bathurst Regional Community Safety Committee	Provide administrative support to four (4) meetings of the Bathurst Regional Community Safety Committee.	Manager Community Services
			Relevant campaigns /projects developed and implemented as per actions identified in the Bathurst Community Safety Plan.	
		Implementation of the strategies and actions identified in the Disability Inclusion Action Plan (DIAP) that address each of the four focus areas of the plan 2022-2027.	Quarterly reviews undertaken to determine the number of actions in progress or complete.	Manager Community Services
			Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Disability Inclusion Action Plan (DIAP).	
		Implement strategies and actions identified in the Positive Ageing Strategy	Quarterly reviews undertaken to determine the number of actions in progress or complete.	Manager Community Services
			Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Positive Ageing Strategy.	Manager Community Services
		Collaborate with key stakeholders to develop and deliver programs/ activities to meet the needs of the indigenous community.	Deliver two (2) community development projects	Manager Community Services
			Aboriginal Commitment Strategy finalised	Manager Community Services
			Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Aboriginal Commitment Strategy.	



Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
4.3 5.1 5.3 5.4 5.5 6.1 6.3		Encourage and facilitate the use of Kelso Community Hub to meet community needs	Quarterly update on usage of Kelso Community Hub by services/programs	Manager Community Services
5.1 5.3 6.1 6.3 6.7	Value and support opportunities for young people to understand the processes of Local Government and be involved in relevant projects.	Continue to support the operations of the Bathurst Regional Youth Council	Facilitation of six (6) Bathurst Regional Youth Council meetings	Manager Community Services
			Undertake and/or participate in two (2) initiatives, activities, programs and events.	Manager Community Services
5.1 5.2 5.3 5.4	Provision of high quality child care facilities to cater for children aged 0-12 years in the Bathurst Community	Ensure policies and procedures align with industry, Education and Care legislation	50% of policies reviewe	Manager Community Services
			Review and update current Service Self-Assessment Tool	Manager Community Services
6.3 6.4 6.7	The provision of Council's Children's Services, setting a benchmark for education and care in the Bathurst LGA	Research and implement programs/projects reflecting industry and stakeholder needs	Research and develop programs based on industry needs	Manager Community Services
			Implementation of relevant programs	Manager Community Services
		Maintain high occupancy rates within Children's Services	% Occupancy rate for LDC	Manager Community Services
			% Occupancy rate of FDC	Manager Community Services
			Promotion of Children Services	Manager Community Services
	Connect and collaborate with Children's Services networks locally to ensure service provision reflects strengths and needs of the sector	Local networks investigated and developed	Stakeholder interest established for development of local networks	Manager Community Services
			Facilitate (1) local network forum	Manager Community Services



## Bathurst Library

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
<b>4.3</b> <b>5.5</b>	Develop a strategic approach to planning the next-practice library	Evaluation of selected library services	Report to Council by June 2023	Manager Library Services
<b>1.3</b> <b>5.3</b>	Maintain and improve community participation in the Library Services	Maintain and improve membership base	Membership is 26% or more of total population	Manager Library Services
		Maintain and improve visitations	Yearly visitations are 80,000 or more (monthly average: 6,600)	Manager Library Services
		Maintain and improve program and event delivery	Deliver 200 or more programs / events per year (monthly average: 16.6)	Manager Library Services
		Maintain and improve attendance at programs and events	2,400 attendees or more to programs / events per year (monthly average: 200)	Manager Library Services
<b>1.3</b> <b>5.3</b>	Maintain and improve access to information and life-long learning	Maintain and increase circulation of all library material	Loans exceed 200,000 per year (monthly average: 16,600)	Manager Library Services
		Improve online information	Restructure of library website completed by June 2023	Manager Library Services
		Improve adult digital literacy skills	Provide at least 20 technology sessions/workshops for adults yearly	Manager Library Services
		Improve Readers Resources	Curate and provide access to 4 new subject specific reading lists per year	Manager Library Services
			Promote "1,000 books before Kinder challenge" to at least 4 day-cares by June 2023.	Manager Library Services
		Promote Australian Indigenous history and content	One (1) Wiradyuri or Australian Indigenous content highlight per month	Manager Library Services
<b>6.1</b>	Communicate and engage with the community	Growth in followers on the library social media platform	More than 3,600 followers on Facebook	Manager Library Services
		Monitor community satisfaction with Library Services, Programs and Collections	Launch biennial Library Customer Satisfaction survey by June 2023.	Manager Library Services
		Reach out to the community beyond the walls of the facility	At least two (2) library pop-ups by June 2023.	Manager Library Services
<b>6.2</b>	Maintain and create partnerships with local organisations and neighbouring councils	Foster relationships with local schools	Deliver at least two (2) new activities to local schools by June 2023	Manager Library Services



## Bathurst Regional Art Gallery

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.3	Provide a focus on the visual arts for the community by providing education and public programs that challenge thinking and stimulate creativity, and promote cultural vitality in the region through the development and care of the permanent collection, temporary exhibitions and research facilities.	Increase community participation and engagement through public programs and events.	Minimum four (4) public programs delivered per exhibition slot.	Art Gallery Director
		Increase student and teacher engagement through education programs and outreach.	5% increase in school engagement on 2021/2022.	Art Gallery Director
		Provide opportunities for the professional development of regionally based artists.	Staging of four (4) regional artist projects with at least 3,250 attendees	Art Gallery Director
		Develop community access to and understanding of contemporary indigenous art.	Stage two (2) programs/exhibitions/community projects of contemporary Aboriginal art.	Art Gallery Director
		Develop activities for Bathurst 2024 Remembrance.	Develop partnerships with three (3) key stakeholder groups	Art Gallery Director
		Develop community access to the permanent collection.	Develop online access to permanent collection through BRAG website	Art Gallery Director
		Redevelop BRAG Store as public access space	Seek funding opportunities	Art Gallery Director
6.1 2.6	Communicate and engage with the community	Increase community engagement on social media platforms.	Increase followers across social media platforms by 5% on 2020/2021 figures.	Art Gallery Director
5.2	Promote cultural activity in the Bathurst CBD, neighbourhoods and the region's villages through the development of inclusive and accessible satellite programs and events, and the promotion of Hill End as a significant site of contemporary and historic Australian art and culture.	Ensure sustainability of BRAG artist in residence activities	Develop three (3) programs/opportunities for artists in residence.	Art Gallery Director
		Develop Community understanding of the Hill End Artists in Residence (AIR) Program	Staging of at least two (2) Hill End projects or partnerships.	Art Gallery Director
		Develop activities within the Public Art Policy as resources permit.	Develop and deliver three (3) programs for <i>Out There Bathurst</i> platforms.	Art Gallery Director
1.3 6.6	Increase in revenue generated from gallery retail outlet and programs	An increase on 2020/2021 total revenue generated from gallery retail and sales	5% increase in revenue	Art Gallery Director
		An increase on 2020/2021 online shop sales	5% increase in online shop sales	Art Gallery Director



## Bathurst Memorial Entertainment Centre

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.3 1.5 2.4 4.1 4.3	Implement a strategic approach to the maintenance and upgrade of the existing BMEC facility until new facilities can be developed	Upgrades recommended by NPPAF consultants prioritised and funding sought	Funding applications made as suitable opportunities arise	Manager BMEC
1.3 1.5 2.4 4.1 4.3	Implement a strategic approach to planning the Next-Practice Performing Arts range of facilities	Consultants report adopted by Council and range of facilities prioritised	Decisions made regarding Residency facility, intimate performance space and Creative Development facility location	Manager BMEC
2.4 5.1 5.2 5.3 5.5	Maintain and improve community participation in BMEC services and activities	Maintain and improve venue attendance	Attendances return to pre Covid levels of 50,000 plus within 2 years	Manager BMEC
		Maintain and improve program and event delivery	Deliver approximately 14 Annual Season events, with associated participatory engagement where possible	Manager BMEC
			Deliver a Local Stages Program supporting local skill development and the creation of new, contemporary performing arts events	Manager BMEC
			Deliver the Inland Sea of Sound Festival	Manager BMEC
			Deliver the Bathurst Writers' & Readers Festival	Manager BMEC
		Strive to diversify attendance at programs and events	Devise strategies to engage with diverse sectors of the community	Manager BMEC
4.3 6.8	Measure and increase customer satisfaction within BMEC, as well as identify areas to improve customer experience for users of the venue.	Achieve a minimum Net Promoter Score of +50 over the next year. QR codes set up in the building foyers as well as paper surveys available. All hirers sent an NPS survey at the end of their venue hire. Random surveys to audience members who have agreed to received contact emailed survey.	NPS results reviewed in real time, to be analysed on a monthly basis. Tracked via Microsoft forms.	Manager BMEC
1.3 4.3	Communicate and engage with the community	Growth in community engagement	At least one (1) intrinsic impact study per year.  2% growth in social media followers over 2021/2022	Manager BMEC



## Museums

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.1 1.2 1.3 2.4 2.5 2.6 5.1 5.2 5.4	Provide opportunities for locals and visitors to Bathurst to engage with our stories and objects through the operation of museum Bathurst	Facilitate engagement with museums Bathurst through the provision of exhibitions, public programs, lifelong education and other activities	80,000 annual visitors to museums Bathurst Provision of exhibitions, public programs, and educational opportunities across all museums Bathurst sites	Manager Museums
5.1 5.3 5.4 5.5	Provide a range of opportunities and mechanism for visitors to museums Bathurst that encourage access for all and celebrates diversity	Identify, plan and provide a range of targeted activities and interpretation tools across museums Bathurst that encourage inclusiveness for locals and visitors to Bathurst	Continue to grow volunteer opportunities across museums Bathurst Work with organisations and groups to provide opportunities for their clients and the broader community to access museums, programs, and activities	Manager Museums
3.3 5.3	Strive for environmental stewardship through improved operations and the provision of education for museums Bathurst visitors	Review and implement strategies to reduce museums Bathurst environmental footprint and provide educational opportunities for visitors and the broader Bathurst community	Identify and target areas to reduce consumption in the operations of each facility Provide educational information, activities, programs and resources for visitors to museums Bathurst and the broader community on environmental sustainability and practical actions that can be implemented	Manager Museums
1.1 1.2 6.2	Provide a range of collection storage and learning opportunities in the operations of the Central Tablelands Collections Facility (CTCF)	Transfer Bathurst Regional Council's collections to CTCF Work with external bodies to develop partnerships for storage and learning opportunities at CTCF	Complete transfer of Bathurst Regional Council's collections to CTCF Identify, develop and manage key partnerships that will result in storage and facility hire and regional educational opportunities	Manager Museums



## Tourism

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
2.1 2.2	Grow the total number and engagement of businesses associated with the Visitor Economy	Work with local operators in the provision of visitor services and destination experiences	Ten (10) new packages, products or experiences developed	Manager Tourism & Visitor Services
		Grow Regional Tourism Partnership program	Number of tourism partners increased by 5%	Manager Tourism & Visitor Services
		Increase stakeholder advertising in Destination Guide	Advertising revenue increased 5%	Manager Tourism & Visitor Services
1.3 2.6	Provide visitors and prospective visitors to the area with quality inspiration, information and services.	Develop new engaging content for Bathurst Step Beyond App	One (1) new tour product added and promoted	Manager Tourism & Visitor Services
		Increase volume of online tour, event and accommodation bookings	Increase of 10% total bookings through online portal	Manager Tourism & Visitor Services
		Develop annual Destination Guide	2023 Destination Planner published	Manager Tourism & Visitor Services
		Develop new Bathurst region touring itineraries and inter-region itineraries based on shared thematic elements	Six (6) new itineraries created and published on website/available at BVIC.	Manager Tourism & Visitor Services
		Increase local range of retail products and souvenirs at BVIC and develop e-commerce facility	Retail sales at BVIC increase by 5% over previous year. Sales of local produce increase 10%	Manager Tourism & Visitor Services
2.6	Effectively promote and market the Bathurst Region as a key destination	Implement 2021-2023 marketing plan	50% of total actions completed or underway	Manager Tourism & Visitor Services
		Implement online content strategy	Destination website page views increase 15% Total social media following (includes Facebook, Instagram and YouTube) increase 10%	Manager Tourism & Visitor Services
		Work with industry and specialist agencies as required to generate brand building earned media coverage through public relations activity	120 media articles generated (across all platforms).	Manager Tourism & Visitor Services
2.6	Increase total number of visitors and overnight stays in the Bathurst region	Promote Bathurst region to niche and specialist markets as identified in Destination Management Plan and 2021 Marketing Plan	Overnight visitors increase by 5%  Total annual visitors increase by 3%  Measurement based on Tourism Research Australia annual data and Localis data analytics	Manager Tourism & Visitor Services
		Promote BVIC as essential step off point for Bathurst region.	Annual visitation to BVIC increases by 3%	Manager Tourism & Visitor Services



## Destination Management

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
2.6	Utilise the Destination Management Plan as a basis for marketing, promotion and tourism development	Implement the Strategic priorities of the 2019 DMP	50% of actions completed or underway	Manager Tourism & Visitor Services
2.2 2.6	Support and develop the regional tourism industry	Implement the Tourism Industry Engagement Strategy	Hold at least: <ul style="list-style-type: none"> <li>four (4) targeted meetings with industry segments</li> <li>four (4) industry capacity building workshops</li> </ul>	Manager Tourism & Visitor Services
2.2 2.6	Connect with industry and consult with a cross section of industry representatives	Continue monthly industry eDM  Host industry gatherings  Increase online engagement with industry	Minimum of 12 industry eDMs issued.  Hold at least four (4) industry networking events.  Pageviews of industry website increase 20%	Manager Tourism & Visitor Services
2.6	Set and measure benchmarks	Publish annual market intelligence report to strengthen knowledge and guide investment.	Annual market intelligence report produced.  Accommodation benchmarking maintained by use of analytics platform	Manager Tourism & Visitor Services





## Environmental, Planning & Building Services

Council will manage growth and development in alignment with Council's and the NSW Government's planning instruments and controls, and continue forward planning through reviews of the Housing Strategy, Open Space Strategy and Transport and Parking Strategy. Adoption of a new Economic Development Strategy will identify opportunities for continued growth, mindful of Council's obligations to environmental stewardship, heritage conservation and good urban design.

### Environmental

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.4 5.2 5.4	Meet Council's responsibilities under the Companion Animals Act 1998 by continuing to provide community programs relating to responsible pet ownership	Complete Responsible Pet Ownership community programs  Maintain and enhance areas for off-leash recreation for dogs	Two Community desexing programs conducted  Pet Education event held  Educational radio interviews conducted weekly  Educational social media posts conducted monthly  Maintain fenced Off Leash areas monthly	Manager Environment
6.4 5.4	Meet Council's responsibilities under the Companion Animals Act 1998 and Impounding Act 1993 by promptly responding to customer requests and implementing enforcement action for breaches	Investigate animal related complaints, including matters reported after hours  Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches	95% of customer requests responded to within adopted corporate standards  100% response to customer requests reported out of hours	Manager Environment
6.4	Meet Council's responsibilities under the Prevention of Cruelty to Animals Act 1979 and the Impounding Act 1993 in the operation of the Small and Large Animal Impounding Facilities	Operate Bathurst Animal Rehoming Centre	Implement social media program to promote rehoming of impounded dogs and cats  Increase the % of impounded dogs returned to owner or sold or released to welfare organisations  Increase the % of impounded cats returned to owner or sold or released to welfare organisations	Manager Environment



Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
		Decommission Small Animal Pound at Vale Road site	Decommissioning and transfer of all functions complete by 30 November 2022	Manager Environment
6.4 4.4 5.2 5.4	Meet Council's responsibilities under the Road Rules 2014 and Fines Act 1996	Monitor and enforce parking regulations on public roads  Implement a community education program regarding the Australian Road Rules	Daily monitoring undertaken  Educational social media posts conducted monthly	Manager Environment
6.4 5.2	Meet Council's contractual obligations under the Local Government Act 1993 in monitoring and enforcing parking regulations in public car parks	Monitor and enforce parking regulations in public car parks in accordance with contractual obligations	100% compliance with contractual obligations	Manager Environment
3.1 3.2 3.3 3.4 6.4 1.4	Meet Council's responsibilities under the Protection of the Environment Operations Act	Investigate customer requests and pollution incidents  Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches	95% of customer requests responded to within adopted corporate standards	Manager Environment
		Undertake educational programs to enhance community knowledge	Implement the project activities identified in the Banishing Bathurst Butts project by March 2023	Manager Environment
3.3 3.5 6.1	Continue to improve the community's awareness and capacity regarding environmental sustainability	Communicate sustainability messages via a range of on-line and traditional media sources  Conduct sustainability education programs	Weekly posts on the @sustainablebathurst Facebook page  Conduct Sustainable Living Week in March 2023  Implement the River Connections program targeting primary school aged students by December 2022	Manager Environment
3.1 3.2 6.4	Implement Council's Onsite Sewage Management Strategy and meet Council's obligations under the Local Government Act 1993	Conduct inspections and issue approvals for existing onsite sewage management systems without approvals or requiring renewal	Increase the number of onsite sewage management systems with a current approval to operate	Manager Environment
3.1	Meet Council's	Implement the Urban	Implement a priority	Manager



Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
3.4 3.5 1.4	obligations under the Local Government Act 1993 and community expectations to manage, restore, enhance and conserve the natural environment	Waterways Management Plan  Implement the Biodiversity Management Plan  Implement the Pest Bird Management Plan  Implement the Roadside Vegetation Management Plan	project identified in the Urban Waterways Management Plan.  Implement a priority project identified in the Biodiversity Management Plan.  Implement a priority project identified in the Pest Bird Management Plan  Implement a priority project in the Roadside Vegetation Management Plan	Environment
3.5 3.3 6.6	Implement energy efficiency and renewable energy projects at Council facilities	Implement the Renewable Energy Action Plan	Implement a priority project identified in the Renewable Energy Action Plan	Energy Strategy Officer
3.1 3.4 6.4 1.4 4.6	Meet Council's obligations under the Biodiversity Conservation Act 2016, Fisheries Management Act 1994 and Water Management Act 2000  Meet Council's obligations under SEPP55 and related planning policies	Ensure the assessment of development applications meets all of the requirements of the Biodiversity Conservation Act 2016, Fisheries Management Act 1994, Vegetation SEPP and Koala SEPP  Ensure that Council activities are compliant with the requirements of the Biodiversity Conservation Act 2016  Ensure the assessment of development applications meets all of the requirements of SEPP55 and Council's Contaminated Land Policy	Number of development applications assessed and professional advice provided.  Council policies and plans are reviewed and updated where required to ensure consistency with current legislation  Assess vegetation removal applications in urban zones in accordance with the Vegetation SEPP in Council's DCP.  Professional advice provided including pre-DA advice on contaminated land matters	Manager Environment
2.3 3.3 5.2	Contribute to the development of Bathurst region as a Smart Community	Implement the Electric Vehicle Transition Plan	Implement a priority project identified in the Electric Vehicle Transition plan	Manager Environment
3.3 3.5 6.4 3.1	Meet Council's statutory reporting obligations under the Local Government Act 1993	Monitor the operational footprint of Council's operations and report on trends identified.  Measure and collate the trends in environmental condition across the Local Government Area	Collate data and prepare reports on Environmental data on an annual basis	Manager Environment



Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
6.4 5.4	Meet Council's obligations in the Food Regulation Partnership and the Food Act 2003	Conduct a program of inspections of food premises including home-based food premises to ensure compliance with regulations	<p>Conduct an inspection of all high and medium risk food premises by June 2022</p> <p>Implement a risk-based inspection program for home-based food premises</p> <p>Prepare and distribute educational material on food safety three times annually</p> <p>95% of customer requests responded to within adopted corporate standards</p>	Manager Environment
6.4 5.4	Meet Council's obligations under the Public Health Act 2010 and associated regulations	Conduct a program of inspections of skin penetration premises, public swimming and spa pools and cooling towers	<p>Conduct an inspection of all skin penetration premises</p> <p>Conduct an inspection of all public swimming pools and spa pools</p> <p>Implement the activities identified as Council's role in Legionella management and the inspection of cooling towers</p> <p>95% of customer requests responded to within adopted corporate standards</p>	Manager Environment

### Development Assessment

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.5 4.1 4.6 6.4	Ensure the assessment of development and other applications, in accordance with planning instruments, development control plans and policies, occurs within appropriate timeframes.	<p>To be at or below the state average for determination times of development applications</p> <p>To be at or below the state average of determination times for complying development</p>	<p>Comparative data provided as part of annual Local Development Performance Management (LDPM) to DPIE</p> <p>Comparative data provided as part of annual Local Development Performance Management (LDPM) to DPIE</p>	<p>Manager Development Assessment</p> <p>Manager Development Assessment</p>



## Planning

Bathurst CSP Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
1.5 2.1 3.3 4.1 4.3 4.6 5.5 6.4	Prepare relevant planning proposals to ensure Council's planning controls remain relevant and up to date.	Prepare draft LEP and DCP amendments	Planning proposals referred to NSW Department of Planning & Environment for gazettal	Manager Strategic Planning
1.5 2.1 3.3 4.1 4.3 4.6 5.5 6.4	Investigate relevant land use and planning issues of the Bathurst Region.	Prepare studies and plans.	Draft studies/plans completed or commenced by 30 June 2023.	Manager Strategic Planning
1.5 4.1 4.3 4.6 5.2 5.5 6.4	Undertake urban design and place management investigations.	Prepare studies and plans.	Draft studies/plans completed or commenced by 30 June 2023.	Manager Strategic Planning
4.1 4.3 4.6 6.4	Review and update Council's section 7.11 plans.	Review existing or prepare new s7.11 Plans	Contributions plans requiring review identified by June 2023.	Manager Strategic Planning
1.1 1.2 1.5 4.6 5.5 6.1 6.4	Implement the Bathurst Regional Heritage Plan.	Provide a Heritage Advisory Service.	Number of site visits undertaken by the heritage advisory service.	Manager Strategic Planning
		Provide heritage incentive funding programs to protect, maintain, enhance and promote the regions heritage assets.	Value of works generated from Council's incentive funds.	Manager Strategic Planning
		Prepare and implement projects for the interpretation and display of cultural heritage and history information.	New interpretative/promotional information made available.	Manager Strategic Planning
		Prepare research/studies into the region's heritage values	Studies/plans considered and adopted by Council.  Number of local heritage items included in the Local Environmental Plan.	Manager Strategic Planning



## Economic Development

CSP 2040 Objective Reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
2.1 2.2 2.3 2.4 2.6 4.1 4.5 5.5 6.3	Implementation of the Economic Development Strategy 2018-2022 and associated actions.	Nurture economic infrastructure development by supporting the development of the aerodrome, industrial precincts, new residential developments and telecommunication.	Seek funding for economic infrastructure projects.	Manager Economic Development
		Market-leading promotional campaigns to increase residential relocations and a sense of place.	Continued support for joint regional relocation campaigns.  All 4 entrance billboards and welcome signs updated/maintained as required.  Lifestyle promotional content created/updated, including the Bathurst Region website/new Live Invest site.  Annually updated New Resident Guide.	Manager Economic Development
		Support local businesses and start-ups through engagement, support and economic programs.	12 eNewsletters  Regularly posting on social media channels, including Facebook and Linked In.  Respond to business@bathurst and live@bathurst email enquiries.  Run business support programs including but not limited to BizMonth, Buy Local Gift Card, workshops and presentations.  Business Support section on the Live Invest website updated and maintained.  Attendance with Mayor / Councillors at 75% of Business Chamber board meetings.  Attendance at 90% of Business Chamber After-Hours events.	Manager Economic Development



CSP 2040 Objective Reference	Deliverable Actions over the next 4 years	Operational Plan – 2022/2023 Projects / Tasks	Tracking our Progress	Responsible Officer
			Representation at all “Upstairs Start-up Hub” board meetings.  Promote resources to businesses including the ID websites and Spendmapp.  Assist businesses and community groups in finding and securing grants.	
		Grow local employment, investment and attract new businesses	Organise the Bathurst Careers Expo with minimum 40 stalls and 1,500 attendees.  Minimum of 60 new local jobs promoted each month via EVO Cities.  Develop relocation proposals, relocation materials and support the relocation of new businesses through the Business Concierge Service.	Manager Economic Development
		Develop Bathurst into a Smart Community of national significance.  Support innovative practices from industry.	Bi-monthly Project Group meetings held.  Seek funding and roll out Smart Community priority projects.  Promote Bathurst as a Smart Community.	Manager Economic Development





### Major Projects / Programs greater than \$50,000

	Budget 2023	Budget 2024	Budget 2025	Budget 2026
<b>Roads, Bridges &amp; Footpaths</b>				
<i>Funding Key: TfNSW = Transport for NSW, RTR = Roads to Recovery, FAG = Financial Assistance Grant</i>				
Urban Roads Sealed - maintenance	2,493,928	2,556,276	2,620,183	2,685,689
TfNSW Ordered Works	1,662,200	1,776,751	1,818,200	1,860,100
Rural Roads Sealed - maintenance	810,025	828,896	848,297	868,139
Rural Roads Unsealed - maintenance	806,669	826,829	847,500	868,682
TfNSW Road Maint RMCC - MR54 - Bathurst-Ilford Rd	409,236	424,412	440,174	456,424
Regional Road – Grant to be allocated	400,000	400,000	400,000	400,000
RTR - Sealed Prince St, Perthville – Rockley-Church St	400,000	-	-	-
TfNSW Road Maint RMCC - SH5 - Great Western Highway	350,501	363,990	378,088	392,715
Stormwater Drainage - Rivulet Road Causeway replacement w/box culverts	350,000	-	-	-
Cycleway Construction - Eglinton Bridge - Ranken Bridge-Bradwardine Road)	303,600	-	-	-
Urban Roads Sealed - Lagoon Road	300,000	-	-	-
RTR - Rural Sealed Freemantle Road (21 -22.5km)	300,000	-	-	-
Rural Unsealed Bathampton Road	300,000	-	-	-
Urban Roads Unsealed maintenance	295,870	303,264	310,847	318,620
FAG Rural Roads Unsealed - Gravel Resheeting	250,000	250,000	250,000	250,000
Paved Footpath / Cycleway maintenance	250,000	250,000	250,000	250,000
RTR - Unsealed Whalans Lane	248,559	-	-	-
Stormwater Drainage Maintenance	206,227	211,383	216,667	222,084
Rural Sealed - Lachlan Road	200,599	-	-	-
FAG Road Construction - Rural Sealed Turondale Road	200,000	-	-	-
Rural Roads - Unsealed - Lachlan Road	200,000	-	-	-
Rural Roads - Unsealed - Freemantle Road (22-23Km)	200,000	-	-	-
RTR - Sealed Westbourne Dve - Eglinton Road to Howarth Close	200,000	-	-	-
Kerb & Guttering (K&G) - Laffing Waters Lane	150,000	-	-	-
Rural Road Sealed - Minor Improvements	129,985	133,494	137,099	140,800
Regional Road MR390 maint (Blayney–Hobbys Yards Rd)	115,500	115,500	115,500	115,500
Flood Mitigation - Levee General Maintenance	111,709	114,500	117,362	120,297
FAG Rural Roads Sealed - Minor Improvements	100,000	100,000	250,000	250,000
Road Construction - AC Reconstruction	100,000	100,000	100,000	400,000
Major Pavement Rehab (Various locations)	100,000	100,000	100,000	100,000
Road Construction - Footway Renewals	100,000	100,000	100,000	100,000
Rural Roads Unsealed - Major Heavy Patching	100,000	100,000	-	100,000



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
RTR - Sealed Commonwealth Street (Howick-West St)	100,000	-	-	-
RTA Road Maint RMCC - MR253 - Oberon Rd	98,751	101,521	104,336	107,198
RTA Road Maint RMCC - SH7 - Mitchell Highway	74,800	77,800	80,900	84,100
Regional Road MR216 maint (Hill End-Sofala Rd)	72,500	72,500	72,500	72,500
K&G maintenance - as per Asset Mgt Plan	67,608	69,163	70,754	72,381
Urban Roads Sealed Traffic Facilities	56,900	56,900	56,900	56,900
Strategic Access Plan - Footpaths Brilliant St – Rankin-William	50,000	-	-	-
RTR - Unsealed Lagoon Road 24-26km	-	448,559	-	-
Rural Roads - Unsealed - Bathampton Road	-	400,000	-	-
RTR - Sealed Prince St, Perthville – Church-Queen St	-	400,000	-	-
RTR - Rural Sealed Rockley Rd (21 - 24km)	-	400,000	-	-
Stormwater Drainage - Pymonts Lane Causeway	-	358,750	-	-
FAG - Urban Sealed Lambert St – Havannah-Bant	-	350,000	-	-
Cycleway Construction - Hereford St-Ranken Bridge Stg 1	-	303,600	-	-
Urban Sealed Road - Wellington Street Eglinton	-	200,000	-	-
FAG Road Construction - Rural Sealed – Lagoon Lane	-	185,117	-	-
K&G - Gormans Hill Road	-	150,000	-	-
FAG - Urban Sealed Rose St - Vine to Prospect	-	100,000	-	-
FAG - Urban Sealed Mitre St - Lambert to Hill	-	100,000	-	-
Strategic Access Plan - Footpaths View St - No 29-GWH	-	50,000	-	-
Rural Roads - Unsealed - Limekilns Road (26 - 28km)	-	-	400,000	-
Urban Sealed Road Construction - Hereford Street Rehab	-	-	400,000	-
Stormwater Drainage - O'Regan's Rd Box Culvert	-	-	367,718	-
FAG Road Construction - Rural Sealed - Freemantle Rd	-	-	363,571	-
FAG Road Construction - Rural Unsealed Wambool Rd	-	-	350,000	-
RTR - Rural Unsealed	-	-	348,559	-
Eglinton Rd - Bradwardine to Westbourne Drive	-	-	303,600	-
RTR - Rural Sealed - O'Regan's Road	-	-	300,000	-
RTR - Rural Sealed - Limekilns Road	-	-	300,000	-
RTR - Rural Unsealed - Evans Plains	-	-	300,000	-
Strategic Access Plan - as per Asset Mgt Plan	-	-	150,000	150,000
K&G - Bradwardine Road	-	-	75,000	-
K&G - Lloyds Road	-	-	75,000	-
Rural Roads - Unsealed - Freemantle Road	-	-	-	400,000
Stormwater Drainage - Charleton Rd- Peppers Ck causeway	-	-	-	376,911
RTR - Rural Unsealed - Wambool Road	-	-	-	348,559
Sawpit Creek - Munro to Ophir Road	-	-	-	303,600
Carpark Construction - George Street Carpark Rehabilitation	-	-	-	300,000



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
RTR - Rural Sealed - Rockley Road	-	-	-	300,000
RTR - Rural Sealed - Tarana Road	-	-	-	300,000
RTR - Rural Unsealed - Whalan's Lane	-	-	-	300,000
FAG Road Construction - Rural Unsealed Wambool Rd	-	-	-	250,000
FAG Road Construction - Rural Sealed – Duramana Rd (1-2km)	-	-	-	200,000
FAG Road Construction - Rural Sealed – Bridle Track	-	-	-	196,337
K&G - Urban missing links - various	-	-	-	150,000
<b>Engineering - Technical Services</b>				
Aerodrome - Terminal Upgrade	4,000,000	4,000,000	-	-
Aerodrome - Apron reseal works	300,000	-	-	-
Aerodrome - as per Asset Mgt Plan	-	-	1,000,000	1,000,000
Flood Prone Properties	150,000	150,000	150,000	150,000
Mt Panorama - Debris Fencing	100,000	100,000	100,000	100,000
Mt Panorama - Fauna Fencing	50,000	50,000	50,000	50,000
<b>Water, Sewerage &amp; Waste</b>				
Sewer Treatment Works - Sludge Handling (Maint.)	821,262	843,435	866,209	889,595
Sewer Network - Public Amenities Block	594,977	617,289	640,437	664,453
Sewer Treatment Works Operating Expenses	494,774	507,646	520,853	534,404
Sewer - Treatment Works - Belt Presses	400,000	400,000	-	-
Sewer Mains - Rehabilitation Program	392,770	403,376	414,268	425,452
Sewer Treatment Works – Testing	241,935	249,315	256,900	264,797
Sewer Tyers Park Sewer Mains	200,000	-	-	-
Sewer Mains - Road Reinstatement	198,700	203,300	208,000	212,800
Sewer Treatment Works - Ground Works	184,145	189,117	194,221	199,467
Sewer Treatment Works - Aerator Replacement	178,521	182,627	186,828	191,125
Sewer Pump Stations - Replace Pumps	173,313	177,993	182,798	187,734
Sewer Pump Stations - Replace Aged Switchboards	173,313	177,993	182,798	187,734
Sewer Mains – Maintenance	173,000	179,000	185,100	191,400
Sewer Mains - Clear Block Etc	146,300	151,600	157,000	162,600
Sewer Network - IWCM Implementation - Sewer	129,985	133,494	137,099	140,800
Sewer Mains – Repairs	122,407	127,202	132,125	137,277
Sewer Treatment Works - Inlet works pump replacement	111,713	114,282	116,911	119,600
Sewer Pump Stations - Pump Station Odour Control	108,321	111,245	114,249	117,334
Sewer Mains - Replace Aged Switchboards	99,665	101,958	104,303	106,702
Sewer - Pump Stations Repairs	85,600	87,800	90,000	92,300
Sewer Treatment Works - Energy Metering / Monitoring	81,241	83,434	85,687	88,000



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
Sewer Treatment Works - UV Lamp replacement	74,475	76,188	77,940	79,733
Sewer Treatment Works - Odour Control	62,400	63,900	65,400	67,000
Sewer Treatment Works - Liquid Alum	60,200	61,700	63,200	64,800
Sewer Mains - Condition Monitoring	58,149	59,660	61,212	62,803
Sewer Treatment Works - Replace Switchboards	55,856	57,141	58,455	59,800
Waste - Sofala Transfer Station Operating	229,235	238,009	247,176	256,641
Waste - Sunny Corner Transfer Station Operating	175,963	182,754	189,806	197,120
Waste - Trunkley Transfer Station Operating	129,344	133,600	138,082	142,792
Waste - Rockley Transfer Station Operating	128,212	133,417	138,844	144,503
Waste Collection - Projects	80,000	83,000	86,113	89,342
Waste Collection Purchase Mobile Bins	52,000	52,000	52,000	52,000
Waste Management documentation upgrade	50,500	-	52,900	-
Water Bathurst Stormwater Harvesting Water Mains	8,175,000	2,725,000	-	-
Water Winburndale Dam Flood Security Upgrading	6,000,000	-	-	-
Water Winburndale Pipeline Augmentation Water Mains/Pipes	-	4,100,000	-	-
Water - Reservoir Replacement McPhillamy Park	-	4,000,000	-	-
Water Treatment Works – Chemicals	756,121	775,804	796,076	816,747
Water Supply Mains Maintenance	732,500	752,500	773,200	794,500
Water - Drinking Water Management System	590,700	604,300	618,300	632,600
Water Supply Main Repairs	385,300	397,100	409,300	421,700
Water Supply Services Repairs	377,500	390,400	404,000	418,000
Water Main Roadworks	328,567	336,124	343,855	351,763
Water Mains – per Water Assets Management Plan	324,962	333,736	342,747	352,001
Water Chifley Dam Maintenance	207,500	212,700	218,000	223,400
Water Meter Services	202,289	208,874	215,684	222,723
Water - Best Practice Guidelines Maintenance	189,500	193,900	198,400	203,000
Water Aquatic Centre Special Maintenance	171,300	175,300	179,400	183,700
Water Filtration Plant - Staff Amenities	150,000	-	-	-
Water Replace Aged Mains	144,569	147,895	151,296	154,776
Water Winburndale Pipeline Renewal	137,998	141,172	144,419	147,740
Water Winburndale Dam Operating	123,981	127,972	132,058	136,244
Water Winburndale Dam Main Repairs	123,800	127,300	131,000	134,800
Water Chifley Dam Operating	114,820	117,920	121,104	124,373
Water Supply Water Hydrant Maintenance	106,600	109,800	113,300	116,800
Water – Integrated Water Cycle Management Implementation	105,200	107,700	110,200	112,800
Water Pontoons (mixer) Refurbish - Chifley Dam	100,000	-	-	-
Water Supply - Sewer Maintenance	89,400	92,800	96,300	99,900
Water - Implementation of Water Supply Management Plan	86,523	88,513	90,548	92,631



	Budget 2023	Budget 2024	Budget 2025	Budget 2026
Water Mains - Mt Panorama Improvements	86,522	88,513	90,548	92,631
Water Chifley Dam Cabins Operating	124,444	77,600	79,500	81,500
Water Meters New Installations	73,310	76,059	78,911	81,870
Water Meters Services - 20mm	66,808	68,345	69,917	71,525
Water Filtration Plant - Switchboards	62,428	63,864	65,332	66,835
Water Mains - Pressure Reduction and Flow Monitoring	58,047	59,382	60,748	62,145
Water Winburndale Dam Cottage maintenance	56,500	57,900	59,300	60,800
Water Meters Services - 25mm	54,760	56,020	57,310	58,628
Water Long Term Security Plan - Raising Chifley Dam Wall	-	50,060	51,412	52,800
Water Chifley Pipeline Studies	48,744	50,060	51,412	52,800
<b>Recreation</b>				
Carrington Park - Grandstand extension	4,250,000	8,750,000	-	-
Proctor Park Soccer Fields x 3 - reconstruction works	2,300,000	-	-	-
Centennial Park Upgrade - Transfer to Reserve	250,000	250,000	250,000	250,000
Vegetation Management Plan (VMP)	153,750	157,594	161,534	165,572
Playground Equipment	109,778	112,522	115,335	118,218
Sydney Road Highway Maintenance	87,126	89,303	91,535	93,825
John Matthews Complex - Synthetic Tennis Court resurface	75,000	68,282	70,126	72,019
Street Tree watering	64,864	66,487	68,150	69,852
VMP Community Environment Engagement Officer	51,250	52,531	53,845	55,191
Ralph Cameron Oval Raglan Sporting Facility/Court	50,000	-	-	-
Adventure Playground - Stage 2	-	3,000,000	-	-
Ralph Cameron Oval Raglan Playground Embellishment	-	400,000	-	-
Basalt Park (Ashworth Estate) Playground Embellishment	-	-	400,000	-
<b>Administration</b>				
Other Land & Building - Former TAFE Building maint.	59,663	59,927	60,192	60,460
<b>Cultural &amp; Community</b>				
Library Book Purchases	164,284	167,571	170,922	174,343
Library Software Licences	66,300	67,626	68,979	70,358
Tourism Building - Internal Fit-out	-	50,000	-	50,000
<b>Environmental, Planning &amp; Building</b>				
Hereford St / Gilmour St Intersection study	250,000	-	-	-
Bathurst Bypass Study	100,000	-	-	-
Local Heritage Fund Grant	60,500	60,500	60,500	60,500
Bathurst CBD Main Street Improvement Fund	50,000	50,000	50,000	50,000
Evo Cities	50,000	51,250	52,531	53,845
iD Profile Subscription	61,500	63,038	64,613	66,229







## Financial Budgets

<b>Income Statement – Consolidated Funds</b>		<b>2022/2023</b>
<b>Revenue:</b>		
Rates & Annual Charges		-\$52,556,511
User Charges & Fees		-\$29,246,035
Other Revenues		-\$2,706,755
Grants & Contributions provided for Operating Purposes		-\$12,272,175
Grants & Contributions provided for Capital Purposes		-\$21,707,040
Interest & Investment Revenue		-\$1,303,736
Other Income		-\$2,453,736
<b>Other income:</b>		
Net gains from the disposal of assets		-\$2,665,948
Fair value increment on investment properties		-\$245,280
<b>Total Income from Continuing Operations</b>		<b>-\$125,157,216</b>
<b>Expenses from Continuing Operations</b>		
Employee Benefits & On-Costs		\$33,009,643
Materials & Contracts		\$35,437,461
Borrowing Costs		\$997,596
Depreciation, Amortisation & Impairment		\$35,346,911
Other Expenses		\$12,600,457
<b>Total Expenses from Continuing Operations</b>		<b>\$117,392,068</b>
<b>Operating Result from Continuing Operations</b>		<b>-\$7,765,148</b>
<b>Operating Result before Capital Grants</b>		<b>\$13,941,892</b>
<b>Funding Statement</b>		
<b>Sources Of Funds</b>		
Transfers from Reserves		-\$28,292,215
Transfer from Section 7.11		-\$2,038,425
Loan Funds Received		-\$10,950,000
Plant & Equipment (Income from Disposal)		-\$715,500
Add Back Depreciation Budget		-\$35,152,726
Add Back Carrying Value of Real Estate Sold		-\$384,052
Add Back S7.11 & S64 Income Received		\$3,728,902
		<b>-\$73,804,016</b>
<b>Application of Funds</b>		
<b>Asset Purchases:</b>		
Capital Works		\$39,941,236
Real Estate		\$9,614,600
<b>Reserves:</b>		
Transfers to reserves		\$26,851,119
<b>Loans:</b>		
Principal Repayment		\$5,146,644
<b>Internal transactions:</b>		
Income		-\$20,978,860
Expenditure		\$20,978,860
		<b>\$81,553,599</b>
<b>Net Funding Result</b>		<b>\$7,749,583</b>
<b>Change in Council's Working Capital</b>		<b>-\$15,565</b>



<b>Statement of Financial Position</b>		<b>2022/2023</b>
<b>Current Assets</b>		
Cash & Cash Equivalents		\$11,126,295
Investments		\$50,000,000
Receivables		\$10,968,000
Inventories		\$2,082,000
Contract Assets		\$1,339,000
Other		\$688,000
<b>Total Current Assets</b>		<b>\$76,203,295</b>
<b>Non Current Assets</b>		
Infrastructure, Property, Plant & Equipment		\$1,391,061,344
Investments		\$32,500,000
Receivables		\$730,000
Inventories		\$11,767,000
Right of Use Assets		\$632,000
Investment Property		\$12,260,000
<b>Total Non Current Assets</b>		<b>\$1,448,950,344</b>
<b>TOTAL ASSETS</b>		<b>\$1,525,153,639</b>
<b>Current Liabilities</b>		
Payables		-\$8,429,000
Contract Liabilities		-\$3,814,000
Lease Liabilities		-\$182,000
Borrowings		-\$5,146,644
Provisions		-\$11,859,000
<b>Total Current Liabilities</b>		<b>-\$29,430,644</b>
<b>Non Current Liabilities</b>		
Payables		-\$1,190,000
Lease Liabilities		-\$453,000
Borrowings		-\$36,125,061
Provisions		-\$1,738,000
<b>Total Non Current Liabilities</b>		<b>-\$39,506,061</b>
<b>TOTAL LIABILITIES</b>		<b>-\$68,936,705</b>
<b>Net Assets</b>		<b>\$1,456,216,934</b>
<b>Equity</b>		
<b>Accumulated Surplus</b>		
Accumulated Surplus/Deficit		-\$828,588,786
Surplus from Income Statement		-\$7,765,148
		<b>-\$836,353,934</b>
<b>Revaluation Reserves</b>		
Asset Revaluation Reserve		-\$619,863,000
<b>Total Equity</b>		<b>-\$1,456,216,934</b>



<b>Cash Flow Statement</b>	<b>2022/2023</b>
<b>Cash Flows from Operating Activities</b>	
<b>Receipts</b>	
Rates & Annual Charges	-\$52,288,511
User Charges & Fees	-\$29,228,035
Interest & Investment Revenue	-\$1,303,736
Other Revenues	-\$2,407,755
Grants & Contributions	-\$33,979,215
Other Income	-\$2,453,736
<b>Payments</b>	
Employee Benefits & On-Costs	\$33,286,488
Borrowing Costs	\$997,596
Materials & Contracts	\$39,163,461
Other Expenses	\$12,571,457
<b>Net cash (provided) / used in operating activities</b>	<b>-\$35,641,986</b>
<b>Cash Flows from Investing Activities</b>	
<b>Receipts</b>	
Sale of real estate assets	-\$2,665,948
<b>Payments</b>	
Purchase of infrastructure, property, plant & equipm	\$45,555,836
Purchase of real estate assets	\$4,000,000
<b>Net cash (provided) / used in investing activities</b>	<b>\$46,889,888</b>
<b>Cash Flows from Financing Activities</b>	
<b>Receipts</b>	
Proceeds from borrowings	-\$10,950,000
<b>Payments</b>	
Repayment of borrowings	\$5,146,644
<b>Net cash (provided) / used in investing activities</b>	<b>-\$5,803,356</b>
<b>Net (Increase) or decrease in Cash</b>	<b>\$5,444,546</b>
Cash at beginning of year	\$16,570,841
<b>Closing Cash</b>	<b>\$11,126,295</b>



## *Resourcing the Delivery Program and Operational Plan*

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The Community Strategic Plan provides a vehicle for each community to express its long-term aspirations. However, these aspirations will not be achieved without sufficient resources – time, money, assets and people – to implement them. The Resourcing Strategy is critical link when translating strategic objectives into deliverable actions.

The Resourcing Strategy consists of three inter-related elements:

- Long-Term Financial Planning
- Asset Management Planning
- Workforce Planning

As its name suggests, each of the elements of the Resourcing Strategy also play a role in resourcing the achievement of the Delivery Program and Operational Plans, as well as any other strategic plans the council has developed to support the achievement of the Community Strategic Plan.

The Long-Term Financial Plan provides a ten year budget for measuring Council's financial performance and sustainability. The first four years show how the Delivery Program will be resourced and the first year translates into the annual budget as shown on the previous pages.

Accurate data and a robust planning process is required to ensure that assets are managed and accounted for in an efficient and sustainable way on behalf of the Bathurst community and with a service delivery focus. The key objective of asset management planning is to provide the required level of service for the community in accordance with the CSP and in the most cost-effective manner. Levels of service are key business drivers for asset planning, along with technical requirements that ensure asset sustainability. The Bathurst Region Asset Management Planning includes:

- Asset Management Policy
- Asset Management Strategy
- Asset Management Plans for
  - Urban Roads
  - Rural Roads
  - Bridges and Culverts
  - Water
  - Sewer
  - Parks and Recreation
  - Buildings and Structures
  - Drainage
  - Solid Waste
  - Footpaths and Cycleways
  - Aerodrome



The Workforce Management Plan supports the long-term strategies for Council's workforce and human resource needs over the next four years.

Changes to community priorities and the local government industry require the Workforce Management Plan to be reviewed and updated on an annual basis.

Bathurst Regional Council aims to have the right people, with the right skills, doing the right jobs, at the right time working within a supportive and safe environment.

Key workforce challenges for Bathurst Regional Council include:

- meeting increasing community expectations around service-delivery and scope,
- improving alignment between our culture and strategy,
- support employee to transition to the future of work and the future workplace,
- attracting skills and talent in a more competitive labour market by becoming an employer of choice.
- addressing our aging workforce,
- addressing skills shortages, and
- and improving productivity and organisational systems to ensure community value for money.

Workforce planning enables Council to respond to these changes in a deliberate and strategic manner. A high-level review of Council's workforce needs, both now and into the future has been considered as part of the development of this document. Council has a workforce of ~500 people and provides a range of traditional and non-traditional local government services. Our workforce ranges in age from under 20 to over 70 years. Council aims to have a supportive and inclusive workplace culture.

The components of this strategy and supporting action plan set out our ongoing commitment to deliver on:

- Supportive & Inclusive Workplace Culture
- Attraction, Retention and engagement of our people.
- Equal Employment Opportunity through the employee lifecycle.
- Fostering Leadership and strong Internal Communication
- Ongoing Employee Learning and Development
- Employee Recognition
- Employee Health and Wellbeing





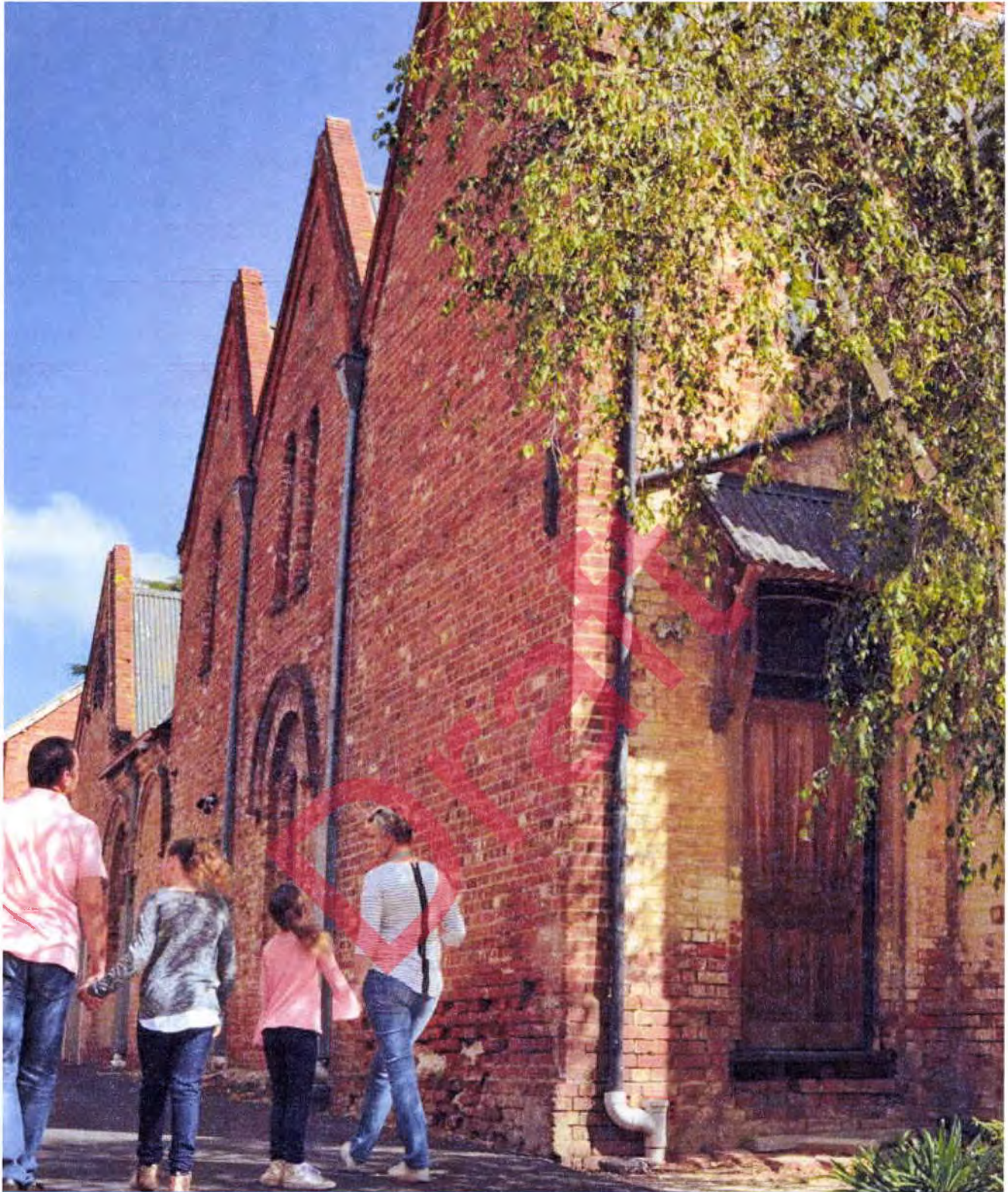
The Delivery Program and Annual Operational Plan comprises this document as required under the Local Government Act 1993 s404(1) and 405(1) and the Revenue Policy 2022/2023 under s405(2).

**Bathurst Regional Council**  
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# OUR *Region* OUR *Future*

Bathurst Regional Council  
Revenue Policy 2022/2023



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### Amendments/Additions to 2022/2023 Fees.

In accordance with Section 610(F) of the Act, Council may amend the current years fees shown in the Revenue Policy, or introduce new fees not included in the Revenue Policy. This will be subject to any amended or new fee having the approval of the Council and meeting statutory requirements, including the provision of 28 days public notice. An updated copy of Council's Revenue Policy, including the fees and charges and amendments thereto, will be maintained on Council's intranet and internet sites



## Annual Statement of Revenue Policy

In accordance with the provisions of Section 404 of the Local Government Act 1993 the following report outlines Bathurst Regional Council's Revenue Policy for the 2022/2023 year.

The report contains:

### PART A - RATES

A statement with respect to each ordinary rate proposed to be levied.

**\*\*The estimated yield from ordinary rates is subject to the specification of a percentage variation by the Minister. Council has made an application for an Additional Special Variation. At the time of producing this draft revenue policy, Council's application had not been determined. Accordingly two rates estimates have been incorporated in the draft document.**

### PART B - CHARGES

A statement with respect to each charge proposed to be levied.

### PART C - PRICING POLICY

A statement of the Council's pricing policy with respect to the goods and services provided by it.

### PART D - FEES AND CHARGES SCHEDULE

A statement of the types and categories of fees proposed to be charged by the Council and the amounts of each such fee.

The Fees & Charges schedule has been prepared using the best available information in relation to the GST impact on the fees and charges at the time of publication. However, there are still a number of fees and charges for which Council is not presently able to confirm the GST status. Accordingly, if a fee that is shown as being subject to GST is subsequently proven not to be GST, then that fee will be amended by reducing the GST to nil. Conversely, if Council is advised that a fee which is shown as being not subject to GST becomes subject to GST then the fee will be increased but only to the extent of the applicable GST.

### PART E - BORROWINGS

A statement of the amounts of any proposed borrowings (other than internal borrowing), the sources from which they are proposed to be borrowed, and the means by which they are proposed to be secured.

### PART F - INVESTMENTS

A statement of Council's policy in respect of investments.

### PART G - OTHER MATTERS

Statements with respect to such other matters as may be prescribed by the regulations.

### PART H - COUNCILLOR REMUNERATION

A statement of Council's policy in respect of Councillor Remuneration



# Part A - Rates Estimate 0.9%

## GENERAL PRINCIPLE

For the rating year 2022/2023 Council has adopted a rating structure which, in complying with the Local Government Act, 1993, maintains the equities of the present structure.

## 2022/2023 RATING STRUCTURE

This table is based on rate increases proposed by Council and valuations supplied to date by the Valuer General. The estimated yield from ordinary rates is subject to the specification of a percentage variation by the Independent Pricing and Regulatory Tribunal (IPART) of 0.9% for 2022/2023. Actual figures may change slightly depending upon the Valuer General's Department valuations at the adoption of the rate.

RATE TYPE	CATEGORY	SUB-CATEGORY	AD VALOREM ¢ IN \$	BASE AMOUNT OF RATE	% YIELD FROM BASE AMOUNT	MINIMUM AMOUNT OF RATE \$	TOTAL ESTIMATED YIELD \$
Ordinary	Residential		0.249848	283.00	32		2,654,808
Ordinary	Residential	Town / Village	0.872153			403.00	18,204,624
Ordinary	Farmland		0.153281	383.00	24		2,221,165
Ordinary	Business	Forest Grove	1.417937			428.00	17,299
Ordinary	Business	Ceramic Avenue	1.417937			428.00	24,871
Ordinary	Business	Eglinton Non-Urban	1.417937			428.00	9,784
Ordinary	Business	Orton Park	1.417937			428.00	3,532
Ordinary	Business	Stewarts Mount	1.417937			428.00	0
Ordinary	Business	Evans Plains	1.417937			428.00	5,927
Ordinary	Business	Bathurst City	1.548453			428.00	6,571,438
Ordinary	Business		0.400500			281.00	46,246
Ordinary	Mining		0.346165	247.00	48		11,285
<b>TOTAL</b>							<b>29,770,979</b>

## POLICY - CATEGORIES

The Local Government Act, 1993 requires Council to categorise each rateable assessment within the Council area.

### 1. FARMLAND CATEGORY

The Farmland category will apply uniformly to all rateable assessments that satisfy the FARMLAND criteria in Section 515.

### 2. RESIDENTIAL CATEGORY

The Residential category will apply uniformly to all rateable assessments that satisfy the RESIDENTIAL criteria in Section 516, excepting land that is sub-categorised as Residential Town / Villages.

#### 2.1 RESIDENTIAL SUB-CATEGORY TOWN / VILLAGES

The Town/Villages sub-category will apply to rateable assessments within the town of Bathurst, the villages of Perthville, Eglinton and Raglan that are independently serviced by common infrastructure and not zoned Rural Residential R5.

### 3. BUSINESS CATEGORY

The Business category will apply uniformly to all rateable assessments that cannot be categorised as Farmland, Mining or Residential or Sub-Categorised as Business Urban, Business Forest Grove, Business Ceramic Avenue, Business Eglinton Non-Urban, Business Orton Park, Business Stewarts Mount or Business - Evans Plains.

#### 3.1 BUSINESS SUB-CATEGORY FOREST GROVE

The Forest Grove sub-category will apply to rateable assessments categorised Business within the suburb of Forest Grove.

#### 3.2 BUSINESS SUB-CATEGORY CERAMIC AVENUE

The Ceramic Avenue sub-category will apply to rateable assessments categorised Business within the suburb of Ceramic Ave area.

#### 3.3 BUSINESS SUB-CATEGORY EGLINTON NON-URBAN

The Eglinton Non-Urban sub-category will apply to rateable assessments categorised Business within the suburb of Eglinton.

#### 3.4 BUSINESS SUB-CATEGORY ORTON PARK

The Orton Park sub-category will apply to rateable assessments categorised Business within the suburb of Orton Park.

#### 3.5 BUSINESS SUB-CATEGORY STEWARTS MOUNT

The Stewarts Mount sub-category will apply to rateable assessments categorised Business within the suburb of Stewarts Mount.

#### 3.6 BUSINESS SUB-CATEGORY EVANS PLAINS

The Business Evans Plains sub-category will apply to the electricity sub-station in Evans Plains.

#### 3.7 BUSINESS SUB-CATEGORY BATHURST CITY

The Bathurst City sub-category will apply to rateable assessments categorised Business within the Bathurst Urban area.

### 4. MINING CATEGORY

The Mining category will apply uniformly to all rateable assessment within the Local Government area that satisfy the MINING criteria in Section 517.

## INTEREST ON OVERDUE RATES

Council proposes to charge interest on overdue rates and charges in accordance with Section 566(3) of the Local Government Act 1993 at a rate of 6% per annum as advised by the minister.



## Part A - Rates Estimate 2.5%

### GENERAL PRINCIPLE

For the rating year 2022/2023 Council has adopted a rating structure which, in complying with the Local Government Act, 1993, maintains the equities of the present structure.

### 2022/2023 RATING STRUCTURE

This table is based on rate increases proposed by Council, valuations supplied to date by the Valuer General and the Additional Special Variation (ASV). The estimated yield from ordinary rates is subject to the specification of a percentage variation by the Independent Pricing and Regulatory Tribunal (IPART) of 2.5% for 2022/2023. Actual figures may change slightly depending upon the Valuer General's Department valuations at the adoption of the rate.

RATE TYPE	CATEGORY	SUB-CATEGORY	AD VALOREM £ IN \$	BASE AMOUNT OF RATE	% YIELD FROM BASE AMOUNT	MINIMUM AMOUNT OF RATE \$	TOTAL ESTIMATED YIELD \$
Ordinary	Residential		0.249848	288.00	32		2,698,379
Ordinary	Residential	Town / Village	0.885927			410.00	18,492,350
Ordinary	Farmland		0.155703	389.00	24		2,256,188
Ordinary	Business	Forest Grove	0.406961			438.00	17,572
Ordinary	Business	Ceramic Avenue	1.440348			438.00	25,264
Ordinary	Business	Eglinton Non-Urban	1.440348			438.00	9,938
Ordinary	Business	Orton Park	1.440348			438.00	3,588
Ordinary	Business	Stewarts Mount	1.440348			438.00	0
Ordinary	Business	Evans Plains	1.440348			438.00	6,021
Ordinary	Business	Bathurst City	1.440348			438.00	6,675,555
Ordinary	Business		1.572977			285.00	46,977
Ordinary	Mining		0.351637	251.00	48		11,465
<b>TOTAL</b>							<b>30,243,297</b>

### POLICY - CATEGORIES

The Local Government Act, 1993 requires Council to categorise each rateable assessment within the Council area.

#### 1. FARMLAND CATEGORY

The Farmland category will apply uniformly to all rateable assessments that satisfy the FARMLAND criteria in Section 515.

#### 2. RESIDENTIAL CATEGORY

The Residential category will apply uniformly to all rateable assessments that satisfy the RESIDENTIAL criteria in Section 516, excepting land that is sub-categorised as Residential Town / Villages.

##### 2.1 RESIDENTIAL SUB-CATEGORY TOWN / VILLAGES

The Town/Villages sub-category will apply to rateable assessments within the town of Bathurst, the villages of Perthville, Eglinton and Raglan that are independently serviced by common infrastructure and not zoned Rural Residential R5.

#### 3. BUSINESS CATEGORY

The Business category will apply uniformly to all rateable assessments that cannot be categorised as Farmland, Mining or Residential or Sub-Categorised as Business Urban, Business Forest Grove, Business Ceramic Avenue, Business Eglinton Non-Urban, Business Orton Park, Business Stewarts Mount or Business - Evans Plains.

##### 3.1 BUSINESS SUB-CATEGORY FOREST GROVE

The Forest Grove sub-category will apply to rateable assessments categorised Business within the suburb of Forest Grove.

##### 3.2 BUSINESS SUB-CATEGORY CERAMIC AVENUE

The Ceramic Avenue sub-category will apply to rateable assessments categorised Business within the suburb of Ceramic Ave area.

##### 3.3 BUSINESS SUB-CATEGORY EGLINTON NON-URBAN

The Eglinton Non-Urban sub-category will apply to rateable assessments categorised Business within the suburb of Eglinton.

##### 3.4 BUSINESS SUB-CATEGORY ORTON PARK

The Orton Park sub-category will apply to rateable assessments categorised Business within the suburb of Orton Park.

##### 3.5 BUSINESS SUB-CATEGORY STEWARTS MOUNT

The Stewarts Mount sub-category will apply to rateable assessments categorised Business within the suburb of Stewarts Mount.

##### 3.6 BUSINESS SUB-CATEGORY EVANS PLAINS

The Business Evans Plains sub-category will apply to the electricity sub-station in Evans Plains.

##### 3.7 BUSINESS SUB-CATEGORY BATHURST CITY

The Bathurst City sub-category will apply to rateable assessments categorised Business within the Bathurst Urban area.

#### 4. MINING CATEGORY

The Mining category will apply uniformly to all rateable assessment within the Local Government area that satisfy the MINING criteria in Section 517.

### INTEREST ON OVERDUE RATES

Council proposes to charge interest on overdue rates and charges in accordance with Section 566(3) of the Local Government Act 1993 at a rate of 6% per annum as advised by the minister.



## Part B - Charges

### COUNCIL PROPOSES TO LEVY CHARGES FOR:

#### 1. WATER USAGE CHARGES

Usage charges apply as detailed in the attached Schedule of Fees and Charges

#### 2. WATER AVAILABILITY CHARGES

An annual availability charge will apply as detailed in the attached Schedule of Fees and Charges

#### 3. SEWERAGE CHARGES

An annual uniform residential charge as detailed in the attached Schedule of Fees and Charges

An annual access charge plus usage charge for non-residential and multiple occupancies (including flats) as detailed in the attached Schedule of Fees and Charges

#### 4. TRADE WASTE CHARGES

An annual access charge plus usage charge for non-residential as detailed in the attached Schedule of Fees and Charges

#### 5. WASTE MANAGEMENT CHARGES

An annual domestic waste management charge (Section 496 of the Act) as detailed in the attached Schedule of Fees and Charges

An annual waste management service charge (Section 501 of the Act) as detailed in the attached Schedule of Fees and Charges

#### 6. STORM WATER MANAGEMENT CHARGES

An annual storm water management service charge (Section 496A of the Act) as detailed in the attached Schedule of Fees and Charges

#### INTEREST ON OVERDUE CHARGES

Council proposes to charge interest on overdue rates and charges in accordance with Section 566(3) of the Local Government Act 1993 at a rate of 6% per annum as advised by the minister.



## Part C - Pricing Policy

### 1. POLICY STATEMENT

Council's pricing policy aims to be equitable by recognising people's ability to pay and balancing expectation that some services will be cross-subsidised for the common good of the community.

### 2. STRATEGIC GOALS

- 2.1 To explore all cost effective opportunities to maximise Council's revenue base.
- 2.2 To ensure consumer's value for money by providing effective and efficient service.
- 2.3 To balance the dependence on rates and grants against other funding sources.
- 2.4 To manage financial risk in a volatile economic climate.
- 2.5 To provide integrated and coordinated services which assist all sections of the community in line with Council's corporate goals.
- 2.6 To develop pricing structures that can be administered simply and inexpensively and be easily understood by the public, and in so doing, recognising that aiming at simplicity can sometimes lead to minor inequities.

### 3. PRICING POLICY PRINCIPLES

#### Category 1 - Full Cost Recovery

Recovery of all direct and indirect costs associated with providing a service, including in some cases, making provision for future capital expenditure.

#### Category 2 - Partial Cost Recovery

Subsidised operations which are of benefit to the community as a whole, and undertaken voluntarily by Council or as a requirement of the Act.

#### Category 3 - Market Pricing

When Council provides a similar service 'in competition' with other councils or agencies, e.g. saleyard fees, hall hire, etc, where alternative service providers are available. This category also includes prescribed or recommended fees.

Council will not use subsidies to aggressively price others out of the market or compete unfairly.

#### Category 4 - Disincentive Pricing

Where Council sets a fee structure:

- (i) For non-core activities to encourage customers to seek alternative service providers to provide the service. This applies to activities where Council would prefer not to provide the service in the long term.
- (ii) To encourage people to 'do the right thing' e.g., a scaled tariff that rewards low water consumers, library fines, etc.

#### Category 5 - Sewerage Service Pricing

- (i) Follows the NSW Office of Water Best Practice Pricing Guideline and is a combination of uniform annual charges, access and usage charges.
- (ii) Collects revenue to fund the sewerage system from ratepayers who actually benefit from availability or use of Council's sewerage system.
- (iii) Ensures Council derives sufficient income to operate the sewerage system and provide for future capital expenditure and debt servicing.
- (iv) Sends appropriate pricing signals, can be administered relatively simply and inexpensively and can be understood by the public.
- (v) No subsidisation between residential and non-residential categories.

#### Category 6 - Water Supply Service Pricing

- (i) Is based on income gained from 25% of service charges and 75% of usage charges from residential customers, in accordance with the Best Practice Management of Water supply and Sewerage Guidelines issued by the NSW Office of Water August 2007.
- (ii) Collects revenue to fund the water supply system from the people who actually benefit from availability or use of Council's water supply.
- (iii) Ensures Council derives sufficient income to operate the water supply system, irrespective of seasonal fluctuations and provides for capital and debt servicing.
- (iv) Assists in the deferment of capital works.
- (v) Does not impede Council's commitment to greening the district.
- (vi) Can be administered simply and cheaply and be easily understood by the public.

#### Category 7 - Section 7.11 Contributions Pricing.

To ensure Section 7.11 contributions reflect the costs incurred in providing community facilities/services, open space and recreational facilities, required to meet the additional needs of the community created by new development and in doing so, ensure the local amenity does not diminish.

#### Category 8 - Set By Statute or Government Department.

Certain fees and charges are set by Regulation, by Ministerial approval or by State or Federal Government pricing policy.



# Engineering & Works

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>342</b>	<b>Road Opening Permits</b>				
	1330.130.220	n	253.00	263.00	2
	Road Closing (Permanent) Application Fee	n	272.00	282.00	2
	Road Closing (Temporary) Application Fee	n	243.00	252.00	2
<b>343</b>	<b>Rural Address Numbers</b>				
	1320.130.220	y	34.00	35.00	1
<b>702</b>	<b>Restoration of Footway Openings</b>				
	Openings up to 10 sq metres /per square metre:				
	Cement concrete foot paving	n	316.40	329.10	1
	Bitumen/asphalt surfaced foot paving	n	260.30	270.80	1
	Paving Bricks/blocks (existing paver kept)	n	156.00	162.30	1
	White Granite/gravel pathway	n	92.20	95.90	1
	Normal Gravel Footway	n	90.10	93.80	1
	Grass/loam footway	n	134.80	140.20	1
	Minimum Charge 1 square metre	n			1
	(Actual costs may be charged under special circumstances)				
	Openings over 10 square metres	n			1
	At Actual Cost				
<b>702</b>	<b>Work Carried Out by Others at Discretion of Director of Engineering Services</b>				
	per square metre	n	7.80	8.20	1
	Minimum Charge	n	92.20	95.90	1
<b>702</b>	<b>Restoration of Road Openings</b>				
	<u>Work Carried out by Council:</u>				
	<u>Asphaltic Concrete with Cement Concrete Base:</u>				
	Up to 10 square metres - per square metre	n	972.70	1,011.70	1
	Over 10 square metres - per square metre	n	492.60	512.40	1
	<u>Cement concrete:</u>				
	Up to 10 square metres - per square metre	n	972.70	1,011.70	1
	Over 10 square metres - per square metre	n	492.60	512.40	1
	<u>Tar and Bituminous Surfaces: (On bases other than cement concrete)</u>				
	Up to 10 square metres - per square metre	n	345.60	359.50	1
	Over 10 square metres - per square metre	n	175.20	182.30	1
	<u>Gravel, Unsealed pavement or shoulders:</u>				
	Up to 10 square metres - per square metre	n	161.50	168.00	1
	Over 10 square metres - per square metre	n	78.60	81.80	1
<b>702</b>	<b>Work Carried Out by Others:</b>				
	(Fee is for checking and future restoration work after a 6 month liability period)				
	All Surfaces - per lineal metre	n	7.70	8.10	1
<b>702</b>	<b>Causeway Construction/Road Restoration</b>				
	Where kerb & gutter exists - each	n	844.00	877.80	1
	Where NO kerb & gutter exists -	n	1,711.30	1,779.80	1
	Where 2nd Causeway required - each	n	1,711.30	1,779.80	1
	<u>Extension of a Causeway:</u>				
	Per metre	n	457.30	475.60	1
	Minimum Contribution	n	844.00	877.80	1



# Engineering & Works

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>702</b>	<b>Inspections - Road Constructions</b>				
	<u>Charge for Inspections in respect of Road Construction by Private Developers per lineal metre:</u>				
	Inspection of Design Plans	n	17.00	17.70	1
	Inspection of Construction Site - Urban	n	17.00	17.70	1
	Inspection of Construction Site - Non Urban (minimum charge \$1000.00)	n	3.40	3.50	1
	Roads Standards Inspections for Subdivisions or Developments	n	382.80	398.20	1
	<u>Road Crossing</u>				
	- Additional + 1 inspection	n	240.80	250.50	1
	- Additional Inspections (each)	n	181.80	189.10	1
	Public Gates and Grids (including advertising)	n	547.00	568.90	1
<b>630</b>	<b>Kerb &amp; Gutter Security Deposits</b>				
	<u>Demolition of Buildings:</u>				
	Where a concrete kerb & gutter exists outside a demolition site				
	<u>Per Lineal Metre:</u>				
	Kerb	n	34.50	35.90	1
	Minimum Charge	n	646.90	673.20	1
	1200 - 1500 mm wide footpaths	n	34.50	35.90	1
	Minimum Charge	n	646.90	673.20	1
	2500 - 3650mm wide footpaths	n	57.70	60.10	1
	Minimum Charge	n	1,081.90	1,126.90	1
	<u>Building Construction</u>				
	Where a concrete kerb & gutter & water meter exists outside a building site				
	Dwellings, Dual occupancies and other minor development	n	639.00	665.00	1
	Industrial, Commercial, Unit Developments and other major development	n	1,345.00	1,399.00	1
<b>702</b>	<b>Kerb &amp; Gutter</b>				
	Recovery of Cost of Kerb & Guttering from adjacent owners in accordance with Section 217 of the Roads Act, 1993	n	50% of Cost + GST	50% of Cost + GST	1
<b>001</b>	<b>Stormwater Management Charges</b>		<b>1400.100.44</b>		<b>1</b>
	Charged on land within an urban area that is in the residential and business categories for rating purposes, except vacant land, for which the Council provides a stormwater management service, excluding non-rateable and department of housing properties.				
	a) Residential (not vacant, not strata)	n	25.00	25.00	8
	b) Residential Strata (not vacant)	n	12.50	12.50	8
	c) Business (not strata) up to 350 square metres	n	25.00	25.00	8
	Business (not strata) between 351 and 700 square metres	n	50.00	50.00	8
	Business (not strata) between 701 and 1050 square metres	n	75.00	75.00	8
	Business (not strata) more than 1050 square metres	n	100.00	100.00	8
	d) Business Strata	n	5.00	5.00	8
<b>702</b>	<b>Concrete Foot paving</b>				
	Recovery of Cost of foot paving from adjacent owners in accordance with Section 217 of the roads Act, 1993.	n	50% of Cost + GST	50% of Cost + GST	1
	Except where footpath is identified in the Strategic Access Plan				
	<b>Flood Levels</b>		<b>2010.110.143</b>		
<b>702</b>	Supply Rainfall / Stream Data	n	195.50	203.00	1
<b>026</b>	Supply Flood Level Information within Bathurst Floodplain model	n	133.00	138.00	1
<b>026</b>	Supply Flood Level Information Outside existing Model	n	1,000.00	1,000.00	1
<b>700</b>	Flood and Ground Survey	y	581.00	604.00	1
<b>027</b>	Flood Impact Assessment within existing model	y	1,193.00	1,241.00	1
<b>027</b>	Flood Impact Assessment outside existing Model	y	5,000.00	5,000.00	1
<b>025</b>	<b>Access Levels</b>		<b>2010.110.143</b>		
	Supply Access Level Information	n	336.00	350.00	1
	Approval of Supplied Design and Inspection by Council.	n	156.00	163.00	1
<b>702</b>	<b>Property Entrance Inspection Fees</b>	n	182.00	190.00	1
<b>700</b>	<b>Gravel</b>		<b>1205.130.220</b>		
	<u>Granite (McPhillamy Park) - per tonne:</u>				
	Picked up from Quarry	y	17.00	18.00	1
	Delivered WITHIN Central City Area	y	29.00	31.00	1
	Delivered OUTSIDE Central City Area	y	30.00	32.00	1



# Engineering & Works

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
700	Private Plant Hire - Urban/Rural				4
	1600.125.201				
	<b>All Rates Per Hour unless otherwise stated</b>				
	<b>Hire Rate Types</b>				
	1. Full Comprehensive including operators				
	2. Comprehensive excluding operator/s. - must be operated by a fully Licensed & competent Staff Member authorised by the Plant Superintendent. (separate Hire)				
	4. Basic Rate. As per (2) but fuel to be paid by hirer.				
	<b>Plant Item</b>	<b>HRT</b>			
	Air Compressor - plant 2741, 3540	1	y	124.00	129.00
		2	y	41.00	43.00
	Backhoe/Front End Loader - Plant 3095, 3096, 3306, 3385	1	y	124.00	129.00
		2	y	84.50	88.00
	Attachment Profiler/Sweeper on Backhoe- Plant 352	3	y	33.00	34.50
	Attachment Auger/Post hole digger Cat Backhoe- Plant 352	3	y	24.50	25.50
	Bucket Truck (E.W.P) (inc 2 men) - Plant 3074	1	y	287.00	298.50
	Plus	/km	y	5.00	5.50
	Bulldozer - Komatsu D85EX- Plant 2991 PLUS Floatage to & from Job	1	y	301.50	314.00
	Telescopic Handler - Plant 3077, 3541	1	y	146.50	152.50
		2	y	97.00	101.00
	Excavator - Plant 2956, 3305, 3324, 3384 Plus Floatage at cost	1	y	194.00	202.00
	Forklift Plant 2986, 3106, 3107, 3196	1	y	98.50	102.50
	Generator > 5 KVA - PER DAY	4	y	112.50	117.00
	Grader - Cat 120G, Cat 12H - Plant 3039, 3205, 3272, 3378, 3481	1	y	232.00	241.50
	PLUS Relocation Fee (where applicable)	/km	y	11.00	11.50
	Relocation Fee (where applicable) Minimum Charge		y	142.00	148.00
	Loader - Plant 2831, 3021, 3094	1	y	219.50	228.50
	PLUS Relocation Fee (where applicable)	/km	y	8.50	9.00
	Relocation Fee (where applicable) Minimum Charge		y	133.50	139.00
	Mower Ride-on - Plant 2542, 2815, 2861, 2970, 2990, 3158	1	y	125.00	130.00
		2	y	37.00	38.50
	Mowers Self Propelled - Plant 180, 2933, 3080, 3119, 3120, 3134, 3175, 3193, 3210, 3232, 3355, 3549	1	y	146.50	152.50
		2	y	67.00	70.00
	Pipe Freezing Unit - Plant 724	1	y	106.50	111.00
	Post Driver - Plant 726 (with air compressor)	1	y	139.50	145.50
		2	y	51.00	53.50
	Roller - Rubber Tyred - Plant 848	1	y	146.50	152.50
	Roller Tandem Drum Vibrating - Plant 153, 2767, 3398, 3401, 3537 Incl. Trailer	1	y	76.00	79.50
		2	y	59.00	61.50
	Roller Vibrating Padfoot - Plant 2685 (20 Tonne) Plus floatage	1	y	194.00	202.00
	Roller Smooth drum - Plant 2734, 2976, 3395, 3396 (15 Tonne)	/hr	y	250.00	260.00
	PLUS Relocation Fee (Where applicable)	/km	y	10.00	10.50
	Relocation Fee (where applicable) Minimum Charge		y	129.00	134.50
	Attachment Auger for Bobcat - Plant 613	3	y	22.00	23.00
	Street Sweeper - Rosemech, Mac Jonsons - 594, 2930, 3192, 3387, 3422, 3582	1	y	194.00	202.00
	Tractor 202, 2866, 2957, 2958, 2959, 3185, 3186, 3187, 3261, 3460	1	y	136.00	141.50
		2	y	73.00	76.00
	Tractor/Reach New Holland 6050 Mower Plant 3204	1	y	175.00	182.00
	Tractor + attachments -(Slasher/Flail Mower/Rotary Hoe/Hydraulic Sweeper/Lawn Aerator/Vibramaster Deep Slicer)	1	y	146.50	152.50
		2	y	107.50	112.00
		2	y	56.00	58.50
	Tractor attachments (Slasher/Flail Mower/Rotary Hoe/Hydraulic Sweeper/Lawn Aerator/Vibramaster Deep Slicer)	3	y	52.00	54.50
	Traffic Lights/solar signs Plant 139, 559, 3035, 3036 (per set) HIRE RATE PER DAY	2	y	212.00	220.50
	Trailer - box - single axle rigid - HIRE RATE PER DAY	2	y	62.00	64.50
	Trailer - box - single axle tipping - HIRE RATE PER DAY	2	y	62.00	64.50
	Truck - <3 Tonne PER HOUR - Plant 2868, 2869, 3179, 3285, 3348, 3349	1	y	89.50	93.50
	PER DAY	4	y	212.00	220.50
	PLUS per kilometre	/km	y	5.00	5.50
	Truck - 3-6 Tonne PER HOUR - Plant 2865, 2870, 2871, 2872, 2880, 2881, 3182, 3206, 3207, 3208, 3209, 3310, 3319, 3345, 3346, 3347, 3361, 3485, 3486, 3533, 3538, 3539	1	y	107.50	112.00
	PER DAY	4	y	232.00	241.50
	PLUS per kilometre	/km	y	5.00	5.50



# Engineering & Works

Rec Code		Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
700	Private Plant Hire (cont'd)	1600.125.201				4
	Truck - 7-9 Tonne PER HOUR - Plant 2762, 2832, 3083, 3178, 3487, 3534	1	y	118.50	123.50	
	PER DAY	4	y	250.00	260.00	
	PLUS per kilometre	/km	y	5.00	5.50	
	Truck - 10-12 Tonne PER HOUR - Plant 2798, 2799, 3269, 3522, 3523	1	y	129.00	134.50	
	PLUS per kilometre	/km	y	5.00	5.50	
	Truck - >12 Tonne PER HOUR - Plant 2951, 3177, 3180, 3264, 3265, 3304	1	y	137.50	143.00	
	PLUS per kilometre	/km		5.00	5.50	
	Truck - Bitumen Maintenance (incl. Driver + 2 men) Plant 2803, 3159, 3320, 3555	1	y	344.50	358.50	
	PLUS per kilometre	/km		5.00	5.50	
	Turf cutter - Plant 2874	1	y	98.50	102.50	
		2	y	24.50	25.50	
	Ute / 1 Tonner 2wd PER HOUR	1	y	62.00	64.50	
	Ute / 1 Tonner 2wd PER DAY	4	y	167.50	174.50	
	Ute / 1 Tonner 4wd PER HOUR	1	y	73.00	76.00	
	Ute / 1 Tonner 4wd PER DAY	4	y	179.50	187.00	
	Water Tanker - Plant 2784, 2836, 2994, 3455, 3456 (Plus bulk water cost)	1	y	121.50	126.50	
		/km	y	5.00	5.50	
	NOTE: Where the operator is to be paid overtime or weekend penalty rates, the above rates are to be increased by the actual cost per operator/hour.					
	<b>Private Works</b>					
	(a) RMS - Actual internal costs + 37.4% On Costs applied to: Wages, Stores, Plant, Creditors + GST		y			1
	(b) OTHER COUNCILS - Actual internal costs + 50% On Costs applied to Wages PLUS 10% Administration Charge + GST		y			1
	(c) All Others - Rates detailed below + GST					
	Actual Internal Costs + 70% On Costs applied to: Wages & Plant, PLUS 50% On Council Stores PLUS 20% On Creditors, PLUS 20% On Contractors.					
	This equates to:					
	Per hour per man (inc operator)	1600.125.201	y	69.00	72.00	4
	Per Hour - Backhoe (inc operator)	1600.125.201	y	167.00	174.00	4
	Per Hour - Truck (inc operator)	1600.125.201	y	145.00	151.00	4
	NOTE: Where damage has occurred to Council Services or Property, an additional site fee of \$60.00 is to be charged.					
	Plus the cost to repair the damage					
	(d) Stores Items - Latest Purchase Price PLUS 50%					4
	(e) Private Works - Where Council requires certain work to be undertaken as a result of a Development Application, Building Application or similar, and the applicant must engage Council to carry out the work (such as flood assessment). The Charge is to be the RECORDED COST + 50% ON COST ON WAGES ONLY PLUS 20% ON COST ON OTHER COSTS					1
	(f) Approved Community/Sporting Events - recorded costs (with no on-cost) + GST					
	(g) Approved Non Profit/Community works on Council land - recorded cost (with no on-costs) + GST					
	(h) Bathurst Light Car Club (BLCC) recorded costs + GST (Cnl resolution 2.6.2008)					



# Engineering & Works

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category	
Fun Runs, Races & Sporting Events Council Meeting 20 March 1996 Public Liability for placement of barricades remains with Council					2	
Categories of Events						
1. Commercial/Semi-Commercial						
2. Community/Charity						
3. Sporting Contests						
4. Large (greater than 150 visitors)						
5. Council Budgeted						
Advertising cost to be met by Organiser. Council to supply (& at Engineers discretion install ) barricades. Council plant, labour & materials at cost to category 1 & 5 events. Council plant, labour & materials supplied to \$500 value to be donated to category 2, 3 & 4 events then at cost to organisers.						
700	Guidelines for Engineering Works Document (Printed)	1205.130.233	y	307.00	319.50	2
010	Aerodrome Landing Charges					
A. Regular Public Transport:						
a) 'Per Passenger Embarking and Disembarking (AVTUR Aircraft Only) Bathurst to Sydney						
	1510.110.122	y	14.00	14.00	1	
b) 'Per Passenger Embarking and Disembarking (AVTUR Aircraft Only) Bathurst to Sydney - Discounted head tax applicable to entry level fares						
	1510.110.122	y	7.00	7.00	1	
c) 'Per Passenger Embarking and Disembarking (AVTUR Aircraft Only) Other Destinations						
		y	13.00	14.00	1	
B. Other Aircraft: (over 2000kg MTOW)						
Per 1,000 KG MTOW (Pro Rata) AVGAS - per Landing						
		y	17.00	18.00	1	
Minimum						
		y	17.00	18.00	1	
Per 1,000 KG MTOW (Pro Rata) AVTUR - per Landing						
		y	17.00	18.00	1	
Minimum						
		y	17.00	18.00	1	
C. Other Aircraft: (up to 2000kg MTOW)						
Landing charge per landing						
		Y	11.00	11.50	1	
NOTE:						
1. Non Commercial Locally Based Aircraft (aircraft considered by Council to be permanently based at Bathurst Aerodrome) UP TO 2000kg MTOW are to pay an Annual Charge of						
010	W4557.37	y	599.00	623.00	1	
2. Commercial Locally Based Aircraft (aircraft considered by Council to be permanently based at Bathurst Aerodrome) UP TO 2000kg MTOW are to pay an Annual Charge of						
010	W4557.37	y	1,196.00	1,244.00	1	
010	1510.110.122	y	283.00	294.50	1	
This charge may be pro-rated with a minimum charge of & covers the use of Bathurst Aerodrome & all landings by the aircraft at Bathurst Airport						
3.Fees for advertising at the aerodrome shall be determined by negotiation with the General Manager						
		y			3	
4.Terminal opening fee after hours (8pm to 6am Mon - Fri, all day Sat/Sun)						
		y	397.00	413.00	1	
5. Landing fees for medical, charity or public benefit may be exempt by approval from the General Manager						
010	Air training Corps Gliding Camp per week Skydiving based at aerodrome per week Aerodrome Land & Property - Rents Subject to actual CPI increases as per contract documentation lessees	W4557.37	y y  y	513.50 148.50  	534.50 154.50  	1 1  3
Parking Fees (duration > 120 minutes)						
010	Apron parking <2000 kg MTOW - per week or part thereof Apron parking 2001-9999 kg MTOW - per week or part thereof Apron parking >10000 kg MTOW - per week or part thereof Parking - Grass per week	1510.130.220	y y y y	60.50 260.00 1,040.00 31.50	63.00 270.50 1,082.00 33.00	1 1 1 1
010	Pavement Concession Processing Fee	1510.130.220	y	112.00	116.50	1



# Parks & Recreation

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>010 Carrington Park</b>	<b>1233.110.120</b>				
License Fee payable by Panthers will now be payable on 30 September at the end of each season					
Charge for "one off" users	<b>1233.110.124</b>	y	1,371.00	1,426.00	2
PLUS: Lighting - per hour		y	723.00	752.00	2
- Colour TV Standard		y	245.00	255.00	2
- Match play 1		y	124.00	129.00	2
- Match play 2		n	1,619.00	1,684.00	2
PLUS: Cleaning Fee *		y	245.00	255.00	2
PLUS: Miscellaneous Fee - Hire of Canteen & catering facilities #		y	119.00	124.00	2
PLUS: Miscellaneous Fee - Hire of Change Rooms #					
* This fee is refundable to users IF the grounds are left clean to Council's satisfaction.					
# Each fee where applicable payable to Rugby League if hire of facilities occur during their lease period.					
<b>Sportsground</b>	<b>1233.110.124</b>				
Charge for "one off" users		y	1,371.00	1,426.00	2
PLUS: Cleaning Fee		n	1,619.00	1,684.00	2
Hire of lighting per hour or part thereof		y	27.00	27.00	2
Cleaning Fee refundable if the ground is left in a clean condition to Council's satisfaction.					
<b>349 Hire of Canteen Facilities</b>		y	57.00	60.00	2
Change Room Fee		y	89.00	93.00	2
<b>700 Walmer Park</b>	<b>W609.44</b>				
Hire of lighting per hour or part thereof	50 Lux	y	-	3.00	2
100 Lux		y	-	5.00	2
<b>700 Bathurst 1000 Camping at Sportsground/Carrington Park</b>	<b>1233.110.124</b>				
per site (max 5 nights) (max 8 persons per site)		y	30.00	30.00	2
per person- Adult		y	55.00	55.00	2
per person - Children 13 to 17		y	30.00	30.00	2
per person - Children 12 and under			Free	Free	2
<b>700 Bathurst 1000 Hire of Police Paddock or any other Council Grounds</b>	<b>1233.110.124</b>	y	2,530.00	2,632.00	2
for the provision of camping					
For each campsite on the Council owned ground - per site	<b>1233.110.124</b>	y	15.00	16.00	2
<b>700 Alan Morse Park</b>	<b>1233.110.124</b>				
Hire Of Canteen Facility		y	57.00	60.00	2
<b>700 Cubla Park</b>	<b>1233.110.124</b>				
Hire Of Canteen Facility		y	57.00	60.00	2
Change Room Fee		y	62.00	65.00	2
<b>700 George Park</b>	<b>1233.110.124</b>				
Change Room Fee		y	57.00	60.00	2
<b>700 Ralph Cameron Oval (Reglen)</b>	<b>1233.110.124</b>				
Hire Of Canteen Facility		y	57.00	60.00	2
Change Room Fee		y	62.00	65.00	2
Canteen and change room fees - no charge for sporting associations during approved seasonal use of sporting fields					
<b>010 Playing Fields &amp; Parks - Leases</b>	<b>1233.110.120</b>				
Charge fees for the use of playing fields by sporting bodies to recoup 20% of maintenance costs.					
Bathurst Archers		y	294.00	306.00	2
Bathurst Australian Rules Football Club (Bushrangers) 50 % of actual charge		y	1,155.00	1,202.00	2
Bathurst Giants AFL 50% of actual charge		y	1,155.00	1,202.00	2
Bathurst BMX Club		y	2,000.00	2,000.00	2
Bathurst Cycle Club		y	2,000.00	2,000.00	2
Bathurst Mountain Bikes		y	1,006.00	1,006.00	2
Bathurst Cricket Association		y	20,415.00	21,232.00	2
Bathurst Croquet Club		y	294.00	306.00	2
Bathurst District Soccer		y	15,505.00	16,126.00	2
Bathurst Hockey Association		y	6,001.00	6,242.00	2
Bathurst Miniature Railway		y	294.00	306.00	2
Bathurst Netball Association		y	4,191.00	4,359.00	2
Bathurst Pistol Club		y	294.00	306.00	2
Bathurst Pony Club		y	1,341.00	1,395.00	2
Bathurst Rugby Union Club		y	8,199.00	8,527.00	2
Bathurst Swimming Club		y	294.00	306.00	2
Bathurst Touch Football		y	6,280.00	6,532.00	2
Bathurst Triathlon Club		y	294.00	306.00	2
Denison Dog Club		y	294.00	306.00	2
Eglinton Tennis Club		y	294.00	306.00	2



## Parks & Recreation

Rec Code		Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
010	Playing Fields & Parks - Leases (cont'd)	1233.110.120				
	Macquarie View Tennis Club		y	294.00	306.00	2
	Panthers Rugby League Club		y	11,286.00	11,738.00	2
	St Patrick's Rugby League Club		y	11,286.00	11,738.00	2
700	Per match fee for all other approved amateur sporting groups wishing to utilise Council facilities for seasonal sports activities	1233.110.124				
	Use of Lighting of fields for above		y	77.00	81.00	2
			y	at cost	at cost	2
700	Machattie Park	1231.110.143				
	Fernery - Photography Sessions		y	175.00	182.00	1
700	Hire of Council Recreation Facilities					
	Use of Council Facilities (Parks, Reserves) for the holding of wedding and Ceremonies or commercial activities or other events (excluding school groups and community not for profit organisations) per use	1231.110.124				
			y	150.00	156.00	2
	Hire of Council Sports Ground or facility to conduct commercial coaching clinic or academy training programs per session	as per park form				
			y	143.00	149.00	2
700	Regular use of Council's parks, reserves and sporting facilities for the conduct of commercial enterprises (boot camps and the like) per use per site	1233.110.124				
	This fee is in addition to the fee for Section 68 application		y	35.00	37.00	2
	Park & Reserve access					
	Deposit fee for hire of keys to access parks and reserves - Refundable	Engineering to collect	n	40.00	40.00	2
	Alcohol Free Area Exemption Permit	1703.130.220				
			y	11.00	11.50	2
700	Hire of Council Land for Stage Production and Events (excluding Mt Panorama Circuit)	1230.110.143				
	Per day		y	478.00	498.00	2
	Deposit (refundable)		n	5,000.00	5,000.00	2
354	Tree Preservation Order	1230.110.143				
	Inspection Fee - trees in excess of height 9 metres		n	65.00	68.00	2
010	Tennis Courts Complex	1233.110.120				
	Annual lease of John Mathews Courts - Per Month - (CPI 1st July)					3
286	Banners	W1000.44				
	(Hire of banner pole for community events per week block)		n	715.00	744.00	1
	Installation and removal of banner over William Street to prepared fixing points					
	Re-installment Due to Breakage etc - At Cost - Charge/hour		n	406.00	423.00	1
	Banners on Lamp Standards	W1000.44				
	William Street - 12 Lamp stands (Durham to Keppel Street)			2,113.00	2,198.00	1
	Howick Street - 4 Lamp stands (William to George Street)			1,047.00	1,089.00	1
	George Street - 12 Lamp stands (Durham to Keppel Street)			2,113.00	2,198.00	1
	Keppel Street - 16 Lamp Stands (George to Havannah Street)			2,815.00	2,928.00	1
	All Streets			6,240.00	6,490.00	1
	All banners to comply with specifications prescribed by Council. Banners must be submitted to Council for approval prior to installation					
	Sec 356 Donations - a discount is to be given to organisations for the hanging of the banner across William Street as follows:					
	a) Schools and Universities - being a recognised and accredited education institution - 40% discount on the scheduled rate					
	b) Local Community Organisations - non funded, non professional organisations where money raised is dispersed into the community - 20% discount on the scheduled rate.					
	c) All other organisations are to pay the full scheduled amount.					



# Parks & Recreation

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Manning Aquatic Centre - Bathurst - Ticket Prices</b>					
*** Family Entry - all people shown on patrons Medicare card					
<u>Casual Visit</u>					
Adult Single Entry		y	10.20	10.70	3
Child Single Entry		y	7.00	7.30	3
Under 3yrs		y	Free	Free	3
Family Entry***		y	27.40	28.70	3
Aged/Disabled/Pensioner/Senior (Single Entry)		y	7.00	7.30	3
(Pension Card/Identification Required)					
Student/TAFE/University (Full Time)		y	7.00	7.30	3
(Student Card/Identification Required)					
Spectator Fee (Non Swimming)		y	2.00	2.00	3
Non Swimming Carers accompanying Disabled Patrons or Children taking part in authorised Learn to swim programs			Free	Free	3
Use of Sauna/Spa (Single visit)		y	Admission Fee plus \$3.30	Admission Fee plus \$3.30	3
<u>Multi Visit Passes - Swimming Only</u>					
10 Visits (Valid for 3 months only)					
- Adult		y	91.80	96.30	3
- Child/Pensioner/Aged/Seniors/Full Time Student		y	63.00	65.70	3
30 Visits (Valid for 6 months only)					
- Adult		y	255.00	267.50	3
- Child/Pensioner/Aged/Seniors/Full Time Student		y	175.00	182.50	3
<u>Annual Swimming Passes Swimming Only</u>					
Adult		y	795.60	834.60	3
Child		y	546.00	569.40	3
Family***		y	2,137.20	2,238.60	3
<u>Carnivals, Special Events, Lane Hire</u>					
<b>50m Outdoor Pool - Summer Season Only</b>					
Day Carnival - 12pm to 6pm		y	570.00	593.00	3
Evening Carnival - 6pm to 10 pm		y	570.00	593.00	3
Affiliated Amateur Swimming Club Carnival		y	570.00	593.00	3
Lane Hire (if available) per hour for coaching/training		y	19.90	20.70	
i) All patrons are required to pay the appropriate entry fee in addition to the above					
ii) Organisations having the exclusive use of the 50m pool cannot be guaranteed exclusive use of any indoor pool					
<b>25m Pool</b>					
Day Carnival - 12pm to 6pm		y	475.00	494.00	3
Evening Carnival - 6pm to 10 pm		y	475.00	494.00	3
Affiliated Amateur Swimming Club Carnival		y	475.00	494.00	3
Lane Hire (if available) per hour for coaching/training		y	19.90	20.70	3
i) All patrons are required to pay the appropriate entry fee in addition to the above					
Local Amateur swimming clubs (i.e. Bathurst Amateur Swimming Club and Bathurst Water Polo Club) who conduct weekly club competitions and patrons attending authorised Dept of Education or Dept Sport and Recreation Learn to Swim programs will only be required to pay the prescribed entry fee into the centre. Other activities such as coaching and training will have the applicable fees and charges applied.					
<u>Special Programs</u>					
Learn to swim classes per person					
30 min session start from		n	15.00	15.60	3
Aqua Aerobics per person - 30 min session		y	13.50	14.10	3
Water Exercise Classes per person - 30 min session		y	13.50	14.10	3
Birthday Parties			W4748.32		3
			W4748.12		
i) All patrons are required to pay the appropriate entry fee in addition to the above.					
<u>Child Minding</u>					
Per child per hour		y	7.40	7.70	3
Mon to Fri only during Program Sessions/Lap Swimming or by prior arrangement with Management					
<u>Program Pool</u>					
Hire of pool or part of (if available) per 30 mins		y	49.00	51.00	3
i) Does not apply to authorised Dept of Education or Dept Sport and Recreation Learn to Swim programs.					
ii) All patrons are required to pay the appropriate entry fee in addition to the above					



# Cemetery

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
101	Cemetery Charges				
			W634.44		
	<u>Burial Fees:</u> (excluding <b>Plaque</b> )				
	(For monumental cemetery and section 1, 2, 3 & 4 of Maranatha cemetery only)				
	Adult Grave - Weekdays	y	3,909.00	4,065.00	1
	- Weekends	y	4,794.00	4,985.00	1
	Baby's Grave - Birralee Section B, C & D				
	- Weekdays	y	630.00	655.00	1
	- Weekends	y	1,390.00	1,445.00	1
	PLUS: Where a burial is not completed and ready to be backfilled by 4.00 pm weekdays or 12.00pm weekends	y	253.00	263.00	1
	Non-Viable Foetus' - (as a service to the community) Birralee Section A ONLY		No Charge	No Charge	
	Re-Open of Grave Site (Section 4) - Weekdays	y	2,385.00	2,480.00	1
	Re-Open of Grave Site (Section 4) - Weekends	y	3,133.00	3,258.00	1
	Ashes in Wall - Including Plaque - Section 1	y	734.00	763.00	1
020	Plot Reservation - 50% of the current full burial fee with the remaining monies to be paid: (a) within 2 years of the reservation being made; or (b) when the plot is required with the cost being the cost at the date of burial				
101	Grave Digging (Monumental Section) - Weekdays	y	1,722.00	1,790.00	1
	Grave Digging (Monumental Section) - Weekends	y	2,414.00	2,510.00	1
	Grave Digging (Monumental Section) - Hand digging	y	Actual Cost	Actual Cost	1
	Old Section Digging - Remove Replace Ledger/Headstone	y	237.00	246.00	1
702	Monumental Permits	n	91.00	94.00	1
700	Maranatha Lawn Cemetery - Plaque Restoration (per plaque)	y	120.00	120.00	1
102	Search Fees				
			W634.44		
		n	Actual Cost	Actual Cost	1
700	Exhumation	y	Actual Cost	Actual Cost	1
103	<u>Rural Cemeteries</u> - (Arkell, Georges Plains, Hill End, Peel, Rockley, Sofala, Sunny Corner, Wattle Flat, Trunkey Creek)				
	<u>Burial Fees:</u>				
	Interment Permit (Right of Burial)		W634.44		
		n	631.00	656.00	1
	Interment Permit (Columbarium)		W634.44		
		n	293.00	304.00	1
	Interment Permit (Ashes within occupied grave)		W634.44		
		n	134.00	139.00	1

**\*\*All other burial/cremation fees are set by Norwood Park Crematorium as per current lease for Bathurst Cemetery**



# Waste Management

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>WASTE MANAGEMENT</b>					
001	<b>DWM Service Charges - Sec 496 Standalone Dwellings</b> 41420.100.40				
	Domestic Waste Management - per annum including weekly general waste, fortnightly recycling and weekly food and green waste collection for all standalone properties	n	447.00	464.00	1
001	<b>DWM Service Charges - Sec 496 Other than Standalone Dwellings</b> 41420.100.40				
	Domestic Waste Management - per annum including weekly general waste & fortnightly recycling	n	331.00	344.00	1
	Additional Waste Management - Weekly collection, per bin per annum	n	231.00	240.00	1
	Additional Recycling Bin - Fortnightly collection, per bin per annum	n	100.00	104.00	1
	Additional Food and Green Waste - weekly collection per bin per annum	n	116.00	120.00	
	* Services for part year are charged pro-rata				
	Domestic Waste Management - Vacant Land - per annum	n	6.00	6.00	1
	This charge applies to all residential land where the service is available. Council is required to make this levy on all these parcels whether the land is occupied or				
	<b>Replacement Bins</b> 41420.110.148				
	(including Waste, Recycle, and Food & Green Waste) per bin	n	78.00	81.00	1
001	<b>Waste Management Service Charges - Sec 501/502 ( Non Domestic)</b>				
	Non-Domestic Waste Management - Weekly collection, per bin per annum 41420.110.148	n	231.00	240.00	1
	Non-Domestic Recycling - Fortnightly collection, per bin per annum	n	100.00	104.00	1
	Non-Domestic Food and Green Waste - Weekly collection, per bin per annum	n	116.00	120.00	1
	This charge is to be applied to all assessments other than residential assessments subject to domestic waste management charges that are <u>provided</u> with a Waste Management Collection Service, Recycling Service or Food and Green Waste ** Services for part year charged pro-rata.				
	<b>Replacement Bins (excluding vandalism)</b> 41420.110.148				
	(including Waste, Recycle, and Food & Green Waste) per bin	n	78.00	81.00	1
	<b>Waste Management Levy - Sec 501</b> 41430.100.41				1
	This charge is to be applied to all rural properties, where the property is outside the Domestic Waste Collection area. Land owners have access to rural depots/transfer stations	n	96.00	99.00	
	<b>Bathurst Waste Management Centre</b>				
	<b>Note : Four Mixed Refuse Vouchers and Four Green Waste Vouchers will be provided with each annual rate assessment.</b>				
	<b>A maximum of four vouchers (600Kg) can be used in any one transaction</b>				
	The <u>mixed refuse voucher</u> entitles the holder, if eligible, to take two loads of up to 200kg and two loads up to 100kg of their domestic rubbish to Bathurst Regional Council Waste Management Centre. The gate price will apply to any excess weight over the voucher presented.				
	The <u>green waste voucher</u> entitles the holder, if eligible, to take two loads of up to 200kg and two loads up to 100kg of their domestic green waste (lawn and garden clippings) to Bathurst Regional Council Waste Management Centre. The gate price will apply to any excess weight over the voucher presented.				
700	<b>Sale of second hand Recycling Bins</b> 41420.110.148	y	5.00	5.00	1
700	Lease fees for Waste Management Centre Land - per square metre (per annum)	y	2.10	2.10	
300	<b>Dom, Com &amp; Industrial Waste Fees - Solid Waste Disposal Depot</b> W982.87				
	Mixed Waste - by weight Per Tonne or part thereof	y	200.00	210.00	1
	<b>Rural Waste Collection by Contractors</b>				
	Mixed Waste Rebate - by weight Per Tonne or part thereof	y	20.20	21.10	
	Mixed Waste - Minimum Charge	y	4.00	4.00	1
	Waste requiring burial - Per tonne or part thereof (includes animals)	y	420.00	420.00	1
	Sewage By-Product Waste / Cover Material - Per tonne or part thereof	y	55.00	55.00	1
	Sludge Bi Product - Per tonne or part thereof	y	-	55.00	1
	Council Landfill / Road Construction Materials / Cover Material - Per tonne or part thereof	y	55.00	55.00	1
	Tyres - Motorcycle & other small tyres per tyre	y	16.00	16.00	1
	Tyres - Car per tyre	y	16.00	16.00	1
	Tyres - Truck per tyre	y	34.00	34.00	1
	Tyres - Tractor per tyre	y	70.00	70.00	1
	Green Waste - by weight per tonne or part thereof	y	160.00	160.00	1
	Green Waste - Minimum Charge	y	4.00	4.00	1
	Car Bodies - Half	y	20.00	20.00	1
	Car Bodies - Whole	y	40.00	40.00	1
	After Hours Opening - per half hour	y	133.00	138.40	1



# Waste Management

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>300</b>	<b>Dom, Com &amp; Industrial Waste Fees - Solid Waste Disposal Depot</b>				
	<b>- Continued</b>				
	Privet Plants - Residents disposing of privet plants in their private vehicle		No Charge	No Charge	
	Separated Domestic Recyclables		No Charge	No Charge	
	Separated Motor & Gear oil		No Charge	No Charge	
	Separated Lead Acid Batteries		No Charge	No Charge	
	Separated Household Problem Waste items for the (CRC) Community Recycling Centre (up to 20kg or 20L). <b>Over 20kg or 20L mixed waste charges will apply</b>		No Charge	No Charge	
	(Paint, Gas Cylinders, Fire Extinguishers, Household Batteries, Fluro Tubes/Bulbs/Globes, Smoke Dectectors)				
	<b>EPA Waste and Environment Levy</b>	W982.87	n		1
	The current levy rate plus any additional charges imposed by the EPA will be applied to any waste found to have been transported to the Bathurst Waste				
	<b>NSW Government Waste Levy</b>	W982.87	n		1
	The current levy rate plus any additional charges imposed by the NSW Govt. will be applied in addition to the above fees and charges				
<b>700</b>	<b>Bathurst Industrial Park</b>				
	Clean Fill - per cubic metre except Council Works	y	5.70	6.00	1
<b>700</b>	<b>Construction Fees - Rural Waste Depots</b>				
	Construction/Demolition Waste Disposal (excluding asbestos) - Development Application Fee				
	<u>Construction</u>				
	Domestic/Farm/Sheds each	y	82.00	85.00	1
	Additions <10 sq m floor area	y	82.00	85.00	1
	Additions 10-30 sq m floor area	y	168.00	174.00	1
	Additions >30 sq m floor area	y	307.00	319.00	1
	Dwellings each	y	592.00	615.00	1
	<u>Demolition</u>				
	Establishment Fee	y	615.00	639.00	1
	Excavation/Backfill per hour	y	314.00	326.00	1



# Water Services

Rec Code	Job Number	2021/2022 \$	2022/2023 \$	Pricing Category
001	<b>WATER SERVICES CHARGES</b>			
	<b>Water Availability Charges</b>			
	The annual water availability charges for Residential, Commercial, Industrial and exempt properties are to be the total of the metered charges applicable to the property			
	Size of Service for Water Usage mm			
	20	n	175.00	175.00 6
	25	n	274.00	274.00 6
	32	n	448.00	448.00 6
	40	n	701.00	701.00 6
	50	n	1,094.00	1,094.00 6
	65	n	1,848.00	1,848.00 6
	80	n	2,797.00	2,797.00 6
	100	n	4,369.00	4,369.00 6
	150	n	9,831.00	9,831.00 6
	Hillview Water Supply	n	159.00	159.00 6
	The availability charge will be included on the annual rate notice issued in July.			
	The minimum annual water availability charge for each unit within a strata development is			
	The annual water availability charge for vacant unconnected land is			
	If water pressure at a property is less than 120kpa then a larger service may attract an avail. charge of			
	<b>Unmetered or Unconnected Properties (excluding vacant)</b>		844.00	882.00 6
	<b>Multiple Meter Properties</b>			
	The availability charge will be in accordance with the number and size of connections to each property			
	<b>Water Meter Downsizing</b>			
	Council will consider requests provided that standards are met and adequate water pressure and flow is maintained.			
	<b>Raw Water</b>			
	Council will charge the availability charges shown above based on meter size.			
	<b>Minimum Charge</b>			
	The minimum water availability charge will apply to properties where water is available and none of the other charges are applicable			
	<b>Water Consumption Charges</b>			
	Council will issue water usage charges every three months in arrears which will be included on rate notices.			
	<b>Residential</b>			
	<u>Filtered Water</u>			
	First 250KL	n	2.44	2.58 6
	Balance	n	3.66	3.87 6
	<u>Raw Water</u>			
	First 250KL	n	1.06	1.12 6
	Balance	n	1.60	1.69 6
	Council will grant a special water allowance of 200 kilolitres per year to residents who require the use of a home dialysis or similar machine, subject to the provision of a doctor's certificate advising of the necessity of home usage of such equipment			
	The Strata Parent will receive 250kl multiplied by the number of Strata Units at	n	2.44	2.58 per kl
	Balance	n	3.66	3.87 per kl
	<b>All Other Tariff Classifications</b>			
	<u>Filtered Water</u>			
	First 250 KL	n	2.44	2.58 6
	Balance	n	3.66	3.87 6
	Business Strata receive 250kl multiplied by the number of Strata Units at	n	2.44	2.58 per kl
	Balance	n	3.66	3.87 per kl
	<u>Raw Water</u>			
	First 250 KL	n	1.06	1.12 6
	Balance	n	1.60	1.69 6
	<u>Hillview</u>			
	First 250KL	n	2.55	2.70 6
	Balance	n	5.04	5.33 6
	<u>Community Clubs: Golf, Majellan &amp; Bathurst Community Club</u>			
	First 18,000 kl	n	0.93	0.98 6
	18,001kl to 45,000kl	n	1.22	1.29 6
	Balance	n	1.94	2.05 6



# Water Services

Rec Code	Job Number	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Water Consumption Charges - Continued</b>				
<b>Large Industrial:</b>				
An assessment with consumption of more than 25,000 KL per annum & is Industrial in nature is required to qualify for this Tariff				
<u>Filtered:</u>				
Per KL	n	1.93	2.01	6
<u>Raw:</u>				
Per KL	n	1.21	1.26	6
<u>Hospital Filtered Water</u>				
1st x patient average	n	free	free	6
Balance per KL	n	3.66	3.87	6
357 <b>Water Sold:</b>	21000.110.107			
per Kiloitre	n	5.00	5.00	1
A 50% rebate may be available if Bathurst Regional Council Area drought declared				
<b>Water Service Connections (Domestic)</b>				
081 <b>Water Service With No DA</b>	21000.110.143	n	as per meter size below	
085 20mm diameter - Short	21000.110.143	n	1,392.00	1,448.00 1
086 - Long	21000.110.143	n	2,714.00	2,823.00 1
087 25mm diameter - Short	21000.110.143	n	1,603.00	1,668.00 1
088 - Long	21000.110.143	n	3,150.00	3,276.00 1
089 32mm diameter - Short	21000.110.143	n	1,948.00	2,026.00 1
- Long		n	3,527.00	3,669.00 1
089 40mm diameter - Short	21000.110.143	n	2,270.00	2,361.00 1
- Long		n	3,941.00	4,099.00 1
089 50mm diameter - Short	21000.110.143	n	3,093.00	3,217.00 1
- Long		n	4,875.00	5,070.00 1
089 Greater than 50mm diameter	21000.110.143		At Cost	At Cost 1
<b>Fire Service Connection</b>				
077 Hydrant cut-in				
On 100mm, 150mm & 200mm main	21000.110.143	n	2,308.00	2,401.00 1
On larger main		n	At Cost	At Cost 1
Fire line (up to 150mm dia) cut-in & extension to boundary				
078 On 100mm, 150mm & 200mm main - short	21000.110.143	n	3,077.00	3,201.00 1
079 On 100mm, 150mm & 200mm main - long	21000.110.143	n	5,381.00	5,597.00 1
On larger main		n	At Cost	At Cost 1
701 as above if not under a DA (Fire Line)	21000.110.143	n		
701 <b>Water Meter Repairs/Replacement</b>	21000.110.143			
For 20 mm service		n	372.00	387.00 1
Others completed at private works rates				
Raising / Lowering Meter		n	331.00	345.00
<b>Water Meter Cock Repairs/Replacement</b>				
		n	138.00	144.00 1
<b>Water Meter Capsule replacement each</b>				
		n	161.00	168.00 1
<b>Water Service Disconnection</b>				
Maincock in Footpath		n	39.00	41.00 1
Maincock in Roadway		n	542.00	564.00 1
Water Service Relocation		n	542.00	564.00 1



# Water Services

Rec Code		Job Number		2021/2022 \$	2022/2023 \$	Pricing Category
700	<b>Cabins - Ben Chifley (per night and Package deals)</b>	<b>W810.71</b>	y			
	<b>Mediterranean - Unit 1 sleeps 2</b>	per night	y	98.00	98.00	1
	Long weekend Christmas & Easter - (min 2 nights)	per night	y	118.00	118.00	1
	Race Period - (min 3 nights)	per night	y	147.00	147.00	1
	Package Deal stay 5 nights pay for 4 (total)	package	y	392.00	392.00	1
	Package Deal stay 7 nights pay for 5 (total)	package	y	490.00	490.00	1
	<b>Mediterranean - Unit 2 sleeps 4</b>	per night	y	132.00	132.00	1
	Long weekend Christmas & Easter - (min 2 nights)	per night	y	158.00	158.00	1
	Race Period - (min 3 nights)	per night	y	198.00	198.00	1
	Package Deal stay 5 nights pay for 4 (total)	package	y	528.00	528.00	1
	Package Deal stay 7 nights pay for 5 (total)	package	y	660.00	660.00	1
	<b>Mediterranean - Unit 3 sleeps 8</b>	per night	y	264.00	264.00	1
	Long weekend Christmas & Easter - (min 2 nights)	per night	y	317.00	317.00	1
	Race Period - (min 3 nights)	per night	y	396.00	396.00	1
	Package Deal stay 5 nights pay for 4 (total)	package	y	1,056.00	1,056.00	1
	Package Deal stay 7 nights pay for 5 (total)	package	y	1,320.00	1,320.00	1
	<b>Atlantic - Unit 1 or Unit 2 sleeps 8</b>	per night	y	264.00	264.00	1
	Long weekend Christmas & Easter - (min 2 nights)	per night	y	317.00	317.00	1
	Race Period - (min 3 nights)	per night	y	396.00	396.00	1
	Package Deal stay 5 nights pay for 4 (total)	package	y	1,056.00	1,056.00	1
	Package Deal stay 7 nights pay for 5 (total)	package	y	1,320.00	1,320.00	1
	<b>Pacific - Unit 1 sleeps 12</b>	per night	y	396.00	396.00	1
	Long weekend Christmas & Easter - (min 2 nights)	per night	y	475.00	475.00	1
	Race Period - (min 3 nights)	per night	y	594.00	594.00	1
	Package Deal stay 5 nights pay for 4 (total)	package	y	1,584.00	1,584.00	1
	Package Deal stay 7 nights pay for 5 (total)	package	y	1,980.00	1,980.00	1
	<b>Pacific - Unit 2 sleeps 16</b>	per night	y	528.00	528.00	1
	Long weekend Christmas & Easter - (min 2 nights)	per night	y	634.00	634.00	1
	Race Period - (min 3 nights)	per night	y	792.00	792.00	1
	Package Deal stay 5 nights pay for 4 (total)	package	y	2,112.00	2,112.00	1
	Package Deal stay 7 nights pay for 5 (total)	package	y	2,640.00	2,640.00	1
090	<b>Mains Pressure Enquiries</b>	<b>21000.110.143</b>				
	For maximum and minimum pressures only, plus details of water main and hydrant locations (if required)		n	245.00	255.00	1
	For maximum and minimum pressures only, plus details of water main and hydrant locations (if required) PLUS a pressure and flow test		n	546.00	568.00	1
028	<b>Meter Reading Fee</b>	<b>21000.110.143</b>	n	52.00	55.00	1
082	<b>Meter / Pressure Flow Testing Fee</b>	<b>21000.110.143</b>	n	97.00	101.00	1
	<b>Water Service Reconnection Fee</b>		n	97.00	101.00	1
700	<b>Restriction Device Removal Fee</b>	<b>21000.110.143</b>	y	197.00	205.00	1



# Sewerage Services

Rec	Job	GST	2021/2022	2022/2023	Pricing
Code	Number		\$	\$	Category
<b>SEWERAGE SERVICES CHARGES</b>					
<b>Inspection Fees</b>					
Dwelling Houses		n	201.50	209.60	1
<u>Other Buildings (New Plant):</u>					
First Closet		n	201.50	209.60	1
Each Additional Closet		n	69.70	72.50	1
<u>Alterations to Drainage Plans:</u>					
Basic Fee		n	116.50	121.20	1
Alteration Fee		n	69.80	72.60	1
<u>Plumbing and Drainage Inspections</u>					
New single storey dwelling/unit (3 inspections)		n	330.00	330.00	1
New 2 storey dwelling/unit (4 inspections)		n	440.00	440.00	1
Alterations/additions and swimming pools ( 2 inspections)		n	220.00	220.00	1
Commercial/Industrial and other development types <b>plus</b> (2 inspections)		n	220.00	220.00	1
- per inspection (where more than 1 inspection is required per inspection type the additional fee per inspections will be charged)		n	110.00	110.00	1
<b>Drainage Diagrams</b>	<b>31000.110.146</b>	n	32.80	34.20	1
<b>Sewer Main CCTV Inspection (Residential only; max 90m)</b>		y	357.00	371.30	1
<b>Final Inspection Certificates</b>					
Drainage		n	56.70	59.00	1
<u>Plumbing:</u>					
Dwelling Houses or Alterations		n	56.70	59.00	1
Other Buildings		n	94.80	98.60	1
<b>Trade Waste</b>					
Application fee	<b>31001.105.86</b>	n	213.40	222.00	1
Application fee (Large Discharger - as defined in the Liquid Trade Waste Regulation Guidelines)		n	677.50	704.60	1
Annual Trade Waste Fee	<b>31001.100.44</b>	n	136.60	142.10	1
Annual Trade Waste Fee (Large Discharger)		n	911.00	947.50	1
<i>The annual charge will be included on the annual rate notice issued in July.</i>					
Renewal of Trade Waste Approval	<b>31001.105.86</b>	n	73.20	76.20	1
Renewal of Trade Waste Approval (Large Discharger)	<b>31001.105.86</b>	n	232.10	241.40	1
Re-Inspection Fee	<b>31001.110.143</b>	n	128.00	133.20	1
Usage Charges for Dischargers with Prescribed Pre-Treatment - per kL	<b>31001.110.104</b>	n	3.50	3.70	1
<i>Council will issue category 1 &amp; 2 trade waste usage charges every three months in arrears which will be included on rate notices</i>					
Usage Charges for Category 1 discharge without prescribed Pre-Treatment per kL	<b>31001.110.104</b>	n	3.50	3.70	1
Usage Charges for Category 2 discharge without prescribed Pre-Treatment per kL		n	24.50	25.50	1
<b>Excess Mass Charges</b>					
Aluminium	<b>per kg</b>	n	1.24	1.29	1
Ammonia (as N)	<b>per kg</b>	n	3.62	3.77	1
Arsenic	<b>per kg</b>	n	114.36	118.94	1
Barium	<b>per kg</b>	n	57.25	59.54	1
Biochemical oxygen demand (BOD)	<b>per kg</b>	n	1.24	1.29	1
Boron	<b>per kg</b>	n	1.24	1.29	1
Bromine	<b>per kg</b>	n	22.97	23.89	1
Cadmium	<b>per kg</b>	n	529.13	550.30	1
Chloride	<b>per kg</b>	n	-	-	1
Chlorinated Hydrocarbons	<b>per kg</b>	n	57.25	59.54	1
Chlorinated phenolics	<b>per kg</b>	n	2,285.33	2,376.75	1
Chlorine	<b>per kg</b>	n	2.45	2.55	1
Chromium	<b>per kg</b>	n	38.19	39.72	1
Cobalt	<b>per kg</b>	n	23.34	24.28	1
Copper	<b>per kg</b>	n	23.34	24.28	1
Cyanide	<b>per kg</b>	n	114.36	118.94	1
Fluoride	<b>per kg</b>	n	5.78	6.02	1
Formaldehyde	<b>per kg</b>	n	2.45	2.55	1
Oil and Grease (Total O & G)	<b>per kg</b>	n	2.15	2.24	1
Herbicides/defoliants	<b>per kg</b>	n	1,142.74	1,188.45	1
Iron	<b>per kg</b>	n	2.45	2.55	1
Lead	<b>per kg</b>	n	57.25	59.54	1
Lithium	<b>per kg</b>	n	11.53	12.00	1
Manganese	<b>per kg</b>	n	11.53	12.00	1
Mercaptans	<b>per kg</b>	n	114.36	118.94	1
Mercury	<b>per kg</b>	n	3,808.79	3,961.15	1
Methylene Blue Active Substances	<b>per kg</b>	n	1.24	1.29	1



# Sewerage Services

Rec	Job	GST	2021/2022	2022/2023	Pricing
Code	Number		\$	\$	Category
<b>Excess Mass Charges - continued</b>					
Molybdenum	per kg	n	1.24	1.29	1
Nickel	per kg	n	38.19	39.72	1
Nitrogen (as TKN - Total Kjeldahl Nitrogen)	per kg	n	0.39	0.41	1
Organoarsenic Compounds	per kg	n	1,142.74	1,188.45	1
Pesticides General (excludes organochlorines & organophosphates)	per kg	n	1,142.74	1,188.45	1
Petroleum Hydrocarbons (non flammable)	per kg	n	3.90	4.06	1
Phenolic Compounds (non-chlorinated)	per kg	n	11.53	12.00	1
Phosphorous (Total P)	per kg	n	2.45	2.55	1
Polyphorus aromatic hydrocarbons	per kg	n	23.34	24.28	1
Selenium	per kg	n	80.50	83.72	1
Silver	per kg	n	2.23	2.32	1
Sulphate (SO4)	per kg	n	0.33	0.35	1
Sulphide	per kg	n	2.45	2.55	1
Sulphite	per kg	n	2.63	2.74	1
Suspended Solids (SS)	per kg	n	1.56	1.63	1
Thiosulphate	per kg	n	0.50	0.52	1
Tin	per kg	n	11.53	12.00	1
Total Dissolved Solids (TDS)	per kg	n	0.18	0.19	1
Zinc	per kg	n	23.34	24.28	1
<b>Septic Tank Effluent</b>					
Per Kilolitre		n	69.20	72.00	5
Minimum Charge		n	25.80	26.90	5
After hours opening (per half hour)		n	92.90	96.70	1
<b>Charges - Residential</b>					
<b>Uniform Annual Charge</b>					
Single Residential Property (includes Stratas)	per annum	n	671.00	698.00	5
Vacant	per annum	n	427.00	445.00	5
Unmetered or Unconnected (excluding vacant properties)	per annum	n	671.00	698.00	5
<b>Minimum Charge</b>		n	671.00	698.00	5
The annual sewer availability charge will apply to properties where sewer is available and no other charges are applicable					
<b>Charges - Non-Residential</b>					
Two Part Charge for occupied/connected properties (i.e. Access + Usage) - Includes multiple occupancies such as flats					
Part 1. Access Charge = * SDF X Access Charge for service size					
The access charge will be included on the annual rate notice issued in July.					
Access Charge for Service Size - Size of Service (mm)					
	20	n	606.00	631.00	5
	25	n	940.00	978.00	5
	32	n	1,541.00	1,603.00	5
	40	n	2,409.00	2,506.00	5
	50	n	3,762.00	3,913.00	5
	65	n	6,049.00	6,291.00	5
	80	n	9,620.00	10,005.00	5
	100	n	15,032.00	15,634.00	5
	150	n	33,813.00	35,166.00	5
Strata Properties		n	606.00	631.00	5
Assumption School - including SDF calculation		n	1,886.00	1,962.00	5
Raw Water Properties			Not applicable	Not applicable	
Part 2. Usage Charge = \$ / kl X *SDF					
Council will issue sewer usage charges every three months in arrears which will be included on rate notices					
Per Kilolitre		n	2.05	2.20	5
*SDF ( Sewerage Discharge Factor) is the estimated percentage of volume discharged into the sewer system from total water consumption.					
The SDF will vary for individual properties.					
Vacant	per annum	n	427.00	445.00	5
Unmetered or Unconnected (excluding vacant properties)		n	671.00	698.00	5
All unmetered non-residential properties connected to the sewer will incur an amount equivalent to the uniform annual residential charge.					
<b>Minimum Charge</b>					
An annual sewer availability charge will apply to properties where sewer is available and no other charge are applicable					
<b>Reimbursement to Private Landowners</b>					
For Clearing a Sewer Blockage in Council's Mains. (This charge is per hour for a maximum of 2 hours)					
		n	167.00	174.00	1



# Administration

Rec Code	Job Number	GST	IT Exer Referent	2021/2022 \$	2022/2023 \$	Pricing Category
021	LOCAL GOVERNMENT ACT 1993 - SECTION 603 Certificate as to the amount (if any) due or payable to the Council, by way of rates, charges or otherwise, in respect of a parcel of land.					
	1110.105.60	n		85.00	90.00	8
132	Property & Valuation Enquiries: Rating					
	Monthly supply of property information on disk including one annual bulk past transfers - charge per annum	n		230.00	240.00	1
	Monthly supply of current property information on paper or emailed - charge per annum	n		107.00	112.00	1
	Transfer register supplied on an irregular basis - per sheet	n		46.00	48.00	1
131	Rates/Water Searches - per hour (minimum 1 hour)					
	1110.130.220	n		78.00	82.00	1
	Administration - Debt Recovery Debt recovery charges on overdue rates and charges, including early-stage intervention, late-stage intervention and service fees				Actual cost	1
	User-pays, cost recovery					
702	Search & Retrieve information from Geographical Information System					
	A0 Sheet	n		85.00	89.00	1
	A1 Sheet	n		74.00	77.00	1
	A2 Sheet	n		63.00	66.00	1
	A3 Sheet	n		49.00	51.00	1
	A4 Sheet	n		39.00	41.00	1
	Extract Rates Data with Map - per hour	n		81.00	85.00	1
	(All Plans MUST have Council's Disclaimer attached)					
351	Production of Documents for subpoena and other similar occasions Time spent by Council officers will be charged at the hourly rate of the officer concerned plus 35% Oncoast plus additional charges detailed below					
	Recovery of files from storage	n		120.00	125.00	1
	Photocopying A3 per copy	n		4.50	4.50	1
	A4 per copy	n		2.00	2.00	1
	Postage Certified mail	n		42.00	44.00	1
010	Dishonoured Cheque Processing Fee					
	1120.125.200	n		10.00	10.00	1
	Dishonoured Direct Debit Fee					
	1110.105.69	n		3.00	3.00	1
326	Fee for copy of Delivery and Operating Plan (Draft and Adopted) Available free from Council Website					
	1120.130.220	n		78.00	82.00	1
700	Upper Macquarie Web Hosting					
	1120.130.220	y		429.00	447.00	1
307	Fee for copy of Community Survey Report					
	1100.110.143	n		18.00	19.00	1
317	Government Information Public Access Act Applications 1. Application for access 2. Application processing time PER HOUR					
	1100.105.91	n		30.00	30.00	8
		n		30.00	30.00	8
080	Tender Document Specification					
	1205.130.220	n		100.00	100.00	1
	LOCAL GOVERNMENT ACT 1993 - SECTION 611 Annual Charge on rails, pipes etc., - under or over public place					
	Bathurst Water Supply					
	1120.981.241	n		0.75% of Income Derived	0.75% of Income Derived	2
	Jemena Gas Networks (AGL)					
		n		0.75% of Income Derived	0.75% of Income Derived	2
	Bathurst Sewerage Fund					
	1120.981.241	n		0.75% of Income Derived	0.75% of Income Derived	2
	Automatic Teller Machines per machine per annum					
		n		7,767.00	8,078.00	1
	Telecommunication Carriers - Formula for Cables					
	Component A - All cables per kilometre per annum	n		695.00	723.00	1
	Component B - All overhead cables per kilometre per annum	n		983.00	1,023.00	1
	Total Charge = A + B					
	In the absence of number of kilometres being provided, the following flat charge is to be applied	n		60,561.00	62,984.00	1
700	Web Development					
	1140.130.220					
	Basic Package	y		2,281.00	2,373.00	3
	Other Packages - At Reasonable Commercial Commission					3
700	Licence Fee - Use of Mt Panorama in electronic games					
	W494.71	y		By Negotiation	By Negotiation	
	Real Estate Agents Commission on land/property sales a fixed percentage					
	as per area of subdivision	y		% of sale	% of sale	3



## Administration

Rec Code	Job Number	GST T Exer Referent	2021/2022 \$	2022/2023 \$	Pricing Category
<b>700 Council Events</b>					
Food Vendor - Community Events		y	150.00	150.00	2
Bathurst Winter Festival Vendor		y	300.00	300.00	2
Market Stall ( No marquee provided)		y	80.00	80.00	2
Market Stall ( Marquee provided)		y	100.00	100.00	2
Sale of Event Flags		y	30.00	30.00	2

**The following discounts may apply**

- a) Schools and Universities- being a recognised and accredited education institution - 40% discount on the scheduled rate.
- b) Local Community Organisations - non funded, non professional organisation, where money raised is dispersed into the community - 50% discount or can apply for fee waiver directly to Council.
- c) All other organisations are to pay the full scheduled amount

Draft



# Community Facilities

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>700</b>	<b>Lee Street , Kelso Meeting Room Hire Fees</b>				
	<u>Community Users:</u>				
	W283.3				
	Half Day - four hours	y	62.00	66.00	2
	Full Day - eight hours	y	94.00	98.00	2
	Hourly Booking - per hour	y	32.00	34.00	2
	<u>Commercial Users:</u>				
	Half Day - four hours	y	156.00	164.00	3
	Full Day - eight hours	y	278.00	290.00	3
	Hire Marquee - per day	y	238.00	248.00	3
<b>702</b>	Refundable Deposit	n	252.00	264.00	2
<b>338</b>	Administration Fee	y	86.00	90.00	1
	<b>1120.125.200</b>				
<b>SECTION 356 DONATIONS</b>					
Bethurst Regional Council area:					
(A) Schools and University - being a recognised and accredited educational institution - 40% discount of scheduled venue fee.					
(B) Local Community Organisation - Non funded, non professional organisations where money raised is dispersed into the community - 50% discount or the organisation can apply for the fee waiver directly to Council.					
(C) All other organisations are to pay the full scheduled amount.					
	<b>Kelso Community Hub</b>				
	W1868.45				
	<u>Not-for-profit Users:</u>				
Hire less than 1 hours per week is no charge. Hire over 1 hours will incur the following fees					
Regular (more than 1 booking), Casual (1 booking)					
<u>Consultation Room/Small Group room (2 rooms available)</u>					
	Regular per hour	y	22.00	24.00	2
	Casual per hour	y	28.00	30.00	2
	<u>Hall</u>				
	Regular per hour	y	20.00	22.00	2
	Casual per hour	y	26.00	28.00	2
	<u>Hall &amp; Kitchen</u>				
	Regular per hour	y	30.00	32.00	2
	Casual per hour	y	32.00	34.00	2
	<u>Kitchen Only</u>				
	Regular per hour	y	16.00	18.00	2
	Casual per hour	y	20.00	22.00	2
	<u>Multipurpose Room</u>				
	Regular per hour	y	20.00	22.00	2
	Casual per hour	y	26.00	28.00	2
	<u>Multipurpose Room &amp; Kitchen</u>				
	Regular per hour	y	30.00	32.00	2
	Casual per hour	y	32.00	34.00	2
	<b>Full Day (8 Hours) Full premises</b>	y	266.00	278.00	2
	Annual Agreement for Not-for Profit Organisations (per annum)	y	1,038.00	1,080.00	2
	<b>W1868.45</b>				
	<b>Commercial &amp; Government Users</b>				
	W1868.45				
	<u>Consultation Room/Small Group room (2 rooms available)</u>				
	Regular per hour	y	30.00	32.00	2
	Casual per hour	y	32.00	34.00	2
	<u>Hall</u>				
	Regular per hour	y	26.00	28.00	2
	Casual per hour	y	30.00	32.00	2
	<u>Hall &amp; Kitchen</u>				
	Regular per hour	y	32.00	34.00	2
	Casual per hour	y	36.00	38.00	2
	<u>Kitchen Only</u>				
	Regular per hour	y	18.00	20.00	2
	Casual per hour	y	24.00	26.00	2
	<u>Multipurpose Room</u>				
	Regular per hour	y	26.00	28.00	2
	Casual per hour	y	30.00	32.00	2
	<u>Multipurpose Room &amp; Kitchen</u>				
	Regular per hour	y	32.00	34.00	2
	Casual per hour	y	36.00	38.00	2
	<b>Full Day (8 Hours) for Full premises</b>	y	332.00	346.00	2
	Annual Agreement for Commercial & Government Users (per annum)	y	1,098.00	1,142.00	2
<b>338</b>	Administration Fee	y	88.00	92.00	1
	<b>1120.125.200</b>				
	<b>BBQ Hire</b>				
	1790.130.220	y	10.00	10.00	2



# Community Facilities

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
Where the booking involves the opening and/or closing by security personnel, the actual security fee will be charged to the hirer					
700/701	<b>Raglan Community Hall Hire</b> - (NOTE: Bookings made with and fees payable to Raglan Hall Committee)				
	Functions:	n	238.00	248.00	2
	Plus Refundable Deposit for damage &/or cleaning as required	n	248.00	258.00	2
338	Administration Fee	y	86.00	90.00	1
	Regular Users Per Session (Playgroup, Table Tennis, Karate)	n	32.00	34.00	2
	Use of Meeting Room	n	40.00	42.00	2
	Use of Kitchen/ Servery For Sporting Events	n	88.00	92.00	2
	The management committee has discretion in regard to fees for community group hire.				
700/701	<b>Eglinton Hall and Park</b> - (NOTE: Bookings made with and fees payable to Eglinton Hall and Park Committee)				
	<b>No charge to Eglinton Residents Association</b>				
	Full Hall	n	292.00	304.00	2
	Half Hall	n	240.00	250.00	2
	Supper Room	n	236.00	246.00	2
	Cleaning/Damage Deposit	n	248.00	258.00	2
338	Administration Fee	y	86.00	90.00	1
	Regular Users	n	30.00	32.00	2
	<u>Grounds:</u>				
	Full Day	n	84.00	88.00	2
	Pony Club	n	84.00	88.00	2
	Dog Obedience	n	30.00	32.00	2
	Playgroup	n	30.00	32.00	2
	Band Practice	n	42.00	44.00	2
	Meetings	n	38.00	40.00	2
	Microphone Deposit	n	48.00	50.00	2
	Wet Canteen/BBQ	n	74.00	78.00	2
	Eglinton Gymkhana & Country Fair - Hall & Ground Hire fee	n	82.00	86.00	2
	Deposit - refundable if additional cleaning is not required and there is no damage to amenities.	n	238.00	248.00	2
	The management committee has discretion in regard to fees for community group hire.				
700/701	<b>West Bathurst Community House</b> - (ongoing lease to Interchange)				
700/701	<b>Perthville School of Arts Hall Hire</b> - (NOTE: Bookings made with and fees payable to Perthville Development Group Inc)				
	<u>Community</u>				
	Meeting Room Only - Per hr	n	32.00	34.00	2
	Meeting Room Only - Minimum	n	42.00	44.00	2
	Meeting Room Only - 4 hr Day	n	66.00	70.00	2
	Meeting Room Only - 8 hr Day	n	98.00	102.00	2
	Meeting Room Only - Night	n	78.00	82.00	2
	Hall Only - Per hr	n	36.00	38.00	2
	Hall Only - Minimum	n	66.00	70.00	2
	Hall Only - 4 hr Day	n	98.00	102.00	2
	Hall Only - 8 hr Day	n	154.00	162.00	2
	Hall Only - Night	n	190.00	198.00	2
	Hall Only - Night Function Alcohol	n	364.00	380.00	2
	Hall & Meeting Room - Per hr	n	40.00	42.00	2
	Hall & Meeting Room - Minimum	n	78.00	82.00	2
	Hall & Meeting Room - 4 hr Day	n	118.00	124.00	2
	Hall & Meeting Room - 8 hr Day	n	170.00	178.00	2
	Hall & Meeting Room - Night	n	226.00	236.00	2
	<u>Commercial</u>				
	Meeting Room Only - Per hr	n	36.00	38.00	2
	Meeting Room Only - 4 hr Day	n	88.00	92.00	2
	Meeting Room Only - 8 hr Day	n	146.00	152.00	2
	Meeting Room Only - Night	n	104.00	110.00	2
	Hall Only - Per hr	n	48.00	50.00	2
	Hall Only - Minimum	n	88.00	92.00	2
	Hall Only - 4 hr Day	n	146.00	152.00	2
	Hall Only - 8 hr Day	n	226.00	236.00	2
	Hall Only - Night	n	278.00	290.00	2
	Hall Only - Night Function Alcohol	n	544.00	566.00	2
	Hall & Meeting Room - Per hr	n	58.00	62.00	2
	Hall & Meeting Room - Minimum	n	104.00	110.00	2
	Hall & Meeting Room - 4 hr Day	n	170.00	178.00	2
	Hall & Meeting Room - 8 hr Day	n	250.00	260.00	2
	Hall & Meeting Room - Night	n	332.00	346.00	2



## Community Facilities

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>700/701 Perthville School of Arts Hall Hire (cont'd) - (NOTE: Bookings made with and fees payable to Perthville Development Group Inc)</b>					
<u>Permanent</u>					
Meeting Room Only - Per hr		n	26.00	28.00	2
Meeting Room Only - Minimum		n	32.00	34.00	2
Meeting Room Only - 4 hr Day		n	36.00	38.00	2
Meeting Room Only - 8 hr Day		n	52.00	56.00	2
Meeting Room Only - Night		n	40.00	42.00	2
Hall Only - Per hr		n	28.00	30.00	2
Hall Only - Minimum		n	36.00	38.00	2
Hall Only - 4 hr Day		n	52.00	56.00	2
Hall Only - 8 hr Day		n	84.00	88.00	2
Hall Only - Night		n	98.00	102.00	2
Hall & Meeting Room - Per hr		n	30.00	32.00	2
Hall & Meeting Room - Minimum		n	40.00	42.00	2
Hall & Meeting Room - 4 hr Day		n	66.00	70.00	2
Hall & Meeting Room - 8 hr Day		n	88.00	92.00	2
Hall & Meeting Room - Night		n	118.00	124.00	2
<u>Schools - per session, school hours only, must be booked in advance</u>					
Hall & Meeting Room		n	28.00	30.00	2
Key Deposit - (N/A for School use)		n	52.00	56.00	2
Bond - Day (N/A for School use)		n	190.00	198.00	2
Bond - Night (N/A for School use)		n	278.00	290.00	2
<b>700/701 Rockley Community Hall Hire</b>					
Meeting Room - per day		y	58.00	62.00	2
- half day (up to 4 hours)		y	34.00	36.00	2
Hall (including grounds) - per day		y	154.00	162.00	2
- half day (up to 4 hours)		y	84.00	88.00	2
Grounds Hire - per day		y	42.00	44.00	2
Camping - (tent per night)		y	32.00	34.00	2
Caravan - per night		y	32.00	34.00	2
<b>338</b> Administration Fee	1120.125.200	y	86.00	90.00	1
Security Deposit - Hall		n	190.00	198.00	2
Security Deposit - Grounds		n	42.00	44.00	2
Key Deposit		n	42.00	44.00	2
The management committee has discretion in regard to fees for regular hire.					
<b>Sofala Showground Hall</b>					
Hall Hire - Per day		y	164.00	172.00	2
<b>338</b> Administration Fee	1120.125.200	y	86.00	90.00	1
Security Deposit		n	172.00	180.00	2
*Bookings made with and fees payable to Sofala Showground Hall Committee*					
<b>Heritage Wall - River Park (Historical Society)</b>					
Sale of Plaque Sites		y	980.00	1,020.00	1

Note: GST is not applicable on some hire charges as all bookings, billings & collections are carried out by the management committees and all booking income is retained by the management committees, who are not registered for GST.



# Museums

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Museum Pass</b>					
	W8840.75				
Museum pass covers single entry to all Museums, Australian Fossil and Mineral Museum, National Motor Racing Museum, Chifley Home & Education Centre and Bathurst Rail Museum. The Museum pass is valid for 2 weeks from the date of purchase and offers a 10% discount on retail items purchased at each of the museum retail outlets excluding cafe.					
Adult		n	45.00	45.00	2
Concession		n	30.00	30.00	2
Family		n	105.00	105.00	2
Child		n	21.00	21.00	2
<b>Museums Membership - Single Museum</b>					
	W8840.75				
Museum pass provides annual entry to one of the four museums, including 10% discount on retail items (excluding cafe) and 10% discount entry for visiting friend and relatives					
Adult		n	55.00	55.00	2
Concession		n	45.00	45.00	2
Family		n	110.00	110.00	2
Child		n	25.00	25.00	2
<b>All Museum Membership</b>					
	W8840.75				
Museum pass provides annual entry for all of the four museums, including 10% discount on retail items (excluding cafe) and 10% discount entry for visiting friend and relatives					
Adult		n	160.00	160.00	2
Concession		n	130.00	130.00	2
Family		n	320.00	320.00	2
Child		n	75.00	75.00	2
<b>307 Chifley Home &amp; Education Centre</b>	1884.110.110				
Adults		n	15.00	15.00	2
Concession		n	10.00	10.00	2
Children (School Age)		n	7.00	7.00	2
Family - (Family consists of two adults and children within that family)		n	35.00	35.00	2
Council reserves the right to modify entry fees for public programs or special events					
Companion Cards are accepted with free entry to Carer					
Group Entry Fees (to qualify, groups must consist of 10 or more individuals) and must book prior to arrival					
Guided tour additional fee on standard entry (staffing costs)		n	2.00	2.00	
Group Discounts per person on normal fee		n	2.00	2.00	
Schools Guided per person (includes preschool guided tours)	W11774.76	n	7.00	7.00	
Drivers, Teachers, Guides and Pre School Children (general admission)			Free	Free	
<b>Venue Hire</b>					
Chifley Education Space hire for 4 hours outside regular opening hours will include:					
Room Hire (including cleaning)		y	320.00	320.00	3
Staff time (per hour) (per staff member) please note the amount charged for staff time will be adjusted for Public Holidays		y	67.00	67.00	3
Tours of the house will incur an extra charge per head		n	5.00	5.00	3
<b>151 Australian Fossil and Mineral Museum</b>	1883.110.110				
Adults		n	15.00	15.00	2
Concession		n	10.00	10.00	2
Children (school age)		n	7.00	7.00	2
Family - (Family consists of two adults and children within that family)		n	35.00	35.00	2
Council reserves the right to charge a separate fee for entry to the temporary exhibition space and modify entry fee for public programs or special events					
Companion Cards are accepted with free entry to Carer					
Group Entry Fees (to qualify, groups must consist of 10 or more individuals) and must book prior to arrival					
Guided tour additional fee on standard entry (staffing costs)		n	2.00	2.00	
Group Discounts per person on normal fee		n	2.00	2.00	
Schools - Self guided per person		n	5.00	5.00	
Schools Guided per person (includes preschool guided tours)	W11775.76	n	7.00	7.00	
Drivers, Teachers, Guides and Pre School Children (general admission)			Free	Free	
<b>Venue Hire</b>					
Museum hire for 4 hours outside regular opening hours will include:					
Museum Hire (including cleaning)		y	500.00	500.00	3
Entrance (per head)		y	2.00	2.00	3
Staff time (per hour) (per staff member) please note the amount charged for staff time will be adjusted for Public Holidays		y	67.00	67.00	3



# Museums

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>396 Bathurst Rail Museum</b>	<b>1887.110.110</b>				
Adults		n	15.00	15.00	2
Concession		n	10.00	10.00	2
Children (School Age)		n	7.00	7.00	2
Family - (Family consists of two adults and children within that family)		n	35.00	35.00	2
Council reserves the right to charge a separate fee for entry to the temporary exhibition space and modify entry fee for public programs or special events					
Companion Cards are accepted with free entry to Carer					
Group Entry Fees (to qualify, groups must consist of 10 or more individuals) and must book prior to arrival					
Guided tour additional fee on standard entry (staffing costs)			2.00	2.00	
Group Discounts per person on normal fee		n	2.00	2.00	
Schools - Self guided per person		n	5.00	5.00	
Schools Guided per person (includes preschool guided tours)	<b>W11773.76</b>	n	7.00	7.00	
Drivers, Teachers, Guides and Pre School Children (general admission)			Free	Free	
<b>Venue Hire</b>	<b>1887.110.124</b>				
<b>Public Gallery</b> (Outside regular opening hours for up to 4 hours)					
Space Hire (including cleaning)		y	600.00	600.00	3
Entrance (per head)		y	2.00	2.00	3
Staff time (per hour) (per staff member) please note the amount charged for staff time will be adjusted for Public Holidays		y	67.00	67.00	3
<b>Library</b>					
Space Hire (per hour)		y	75.00	75.00	3
<b>Courtyard</b> (Price on application)					
<b>Carriage</b>					
Space Hire (per hour)		y	100.00	100.00	3
Staff time (per hour) (per staff member) please note the amount charged for staff time will be adjusted for Public Holidays		y	67.00	67.00	3
<b>Layout Gallery</b> (Out of hours access is available on request - additional to other venue hire)					
Space Hire		y	100.00	100.00	3
Staff time (per hour) (per person)		y	67.00	67.00	3
NOTE - Amount charged for staff will be adjusted for Public Holidays					
<b>Children's parties (No party food to be brought into the Childrens' space)</b>					
During opening hours 1 hour (3.30pm to 4.30pm weekdays and weekends - catering not provided)					
Fiat rate exclusive use of Carriage and entry into museum (max 18 people with 2 adults and 16 children)		y	150.00	150.00	3
After hours children's party exclusive use of museum (catering not provided) - price on application		y	POA	POA	3
<b>National Motor Racing Museum</b>					
<b>400 Adults</b>	<b>1880.110.110</b>	n	15.00	15.00	2
<b>402 Concessions</b>	<b>1880.110.110</b>	n	10.00	10.00	2
<b>401 Children (School Age)</b>	<b>1880.110.110</b>	n	7.00	7.00	2
<b>404 Family - (Family consists of two adults and children within that family)</b>	<b>1880.110.110</b>	n	35.00	35.00	2
Council reserves the right to modify entry fees for public programs or special events					
Companion Cards are accepted with free entry to Carer					
Group Entry Fees (to qualify, groups must consist of 10 or more individuals) and must book prior to arrival					
Guided tour additional fee on standard entry (staffing costs)			2.00	2.00	
Group Discounts per person on normal fee		n	2.00	2.00	
Schools - Self guided per person	1880.110.110	n	5.00	5.00	
Schools Guided per person (includes preschool guided tours)	W11776.76	n	7.00	7.00	
Drivers, Teachers, Guides and Pre School Children (general admission)	1880.110.110		Free	Free	
<b>Function/Space Hire</b>					
<b>405 Conference Room Hire during opening hour per day</b>	<b>1880.110.124</b>	y	320.00	320.00	3
- half day		y	190.00	190.00	3
<b>405 Functions</b>	<b>1880.110.124</b>	y			
<b>Cocktail Function</b> (outside regular opening hours for up to 4 hours)					
Space Hire (including cleaning)			550.00	550.00	3
Entrance (per head)			2.00	2.00	3
Staff time (per hour) (per staff member) please note the amount charged for staff time will be adjusted for Public Holidays			67.00	67.00	3
<b>Dinner in Conference Room</b> (max 30 seated) (outside regular opening hours for up to 4 hours)					
Space Hire (including cleaning)			500.00	500.00	3
Entrance (per head)			2.00	2.00	3
Staff time (per hour) (per staff member) Please note the amount charged for staff time will be adjusted for Public Holidays			67.00	67.00	3



# Museums

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>National Motor Racing Museum continued</b>					
<b>Dinner In Gallery Space</b> (max 80 seated) (outside regular opening hours for up to 4 hours)	1880.110.124	y			
Space Hire (including cleaning)			750.00	750.00	3
Entrance (per head)			2.00	2.00	3
Staff time (per hour) (per staff member) Please note the amount charged for staff time will be adjusted for Public Holidays			67.00	67.00	3
<b>Central Tablelands Collection Facility</b>					
<b>700 Storage (per cubic metre, per annum)</b>	W11750.45				
- Full Climate		y	332.00	332.00	3
- Temperate only		y	250.00	250.00	3
- small item under 300 cubic mm		y	50.00	50.00	3
<b>700 Space Hire</b>	1706.110.124				
small viewing room - up to 6 people - full day		y	100.00	100.00	3
small viewing room - up to 6 People - half day		y	60.00	60.00	3
large viewing room - up to 6 people - full day		y	200.00	200.00	3
large viewing room - up to 6 People - half day		y	120.00	120.00	3
Photography room - up to 12 people - full day		y	200.00	200.00	3
Photography room - up to 12 people - half day		y	120.00	120.00	3
Work room - up to 35 people - full day		y	400.00	400.00	3
Work room - up to 35 people - half day		y	200.00	200.00	3
Individual work space - per day		y	60.00	60.00	3
<b>700 Staff Time</b>	W11750.45				
Collection staff time - per hour		y	80.00	80.00	3
General staff time - per hour		y	67.00	67.00	3

## SECTION 356 DONATIONS

A reduction of 50% on hire fees and entry fees for Not-for-Profit (NFP), local organisations and groups within the local (LGA) area. **This discount does not include staffing charges.** The reduction relates to Chifley Home & Education Centre, Australia Fossil and Mineral Museum, Bathurst Rail Museum and National Motor Racing Museum



# Mount Panorama

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>MOUNT PANORAMA</b>					
<b>NOTES:</b>					
1. All prices are reviewed each financial year					
2. Approval to hire facilities or services on Mt Panorama is subject to specific terms and conditions. The relevant terms and conditions agreement is available from					
3. Mount Panorama fees for facilities includes pre-booking cleaning only. Additional cleaning is available for a fee					
<b>700</b>	<b>Mount Panorama Racing Circuit Hire</b>		<b>W494.72</b>		
<b>Full Circuit Closure - actual fees on negotiation.</b>					
	Per day (minimum fee stated)	y	11,718.00	12,187.00	3
<b>Full Circuit Hire - circuit not closed to public.</b>					
	Per day (minimum fee stated)	y	983.00	1,023.00	3
<b>Part Circuit Hire for Non Car Club Event.</b>					
	Per day (minimum fee stated)	y	4,500.00	4,680.00	3
<b>Part Circuit Hire for Visiting Car Club Event or Advertising/ Filming/Promotion</b>					
<b>Activity or photo opportunity</b>					
	Per day (minimum fee stated)	y	2,743.00	2,853.00	3
<b>Part Circuit Hire for non-advertising/filming/promotion activity or photo opportunity</b>					
	Per day (minimum fee stated)	y	983.00	1,023.00	3
	<b>Pit Lane Hire per day</b>	y	302.00	315.00	3
	<b>Pit Garage block (4 garages in one space) per day</b>				
		y	1,182.00	1,230.00	3
	<b>Pit Garage block (2 garages in one space) per day</b>	y	591.00	615.00	3
	<b>Pit Garages - all 36 garages per day</b>	y	4,693.00	4,881.00	3
	<b>Pit Lane Floodlights - per hour or part thereof</b>	y	56.00	59.00	3
<b>700</b>	<b>Timing, Competition &amp; Corporate Facilities.</b>		<b>W494.45</b>		
	Skyline Tower - per day	y	204.00	213.00	3
	Skyline Tower Screen Removal - per event	y	597.00	621.00	3
	Scrutineering Enclosure/Buildings and equipment hire - per day	y	430.00	448.00	3
	Media Room - per day	y	478.00	498.00	3
	Timing Area - per day (including access to toilet facilities)	y	650.00	676.00	3
	Medical Centre - per day (including access to toilet facilities)	y	749.00	779.00	3
	Corporate 1 to 6 - per day	y	666.00	693.00	3
	Corporate 7 to 13 - per day	y	858.00	893.00	3
	Kitchen Hire - In addition to room hire per function	y	388.00	404.00	3
	Race Operations Offices Level 1	y	386.00	402.00	3
	Race Operations Offices Level 2	y	572.00	595.00	3
	Roof Access - per block	y	337.00	351.00	3
	Pit Area Hard Stand/Paddock sealed area - 1/2 area per day	y	403.00	420.00	3
	- full area per day	y	792.00	824.00	3
	Support Paddock sealed area - 1/2 area per day	y	368.00	383.00	3
	- full area per day	y	724.00	753.00	3
	Volunteers Amenities Building - per day	y	336.00	350.00	3
	Drivers Briefing Room - per day	y	430.00	448.00	3
	Paddock Campground - for non camping use - per day	y	820.00	853.00	3
	Paddock Campground - Camping associated with an event at Mt Panorama	y	290.00	302.00	3
	Suite 14 A - per day	y	666.00	693.00	3
	Suite 15- per day	y	572.00	595.00	3
	Suite 19-20 - per day	y	328.00	342.00	3
	Suite 21-22 - per day	y	328.00	342.00	3
	Suite 23-26 per day	y	572.00	595.00	3
	Suite 27 per day	y	666.00	693.00	3
	Auxiliary Shed 1 - per day	y	430.00	448.00	3
	Auxiliary Shed 2 - per day	y	430.00	448.00	3
	Administration Fee (Individual functions)	y	86.00	90.00	1
	Table Hire (per table)	y	5.00	5.00	3
	Chair Hire (per chair)	y	1.00	1.00	3
	Conference Co-ordination - per hour	y	85.00	89.00	1
* Security Costs where applicable - at actual cost					
** Cleaning and Waste Disposal may incur an additional charge based on the actual cost to be determined by the Director of Corporate Services & Finance.					
*** Equipment Hire - price based on services or facilities requested, to be determined by the Director of Corporate Services & Finance.					
<b>330</b>	<b>Panorama Motorcycle Club Rider Levy</b>		<b>W494.30</b>		
	Annual lease part Sulman Park, Mount Panorama			Annual CPI	Annual CPI



# Mount Panorama

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
324	<b>Bathurst Light Car Club Participant Levy - Part Circuit Hire</b>				
	Club Events: Participant Levy - per driver - subject to minimum charge shown	y	8.20	8.50	2
	Minimum Charge per event	y	260.00	270.00	2
	State / National Events: Participant Levy - per driver - subject to minimum charge shown	y	16.40	17.00	2
	Minimum Charge per event	y	525.00	546.00	2
700	<b>Professional Driving Organisations</b>				
	Hire of Harris Park - 4 hours - minimum charge for up to 8 people	y	245.60	255.40	2
	additional per person	y	30.30	31.50	2
	Skid Pan - per 2 hours	y	7.10	7.30	2
	Casual Hire Skid Pan - per 2 hours - Minimum charge for up to 4 vehicles	y	153.10	159.20	2
	additional vehicles	y	37.90	39.40	2
700	<b>McPhillamy Park</b>				
	Parklands - per day	W494.71	302.00	315.00	3
	Parklands - Bathurst Light Car Club - per day	W494.30	245.00	255.00	3
	Additional Toilets - per day	W494.45	302.00	315.00	3
	Shower Block - 2 day / 1 night use - per night	W494.45	499.00	519.00	3
	Shower Block - Subsequent nights use - per night	W494.45	245.00	255.00	3
	Streetlights - camping areas reaches top of Sulman Park - per night	W494.71	286.00	298.00	3
	Floodlights - circuit and spectator areas - per night	W494.71	286.00	298.00	3
700	<b>Harris Park</b>				
	Parklands - per day	W494.71	302.00	315.00	3
	Toilet Block - per day	W494.45	400.00	416.00	3
	VIP Suite - per day	W494.45	302.00	315.00	3
	Dining Room - per day	W494.45	499.00	519.00	3
	Grandstand Seating - per day	W494.71	792.00	824.00	3
	Floodlights - per night	W494.71	286.00	298.00	3
700	<b>Sulman Park</b>				
	Parklands - per day	W494.71	302.00	315.00	3
	Toilet Block - per day	W494.45	400.00	416.00	3
	Floodlights (around toilet block & camping area) - per night	W494.71	286.00	298.00	3
700	<b>Reid Park</b>				
	Parklands - per day	W494.71	302.00	315.00	3
	Toilet Block - per day	W494.45	400.00	416.00	3
	Shower Block - 2 day / 1 night use - per night	W494.45	499.00	519.00	3
	Shower Block - Subsequent nights use - per night	W494.45	245.00	255.00	3
	Floodlights (around toilet block & camping area) - per night	W494.71	286.00	298.00	3
700	<b>Miscellaneous Services/Facilities</b>				
	Hell Corner Toilet Block - per day	W494.45	302.00	315.00	3
	Paddock Toilet Block - 2 day/ 1 night		476.00	496.00	3
010	Additional Cleaning - price dependant on requirement	y	As per quote	As per quote	3
700	Access to Gated Areas - per event	W494.71	166.00	173.00	3
	Computer Head Hire/scales - per day	W494.71	225.00	234.00	3
	Road Sweeping - per road	W494.71	334.00	348.00	3
	Access Road Grading - per road network (2 exist)	W494.71	6,843.00	7,117.00	3
	Security Call-out - per callout	W494.71	Actual Cost	Actual Cost	3
	Fire Extinguishers - prices are per extinguisher, to be returned fully charged, certified and not damaged.				
	- Foam	W494.71	38.00	40.00	3
	- Powdered Chemical	W494.71	38.00	40.00	3
	- Tank/Blender pump (Foam not included)	W494.71	97.00	101.00	3
700	<b>Contractors Compound Lease - per week</b>				
	Accommodation Shed under 40 square metres	W494.71	166.00	173.00	3
	Accommodation Shed over 40 square metres	W494.71	204.00	213.00	3
	Storage Units under 20 square metres	W494.71	87.00	91.00	3
	Shipping containers etc over 20 square meters	W494.71	127.00	133.00	3
700	<b>Community Garage Sale</b>				
	Per Stall	W1236.38	44.00	46.00	3
	related mixed waste removal		18.00	19.00	3
700	<b>Mount Panorama - Club (Canteen's) Stallholders</b>				
	(Bathurst Cycling Club and City Red Tops Soccer Club)				
	Operation of Canteen per event	W492.70	1,603.00	1,668.00	3



# Library

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>LIBRARY</b>					
<b>Temporary Membership</b>					
624	Refundable Deposit	n	60.50	63.00	2
167	Items lost or damaged	n	Actual Cost	Actual Cost	2
157	<b>Reservations</b>				
	1710.110.143				
161	Interlibrary Loans Fee	y	3.00	3.00	2
161	Plus Actual Cost from other Libraries (if exceeds loan fee)	y	Actual Cost	Actual Cost	2
157	Duplicate/Replacement membership cards	n	2.00	2.00	2
163	<b>Photocopying and Printing</b> (including photocopying/Microfilm/Microfiche/CD ROM)				
	1710.110.134				
	Photocopying/Printing per copy - A4 B/W	y	0.25	0.25	3
	- A3 B/W	y	0.50	0.50	3
	Photocopying/Printing per copy - A4 Colour	y	1.00	1.00	3
	- A3 Colour	y	2.00	2.00	3
165	<b>Meeting Room Art Gallery/Library</b>				
	1710.110.125				
	<u>Community Group Use:</u>				
	Per Hour	y	43.00	45.00	2
	Half Day	y	136.00	141.50	2
	Full Day	y	221.00	230.00	2
	Evening	y	136.00	141.50	2
	<u>Commercial Use:</u>				
	Per Hour	y	110.50	115.00	3
	Half Day	y	180.50	188.00	3
	Full Day	y	288.50	300.50	3
	Evening	y	180.50	188.00	3
	<b>Security Fee (where applicable) - per visit</b>	y	82.00	86.00	1
	Account Prepared and Sent - (where required) - Per Account	y	35.00	36.50	1
164	<b>Library Facsimile Machine</b>				
	1710.110.143				
	Public Use - per page	y	9.00	9.50	3
162	<b>Library Sales</b>				
	W15.47				
	Library Bags	y	3.00	3.00	1
	Book Sales - Fiction	y	2.00	2.00	1
	Book Sales - Non-Fiction	y	3.00	3.00	1
	Book Sales - other prices as marked	y	as marked	as marked	1



# Art Gallery

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>ART GALLERY</b>					
<b>Community and Not For Profit Groups</b>					
Staff Fee - cost of staff required to supervise a function from start to finish (per hour) (depending on business hours and weekend work)		y	71.00	74.00	2
Security Fee - payable for opening and closing outside normal opening hours		y	119.00	124.00	1
<b>Cultural Events</b>					
Booking fee (non-refundable)		y	294.50	306.50	2
Ticketing		y	148.50	154.50	2
Staff Fee - cost of staff to supervise a function from start to finish ( per hour) (depending on business hours and weekend work)		y	71.00	74.00	2
Security Fee - payable for opening and closing outside normal opening hours		y	119.00	124.00	1
<b>Other Hirers - e.g. Commercial organisations and private functions</b>					
Booking Fee (non-refundable)		y	733.50	763.00	3
Ticketing		y	148.50	154.50	3
Staff Fee - cost of staff to supervise a function from start to finish ( per hour) (depending on business hours and weekend work)		y	71.00	74.00	3
Security Fee - payable for opening and closing outside normal opening hours		y	119.00	124.00	1
<b>Joint Functions</b>					
Bathurst Regional Art Gallery Society (BRAGS) is not required to pay a fee when co-hosting an event with the Gallery, or hosting an event to raise funds for the Gallery.					
Where Bathurst Regional Art Gallery & another organisation are co-sponsored for the purpose of audience, development and outreach, the fees are to be negotiated with the Director of the Gallery.					
<b>165 Meeting Room Art Gallery/Library</b>	<b>1710.110.125</b>				
<u>Community Group Use:</u>					
Per Hour		y	43.00	45.00	2
Half Day		y	136.00	141.50	2
Full Day		y	221.00	230.00	2
Evening		y	136.00	141.50	2
<u>Commercial Use:</u>					
Per Hour		y	110.50	115.00	3
Half Day		y	180.50	188.00	3
Full Day		y	288.50	300.50	3
Evening		y	180.50	188.00	3
Security Fee ( where applicable ) - per visit		y	82.00	86.00	1
Account Prepared and Sent - ( where required ) - Per Account		y	35.00	36.50	1
<b>Concessions 20% - Charities &amp; Not-For-Profit Organisations e.g. Museums, Galleries, Libraries, Educational Institutions, Government.</b>					
- Publishers of Educational Textbooks.					
Where several works are required a greater concession may be negotiated.					
<b>Concessions 50% - Scholarly Publishing. e.g. Publishers of scholarly, specialist or not-for-profit books and journals of low print runs and budget, normally on a cost recovery basis, such as monographs on artists, community history publications, museum/gallery/government non-catalogue books.</b>					
<b>Exemptions - Other museum and gallery exhibition catalogues and exhibition related publicity, Artists reproducing their own works.</b>					
<b>170 Image Fee (per image)</b>	<b>1890.130.220</b>				
<b>Reproduction - General Rate</b>					
High Resolution digital image (TIFF, 300dpi)		y	196.50	204.50	3
<b>Private Research &amp; Study</b>					
Low resolution digital image (JPEG, 72dpi)		y	35.00	36.50	3
<b>Usage Fee (per image)</b>					
<b>Print Run - Colour</b>					
Up to 500	1890.130.220				
501 to 2,500	Type of Use				
2,501 to 5,000	Interior	y	38.50	40.50	3
5,001 to 10,000	Interior	y	74.00	77.00	3
10,001 to 20,000	Interior	y	109.00	113.50	3
20,001 to 50,000	Interior	y	145.00	151.00	3
Over 50,000	Interior	y	199.00	207.00	3
Front	Interior	y	270.00	281.00	3
Back	Interior	y	358.00	372.50	3
TV Broadcast	Cover	y	446.00	464.00	3
Merchandise	Cover	y	270.00	281.00	3
		y	446.00	464.00	3
			By Negotiation	By Negotiation	3



## Art Gallery

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Print Run - Black &amp; White</b>	<b>Type of Use</b>				
Up to 500	Interior	y	21.00	22.00	3
501 to 2,500	Interior	y	38.50	40.50	3
2,501 to 5,000	Interior	y	74.00	77.00	3
5,001 to 10,000	Interior	y	109.00	113.50	3
10,001 to 20,000	Interior	y	145.00	151.00	3
20,001 to 50,000	Interior	y	199.00	207.00	3
Over 50,000	Interior	y	270.00	281.00	3
Front	Cover	y	270.00	281.00	3
Back	Cover	y	180.00	187.50	3
TV Broadcast		y	446.00	464.00	3
Merchandise		y	By Negotiation	By Negotiation	3

The fees above include GST - International orders are GST exempt - eg less 10% GST.

### Photography Costs

Costs associated with photographing the work especially for the Applicant must be met by the Applicant and are additional to the image & usage fees.

### Copyright

Where the Applicant seeks to reproduce copyrighted works, the Gallery will notify the Applicant of the copyright holder's details, if known. It is the Applicant's responsibility to obtain written permission from the copyright holder and to provide a copy of such permission to the Gallery. The Applicant is responsible for any fees that the copyright holder may impose, separate and distinct from any fees charged by the Gallery.

Draft



## Children's Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>180 Child Care (Scaflywags Long Day Care and Preschool)</b>	<b>1762.110.112</b>				
Daily Fee per child (Preschool Room 4-5 years)		n	105.00	110.00	2
Orientation fee 1/2 day (Preschool Room 4-5 years) up to 4 weeks		n	52.50	55.00	2
Daily Fee per child (Acacia Room 3-4 years)		n	105.00	110.00	2
Orientation fee 1/2 day (Acacia Room 3-4 years) up to 4 weeks		n	52.50	55.00	
Daily Fee per child (Lomandra Room 2-3 years)		n	105.00	110.00	2
Orientation fee 1/2 day (Lomandra Room 2-3 years) up to 4 weeks		n	52.50	55.00	
Daily Fee per child (Grevillea Room 0-2 years)		n	120.00	125.00	2
Orientation fee 1/2 day (Grevillea Room 0-2 years) up to 4 weeks		n	60.00	62.50	
<b>178 Enrolment Levy (per annum) non refundable</b>	<b>1762.110.143</b>	n	80.00	85.00	2
Bush Kinder Fee (per annum) non refundable	1762.110.143	n	55.00	60.00	2
Late Collection Fee					
	First 5 minutes	n	22.50	25.00	2
	every 5 minutes thereafter	n	7.50	7.50	2
<b>502 Family Day Care</b>					
Family Enrolment Fee (per family) non refundable		n	35.00	40.00	2
Administration Levy - per hour per child	W777.37	n	1.55	1.60	2
<b>498 Educator Levy (per week)</b>	<b>W76.37</b>	n	25.00	27.00	2
Harmony Software Standard Version	W8003.429	n	4.70	5.00	2
(inclusive of e-Signature Program and Practice)					2
<b>497 Prospective Educator Recruitment Charge</b>	<b>W553.37</b>	n	300.00	300.00	2
Playgroup fee (no lift)	W11796.37	n	5.00	5.00	2
Playgroup fee (inclusive of lift)	W11796.37	n	8.00	8.00	2



# Entertainment Centre

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
BATHURST MEMORIAL ENTERTAINMENT CENTRE					
DEFINITIONS		Work Orders			
* "Rehearsals" are considered to be those times when no members of the public are present and the company is rehearsing.					
* "Matinees" are considered to be public performances with an advertised starting time prior to 5pm.					
* "Matinee" & Evening Performance on the same day. Where a matinee occurs on the same day as an evening performance, venue hire will be charged for each performance as a discrete event.					
* If "Matinee" is over the 4 Hr hire in the theatre, full performance rate will be charged					
* "Hourly Rate" - When hourly rates are charged, use of a proportion of an hour shall be computed to the next hour					
* "BMEC" - Bathurst Memorial Entertainment Centre					
*"Hire from LGA" - Hirer from the Local Government Area					
*"Hire not from LGA" - Hirer outside the boundary of Local Government Area					
010	THEATRE				
* Please note required staffing level and loadings will apply in labour charges below.					
*A fire warden will be required if the duty technician cannot perform this role due to other responsibilities. Notice must be given in advance for the use of pyrotechnics,smoke and haze machines in order to roster a fire warden if required. Labour cost to be determined by venue management.					
<u>Theatre or Concert</u>					
Hirer not from LGA:					
	(i) Evening Performance (up to 8 hours in theatre)	y	1,948.00	1,987.00	3
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(ii) Matinee (up to 4 hours in theatre)	y	973.00	992.00	3
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(iii) Dress or Technical Rehearsal (up to 8 hours)	y	1,001.00	1,021.00	3
	(iv) Rehearsal or set-up (hour)	y	130.00	133.00	3
	(v) Bump In and Bump Out (per hour if outside 8 hour performance day hire or 4 hour matinee hire)	y	130.00	133.00	3
Hire from LGA:					
	(i) Evening Performance (up to 8 hours in theatre)	y	1,364.00	1,391.00	1
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(ii) Matinee (up to 4 hours in theatre)	y	682.00	696.00	1
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(iii) Dress or Technical Rehearsal (up to 8 hours)	y	682.00	696.00	1
	(iv) Rehearsal or set-up (hour)	y	100.00	102.00	1
	(v) Bump In and Bump Out (per hour if outside 8 hour performance day hire or 4 hour matinee hire)	y	100.00	102.00	1
<u>Conference, Seminar or Film Screening</u>					
Hirer not from LGA:					
	(i) Day (up to 8 hours in theatre)	y	1,948.00	1,987.00	3
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(ii) Half Day (up to 4 hours in theatre)	y	973.00	992.00	3
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(iii) Per hour	y	130.00	133.00	3
Hirer from LGA:					
	(i) Day (up to 8 hours in theatre)	y	1,364.00	1,391.00	1
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(ii) Half Day (up to 4 hours in theatre)	y	682.00	696.00	1
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(iii) Per hour	y	100.00	103.00	1
	(iv) Small meeting including set up and dismantle (per Hour)	y	35.00	36.00	1
010	CITY HALL				
* Please note required staffing level and loadings will apply in labour charges below.					
* Additional charge may apply as listed below for performances and / or ticketed events					
*A fire warden will be required if the duty technician cannot perform this role due to other responsibilities. Notice must be given in advance for the use of pyrotechnics,smoke and haze machines in order to roster a fire warden if required. Labour cost to be determined by venue management.					
<u>Theatre, Concert, Caberet, Conference, Seminar or Film screening</u>					
Hirer not from LGA:					
	(i) Day (up to 8 hours in Hall)	y	1,572.00	1,603.00	1
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(ii) Half Day (up to 4 hours)	y	821.00	837.00	1
	Or 10% of gross box office less booking and credit card fees, whichever is greater.				
	(iii) Dress or Technical Rehearsal (up to 8 hours)	y	821.00	837.00	1
	(iv) Rehearsal or set-up (hour)	y	102.00	104.00	1
	(v) Bump In and Bump Out (per hour if outside 8 hour performance day hire or 4 hour matinee hire)	y	102.00	104.00	1



# Entertainment Centre

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<u>Theatre, Concert, Cabaret, Conference, Seminar or Film screening (cont'd)</u>					
<b>Hirer from LGA:</b>					
(i) Day (up to 8 hours in Hall)		y	829.00	846.00	1
Or 10% of gross box office less booking and credit card fees, whichever is greater.					
(ii) Half Day (up to 4 hours)		y	472.00	481.00	1
Or 10% of gross box office less booking and credit card fees, whichever is greater.					
(iii) Dress or Technical Rehearsal (up to 8 hours)		y	472.00	481.00	1
(iv) Rehearsal or set-up (hour)		y	80.00	82.00	1
(v) Bump In and Bump Out (per hour if outside 8 hour performance day hire or 4 hour matinee hire)		y	80.00	82.00	1
<b>Ball or Wedding/Dinner over 200 people (300 people for school formals)</b>					
<b>Hirer not from LGA:</b>					
(i) Day (10:00 am - 1:00 am)		y	1,527.00	1,558.00	3
(ii) Setup outside venue rental per hour if available during business hrs of 8.30am to 5.30pm		y	71.00	72.00	3
(iii) Setup outside venue rental per hour if available outside business hrs		y	144.00	147.00	3
<b>Hirer from LGA:</b>					
(i) Day (10:00 am - 1:00 am)		y	829.00	846.00	1
(ii) Setup outside venue rental per hour if available during business hrs of 8.30am to 5.30pm		y	61.00	62.00	1
(iii) Setup outside venue rental per hour if available outside business hrs		y	80.00	82.00	1
<b>Ball or Wedding/Dinner up to 200 people (up to 300 people for school formals)</b>					
<b>Hirer not from LGA:</b>					
(i) Day (10:00 am - 1:00 am)		y	675.00	689.00	3
(ii) Setup outside venue rental per hour if available during business hrs of 8.30am to 5.30pm		y	71.00	72.00	3
(iii) Setup outside venue rental per hour if available outside business hrs		y	144.00	147.00	3
<b>Hirer from LGA:</b>					
(i) Day (10:00 am - 1:00 am)		y	386.00	394.00	1
(ii) Setup outside venue rental per hour if available during business hrs		y	61.00	62.00	1
(iii) Setup outside venue rental per hour if available outside business hrs		y	80.00	82.00	1
<b>CONFERENCE ROOMS</b>					
<b>* Please note required staffing level and loadings will apply in labour charges below.</b>					
<b>Conference Room - single (when hired separately from City Hall) during business hrs of 8:30am - 5:30pm.</b>					
<b>Outside of business hrs labour charge will apply for a staff member to be on site.</b>					
<b>Hirer not from LGA:</b>					
(i) Day (8 hours)		y	316.00	316.00	3
(ii) Per 4 hours session		y	162.00	162.00	3
(iii) Hourly additional time		y	81.00	81.00	3
(iv) Small meeting, (up to 8 people) per hour, including set up and dismantle		y	49.00	50.00	3
<b>Hirer from LGA:</b>					
(i) Day (8 hours)		y	283.00	289.00	1
(ii) Per 4 hours session		y	149.00	152.00	1
(iii) Hourly additional time		y	70.00	71.00	1
(iv) Small meeting, (up to 8 people) per hour, including set up and dismantle		y	35.00	36.00	3
<b>Conference Rooms - double (when hired separately from City Hall) during business hrs of 8:30am - 5:30pm.</b>					
<b>Outside of business hrs labour charge may apply for a staff member to be on site.</b>					
<b>Hirer not from LGA:</b>					
(i) Day (8 hours)		y	468.00	477.00	3
(ii) Per 4 hours session		y	234.00	239.00	3
(iii) Hourly additional time		y	99.00	101.00	3
<b>Hirer from LGA:</b>					
(i) Day (8 hours)		y	424.00	432.00	1
(ii) Per 4 hours session		y	212.00	216.00	1
(iii) Hourly additional time		y	87.00	89.00	1
<b>FOYER - (subject to no other functions)</b>					
<b>Hirer not from LGA:</b>					
(i) Monday to Friday per hour		y	67.00	68.00	3
(ii) Saturday, Sunday or Public Holidays per hour		y	76.00	78.00	3
<b>Hirer from LGA:</b>					
(i) Monday to Friday per hour		y	54.50	56.00	1
(ii) Saturday, Sunday or Public Holidays per hour		y	69.00	70.00	1
<b>Exhibitions - by negotiation and subject to requirements</b>					



# Entertainment Centre

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>SERVICES INCLUDED IN HIRE FEES</b>					
<ul style="list-style-type: none"> <li>* Up to 3 hours of meetings with management to discuss requirements</li> <li>* Standard lighting (4 colour wash + front fill) Theatre and (general white wash) City Hall. Any additional lighting cost will be charged at an hourly rate</li> <li>* Lamp and electricity costs</li> <li>* Air-conditioning</li> <li>* Use of the dressing rooms on the day of the performance and storage of costumes and belongings on other days during a continuous season as available (for theatre)</li> <li>* Standard Sound (Lectern and mic, FOH system, 2 monitors) Theatre &amp; City Hall only</li> <li>* Sound for conference rooms incurs additional costs.</li> <li>* Standard curtains &amp; drapery - Theatre &amp; City Hall only</li> </ul>					
<b>EQUIPMENT HIRE &amp; SERVICES</b>					
<ul style="list-style-type: none"> <li>* Birdog IP Cameras. Allowing for straming or recording of events and shows. Set up price per camera. (Additional staffing charges may be applicable for a tech to run the console for a live stream).</li> </ul>					
		y	-	100.00	3
		y	84.50	89.00	3
		y	250.00	262.00	3
		y	250.00	250.00	3
		y	150.00	157.00	3
		y	28.00	29.00	3
Data projector to be determined by technical staff to ensure presentation quality					
		y	88.50	92.00	3
		y	88.50	100.00	3
		y	222.50	233.00	3
		y	40.00	42.00	3
		y	8.50	9.00	3
		y	150.00	157.00	3
		y	20.00	21.00	3
		y	127.00	133.00	3
		y	45.00	47.00	3
		y	33.00	35.00	3
		y	32.00	33.00	3
		y	12.50	13.00	3
		y	4.00	4.00	3
		y	3.00	3.00	3
		y	40.00	42.00	3
		y	30.00	31.00	3
		y	70.00	73.00	3
		y	50.00	52.00	3
		y	70.00	73.00	3
*all Lights beyond standard rig - price based on request					
		y	15.00	16.00	3
		y	40.00	42.00	3
		y	30.00	32.00	3
		y	13.00	14.00	3
		y	0.70	0.70	3
		y	3.00	3.00	3
*NB movement of foyer tables and chairs will be charged on a labour cost recovery basis					
*Point rigging for circus apparatus and decorations charged on a labour cost recovery basis					
*Pre rigs will be charged on labour cost recovery basis					
		y	5.00	5.00	3
		y	3.00	3.00	3
		y	700.00	735.00	3
		y	338.00	354.00	3
Available in Theatre only					
		y	350.00	368.00	3
		y	202.00	212.00	3
		y	60.00	60.00	3
		y	136.00	136.00	3
		y	216.00	216.00	3
		y	65.00	65.00	3
					1



# Entertainment Centre

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>EQUIPMENT HIRE &amp; SERVICES (cont'd)</b>					
* Hirer not from LGA Hanging of Banners - hirers will be charged the relevant labour costs per hour/per staff member for the hanging of banners and other decorations					
		y	53.50	57.00	3
* Hirer from LGA Hanging of Banners - hirers will be charged the relevant labour costs per hour/per staff member for the hanging of banners and other decorations					
		y	38.00	47.00	1
<b>LABOUR CHARGES</b>					
* Technicians, Front of House Supervisor, Head Usher, Merchandising staff, stage door keepers, labour for bump in, bump out and removal and replacement of orchestra pit cover - Hirer not from LGA					
		y	55.00	57.00	3
* Technicians, Front of House Supervisor, Head Usher, Merchandising staff, stage door keepers, labour for bump in, bump out and removal and replacement of orchestra pit cover - Hirer from LGA					
		y	39.00	47.00	1
* A fire warden will be required if the duty technician cannot perform this role due to other responsibilities. Notice must be given in advance for the use of pyrotechnics, smoke and haze machines in order to roster a fire warden if required. Labour cost to be determined by venue management.					
* The BMEC Manager will determine appropriate staffing levels for bookings. All bookings of the Theatre and City Hall require at least one technician. All performances require a Front of House Supervisor from an hour prior to the performance until FOH areas have been vacated following the performance. For events which require the services of ushers there will generally be at least one paid Head Usher assisted by volunteer ushers.					
* Merchandise sold will incur a commission to be paid to the venue 10 % of gross sales					
Events requiring removal or "pack down" of hirers equipment by BMEC staff, such as chair covers, will be charged for the labour incurred.					
* Additional Cleaners - per hour if required					
		y	50.00	53.00	3
* The Local Government (State) Award 2010 applies to all BMEC staff. Any penalties incurred on behalf of the hirer will be passed on to the hirer at cost. Such penalties will apply for work between 11pm & 6am Mon to Fri and all weekend work.					
<b>TICKETING BOOKING FEES AND COMMISSIONS</b>					
* Please ask for a list of the current rates. All ticketed events held at BMEC to be ticketed through the venue ticketing system					
		y			
<b>KITCHEN FACILITIES</b>					
Food safety standards apply to the use of the kitchen. Caterers are required to fill out a Catering Accreditation form prior to using the kitchen. In some exceptional instances limited kitchen access may be granted to charitable organisations. In this					
<b>CATERING</b>					
Hirers of BMEC may nominate the caterer of their choice providing they meet the requirements as set out by the venue					
Payment for catering services will be made by BMEC to the caterer as part of the event settlement providing all conditions are met as agreed by both parties. Failure to meet these conditions may result in the forfeit of a percentage of the catering fee					
*Catering - Full use of Kitchen will incur a charge of 13% of turnover					
		y			
*Catering - Minimal use of Kitchen will incur a charge of 7.5% of turnover					
		y			
*Catering - No use of Kitchen will incur a charge of 5% of turnover					
		y			
NB: The interpretation of the level of use will be at the sole discretion of BMEC management					
<b>OTHER CHARGES</b>					
* All props, sets, costumes and other equipment must be removed immediately at the end of the hire period. Any equipment not removed within 24hrs will be disposed of unless a prior agreement has been reached with the BMEC Manager. Disposal charges may apply.					
* Access or special set up on the day/s prior to an event may incur a charge based on the additional labour cost and a venue hire fee to be determined by the BMEC Manager.					
* Penalty rate when building vacated after 1.00am: per hour					
		y	235.00	246.00	1
* Refreshments (tea bag tea or instant coffee : 4 hour) per setup request					
		y	4.00	4.00	1
* Refreshments (tea bag tea or instant coffee : 8 hour) per setup request					
		y	6.00	6.00	
* Refreshments (percolated coffee : 4 hour) per setup request					
		y	4.00	4.00	1
* Refreshments (percolated coffee : 8 hour) per setup request					
		y	6.00	6.00	1
(Percolated coffee minimum of 30 people)					
* Refreshments (biscuits per head per session)					
		y	1.10	1.10	1
* Refreshments (filtered water per head per session)					
		y	0.25	0.25	1
* Refreshments (jugs of soft drinks/juice 1125ml)					
		y	6.50	6.50	1
*Sponsored drinks - where an event has a beverage sponsor, charges for servicing the sponsor will apply at the discretion of the BMEC Manager					
Charges may include labour and corkage including labour for stocking and de-stocking fridges and reprogramming tills					
* 5% surcharge on all external equipment hire and services					
* Charges for other refreshments by negotiation with BMEC staff and caterer					
* When services or facilities are requested which are not covered in this document the Manager, BMEC shall set an appropriate fee or charge.					
* The Director of Cultural & Community Services may consider shared risk ventures at his/her discretion					
618	* A 20% deposit will be required for all functions held in Theatre and City Hall. A booking will not be confirmed until the deposit has been paid. Cancellations of less than 30 days notice may incur a cancellation fee. This deposit is due upon signing of the venue hire agreement form.				
	* Where a booking is made over a period of days for the Theatre or City Hall and some of these days are "dark" a fee of 50% of the normal applicable fee will be				
	* A bulk hire discount on technical equipment of 50% per day will apply to hires of 3 days or longer				



# Entertainment Centre

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>TICKETING CHARGES (Internal Ticketing System)</b>					
	1888.110.0157				
Hirer not from LGA - Ticket price \$25.00 or under (each ticket)		y	2.00	2.00	3
Hirer not from LGA - Ticket price \$25.01 to \$50.00 or under (each ticket)		y	2.50	2.50	3
Hirer not from LGA - Ticket price \$50.01 or above (each ticket)		y	4.00	4.00	3
Hirer from LGA - Ticket price \$25.00 or under (each ticket)		y	1.50	1.50	3
Hirer from LGA - Ticket price \$25.01 to \$50.00 or under (each ticket)		y	2.00	2.00	3
Hirer from LGA - Ticket price \$50.01 or above (each ticket)		y	3.00	3.00	3
Social function ticketing as per above scale however any changes by negotiation					
Complimentary or batch print (each)		y	1.00	1.00	3
Credit card fee 1.5%					
<b>TRANSACTION CHARGES (waived for Members and Subscribers) - per transaction</b>					
Box Office sales		y	2.00	2.00	3
Phone Sales		y	3.00	3.00	3
Internet Sales		y	1.00	1.00	3

## SECTION 356 DONATIONS

Bathurst Regional Council area:

(A) Schools and University - being a recognised and accredited educational institution - 40% discount of scheduled LGA venue fee. The discount only applies to base venue hire and does not apply to labour or additional equipment and services

(B) Local Community Organisation - Not for Profit Organisations - where money raised is dispersed for the benefit of the community 20% discount of the

(C) Bathurst Elisteddod Society - As determined by Council (\$30,000 + GST). The discount only applies to base venue hire and does not apply to labour or additional equipment and services

(D) Bathurst Carillon Theatrical Society - 20% discount of the scheduled LGA venue fee. The discount only applies to base venue hire and does not apply to labour or additional equipment and services

(E) Bathurst Theatre Company - 20% discount of the scheduled LGA venue fee. The discount only applies to base venue hire and does not apply to labour or additional equipment and services

(F) The Bathurst Elisteddod Society and the Mitchell Conservatorium shall have free access to the City Hall Yamaha C7 during a booking period, but shall pay for tuning at cost



## Tourism & Promotion

<b>Rec Code</b>	<b>Job Number</b>	<b>GST</b>	<b>2021/2022 \$</b>	<b>2022/2023 \$</b>	<b>Pricing Category</b>
	"Story of Bathurst" - Wholesale Price	y	5.50	5.50	1
<b>700</b>	<b>"History of Bathurst" (available from Visitors Centre)</b>				
	<b>Volume 1</b>				
	Wholesale Price	y	17.50	17.50	1
	Retail Price	y	21.95	21.95	3
	<b>Volume 2</b>				
	Wholesale Price	y	26.10	26.10	1
	Retail Price	y	32.95	32.95	3
	<b>Visitors Centre</b>				
	Advertising Income - Competitive Commercial Rates				3
	Special Tours - Reasonable Commercial Commission				3
	Mt Panorama Race Tickets - Reasonable Commercial Commission				3
	Mt. Pan Racing - Accommodation - Reasonable Commercial Commission				3
	Souvenir Sales - Reasonable Commercial Profit Margin				3
	Ticket Sales and Accommodation - Reasonable Commercial Commission				3
	<b>Annual Membership</b>				
	1920.110.143				
	Tourism Partnership Program - Associate	y	200.00	200.00	3
	Tourism Partnership Program - Individual	y	350.00	350.00	3
	Tourism Partnership Program - Multiple	y	650.00	650.00	3
	Tourism Partnership Program - Platinum	y	1200.00	1200.00	3
	<b>Tour Guides</b>				
	1 hour	y	113.00	118.00	1
	1.5 hours	y	147.00	153.00	1
	2 hours	y	172.50	179.50	1
	Late Charge (per 1/2 hour)	y	20.00	20.00	1
	Public Holiday Surcharge (flat fee)	y	25.00	25.00	1



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category	
PLANNING AND ENVIRONMENTAL SERVICES						
***Any reference to Legislation is also a reference to its amendment						
055	Dog & Cat Registration/Impounding	19760.9707.9800				
	Standard Registration Fees:					
	Lifetime Registration - non desexed dog	n	224.00	224.00	8	
	Lifetime Registration - desexed dog	n	66.00	66.00	8	
	Lifetime Registration - desexed or non desexed cat	n	56.00	56.00	8	
	Lifetime Registration - registered dog breeder	n	66.00	66.00	8	
	Lifetime Registration - registered cat breeder	n	56.00	56.00	8	
	Lifetime Registration - desexed dog sold by eligible pound or shelter	n	-	-	8	
	Lifetime Registration - desexed cat sold by eligible pound or shelter	n	-	-	8	
	Concessions for Pensioners:					
	Lifetime Registration - desexed dog or cat	n	27.00	27.00	8	
	Working Dogs, Authorised Guide Dogs and Assistance Animals and Greyhounds					
	registered with the NCA					
	First Dog	n	free	free	8	
	Each Additional Dog	n	free	free	8	
	Guide Dogs and assistance animals (registered)	n	free	free	8	
702	Annual Permit for certain Companion Animals					
	Non-desexed cat	W8813.35	n	81.00	81.00	8
	Dangerous/Restricted Dog	W8814.35	n	197.00	197.00	8
	Annual Permit Late Fee (cat or dog) (per permit)	W8855.35	n	18.00	18.00	8
	Dangerous Dogs					
	Enclosure inspection and compliance certificate fee	n	150.00	150.00	8	
	Dangerous dog sign	2040.110.143	y	43.50	46.00	2
	Dangerous Dog collar	2040.110.143	y	27.00	29.00	2
058	Impounding:					
	Dogs and Cats - released by 3pm on day of impounding (first offence only)	2040.105.74	n	-	-	
	Release: First Offence (minimum one overnight stay)	2040.105.74	n	58.00	62.00	3
	Subsequent Offences	2040.105.74	n	75.00	78.00	3
	Maintenance - (each subsequent day)	n	27.00	28.00	3	
	Livestock (defined as any impounded animal other than a cat or dog)					
	Release: First Offence	2040.105.74	n	80.00	83.00	3
	Subsequent Offences	2040.105.74	n	91.50	95.00	3
	Maintenance - (each subsequent day)	n	32.50	33.50	3	
	Carrier fees for transport of livestock	n	Contract Price	Contract Price		
	DEPBS has discretion to waive fees for release on first offence					
	Microchipping Fee	y	48.50	50.00	2	
053	Sale of Dogs - Includes cost of microchip, 1st vaccination and worming	2040.110.150	y	107.50	111.50	2
054	Sale of Cat - Includes cost of microchip, 1st vaccination and worming	2040.110.151	y	107.50	111.50	2
045	Sale of Cat - Includes cost of microchip, 1st vaccination, worming and desexing	W6103.0071	y	170.00	180.00	2
	Use of Council Stock Impounding Yards					
	Deposit - to be paid to Council upon hiring and refunded if yards left in clean/undamaged condition.	Trust Dep 610	n	218.00	226.50	2
068	Per day hire fee	2040.110.124	y	81.50	84.50	1
068	Use of Council's Mobile Stock Yards					
	Per day hire fee	2040.110.124	y	218.00	226.50	3
	Mandatory attendance by Ranger per hour or part thereof	2040.110.124	y	48.50	50.00	1
619	Animal Trap Deposit (Refundable)	2040.110.143	n	109.00	113.00	2
702	Release of Abandoned Motor Vehicles	2040.110.143				
	Per Vehicle	n	437.50	455.00	1	
	Charge per day if held in excess of 30 days (in addition to release fee)	n	5.00	5.00	1	
	Release of Shopping Trolley or 'A' Frame sign or other articles (per item)	n	59.50	61.50	1	
	Abandoned motor vehicle removed from private property	2040.110.143	n	382.00	397.00	1
	Per Vehicle PLUS applicable waste disposal fee					



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
069	<b>Inspection Fees (all inspections)</b> E.g. Food/Hairdressers/Skin Penetration/Boarding Houses/tourist accomodation/public swimming pools				
	For the 1st half Hour	n	110.00	119.00	1
	For each remaining quarter hour or part thereof	n	41.00	44.00	1
	Home based Food Business - New Approval (application and inspection fee)	n	-	110.00	1
	Home based Food Business - Annual Inspection <b>High Risk</b>	n	-	119.00	1
	DEPBS has discretion to waive fees for school canteens and minor inspections				
069	<b>Underground Petroleum Storage System Regulation 2019</b>				
	Annual Inspection Fee	n	185.00	190.00	1
	Follow-up Compliance Inspection	n	106.00	110.00	1
069	Temporary Food Premises Annual Licence Fee	n	35.00	35.00	1
069	Temporary Food Premises - first inspection <b>High Risk</b>	n	78.50	81.50	1
	- thereafter at the same event	n	32.50	33.50	1
069	Temporary Food Premises - first inspection <b>Medium/Low Risk</b>	n	32.50	33.50	1
	- thereafter at the same event	n	32.50	33.50	1
702	<b>Issue of Improvement Notice</b>	n	330.00	330.00	8
010	<b>Food Premises Annual Administration Fee</b> Applicable only to food businesses requiring at least one inspection annually in accordance with the Food Regulation Partnership	n	200.00	210.00	2
	Large food premises with greater than 10 FTE employees	n	410.00	450.00	2
	<b>Footpath Restaurants - Roads Act 1993 s.125</b>				
041	Application Fees - Initial	n	233.00	242.00	1
042	Renewal Fee (for existing approvals only)	n	116.00	120.50	1
043	Charge per Square Metre per annum (Bathurst)	n	109.00	113.00	1
043	Charge per Square Metre (six months or less) (Bathurst)	n	54.50	56.50	1
316	<b>Advertising/Merchandise on Footpath - Roads Act 1993 s.126</b>				
	<b>Footpath Restaurants - Roads Act 1993 s.126</b>				
	Annual Licence Fee	n	117.50	122.00	1
	Charge per square metre per annum (for merchandise only)	n	109.00	113.00	1
	<b>Structure/s Overhanging Footpaths</b>				
	Inspection Fee	n	485.50	504.50	1
	<b>Fire Hazard Reduction</b>				
	Standard Residential Lot	n	Contract Price	Contract Price	1
334	<b>Parking Permit</b>				
	Per Week or part thereof	n	45.00	46.50	2
	Charity Events	n	Free	Free	
702	<b>Vegetation Clearing Permit</b>	n	63.50	66.00	1
	<b>PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997</b>				
702	<b>Clean up Notices - Section 91</b>	n	591.00	605.00	8
702	<b>Prevention Notices - Section 96</b>	n	591.00	605.00	8
702	<b>Compliance Cost Notices</b>	n	At cost	At cost	2
700	Backyards for Wildlife - booklet	y	Free	Free	1
066	<b>Building Plans Information</b>				
	Where a person requests permission to look at Development/Building Plans and/or obtain copies				
	Recovery of File & First Copy of Plans	n	68.50	71.00	1
	Each Additional Copy of Plans	n	See Copying Charges p 52	See Copying Charges p 52	1
347	<b>LOCAL GOVERNMENT ACT 1993 - SECTION 68</b>				
	Install a manufactured home, moveable dwelling or associated structure on land				
	Section 68 (A.1) - Construction Certificate Fee applies		See Certificates	See Certificates	
	Construct a temporary enclosure for the purpose of entertainments - Section 68 (A.3)		See Certificates	See Certificates	2



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Carry out stormwater drainage work - Section 68 (B.5)</b>					
	Application Fee	n	176.30	183.40	2
	Fee for additional inspections	n	90.10	93.80	2
<b>Place a waste storage container in a public place - Section 68 (C.3)</b>					
	Application Fee	n	175.80	182.90	2
	Monthly Fee	n	60.80	63.30	2
<b>067 Septic Tank</b>	<b>W433.32</b>				
	New septic system				
	Application	n	100.00	100.00	
	Operate	n	58.00	58.00	
	Plumbing	n	330.00	330.00	8
			<u>488.00</u>	<u>488.00</u>	
	Reinspection Fee when works need to be completed	n	-	110.00	
	Alteration/Modification to existing system where works involved are to existing house drainage				
	Application	n	50.00	50.00	
	Operate approval	n	58.00	58.00	
	Plumbing Inspections (external & final)	n	220.00	220.00	8
			<u>328.00</u>	<u>328.00</u>	
	Alteration/Modification to existing system where works involved are to existing absorption trenches				
	Application	n	50.00	50.00	
	Operate approval	n	58.00	58.00	
	On site sewage management inspections (x2)	n	220.00	220.00	8
			<u>328.00</u>	<u>328.00</u>	
	Renewal/Operate				
	Operate	n	58.00	58.00	
	Inspection x 1	n	110.00	110.00	
			<u>168.00</u>	<u>168.00</u>	
	If the system is found to be failing in response to the application to operate (ie operate fee already paid): Alteration/Modification to existing system where works involved are to existing house drainage				
	Application Fee	n	50.00	50.00	
	Plumbing Inspections (external & final)	n	220.00	220.00	8
			<u>270.00</u>	<u>270.00</u>	
	If the system is found to be failing in response to the application to operate (ie operate fee already paid): Alteration/Modification to existing system where works involved are to absorption trenches				
	Application Fee	n	50.00	50.00	
	On site sewage management inspection	n	110.00	110.00	8
			<u>160.00</u>	<u>160.00</u>	
	Existing system Change of Owner (within 3 months)				
	Operate approval	n	58.00	58.00	
			<u>58.00</u>	<u>58.00</u>	
	Existing system Change of Owner (greater than 3 months after change of ownership, an inspection will need to be undertaken as well)				
	Operate approval	n	58.00	58.00	
	Inspection x 1	n	110.00	110.00	
			<u>168.00</u>	<u>168.00</u>	
	Engage in a trade or business on community land (D1)	n	166.50	173.00	2
	Direct or procure a theatrical, musical or other entertainment for the public on community land (D2)	n	166.50	173.00	2
	Construct a temporary enclosure for the purpose of entertainment on community land (D3)	n	166.50	173.00	2
	For fee or reward, play a musical instrument or sing on community land (D4)	n	166.50	173.00	2
	Deliver a public address or hold a religious service or public meeting on community land (D6)	n	166.50	173.00	2
	Expose or allow to be exposed any article in or on a public road (E2)	n	166.50	173.00	2



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
347	Operate Caravan Park or Camping Ground - Section 68 (F.2)	W549.23			
	<u>Application for New Caravan Park or Camping Ground</u>				
	Approval to operate caravan park, camping ground or manufactured home estate - (Does not include State Govt. Levy \$2.70 per Site)	n	\$6.30 per site or \$500, whichever is the lesser	\$6.30 per site or \$500, whichever is the lesser	2
	(If a re-inspection of sites is required, Council may charge \$2.90 per site that is required to be inspected)				
	Minimum Fee	n	200.20	208.30	2
572	<u>Application for Primitive Camping Ground</u>	W430.35			
	Approval to operate primitive camping ground - Per Site (Does not include State Govt. Levy \$1.35 per Site)	n	\$6.30 per site or \$500, whichever is the lesser	\$6.30 per site or \$500, whichever is the lesser	2
	Minimum Fee	n	140.20	145.90	2
	<u>Manufactured Homes Estates</u>				
	Application for approval to operate a Manufactured Home Estate per Site	n	14.50	15.10	2
	Minimum Fee	n	178.60	185.80	2
	(Re-inspection due to non-compliance with regulations may result in Council imposing a maximum fee of \$65.00)				
	Certificate of completion for associated structures not included on original certificate of completion	n	91.50	95.20	2
	<u>Fees for Annual Inspections of Caravan Parks, Camping Grounds and Manufactured Homes Estates</u>				
	Application for renewal of an approval or for annual inspection of Caravan Park, Camping Ground or Manufactured Homes estate per Site	n	14.50	15.10	2
	(If a re-inspection of sites is required, Council may charge \$3.00 per site that is to be inspected)				
	Minimum Fee	n	178.60	185.80	2
	<u>Replacement Approval</u>				
	For Change of Ownership or alteration of Caravan Park design	n	103.30	107.50	2
572	<u>Temporary Camping Sites such as Mt Panorama, Cultural or Sporting events</u>	W430.35			
	Fee per Event per Site	n	500.00	500.00	2
	Fee per event per site for events not associated with a full track closure at Mt Panorama	n	250.00	250.00	2
	<b>Install a domestic oil or solid fuel heating appliance, other than a portable appliance- Section 68 (F.4)</b>				
	Application Fee	n	175.80	182.90	2
	<b>Install or operate amusement devices (within the meaning of the Construction Safety Act, 1912) -Section 68 [F.5]</b>				
	Application Fee	n	76.00	79.00	2
	Fee for additional inspections	n	46.00	47.50	2
	<b>Carry out an Activity prescribed by the Regulations or an activity of a class or description prescribed by the Regulations Section 68 (F.10)</b>				
	Application Fee	n	79.00	82.20	2
	<b>LOCAL GOVERNMENT ACT 1993 - SECTION 82</b>				
	<b>Objections to Applications of Building regulations and Local Policies - (Sec 82)</b>	n	100.00	100.00	8
	<b>Sec 8.2, 8.3, 8.4, 8.5</b>				
	<b>Roads Act Approvals</b>				
	Close footpaths/place obstruction on footpath	n	110.00	110.00	8
	Enclosure of parking spaces in conjunction with building works (per 2.5 lineal metres/per week of enclosure)	n	54.90	57.10	2



# Planning & Environmental Services

Rec Code		Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Swimming Pools</b>						
37	Inspection & Certificate of compliance	W4748.32	n	150.00	150.00	8
37	Additional Inspections	W4748.32	n	100.00	100.00	8
38	Registration of swimming pool on owners behalf	W4748.12	n	10.00	10.00	8
<b>Development Applications - STATUTORY</b>						
<b>EPA Regulations</b>						
<b>Clause 246B</b>						
<u>Erection of a Building or the Carrying out of a Work:</u>						
Estimated Cost:						
Up to \$5,000		\$129.00				
Between \$5,001 to \$50,000		\$198.00 plus \$3.00 over \$1,000 (or part thereof) over \$5000				
Between \$50,001 & \$250,000		\$412.00 plus \$3.64 over \$1,000 (or part thereof) over \$50,000				
Between \$250,001 & \$500,000		\$1,356.00 plus \$2.34 over \$1,000 (or part thereof) over \$250,000				
Between \$500,001 & \$1,000,000		\$2,041.00 plus \$1.64 over \$1,000 (or part thereof) over \$500,000				
Between \$1,000,001 & \$10,000,000		\$3,058.00 plus \$1.44 over \$1,000 (or part thereof) over \$1,000,000				
Over \$10,000,000		\$18,565.00 plus \$1.19 over \$1,000 (or part thereof) over \$10,000,000				
PLANfirst fees (DA's only) Clause 266		0.064 cents in the dollar on developments valued over \$50,000				
<b>Advertising Signs</b> - approval fee (Includes first sign)			n	285.00	333.00	8
- per additional sign in excess of one			n	93.00	93.00	8
<b>Clause 247</b>						
Single Dwelling Houses Construction cost under \$100,000			n	455.00	532.00	8
<b>Clause 249</b>						
<u>Fee for Subdivision :</u>						
Subdivisions involving the opening of a new road			n	665.00	777.00	8
Plus charge for each new allotment to be created			n	65.00	65.00	8
Subdivision not involving a new road			n	330.00	386.00	8
Plus charge for each new allotment to be created			n	53.00	53.00	8
Strata Subdivision			n	330.00	386.00	8
Plus charge for each new allotment to be created			n	65.00	65.00	8
<b>Clause 250</b>						
Development not involving the erection of a building, the carrying out of work, the subdivision of land or the demolition of a building or work (e.g. Use of land )			n	285.00	333.00	8
<b>Clause 251 / 252</b>						
Designated Developments (Advertising)			n	2,220.00	2,596.00	8
(In addition to fee otherwise payable under Regulations)						
Charges as per Clause 246B above plus			n	920.00	1,076.00	8
Prohibited Development			n	1,105.00	1,292.00	8
<b>Clause 252a / 253</b>						
Concurrence / Integrated Development (per agency)			n	140.00	164.00	8
plus to Govt. Authority concurrence fee (per agency)			n	320.00	374.00	8



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Clause 257</b>					
Fee for Review of Determination of Application					8
Where DA does not involve building work or demolition of building		n	50% of original DA	50% of original DA	
Where DA involves erection of dwelling with cost < \$100,000		n	190.00	222.00	
All other:					
Estimated Cost					
Up to \$5,000			\$64.00		
\$5,001 to \$250,000			\$100 plus \$1.50 per \$1,000 or part thereof of estimated cost		
\$250,001 to \$500,000			\$585 plus \$0.85 per \$1,000 or part thereof of est. cost over \$250,000		
\$500,001 to \$1,000,000			\$833 plus \$0.50 per \$1,000 or part thereof of est. cost over \$500,000		
\$1,000,001 to \$10,000,000			\$1154 plus \$0.40 per \$1,000 or part thereof of est. cost over \$1,000,000		
More than \$10,000,000			\$5540 plus \$0.27 per \$1,000 or part thereof of est. cost over \$10,000,000		
<b>Development Applications - STATUTORY</b>					
<b>Clause 258 (6t)</b>					
Minor Error, Misdescription or Miscalculation	Sec4.55	n	71.00 the lessor of \$645 or 50% of the original DA	83.00 the lessor of \$754 or 50% of the original DA	8
Modifications involving minor environmental impact	Sec4.55				8
Modifications not of minimal environmental impact	Sec4.55 :				
If the fee for the original application was less than \$100		n	-	-	8
If the fee for the original application was \$100 or more :					
Where DA does not involve building work or demolition of building			50% of original DA	50% of original DA	
Where DA involves erection of dwelling with cost < \$100,000			190.00	222.00	8
All other:					
Estimated Cost					
Up to \$5,000			\$64.00		
\$5,001 to \$250,000			\$95 plus \$1.50 per \$1,000 or part thereof of estimated cost		
\$250,001 to \$500,000			\$585 plus \$0.85 per \$1,000 or part thereof of estimated cost over \$250,000		
\$500,001 to \$1,000,000			\$833 plus \$0.50 per \$1,000 or part thereof of estimated cost over \$500,000		
\$1,000,001 to \$10,000,000			\$1154 plus \$0.40 per \$1,000 or part thereof of estimated cost over \$1,000,000		
More than \$10,000,000			\$5540 plus \$0.27 per \$1,000 or part thereof of estimated cost over \$10,000,000		
Additional fee \$778 payable if notice of the application is required by s 4.55(2) or 4.56(1) of the Act					
Fee for review of modification (clause 258A)			50% of applicable fee		
<b>Subdivision Certificate - Council</b>					
<u>Investigation (1 only) of a subdivision plan to ascertain if conditions of consent have been fulfilled:</u>					
Council Charge		n	56.50	59.30	4
PLUS Per Lot (Non-refundable if subdivision plan is not able to be released for any reason)		n	29.00	30.20	4
Where a request for release of a Linen Plan is made, and conditions have not been complied with, the following charges to be applied to each subsequent request:					
Council Charge		n	275.80	289.60	4
<b>Advertising</b>					
	W423.23	n	433.00	451.00	2
<b>Private Certification Fees</b>					
Fee for inspection for compliance with conditions of development consent (where requested by Private Certifier)		n	120.00	126.00	8
Fee for issuing a Compliance certificate					
- where Council is not Principal Certifying Authority		y	120.00	126.00	8
Fee for registration of CDC		n	36.00	36.00	8
Fee for registration of Part 6 certificates		n	36.00	36.00	8
<b>Complying Development Certificates</b>					
		y			
Less than \$5,000			\$62.30 plus \$6.20 per \$1,000 (or part thereof)		3
From \$5,001 to \$100,000			\$91.70 Plus \$4.35 per \$1,000 (or part thereof) of cost over \$5,000		
From \$100,001 to \$250,000			\$505.50 plus \$2.50 per \$1,000 (or part thereof) of cost over \$100,000		
Exceeding \$250,000			\$885.90 plus \$1.30 per \$1,000 (or part thereof) of cost over \$250,000		



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category		
Modification of Complying Development Certificates		Minor Modification - 50% of the original fee or \$115 whichever is the lesser.					
Construction Certificates Fees/Review of Engineering Plan							
Based on Contract Price OR if no Contract, then Council's Valuation							
Less than \$5,000			\$62.30 plus \$6.20 per \$1,000 (or part thereof)		3		
From \$5,001 to \$100,000			\$91.70 Plus \$4.35 per \$1,000 (or part thereof) of cost over \$5,000				
From \$100,001 to \$250,000			\$505.50 plus \$2.50 per \$1,000 (or part thereof) of cost over \$100,000				
Exceeding \$250,000			\$885.90 plus \$1.30 per \$1,000 (or part thereof) of cost over \$250,000				
Mandatory Building Inspections (per inspection)							
Distance from Civic Centre							
- 10km		y	46.30	48.60	1		
- 20km		y	91.40	95.90	1		
- 30km		y	130.20	136.70	1		
- 40km		y	169.00	177.40	1		
- 50km		y	208.20	218.60	1		
- 60km		y	246.80	259.10	1		
- 70km		y	285.60	299.90	1		
Missed Mandatory Inspection Fee	2010.130.220	y	163.50	171.60	1		
Where re-inspection required due to major outstanding matters							
Building Certification		W551.23					
Mandatory Inspections on behalf of Principal Certifying Authority (per Inspection)							
Residential		y	163.50	171.60	1		
Commercial		y	273.00	286.60	1		
022	Section 10.7 Certificate - Planning (Statutory Charge) cl 259	W2665.16					
Section 10.7 (2) (per parcel of land)		n	53.00	62.00	8		
Involving Additional Advice under Section 10.7 (5)		n	133.00	156.00	8		
COUNCIL CHARGE							
019	Urgency Fee		W427.16	n	100.00	100.00	8
023	Certificate Section 6.24 - Building (Statutory Charge) cl 260	W425.16					
PRESCRIBED FEE TO ACCOMPANY APPLICATION							
Class 1 building (together with any Class 10 buildings on the site) or a Class 10 building		n	250.00	250.00	8		
In the case of any other class of building then as follows:					8		
Floor Area of Building or part thereof:							
Not exceeding 200 sq m			\$250.00		3		
Exceeding 200 sq m BUT NOT exceeding 2,000 sq m			\$250 plus 50 cents per sqm over 200sqm				
Exceeding 2,000 sq m			\$1165.00 plus 7.5cents/sqm over 2000 sqm				
In any case, where the application relates to a part of a building and that part consists of an external wall only or does not otherwise have a floor area							
		n	250.00	250.00	8		
Where a Building Certificate is required for a building erected without consent							
If reasonably necessary to carry out more than one inspection of the building before Issuing a Building Certificate, Council may require payment of an additional fee.							
		y	90.00	90.00	8		
Fee for Copy of Section 6 24 Certificate - Clause 261		n	13.00	13.00	8		
020	Certificate - Sections 9.3-9.37 and Sch 5 EPA		W426.16	n	85.00	88.00	2
020	Certificate Section 735A LGA		W426.16	n	85.00	88.00	2



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category	
060	Amendments to Bathurst Regional Planning Instruments					
	Amendment to Bathurst Regional Local Environmental Plan - Minor	n	18,058.50	18,780.50	2	
	- Major	n	30,098.00	31,301.50	2	
	Amendment to Bathurst Regional Development Control Plan - Minor	n	6,019.50	6,260.00	2	
	-Major	n	14,447.00	15,024.50	2	
	Amendment to a Sec 7.11 Contribution Plan	n	6,019.50	6,260.00	2	
	Specialist study or report management fee	y	Actual Cost (inc GST) + 10%	Actual Cost (inc GST) + 10%		
060	Survey Plans - Clerk's Certificate					
	Plans submitted for certification that consent is not required	n	206.00	215.00	2	
060	Copying/Printing Charges -					
	Photocopy/Printing - per copy Size A4	n	2.00	2.00	3	
	Size A3	n	4.50	4.50	3	
	Size A2	n	20.00	20.00	3	
	Size A1	n	24.50	24.50	3	
	Size A0	n	29.00	29.00	3	
060	Scanning Charges for Development Applications - per page					
	A4/A3	n	6.00	7.00	3	
	>A3	n	22.00	23.00	3	
	Planning Studies - Various (electronic copies)		Free	Free	2	
	- Various (printed copy)		150.00	150.00	3	
Trust	SECTION 7.11 CONTRIBUTIONS					
	Administration Fee for a request to defer a Sec 7.11 payment	2010.130.220	y	400.00	400.00	7
656	Street Signs	19755.9755.9800	y	200.00	200.00	7
673	Bathurst CBD Car Parking Strategies					
	Off Street Car Parking - per space - pre 19/11/2014	n	10,549.60	10,707.90	7	
	Off Street Car Parking - per space - post 19/11/2014	n	19,245.90	19,534.60	7	
681	Community Facilities - Pre 19/11/2014					
	Subdivision per lot					
	Macquarie Plains (3.8 persons)	n	3,101.20	3,147.80	7	
	Windradyn/Llanarth/Kelso (3.8 persons)	n	3,101.20	3,147.80	7	
	Bathurst General (3.6 persons)	n	2,938.10	2,982.20	7	
	Eglinton (3.7 persons)	n	2,655.00	2,694.90	7	
	Raglan (3.7 persons)	n	3,018.80	3,064.10	7	
	Perthville (3.7 persons)	n	3,026.90	3,072.40	7	
681	Bathurst Regional Community Facilities - Post 19/11/2014					
		n	6,527.50	6,625.50	7	
675	Raglan Creek Stormwater Drainage Management					
	Low Density Subdivisions per residential lot	n	1,602.70	1,626.80	7	
	Medium Density Housing per hectare of additional impervious area	n	11,965.80	12,145.30	7	
	Commercial & Industrial Development per hectare of additional impervious area	n	23,928.80	24,287.80	7	
671	Hereford Street - Reconstruction & Replacement of Low Level Bridge					
	Per lot on all subdivisions within the area, subject to the Hereford Street Section 7.11 Contribution Plan	n	1,038.90	1,054.50	7	
	Dual Occupancy and Medium Density Development:					
	Council will require contributions from dual occupancy developments (only where they occur on vacant land) and medium density residential development on the basis per dwelling. An occupancy rate of 3.8 persons will be used to determine the contribution rate for 1 bedroom unit (1.5 persons), 2 bedroom unit (2.2 persons), and 3 bedroom unit (3.3 persons).	n	1,038.90	1,054.50	7	
	A credit equivalent to the current contribution per lot will be granted where development takes place on a vacant lot.					
674	Jordan Creek Stormwater Drainage Management					
	Industrial, Commercial Special Use Developments (of additional impervious area per sqm)	n	12.30	12.50	7	
	Residential Lot	n	3,953.10	4,012.40	7	
	Rural Residential Lot	n	6,042.90	6,133.60	7	



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
<b>Sec 7.11 Plans (cont'd)</b>					
<b>678</b>	<b>Sawpit Creek (East) Stormwater Drainage Management</b>				
	Residential Lot	n	1,731.60	1,757.60	7
	Rural Residential Lot	n	2,594.90	2,633.90	7
	Industrial, Commercial, Special Use Developments (ot additional impervious area per hectare)	n	25,884.70	26,273.00	7
<b>672</b>	<b>Robin Hill - Roads &amp; Drainage</b>				
	Robin Hill - per lot (includes drainage)				
	Sub Area A	n	24,558.90	24,927.30	7
	Sub Area B	n	17,416.40	17,677.70	7
	Sub Area C	n	11,369.50	11,540.10	7
	Sub Area D	n	3,017.30	3,062.60	7
	Sub Area E	n	42,080.90	42,712.20	7
	<u>Soil Conservation - per lot</u> (in addition to Robin Hill - Roads and Drainage charges above)				
	Robin Hill	n	740.50	751.70	7
<b>Trust</b>					
<b>686</b>	<b>Eglinton Open Space and Drainage</b>				
	<u>Subdivision per lot</u>				
	Eglinton Open space & drainage	n	3,719.80	3,775.60	7
	<u>Medium density (including Dual Occupancy)</u>				
	Eglinton Open space & drainage				
	1 bedroom dwelling	n	1,487.70	1,510.10	7
	2 bedroom dwelling	n	2,232.80	2,266.30	7
	3 bedroom dwelling	n	2,975.00	3,019.70	7
	4 or more bedroom dwelling	n	3,719.80	3,775.60	7
<b>643</b>	<b>Road works - New Residential Subdivisions- Pre 19/11/2014</b>				
	Area 1 (Windradyne) per residential lot	n	2,506.20	2,543.80	7
	Area 2 (Llanarth) per residential lot	n	4,530.10	4,598.10	7
	Area 3 (Eglinton) per residential lot	n	4,965.30	5,039.80	7
	<b>New subdivision applicable after 20/10/2012</b>				
	Area 1 (Windradyne) per residential lot	n	3,001.20	3,046.30	7
	Area 2 (Llanarth/Abercrombie) per residential lot	n	4,890.70	4,964.10	7
	Area 3 (Eglinton) per residential lot	n	5,803.10	5,890.20	7
<b>643</b>	<b>Road works - New residential subdivisions Post 19/11/2014</b>				
	Area 1 Windradyne	n	3,230.80	3,279.30	7
	Area 2 Llanarth/Abercrombie	n	5,116.70	5,193.50	7
	Area 3 Eglinton	n	6,262.60	6,356.60	7
	Area 4 Kelso	n	3,614.50	3,668.80	7
<b>643</b>	<b>Road works - New residential subdivisions Post 12/12/2015</b>				
	Area 1 Windradyne	n	3,229.80	3,278.30	7
	Area 2 Llanarth/Abercrombie	n	5,153.20	5,230.50	7
	Area 3 Eglinton	n	6,307.30	6,402.00	7
	Area 4 Kelso	n	4,189.00	4,251.90	7
<b>643</b>	<b>Road works - New residential subdivisions Post 18/1/2019</b>				
	Area 1 Windradyne	n	3,229.80	3,278.30	7
	Area 2 Llanarth/Abercrombie	n	5,153.20	5,230.50	7
	Area 3 Eglinton	n	6,307.30	6,402.00	7
	Area 4 Kelso	n	4,429.50	4,496.00	7
<b>685</b>	<b>Bathurst Regional Rural Roads Pre 19/11/2014</b>	n	5,809.20	5,896.40	7
<b>685</b>	<b>Bathurst Regional Rural Roads Post 19/11/2014</b>	n	5,832.10	5,919.60	7
<b>662</b>	<b>Bathurst Regional Traffic Generating Development</b>	in accordance with the s7,11 Plan			7
<b>661</b>	<b>Bathurst Regional open space (per Lot)</b>				
	Kelso/Laffing Waters	n	2,258.30	2,292.20	7
	Windradyne/Llanarth	n	2,559.10	2,597.50	7
	Perthville	n	1,480.60	1,502.90	7
	Gateway Enterprise Park	per Ha n	5,177.70	5,255.40	7
<b>660</b>	<b>Street Trees - per tree</b>	n	397.80	403.80	1



# Planning & Environmental Services

Rec Code	Job Number	GST	2021/2022 \$	2022/2023 \$	Pricing Category
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**650 Developer Charges - Water**

Based on Equivalent Tenements (ET) with 1 Dwelling House OR 1 Residential Lot being equivalent to 1 ET.

	Prior to 1 November 2010	n	2,350.80	2,386.10	6
Kelso		n	4,731.00	4,802.00	6
Macquarie Plains		n	2,350.80	2,386.10	6
Killacoran		n	2,332.50	2,367.50	6
SE Sector		n	3,534.30	3,587.40	6
Windradyn		n	6,319.40	6,414.20	6
Robin Hill		n	2,027.00	2,057.50	6
Other Areas		n	6,187.50	6,280.40	6
All Serviced Areas - applicable after 1 November 2010		n			
1 Bedroom unit = 0.4 ET					
2 Bedroom unit = 0.6 ET					
3 Bedroom unit = 0.8 ET					
Residential Lot > 2000 sq metres = 1.2 ET					
Refer to Water Directorate 2017 guidelines for other cases					
For Commercial and Industrial developments, 1 ET is equivalent to 25 fixture units					

**652 Developer Charges - Sewer**

Based on Equivalent Tenements (ET) with 1 Dwelling House OR 1 Residential Lot being equivalent to 1 ET.

	Prior to 1 November 2010	n	2,140.70	2,172.90	5
Kelso		n	3,014.60	3,059.90	5
Macquarie Plains		n	2,927.30	2,971.30	5
Killacoran		n	3,245.00	3,293.70	5
SE Sector		n	3,143.50	3,190.70	5
Windradyn		n	N/A	N/A	5
Robin Hill		n	2,140.70	2,172.90	5
Other Areas		n	6,020.00	6,110.30	5
All Serviced Areas - applicable after 1 November 2010		n			
1 Bedroom unit = 0.5 ET					
2 Bedroom unit = 0.75 ET					
3 Bedroom unit = 1.0 ET					
Residential Lot > 2000 sq metres = 1.0 ET					
Refer to Water Directorate 2017 guidelines for other cases					
For Commercial and Industrial developments, 1ET is equivalent to 25 fixture units					



## Part E - Borrowings

### GENERAL PRINCIPLE

Council determines borrowing requirements in conjunction with the review of its Delivery Plan each year.

### POLICY

The borrowing of funds if required, will be in accordance with Part 12 - Loans, Sections 621, 622, 623 and 624 of the Act and the 'Borrowing Order' issued by the Minister for Local Government, dated 27th September 1993.

### BORROWING REQUIREMENTS

Council has included borrowings of \$10,950,000.00 for infrastructure works for 2022/2023

The funds will be sourced from an Australian Financial Institution and secured over the future income of Council.

## Part F - Investments

### GENERAL PRINCIPLE

For the 2021/2022 year Council will continue with investment strategies that maximise return on funds whilst maintaining a low risk portfolio. The investment of funds is governed firstly by the Minister's Order shown below and secondly by Council's own investment policy which attempts to minimise the risks involved in investing public funds.

#### Minister's Order - as published in the NSW Government Gazette on 11 February 2011

The investment of surplus funds will be in accordance with Section 625 of the Act and by order of the Minister as published in the Gazette, in the form of:

- (a) any public funds or securities issued by or guaranteed by, the Commonwealth or any State of the Commonwealth or a Territory;
- (b) any debentures or securities issued by a council (within the meaning of the Local Government Act 1993 (NSW));
- (c) interest bearing deposits with, or any debentures or bonds issued by, an authorised deposit-taking institution (as defined in the Banking Act 1959 (Cwth)), but excluding subordinated debt obligations;
- (d) any bill of exchange which has a maturity date of not more than 200 days; and if purchased for value confers on the holder in due course a right of recourse against a bank which has been designated as an authorised deposit-taking institution by the Australian Prudential Regulation Authority;
- (e) A deposit with the New South Wales Treasury Corporation or investments in an Hour-Glass investment facility of the New South Wales Treasury Corporation;

All investment instruments (excluding short term discount instruments) referred to above include both principal and investment income.

## Part G - Other Matters

### 1. MOUNT PANORAMA

Council has resolved that matters relating to Mount Panorama remain confidential as they are commercially sensitive and as such may confer a commercial advantage on a competitor. In accordance with Section 404(5) of the Act, the statement of fees and the statement of pricing policy will exclude information relating to Mount Panorama, as such information could confer a commercial advantage on a competitor of the Council.

### 2. LAND DEVELOPMENT

Council has resolved that matters relating to Land Development remain confidential as they are commercially sensitive and as such may confer a commercial advantage on a competitor. In accordance with Section 404(5) of the Act, the statement of fees and the statement of pricing policy will exclude information relating to Land Development, as such information could confer a commercial advantage on a competitor of the Council.

## Part H - Councillor Remuneration

### 1. COUNCILLOR REMUNERATION

Council has resolved that in accordance with Section 241 of the Local Government Act, Council will fix the annual fee paid to Councillors to the maximum determination made by the Remuneration Tribunal for the category applicable to Council.



The Delivery Program and Annual Operational Plan comprises this document as required under the Local Government Act 1993 s404(1) and 405(1) and the Revenue Policy 2020/2021 under s405(2).

**Bathurst Regional Council**

158 Russell Street  
Bathurst NSW 2795

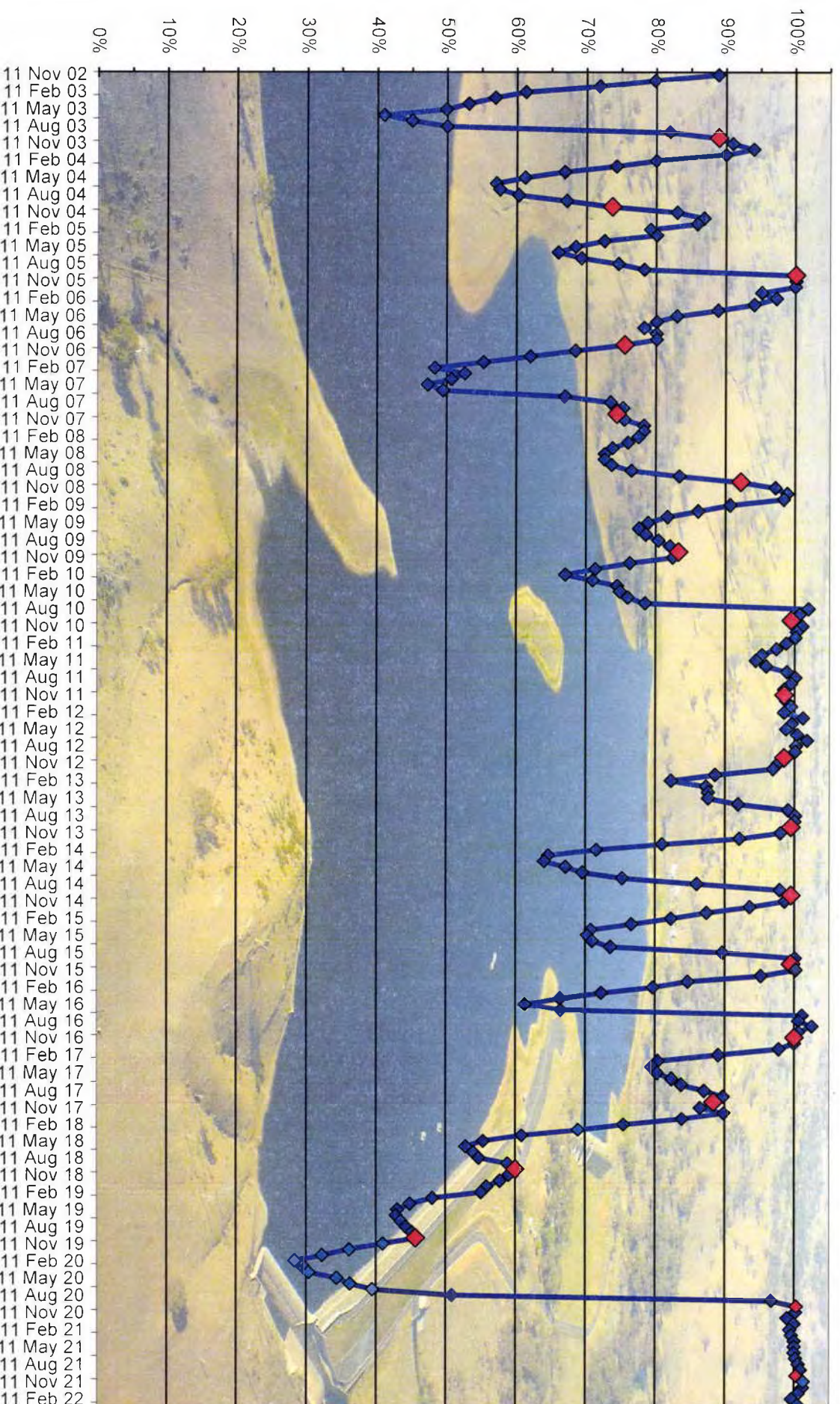
Phone: 02 6333 6111

Email: [council@bathurst.nsw.gov.au](mailto:council@bathurst.nsw.gov.au)

Website: [www.bathurst.nsw.gov.au](http://www.bathurst.nsw.gov.au)

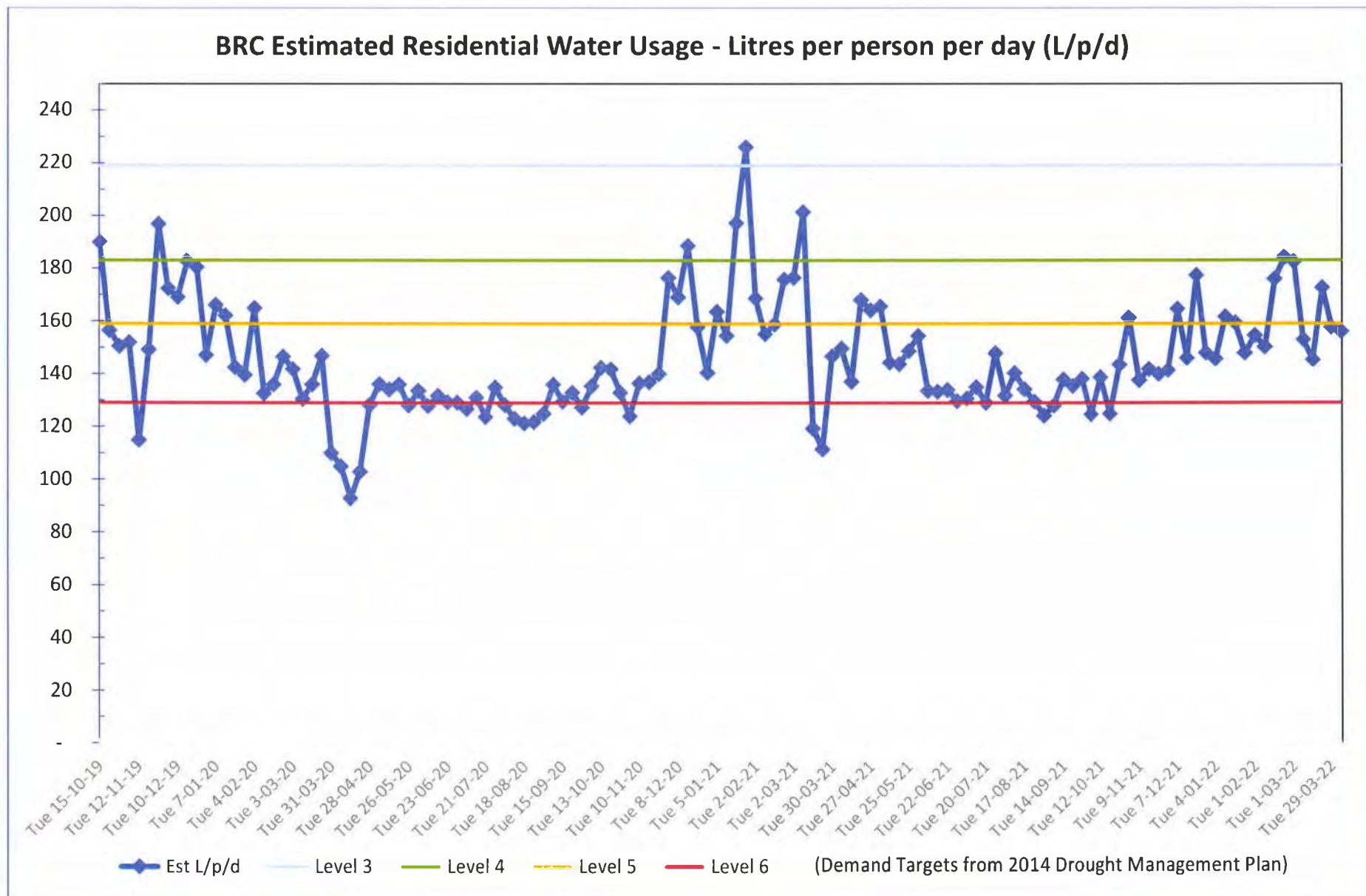


# Bathurst Regional Council: Monthly Chifley Dam Volume (%)

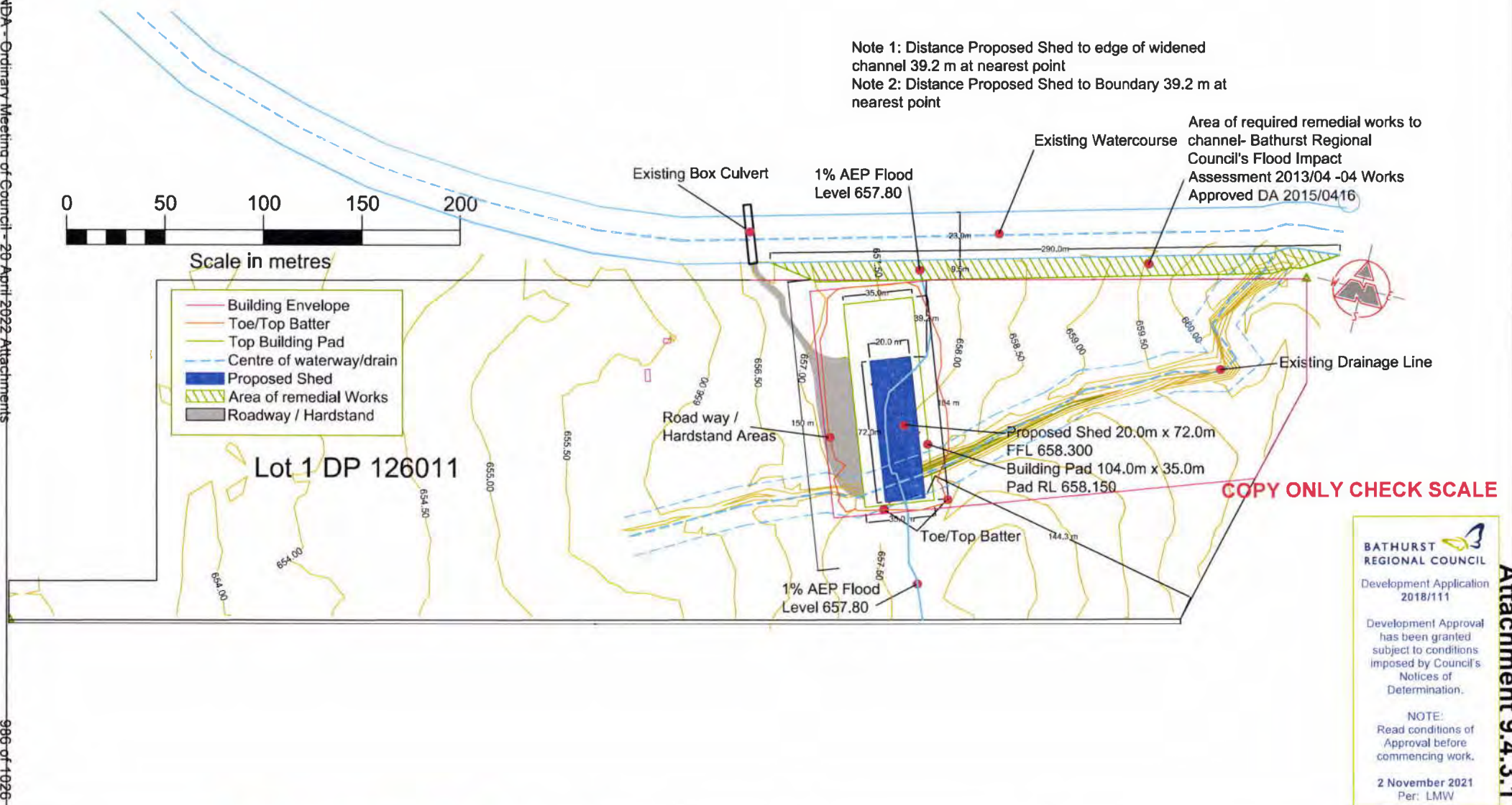


Red markers = October. Last reading 11 March 2022.









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PROJECT NO: WED-P6356Q1	CUSTOMER: Koala Farms	SITE: 1 Zagreb St. Kelso, NSW 2795	DATE: 01/11/2021
PROJECT NAME: Proposed Shed		LIT: Lot 1 DP 126011	ULT WIND SPEED: SERVICEABILITY:
QUOTE NAME: Koala Farms		SITE: Site Plan Version 3A	A106



**PARCEL**

Parcel Number 92655  
Assessment 340009  
Number(S)

**PROPERTY INFO**

Title Description Lot: 1 DP: 1238142  
Property Name  
Property Address 50 Whyalla Circuit  
KELSO NSW 2795  
Area 9.878 H  
Parish Kelso  
County Roxburgh  
Land Status  
Zone Multiple Zones, IN1  
General Industrial, RE1  
Public Recreation  
[Click Here](#)

**Survey Plan****OWNER POSTAL**

Addressee Downs Property Pty Ltd  
Postal 1 7 Hawley Road  
Postal 2 LAKE CLARENDON QLD  
4343

Postal 3  
Postal 4

**OWNER DETAIL**

YES (1)

**ADDITIONAL**

NO

**ADDRESS****LEASE**

NO

**PROPERTY MEMO**

NO

**APPLICATIONS**

App Year 2015  
App Number 416  
External Reference  
Application Type

Development  
Applications  
MOD Two lot  
subdivision and  
construction of a  
causeway

**Details**

Parcel 92655  
Assessment 340009  
Address 50 Whyalla CCT KELSO  
Application Date 08/12/2016  
Decision Date 07/02/2017  
Decision Approved - Delegate

**OCCUPATION**

NO

**CERTIFICATE****SEWERAGE**

NO

**MANAGEMENT****RECORDS FILE NO**

YES (2)

**GOOGLE**

YES (1)

**HOUSE DRAINAGE**

NO



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**Important Notice!**

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Drawn By: David Luck

Date: 6/04/2022

Projection: GDA94 / MGA zone 55

Map Scale: 1:5000 @ A4

**Feature Report**







**From:** [BDSRC Secretary](#)  
**To:** [Mark Kimbel](#)  
**Subject:** Sporting Association Grants Program 2021/22  
**Date:** Wednesday, 6 April 2022 12:41:00 PM

---

**CAUTION:** This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Mark,

In reply to your letter dated 30 March 2022 re the Sporting Association Grants Program 2021/22.

Second round applications from Bathurst City Colts Sporting Club and Bathurst City Croquet Club.

BDSRC would like you to accept both applications in full.

Thank you,  
Cheryle Wright  
BDSRC Secretary

Sent from [Mail](#) for Windows





# DISABILITY INCLUSION ACTION PLAN

2022 - 2027



DRAFT

[bathurst.nsw.gov.au](http://bathurst.nsw.gov.au)



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## ACKNOWLEDGEMENT OF COUNTRY

Bathurst Regional Council acknowledges the Wiradjuri People as Traditional Custodians of the land on which we work and live. The Wiradjuri Nation is the largest Aboriginal group in New South Wales. The Wiradjuri People are known as "the people of the three rivers", being the Wambuul (Macquarie), Kalari (Lachlan) and Murrumbidgee (Murrumbidgee). We pay respect to Elders, past present and future and acknowledge other Indigenous Nations who work and live on Wiradjuri country.





# BATHURST REGIONAL COUNCIL'S COMMITMENT TO INCLUSION AND ACCESSIBILITY

Through the development and implementation of the Disability Inclusion Action Plan 2022 – 2027, Council commits to;

- Strive for an inclusive community through collaborations with key stakeholders and people living with disability
- Improve community awareness and understanding of people living with disability
- Improve access to Council facilities, assets and services
- Advocate for all, to ensure the Bathurst Region is an accessible and inclusive place.





## MAYORAL WELCOME

Inclusive communities provide greater choice and control for individuals. Through the development and implementation of the Disability Inclusion Action Plan (DIAP) 2022 - 2027, Council aims to create an inclusive community that allows everyone to participate in and enjoy the range of opportunities provided throughout the region.

Whilst developing the DIAP, Council reached out to the community and stakeholders to ensure their needs were being met. We were told that Council is performing well in a number of areas, with facilities such as the Manning Aquatic Centre, Bathurst Rail Museum, Bathurst Library and Bathurst Regional Art Gallery best meeting the needs of people living with disability. We were also told of areas which need to be improved, including footpaths and the accessibility of outdoor spaces and playgrounds.



Additionally, we heard that community understanding and attitudes towards people with disability have a significant impact on the way people with disability access the community. This includes community awareness of those living with invisible disabilities such as Autism and mental health disorders.

The DIAP outlines how Council will build on previous achievements and address concerns to create a region that provides accessible services and facilities, increased employment and volunteering opportunities and a diverse range of accessible social activities, programs, and services.

It is my pleasure to present Bathurst Regional Council's Disability Inclusion Action Plan 2022 – 2027.

Mayor  
Councillor Robert Taylor

## GENERAL MANAGER'S WELCOME

The Disability Inclusion Action Plan (DIAP) 2022 – 2027 is a five-year plan that outlines strategies and actions Council will undertake to improve access and inclusion of people living with disability.

Over the last four years Council has worked towards achieving the actions outlined in the Disability Inclusion Action Plan 2017 – 2021. Notably, during this time, Council has upgraded a number of facilities including improving the accessible toilets at the Bathurst Visitor Information Centre and National Motor Racing Museum, provided customer service training to enable Council staff to more effectively recognise and meet the needs of people living with disability, worked with disability service providers to create opportunities for people living with disability and provided Bathurst Regional Access Grants to local businesses.



I would like to thank everyone who has contributed to the development of this Plan. The advice, feedback and suggestions provided by the community and stakeholders is valued and assists Council to develop plans that meet the needs of the community.

I look forward to seeing the DIAP 2022 – 2027 build on Council's progress and continue to improve the accessibility of the region.

David Sherley  
General Manager





## INTRODUCTION

The Disability Inclusion Act 2014 defines disability as the long-term physical, mental, intellectual or sensory impairment which in interaction with various barriers may hinder the full and effective participation in society on an equal basis with others.

Bathurst Regional Council's Disability Inclusion Action Plan (DIAP) 2022 – 2027 aims to enable people living with disability to have greater access to the built environment and Council information, services, facilities and events.

The DIAP outlines the strategies and actions Council will undertake over the next five years, continuing to improve the accessibility of the region. The implementation of these strategies and actions will benefit many people in the Bathurst community including older people, people with a temporary and long-term disability, parents and young children.

**Council's DIAP is developed in line with the NSW Disability Inclusion Act 2014 and is underpinned by the following principles which support the United Nations Convention on the Rights of Persons with Disabilities (2006);**

- Focusing on abilities and not disabilities
- Fundamental rights for all people
- Genuine dialogue and participation
- Provision of equitable access and inclusion for all
- Prudent use of resources
- Recognising the benefits of collaboration
- Principles of Universal Design
- Access is everyone's business

## WHY IS INCLUSION IMPORTANT?

- As a community, we are poorer without a diverse range of viewpoints and individual perspectives.
- Exclusion leads to disadvantage and discrimination, which have far-reaching negative impacts across all aspects of life, including health, welfare, education and employment. These impacts are felt beyond the individual, with families and the broader community being negatively impacted by a non-inclusive community.
- Employment can provide independence, reduce reliance on benefits and improve the living standards of people with disability. This can have positive health impacts and contribute to a greater sense of self-worth.
- Equitable access to business benefits not only the people living with disability, but older people, parents with prams and business owners by expanding their business reach.





# DISABILITY INCLUSION ACTION PLAN (DIAP) 2017 – 2021 KEY ACHIEVEMENTS

## KEY ACHIEVEMENTS OF BATHURST REGIONAL COUNCIL'S INAUGURAL DIAP INCLUDE;

- All Ability Lego Club at Bathurst Library
- Council staff trained to improve customer service for people living with disability
- Bathurst Winter Festival Accessibility Day
- Support of disability service providers and people living with disability during International Womens Day
- All Council websites provide Readspeak function including an enlarge font button
- Disability service providers in attendance at Jobs Expo
- Disability Service Directory created and published on Council's website
- Re-vamp of Council's 'People Living with Disability' webpage
- Training provided to Council staff regarding the Disability Inclusion Action Plan at induction
- Implementation of new recruitment software which asks people with disability to specify what additional requirements they require to assist them during the employment process
- Council provided paid work opportunities to two LiveBetter participants to pack children's arts and craft packs for the Winter Festival
- Council provided employment opportunities for seven LiveBetter participants during the Winter Festival as part of their transition to work program
- Bathurst Library hosted a work experience student living with disability for 3 months
- Access and inclusion audits undertaken at selected Council facilities
- Bathurst Access Improvement for Small Business Grants continues to be provided with the assistance of Bathurst Regional Access Committee (BRAC)
- Hearing loop installed in the Council Chamber
- Charge stations for motorised wheelchairs installed at the Library/Art Gallery forecourt and Bathurst Visitor Information Centre
- Upgrade of Bathurst Visitor Information Centre and National Motor Racing Museum accessible toilets
- Continuing improvements to footpaths, playgrounds and parks
- Advocacy provided for improvements to accessible taxi services
- Advocacy provided for improvements to bus services
- Continued provision of accessible toilets, parking and site access for major events
- Purchase of portable ramps for use at events
- Details of disability support provided by local schools added to Council website
- Development of a media guide for local disability service providers
- Playground at Kelso Community Hub includes an accessible layback swing and accessible spinner
- Street lighting upgrades
- Accessible Bathurst content developed including a Visitor's Guide to Bathurst and accessible toilet map
- Library update of audio readers in partnership with Vision Australia
- All abilities league tag during NRL
- AUSLAN introduced at Baby Rhyme Time programs at Bathurst Library





## BATHURST PROFILE

The Bathurst Regional Council area is located in the Central Tablelands of New South Wales, 200 kilometres west of Sydney. The Bathurst Regional Local Government Area (LGA) is located on Wiradjuri land. The area was proclaimed as a settlement in 1815 by Governor Macquarie, making Bathurst the oldest inland European settlement in New South Wales. At the 2016 Census, Bathurst had a resident population of 42,550. These people live in Bathurst City, the villages of Sofala, Hill End, Wattle Flat, Rockley, Trunkey Creek, Yetholme, George's Plains, Sunny Corner and Peel, together with a range of rural localities covering a land area of 3,821.9km<sup>2</sup>.

The Bathurst region has a rich history; it has been inhabited by the Wiradjuri people for over 40,000 years. Early agricultural pursuits of the 1800's continue today and have provided ongoing support to the community, particularly on the banks of the Macquarie River. The gold rush of the 1850's and 60's saw the establishment of outlying townships such as Hill End and Sofala and the introduction to the region of multicultural influences. The first railway line reached Bathurst in 1876 and for the community has been a vital link between Sydney and the West ever since.

Bathurst is recognised as an educational centre with schooling available from preschool through to tertiary pursuits; as a vibrant city that has retained its relaxed country atmosphere; a community that embraces its facilities and prides itself on being friendly and welcoming; a region that values its history and at the same time embraces its future; a region that provides a wide range of cultural opportunities and facilities; a city that will continue to grow and respond to the needs of its residents.

## DISABILITY IN AUSTRALIA

It is estimated that over 4.4 million Australians, around 1 in 6, are living with a disability.

### OF THESE 4.4 MILLION PEOPLE;

- 1 in 2 are aged 65 years and over
- 1 in 4 have a mental or behavioural disorder
- 1 in 3 have severe or profound disability
- 1 in 4 have experienced some form of discrimination

### IN PROFILE - Charlotte

**What do you enjoy doing in your spare time?** I do heaps of drama and dance lessons and am currently working on four shows.

I am training my dog Edward through Mind Dog Australia so he can be my Assistance Dog. Edward is a great help when I get anxious and overwhelmed. He comes up to me and "climbs into my chest" and I end up in fits of giggles and it makes me calm down. We got Edward from the Bathurst Pound and we can't understand why someone gave him up, he is amazing.

**What do you like about living in Bathurst?** The people and the opportunities including drama classes etc.

**What would you like the Bathurst community to know about people living with disability?** I am just a normal kid and I don't like to show my disability in public. I don't like to be treated differently.





## DISABILITY IN BATHURST

There are approximately 7919 people living with disability in the Bathurst Local Government Area.

In the 2016 Census, 2048 people in the Bathurst LGA reported a need for assistance with core activities due to severe or profound disability (5% of the population). This is comparable to the New South Wales figure of 5.4%.

The need for assistance dramatically increases with age, with 31.7% of people aged over 85 needing assistance with core activities.

### IN THE BATHURST REGIONAL LOCAL GOVERNMENT AREA:

2048

people need assistance with core activities due to severe or profound disability

(49.6%) people aged over 65 years have a disability (source: ABS 2010 Disability, Ageing and Carers. Summary of Findings)

1 in 2

11.8%

of the population aged 15+ are caring for a person needing assistance

of the people needing assistance were employed.

80.3%

19.7%

of people needing assistance were unemployed.

26.5% of people needing assistance were in low-income households (those earning less than \$650 per week).

26.5%

62.4%

of people needing assistance had no education outside of primary and secondary school.

Source: ABS Census of Population and Housing 2016

(footnote – based on the Bathurst LGA June 2020 estimated population of 43,996).





# BATHURST REGIONAL COUNCIL'S DISABILITY INCLUSION ACTION PLAN

Council's Disability Inclusion Action Plan 2022 – 2027 has been developed to align with the Bathurst 2040 Community Strategic Plan (CSP). The CSP is a legislative requirement as part of the NSW Government's integrated Planning and Reporting Framework for Local Government. The purpose of the CSP is to create a whole of community vision so that Council, other agencies, and the community are working in the same direction.

In July 2020, Bathurst Regional Council adopted Vision Bathurst 2040 – Bathurst Regional Local Strategic Planning Statement (LSPS) which outlines the region's economic, social and environmental land use needs over the next 20 years as the Region grows and changes. The LSPS highlights the characteristics that make the Bathurst Region special and outlines how growth and change in land use will be managed into the future.

**The Disability Inclusion Action Plan 2022 – 2027 aligns with a number of objectives and strategies identified in the LSPS, as outlined below:**

<b>Action 3.2</b>	Review the Bathurst Community Cycle and Access Plan
<b>Action 3.4</b>	Amend Council's planning instruments and engineering guidelines to adopt appropriate road and footpath widths to achieve active transport opportunities (including footpaths, cycleways and cycle lanes).
<b>Action 3.10</b>	Ensure that greenfield subdivisions are master planned with contemporary public and private transport and active transport connections to open spaces and community services.
<b>Action 3.12</b>	Implement the recommendations of the Bathurst Town Centre Master Plan to improve pedestrian linkages and thoroughfares within the Bathurst CBD.
<b>Action 3.13</b>	Implement the recommendations of the Bathurst Community Cycle and Access Plan.





## KEY ACTIONS WITHIN THE BATHURST 2040 COMMUNITY STRATEGIC PLAN RELEVANT TO THE DISABILITY INCLUSION ACTION PLAN 2022 – 2027 INCLUDE:

OBJECTIVE	STRATEGY	HOW THIS WILL BE ACHIEVED
<b>OBJECTIVE 4:</b> <b>Enabling sustainable growth</b>	<p><b>4.1</b> Facilitate development in the region that considers the current and future needs of our community.</p> <p><b>4.2</b> Provide safe and efficient road, cycleway and pathway networks to improve accessibility.</p> <p><b>4.3</b> Ensure services, facilities and infrastructure meet the changing needs of our region.</p> <p><b>4.4</b> Provide parking to meet the needs of the city.</p>	<p>Review facilities and implement improvements.</p> <p>Review and improve cycleways and pathways throughout the region.</p> <p>Infrastructure planning will consider the needs of people living with disability.</p> <p>Review and improve accessible parking throughout the region.</p>
<b>OBJECTIVE 5:</b> <b>Community health, safety and well being</b>	<p><b>5.1</b> Provide opportunities to be healthy and active.</p> <p><b>5.3</b> Help build resilient, inclusive communities.</p> <p><b>5.4</b> Make our public places safe and welcoming.</p> <p><b>5.5</b> Plan and respond to demographic changes in the community.</p>	<p>Support initiatives that enhance inclusive aspects of the Bathurst region.</p> <p>Implement community development initiatives that address the needs of the community.</p> <p>Build social networks, connections and cohesion.</p> <p>Support initiatives which enhance the region's ability to cater for an older population.</p>
<b>OBJECTIVE 6:</b> <b>Community leadership and collaboration</b>	<p><b>6.1</b> Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.</p> <p><b>6.3</b> Advocate for our community.</p> <p><b>6.4</b> Meet legislative and compliance requirements.</p> <p><b>6.5</b> Be open and fair in our decisions and our dealings with people.</p> <p><b>6.7</b> Invest in our people.</p> <p><b>6.8</b> Implement opportunities for organisational improvement.</p>	<p>Continue to explore new partnerships which work to meet the needs of people living with disability in the Bathurst LGA.</p> <p>Advocate to a variety of organisations, businesses, groups and government departments for increased access to accessible services, incentives and activities for people living with disability.</p> <p>Consider the needs of people living with disability in Council planning and processes.</p> <p>Council will continue to be ethical, inclusive and transparent in all communication and decision-making.</p> <p>Consider the needs of people living with disability in Council employment procedures and policies.</p>





## POLICY AND LEGISLATIVE CONTEXT

People living with disability, their families, and carers have the same rights as all people to access services and facilities. These rights are part of Commonwealth and State policy and legislation which make it unlawful to discriminate against a person with disability.

The NSW Disability Inclusion Act 2014 mandates that all NSW Councils have a Disability Inclusion Action Plan (DIAP).

### LEGISLATION AND STANDARDS THAT INFORM COUNCIL'S WORK INCLUDE;

- UN Convention on the Rights of Persons with Disabilities
- Australia's Disability Strategy 2021 - 2031
- National Disability Insurance Scheme (NDIS)
- National Disability Inclusion Act 2014
- Commonwealth Disability Discrimination Act 1992
- New South Wales Disability Inclusion Action Plan 2021 - 2025
- National Art and Disability Strategy 2009
- Disability (Access to Premises Standards – Buildings) Standards 2010
- Disability Standards for Accessible Public Transport 2002
- Local Government Act 1993 and Local Government (General) Regulation 2005
- Australian Standard (AS 1428) - Design for Access and Mobility
- Web Accessibility National Transition Strategy 2010



### IN PROFILE - Lara



**What do you like about living in Bathurst?** Shops, family and friends. There are lots of places to eat out with family and friends and salons to get my nails done.

**What would you like the Bathurst community to know about people living with disability?** You can't always see disabilities. It takes a lot of hard work and a lot of time to get a job. Travel and transport is a lot harder for people with disabilities.

**What can people in Bathurst do to support people living with disability?** Give us more opportunities/chances at jobs. Remember to keep including us in different events. It is good that we can have our own time on the ice-skating rink.



# CONSULTATION

Council undertook community and stakeholder consultation to ensure the Disability Inclusion Action Plan 2022 – 2027 best meets the needs of people living with disability.

## METHODS OF CONSULTATION INCLUDED:

1. Disability Inclusion Action Plan Survey
2. Online Disability Inclusion Action Plan Stakeholder Focus Group
3. Internal Working Group

A Community Focus Group was postponed due to COVID-19 restrictions.

An Internal Working Group has been formed consisting of key Council staff involved in providing services and information to the community. This group will meet throughout the development and implementation of the Plan to review the progress of actions and strategies.

## DISABILITY INCLUSION ACTION PLAN SURVEY

The Disability Inclusion Action Plan Survey was developed to inform the priorities of the Disability Inclusion Action Plan 2022 – 2027. The survey included questions to determine the challenges faced by local people living with disability in accessing information, employment and local facilities.

The survey was available online through YourSay and printed copies available at Council's Civic Centre and the Bathurst Library from 20 July 2021 to 20 August 2021.

An Easy Read version of the survey was also available online and in hard copy format.

Of the 73 survey respondents, 19 identified as a person living with disability, 17 respondents provide paid services to people living with disability, 14 identified as a family member or friend of a person living with disability, 11 care for people living with disabilities, 10 identified as community members and 2 respondents identified as something else.

A majority of respondents were female (72%) with 62% of respondents under 50 years old. Physical disabilities were the main disability reported (24 respondents), followed by psychological/mental health disabilities (14 respondents), intellectual disability (13 respondents), hearing impairment (12 respondents) and vision impairment (5 respondents). 31 respondents had no disability while 31 respondents selected 'other'.

Participants were equally divided when asked if they believe Bathurst is an inclusive place for people with disability to live, with 29 respondents selecting 'yes' and 29 respondents selecting 'no'. 15 respondents were unsure.

The survey found that community attitudes have the greatest impact on a person with disability accessing the community (45 of 73 responses), followed by a lack of accessible shops and services (39 responses), footpaths (25 responses), lack of accessible parking (25 responses) and lack of signs, braille and hearing loops (19 responses).

Volunteer opportunities continue to be an area of concern with 25 of 73 respondents believing a person living with disability cannot access volunteer opportunities if they want to.





## Attachment 9.5.1.1

Changing people's attitudes (50 responses), accessible workplaces (40 responses) and inclusive recruitment processes (35 responses) are most needed to improve employment opportunities for people living with disability.

A majority of respondents believe Council's current services are satisfactory (52 respondents) in terms of ease of use and access to information.

40 respondents were not aware of Council's Disability Inclusion Action Plan, with the 64% of those who were aware of the Plan believing it had not made their life easier.

The Manning Aquatic Centre, Bathurst Rail Museum, Bathurst Library and Bathurst Regional Art Gallery are rated as the facilities best meeting the needs of people living with disability. Community halls, Bathurst Regional Airport, sports grounds, playgrounds, parks and Chifley Home and Educational Centre were identified as facilities which do not meet the needs of people living with disability.

A selection of responses to the Disability Inclusion Action Plan Survey can be seen in the Appendix.

### FOCUS GROUP

A Stakeholder Focus Group was held in August 2021 to assist in the development of the Disability Inclusion Action Plan 2022 – 2027.

Stakeholders in attendance at the Disability Inclusion Action Plan Stakeholder Focus Group included Glenray, LiveBetter, Bathurst Regional Access Committee, Social Futures, Verto and Bathurst Childhood Early Intervention Service.

The key points raised by stakeholders are similar to those of the survey, with community education, accessibility, transport and inclusive employment highlighted as areas needing improvement. The Stakeholder Focus Group identified that Council performs well in managing inclusive events, administering the Bathurst Regional Access Grants and providing the Accessible Guide to Bathurst. The challenges presented by COVID-19 were also raised, with many people living with disability isolated from the community.

### PRIORITY AREAS

**Consultation findings show key areas of improvement which align with the priorities of:**

- Developing positive attitudes and behaviours
- Supporting access to meaningful employment
- Creating liveable communities
- Improving access to mainstream services through improved systems and processes.





# ACTION PLAN

## DEVELOPING POSITIVE COMMUNITY ATTITUDES AND BEHAVIOURS

People's attitudes impact all aspects of community life. The attitudes and behaviours of the community towards people living with disability have been described as the most significant barrier to participation and inclusion.

### ACTION 1: DEVELOPING POSITIVE COMMUNITY ATTITUDES AND BEHAVIOURS

OUTCOME / OBJECTIVE	ACTION	MEASURES	TIME-FRAME	DEPARTMENT/S INVOLVED
<b>1. Improve inclusion, awareness and understanding of disability and mental health conditions in the Bathurst LGA.</b>	<b>a)</b> Recognise the achievements and contributions of people living with disability.	# of stories of inclusion promoted.	Annual	General Manager's Office Cultural & Community Services
	<b>b)</b> Improve understanding of a range of disabilities and mental health conditions.	Information on disability and mental health conditions provided.	Annual	Cultural & Community Services
	<b>c)</b> Promote opportunities for inclusion to schools, child care services, businesses and service providers.	# of opportunities promoted.	Annual	Cultural & Community Services
	<b>d)</b> Support inclusive events and activities such as International Day of People with Disability (IDPwD).	# of events and activities supported.	Annual	Cultural & Community Services
<b>2. Bathurst Regional Council employees are disability aware and provided with development opportunities to assist in the delivery of inclusive services and environments.</b>	a) Continue to include information about accessibility, inclusion and the DIAP at Bathurst Regional Council new staff induction days, Councillor communication and through Staff News.	Accessibility and DIAP information included in induction presentation. # of employees to receive information.	Annual	Corporate Services & Finance General Manager's Office
	b) Continue to provide disability inclusion training for Bathurst Regional Council employees.	# of staff completing training.	On commencement and every 2 years	Corporate Services & Finance Cultural & Community Services
	c) Acknowledge events that promote inclusion, such as IDPwD within Bathurst Regional Council.	# of events promoted.	Annual	Corporate Services & Finance Cultural & Community Services





## CREATING LIVEABLE COMMUNITIES

Liveable communities are places people can move about easily to access services and facilities and participate in community life.

### ACTION 2: SUPPORTING ACCESS TO MEANINGFUL EMPLOYMENT

OUTCOME / OBJECTIVE	ACTION	MEASURES	TIME-FRAME	DEPARTMENT/S INVOLVED
1. Build Council's organisational capacity for disability inclusion.	b) Ensure Council employment processes are inclusive and support a diverse workforce.	Inclusive employment processes implemented.	2024	Corporate Services & Finance
2. Support the employment of people living with disability in the Bathurst LGA.	a) Provide information on disability and the benefits of providing employment, volunteer and work experience opportunities for people living with disability to the local business community.	# of occasions Information provided.	Annual	Community Services Environmental, Planning & Building Services

## SUPPORTING ACCESS TO MEANINGFUL EMPLOYMENT

Employment contributes towards feelings of self-worth and provides regular social interaction. For more people employment and economic security are interrelated. Employment can increase an individual's capacity for choice and control over many life decisions.

### ACTION 3: CREATING LIVEABLE COMMUNITIES

OUTCOME / OBJECTIVE	ACTION	MEASURES	TIME-FRAME	DEPARTMENT/S INVOLVED
1. Provide clean, accessible toilets throughout the Bathurst LGA.	a) Continue to monitor cleaning and maintenance of accessible toilets around the region.	Accessible toilet maintenance and cleaning schedule continued.	Annual	Engineering Services
	b) Review opportunities for additional, and make improvements to existing, accessible toilets in the region.	# of toilets upgraded. # of larger spaces/adult change spaces.	Annual	Engineering Services
2. Improve the accessibility of streets, footpaths, parks and open spaces in the Bathurst LGA	a) Improve, where possible, accessibility of parks including inclusive play spaces, accessible equipment, quiet spaces, amenities, paths and seating.	# of improved accessible playspaces in Bathurst LGA. # of accessible parks and playspaces under consideration.	Annual	Engineering Services



## Attachment 9.5.1.1

OUTCOME / OBJECTIVE	ACTION	MEASURES	TIME-FRAME	DEPARTMENT/S INVOLVED
	<b>b)</b> Investigate opportunities to provide more shaded and accessible seating options within Bathurst.	# of additional accessible seating options provided.  # of additional shaded seating options provided.	Annual	Environmental, Planning & Building Services  Engineering Services
	<b>c)</b> Continue to implement strategies in the Bathurst Regional Council Access and Cycling Plan 2011 (future Bathurst Region Active Transport Strategy). Including a focus on: <ul style="list-style-type: none"> <li>• Width of pathways.</li> <li>• Access in and around playgrounds and parks.</li> <li>• Maintenance of existing paths.</li> <li>• Development of pathways.</li> <li>• Continual monitoring of standards.</li> </ul>	# of improvements to existing pathways.  # of new pathways developed.  Monitoring practices in place.	Annual	Environmental, Planning & Building Services  Engineering Services
	<b>d)</b> Review the 2011 Access and Cycling Plan to develop a new Bathurst Region Active Transport Strategy that reviews the current standards with a focus on improving accessibility of existing footpaths and cycleways.	New Active Transport Strategy completed.	2023	Environmental, Planning & Building Services
	<b>e)</b> Plan all new subdivisions with contemporary public and private transport and active transport connections to open spaces and community services and facilities.	Addressed by Council's Planning and Engineering Guidelines.  # of active transport connections provided.	Annual	Environmental, Planning & Building Services  Engineering Services
	<b>f)</b> Advocate for and deliver accessible footpaths and cycleways in new developer owned subdivisions.	# advocacy undertaken  # of accessible footpaths and cycleways in new subdivisions delivered.	As required	Environmental, Planning & Building Services  Engineering Services





	g) Continue to review and improve, where possible, lighting and signage	# lighting and signage improvements made.	Annual	Engineering Services
	h) Improve accessibility of Council-owned sporting facilities.	# of improvements to sporting facilities made.	Annual	Engineering Services
	i) Investigate opportunities to create a pedestrian-friendly CBD.	# of pedestrian friendly opportunities considered.  # of pedestrian friendly initiatives supported.	Annual	Environmental, Planning & Building Services
3. Improve the accessibility of Council owned assets and facilities	a) Annually report improvements to and promote accessibility of Council-owned assets.	# of improvements to Council assets made.  # of times accessibility is promoted.	Annual	Engineering Services  Cultural & Community Services  General Manager's Office
	b) Review opportunities to provide quiet spaces and places for sensory seeking and respite in new and existing Council facilities.	# of quiet, sensory and respite spaces provided.	Annual	Cultural & Community Services
4. Support safe and accessible transport options	a) Advocate for improved accessible transport options including public and community transport services.	Advocacy undertaken	As required	Cultural & Community Services
	b) Continue to review and monitor accessible parking spaces on street to ensure they cater for the diverse needs of the community.	Parking audits complete.  # of accessible parking improvements made.	Annual	Environmental, Planning & Building Services  Engineering Services  Cultural and Community Services

## IN PROFILE - *Olivia*

**What do you enjoy doing in your spare time?** I enjoy watching Rugby League and follow the Sydney Roosters, going to the movies, playing sport, swimming, soccer and going out for dinner with my family & friends.

**What do you like about living in Bathurst?** I like all the friendly people that live in Bathurst and all the places I can get my coffees each day - I like to try them all but I do have my favourites.

**What would you like the Bathurst community to know about people living with disability?** I would like to say that most people with a disability are like everyone, they like to be useful and go out and meet people and make new friends like I do.





OUTCOME / OBJECTIVE	ACTION	MEASURES	TIME-FRAME	DEPARTMENT/S INVOLVED
	c) Investigate drop off and pick up locations within the CBD with access to shelter and appropriate seating	Investigation complete. Drop off/pick up zones introduced	2023/2024	Engineering Services Environmental, Planning & Building Services
5. Provide inclusive and accessible events	a) Develop accessible event guidelines for Council and community events	Document developed	2023/2024	Corporate Services & Finance Cultural & Community Services
	b) Continue to provide inclusive and accessible Council events.	# of accessible Council events held Consultation held with disability service providers to ensure events are accessible	Annual	Corporate Services & Finance Cultural & Community Services Environmental, Planning & Building Services
6. Improve the accessibility of local businesses and services for people living with a disability.	a) Continue to provide Bathurst Regional Access Committee (BRAC) with Bathurst Access Improvement Grants.	# of grants provided to small businesses.	Annual	Cultural & Community Services
	b) Continue to advocate for improved access to shops, businesses and organisations.	Advocacy undertaken.	Annual	Cultural & Community Services Environmental, Planning & Building Services
	c) Ensure accessibility and inclusion are considered when processing Development Applications.	Accessibility and inclusion standards reviewed by Council staff.	Annual	Engineering Services

## IN PROFILE - Reggie

**What do you enjoy doing in your spare time?** I like playing sports, soccer, basketball, cricket and karate. Hanging out with my best mate Logan.

**What do you enjoy about working at Glenray Laundry?** Helping the bosses. I like going in the vans & trucks to do deliveries, especially to Orange and Mudgee.

**What are your strengths?** Dancing, bowling, making people laugh. These make me have a better work experience with all the guys at the laundry and I just like to have fun.





## IMPROVING ACCESS TO MAINSTREAM SERVICES THROUGH BETTER SYSTEMS AND PROCESSES

Ease of accessing systems, options for communicating and information to help remove barriers to participation and support people to live independently.

### **ACTION 4: IMPROVING ACCESS TO MAINSTREAM SERVICES THROUGH BETTER SYSTEMS AND PROCESSES**

OUTCOME / OBJECTIVE	ACTION	MEASURES	TIME-FRAME	DEPARTMENT/S INVOLVED
1. Improve the accessibility of Council information.	c) Improve the accessibility of Council information.	# of opportunities investigated. # of improvements made.	Annual	All Departments
2. Raise awareness of accessible services and facilities.	a) Continue to update and distribute the Accessible Bathurst Guide, including accessible parking and accessible toilet maps.	Accessible Bathurst Guide is available online. Printed copies of the Accessible Bathurst Guide are available. Updates made as required.	Annual	Cultural & Community Services
	b) Promote Council's accessible programs, services, facilities and resources.	# of accessible programs, services, facilities and resources promoted.	Annual	General Manager's Office Cultural & Community Services
	c) Continue to update and provide an online disability service directory on Council's website.	Annual update of service directory. Service directory available on Council website.	Annual	Cultural & Community Services
3. Ensure people living with disability are informed and consulted in Council's decision making processes.	a) Ensure Council engagement processes are inclusive.	Evidence that Council's engagement processes are inclusive.	Annual	All Departments



## IN PROFILE - Bob

### What do you like about living in Bathurst?

Apart from being able to take an active part in the community, being able to wheelchair roll easily from the CBD to bush areas together with being able to liaise with a council staff team that are easily approachable when it comes to equitable access. As Bathurst is quite close to Sydney, Canberra and other major destinations, it is also in a position where I can access major medical facilities not available locally. The effort put into parks and gardens and multiple sporting facilities makes Bathurst an excellent place to enjoy one's life.



### What would you like the Bathurst community to know about people living with disability?

Ability not Disability is a most apt description in such a short sentence. People with disability should be able to access all goods and services and the built environment exactly the same as every other person. It is most annoying when I have to make multiple phone calls and plans before I venture out to a business to see if that business or event is accessible for those with a disability. Not all disabilities are visible – so don't reach incorrect conclusions as to why a person has to use disability parking or disability toilets etc..

### What does an inclusive community look like to you?

An inclusive community, to me, is where I can go anywhere and everywhere and access goods and services just like any member of the public can do. A community where our elected civic leaders ensure every special event, every new building development, and every street is accessible as is currently required by law via the Disability Discrimination Act.

## RESOURCING

Many of the actions contained in the 2022 – 2027 Disability Inclusion Action Plan can be resourced using Council's existing operational budget. Additional funding will be sought through grant applications, as required.

## MONITORING, REVIEW AND REPORTING

Each year, Council will report on its progress against the Disability Inclusion Action Plan (DIAP) as part of its Annual Report. A summary of achievements will also be prepared annually and provided to the NSW Disability Council.

## GOVERNANCE

The General Manager and the Senior Management Team will sponsor and promote the Plan.

## INTEGRATION

The actions in this Plan will become part of Council's Delivery Program and Annual Operational Plan and will help to deliver the Bathurst 2040 Community Strategic Plan.

## IMPLEMENTATION

An implementation plan that includes time frames, priorities, resources and responsibilities has been developed to help with the delivery of the Plan.





## MONITORING AND EVALUATION

An evaluation framework with performance indicators has been developed to measure change. Data will be collected and reported throughout the implementation of the Plan. In the 5th year of the Plan, we will measure community satisfaction through a community survey.

## REPORTING

Regular updates will be provided on Council's website to report progress. Progress measures towards delivering the actions in the Plan will be formally reported as part of Council's annual reporting processes. Council will prepare and submit reports to the NSW Disability Council, as required. The DIAP is a five-year plan.

## IN ADDITION TO THE ANNUAL REVIEW PROCESSES, A FIVE YEARLY REVIEW WILL INCLUDE;

- Review and evaluation of the complete DIAP
- Adoption and publication of an updated DIAP

## ONGOING CONSULTATION AND REVIEW

Council will continue to talk to stakeholders to check that the priorities in the Plan are still relevant and will make changes to the Plan where they are needed.

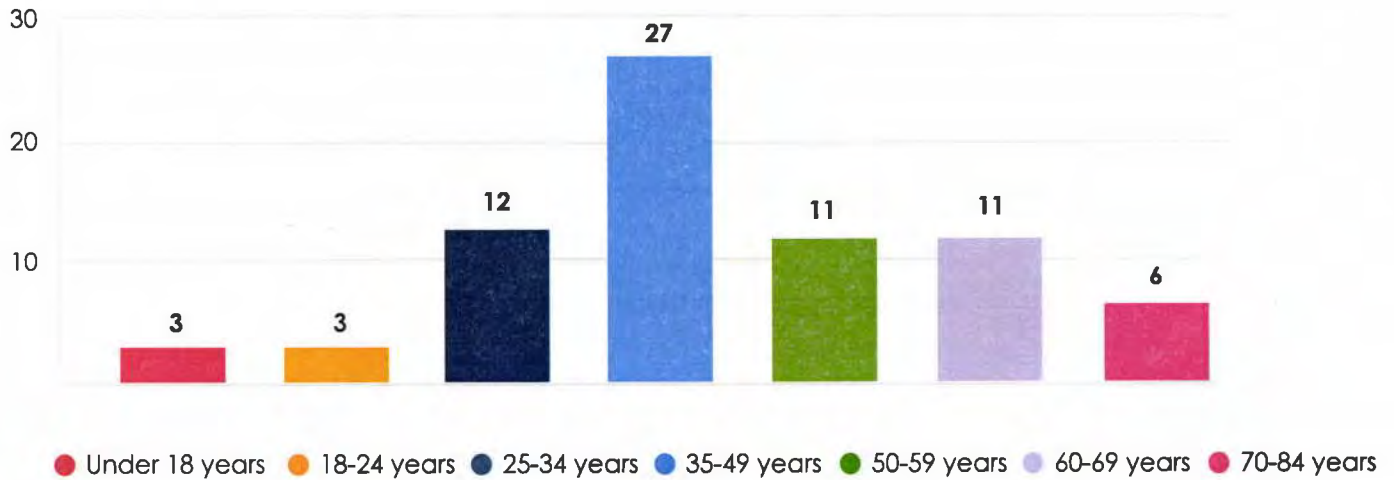
When appropriate to relevant actions of the Plan, Council will also consult with key stakeholders to ensure the needs of people living with disability are met.





# APPENDIX

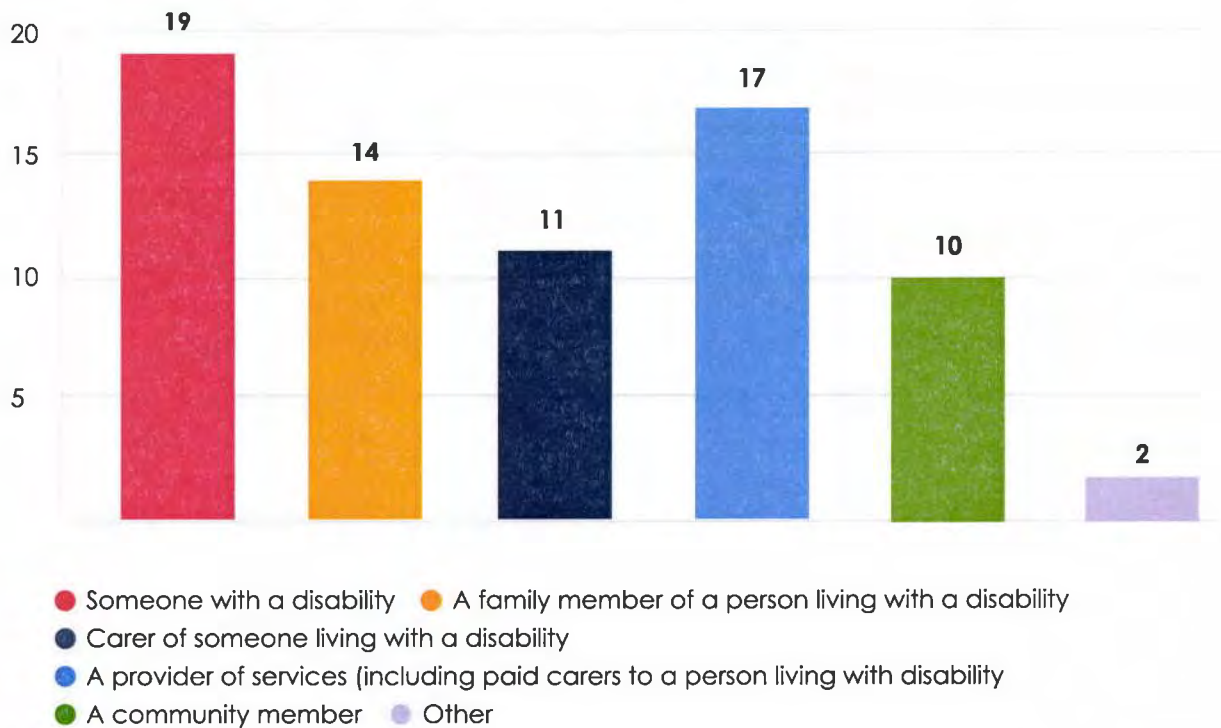
## WHAT IS YOUR AGE GROUP?



Mandatory Question (73 Responses)

Question Type - Checkbox Question

## ARE YOU? (select one)



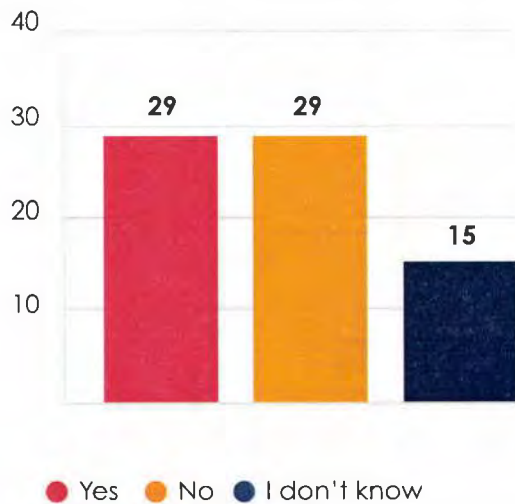
Mandatory Question (73 Responses)

Question Type - Checkbox Question





## DO YOU THINK BATHURST IS AN INCLUSIVE PLACE FOR PEOPLE WITH A DISABILITY TO LIVE?

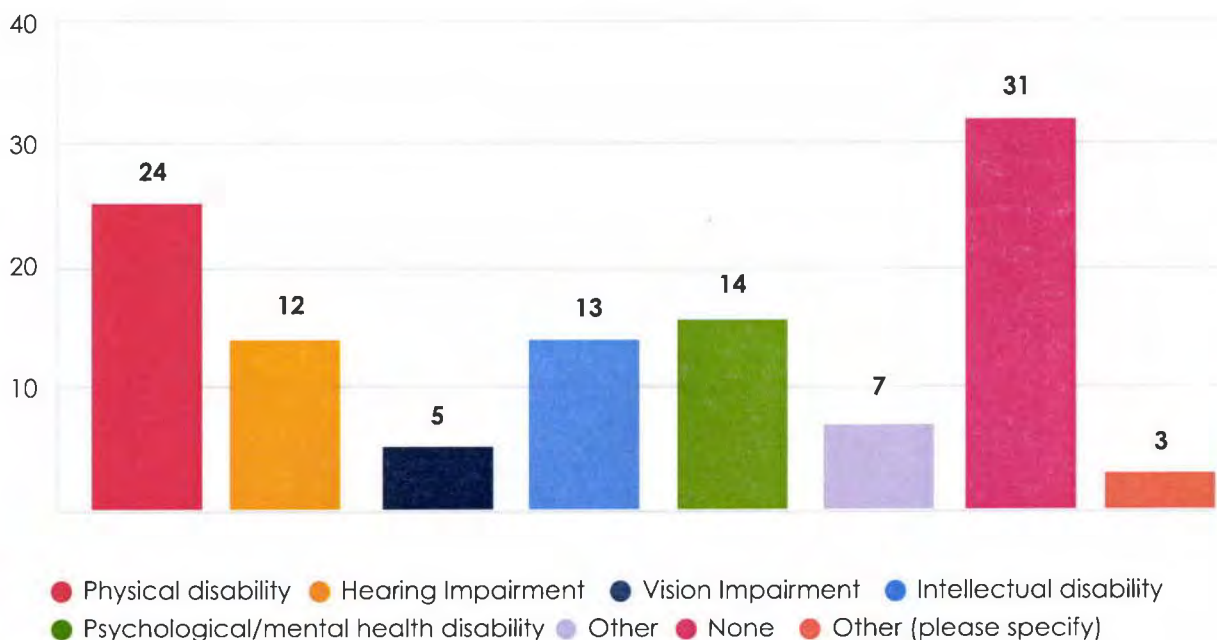


Mandatory Question (73 Responses)

Question Type - Checkbox Question



## WHAT KIND OF DISABILITY DO YOU HAVE? (select all that apply)



Mandatory Question (73 Responses)

Question Type - Checkbox Question



## IN PROFILE - Isaac

**What do you enjoy doing in your spare time?**

I have been interested in planes and flying for a long time. I was given the opportunity to have some flying lessons and I now have many hours of flying experience flying solo but with an instructor next to me. I enjoy helping out at Central

West Flying at the airport. I also really love to fly the Bristell plane with my instructor. I like to fly to Orange and back.

Taking my Corolla for a drive. I often drive to the shops or the pool. I enjoy keeping fit at the gym. I use the treadmill, cross trainer, bike and rowing machine. I love listening to music and I like watching movies to relax. Some of my favourites are Monster House and Shrek.

During the last 2 years I have also started gardening. I am growing vegetables and sunflowers out at my farm garden.

**Why do you enjoy working at Café on Corporation?**

I have a job at Café on Corporation which I love because I love working and helping people. I am very good at remembering jobs once I have had a couple of practices. Sometimes I start very early in the morning. I enjoy setting up the deck and making egg and bacon rolls and toasted sandwiches.

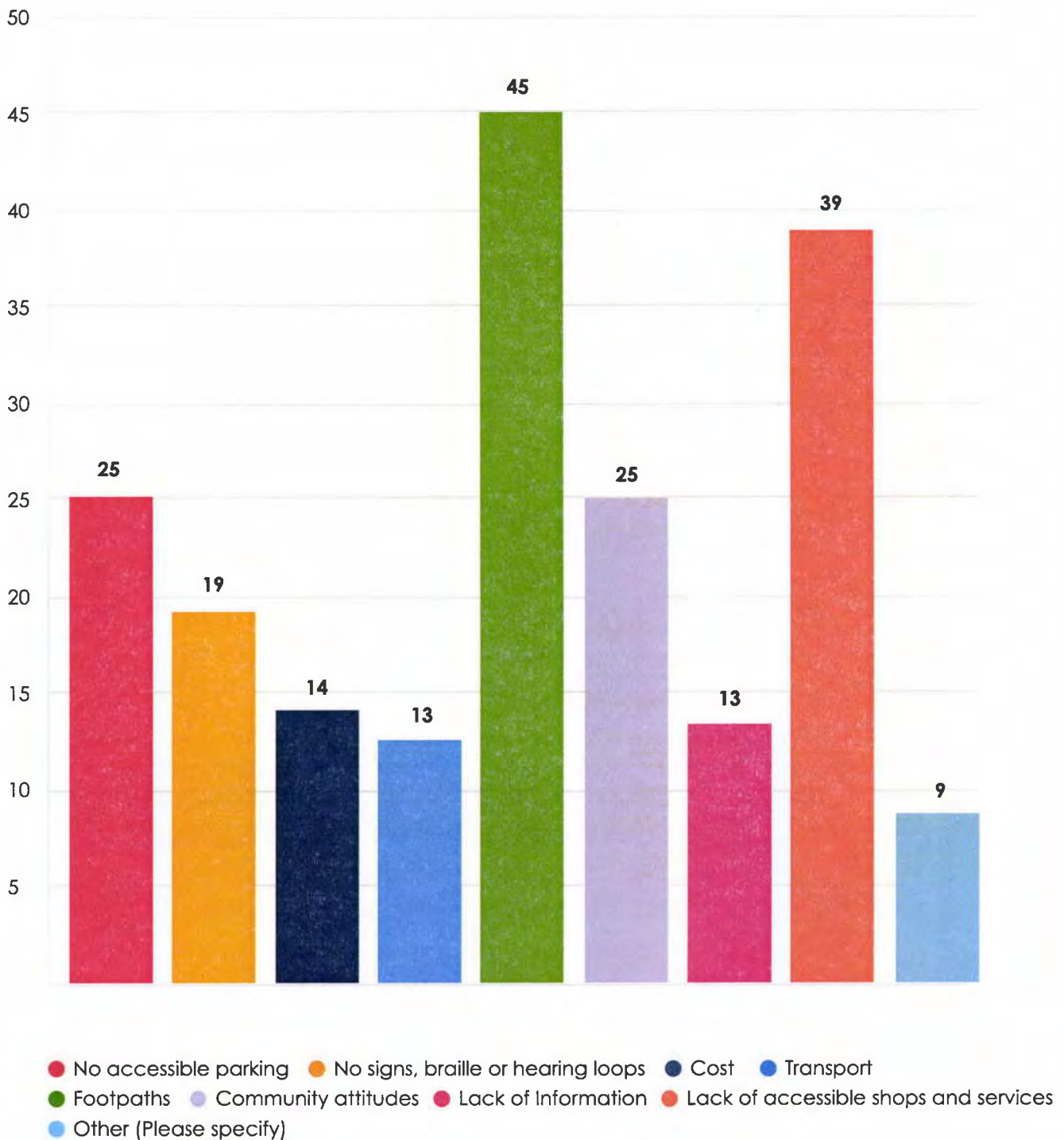
**What do you want the Bathurst community to know about people living with disability?**

We are all very much individuals and have lots of skills, traits and likes and dislikes just like anyone else. A diagnosis does not define who we are to become. If we are surrounded by a community full of people who are ready to foster interests and give opportunities anything is possible.





## WHAT MAKES ACCESSING THE COMMUNITY HARD FOR A PERSON LIVING WITH DISABILITY? (select three)



Mandatory Question (73 Responses)

Question Type - Checkbox Question



## IN PROFILE - Vicki

**What do you like about living in Bathurst?**

Apart from the fact that Bathurst is an environmentally and beautiful place to live, I find it to be an inclusive, accepting and friendly community where people always seem ready to smile and say "hello".

**What would you like the Bathurst community to know about people living with disability?**

Whether it be a vision or hearing impairment, an intellectual disability, an acquired brain injury, an autistic spectrum disorder, a mental health condition or a physical disability (such as mine); people living with disability are faced with a few more challenges during their life span than the average person. Therefore, they may require more support to fulfil the same goals, hopes and dreams that everyone has.

Negative attitudes, stigma and discrimination toward those with disability can lead to low self-esteem and a reduced participation in society by the person living with disability.

ACCEPTANCE is a key word in relation to disability...acceptance of self, by the individual living with the disability, as well as community acceptance.

**What does an inclusive community look like to you?**

The environment has an impact on the experience and extent of disability.

Among other things, an inclusive community may include:

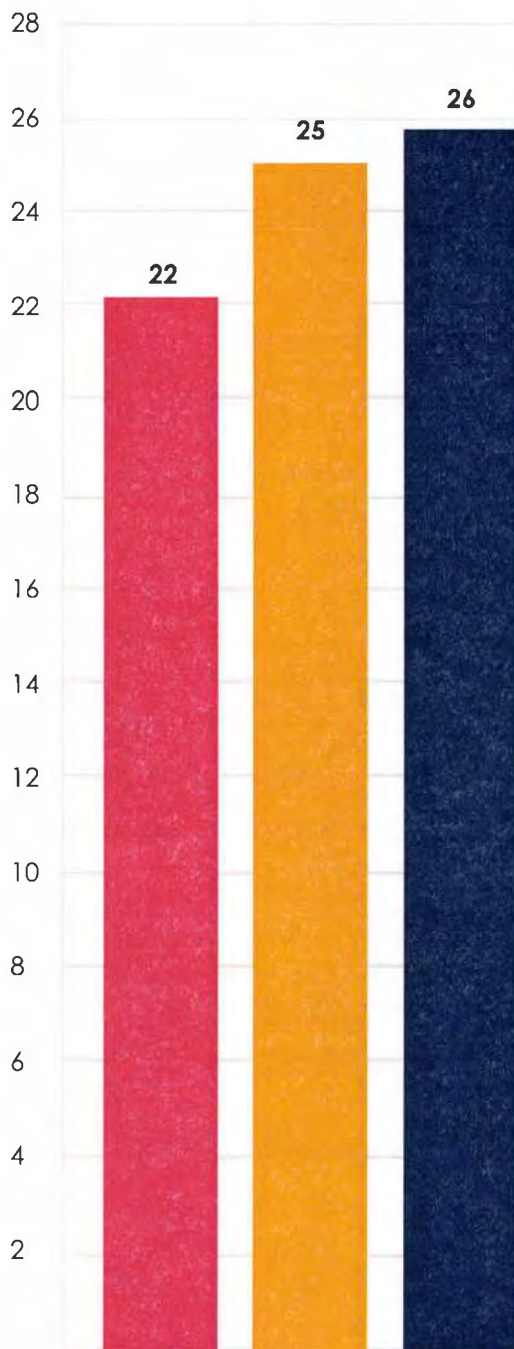
- accessibility of the built environment and transport
- signage for sensory impairments
- accessible health, education and support services
- opportunities for work & employment for persons living with disability

In addition to the environment, positive and accepting attitudes contribute toward making an inclusive community.





# DO YOU THINK A PERSON LIVING WITH DISABILITY IN BATHURST CAN ACCESS SUITABLE WORK OR VOLUNTEERS OPPORTUNITIES IF THEY WANT TO?



● Yes ● No ● I don't know

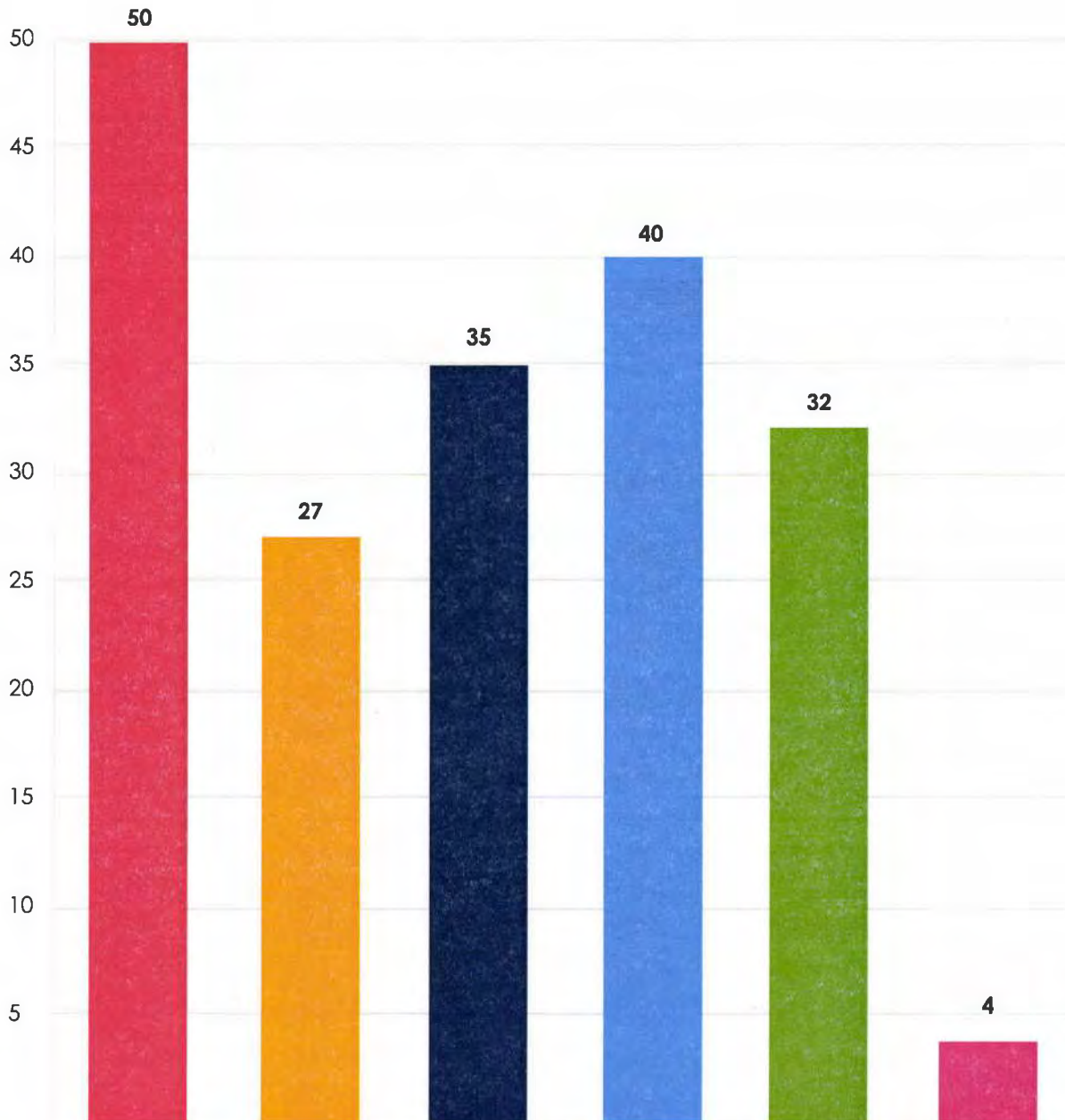
Mandatory Question (73 Responses)

Question Type - Checkbox Question





## WHAT IS NEEDED TO IMPROVE EMPLOYMENT OPPORTUNITIES FOR PEOPLE LIVING WITH DISABILITY? (select three)



- Changing people's attitudes 
 ● Flexible working hours 
 ● Inclusive recruitment process 
 ● Accessible workplaces 
 ● Designing roles specific for people with disability 
 ● Other (please specify)

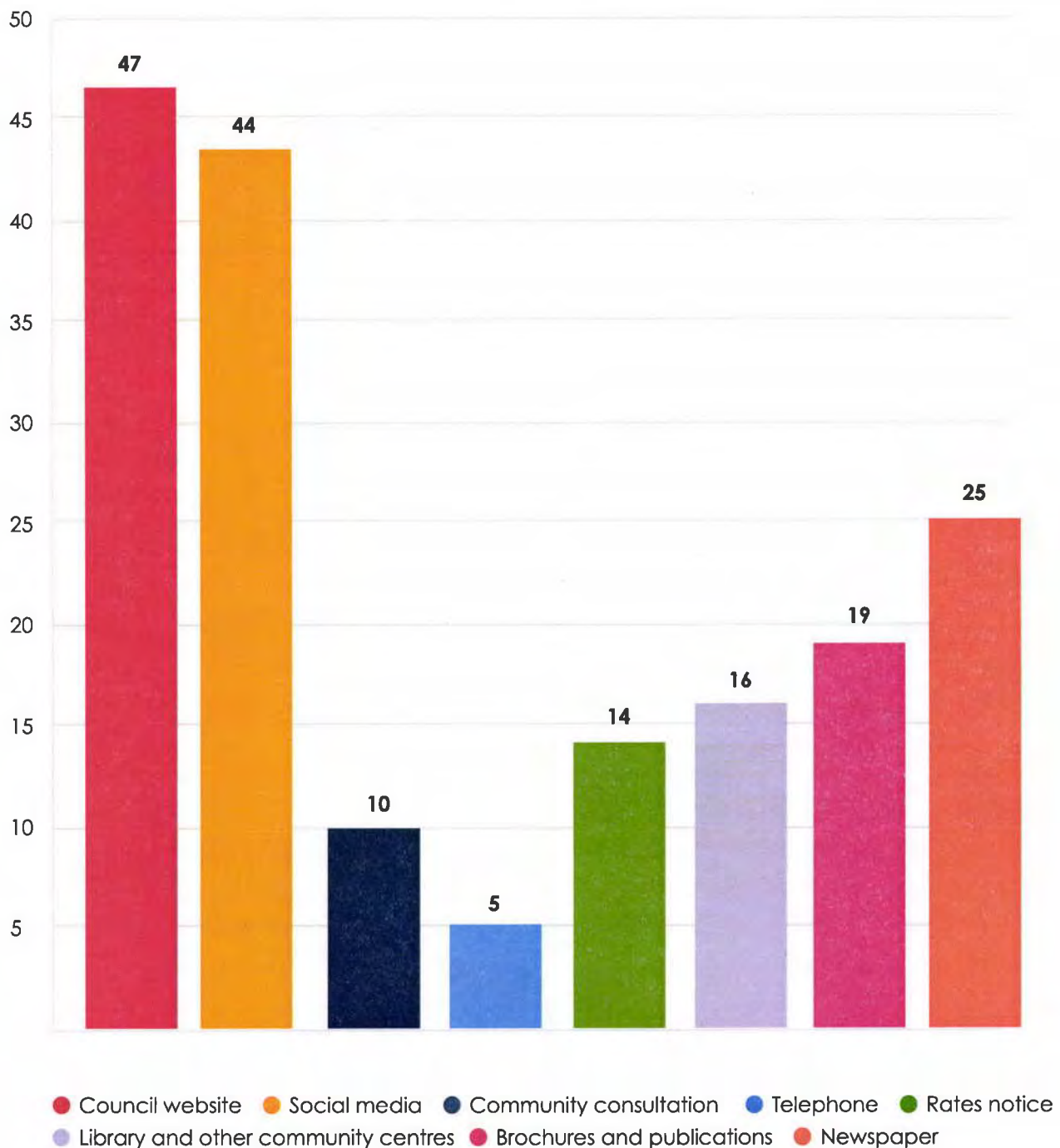
Mandatory Question (73 Responses)

Question Type - Checkbox Question





## WHERE DO YOU GET YOUR INFORMATION ABOUT COUNCIL AND ITS SERVICES, FACILITIES AND ACTIVITIES? (tick all that apply)



Mandatory Question (73 Responses)

Question Type - Checkbox Question



# DISABILITY INCLUSION ACTION PLAN

2022 - 2027





**MINUTES OF THE TRAFFIC COMMITTEE MEETING  
HELD ON Tuesday 5 April 2022**

**1. MEETING COMMENCES**

**MINUTE**

Meeting commenced at 2.06 pm.

**Members:** Cllr Warren Aubin - *Microsoft Teams* (BRC), Senior Constable Jason Crew - *Microsoft Teams* (NSW Police), Mr Wayde Hazelton - *Microsoft Teams* (Transport for NSW), Mr David Veness (MP Representative)

**Present:** Mr Bernard Drum (Acting Chair - Manager Technical Services), Mayor Robert Taylor (BRC), Mr Myles Lawrence (Civil Investigation Team Leader), Mr Paul Kendrick (Traffic and Design Engineer).

**2. APOLOGIES**

**MINUTE**

Nil

**3. REPORT OF PREVIOUS MEETING**

**3.1. REPORT OF PREVIOUS MEETING - 1 MARCH 2022**

**File No: 07.00006**

**MINUTE**

**RESOLVED:**

That the Minutes of the Traffic Committee held on 1 March 2022 be adopted.

**4. DECLARATION OF INTEREST**

**Declaration of Interest**

**MINUTE**

Nil



## **5. RECEIVE AND DEAL WITH DIRECTOR'S REPORTS**

### **5.1.1. MINUTES OF THE PREVIOUS TRAFFIC COMMITTEE MEETING**

**File No: 07.00006**

**MINUTE**

**RESOLVED:**

That the information be noted and necessary actions be taken.

### **5.1.2. NEW ZONE - LONG ELECTRIC VEHICLE CHARGING - DURHAM STREET**

**File No: 13.00089/082**

**MINUTE**

**RESOLVED:**

That a new zone "No Parking - Electric Vehicles Excepted While Charging" be installed on Durham Street near the Bathurst Visitor Information Centre, as detailed in the Director Engineering Services' report.

### **5.1.3. BATHURST EDGELL JOG - 18 SEPTEMBER 2022**

**File No: 23.00130**

**MINUTE**

**RESOLVED:**

That the Bathurst Edgell Jog to be held on Sunday 18 September 2022 be classified as a Class 2 event, and the traffic management for this event be approved, subject to conditions as detailed in the Director Engineering Services' report.

### **5.1.4. 2022 BATHURST WINTER FESTIVAL**

**File No: 23.00152**



**MINUTE**

**RESOLVED:**

That the 2022 Winter Festival to be held in the Bathurst CBD from 2-17 July be classified as a Class 2 event and the traffic management for this event be endorsed subject to conditions as detailed in the Director Engineering Services' report.

**6. TRAFFIC REGISTER**

**6.1. TRAFFIC REGISTER**

**File No: 07.00006**

**MINUTE**

**RESOLVED:**

That the information be noted.

**8. MEETING CLOSE**

**MINUTE**

The Meeting closed at 2.20 pm.



**MINUTES OF BATHURST REGIONAL YOUTH COUNCIL MEETING HELD  
ON TUESDAY 22 MARCH 2022**

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**PRESENT:** Harvey Lew, Caitlin McLean, Ella Kay, Jeffrey Knox, Justin Laver, Loukia Robson, Stella Hall, Tom Rodenhuis, Caitlin Morris, George Eliades.

**IN ATTENDANCE:** Megan Bargwanna (Manager Community Services), Emma Smith (Youth Development & Community Events Officer), Rhiannon Mijovic (Bathurst Library), Jack Fry (Bathurst Community Climate Action Network – BCCAN), Angela Sinclair (Bathurst Regional Council – minutetaking).

**1. APOLOGIES:** Ashley Maalouf, Chelsea Muller, Chloe Tayler, Esther Wong, Councillor Kirralee Burke, Councillor Margaret Hogan.

**2. ACKNOWLEDGEMENT OF COUNTRY:** Harvey Lew provided an Acknowledgement of Country.

**3.1 GUEST SPEAKER – JACK FRY (BATHURST COMMUNITY CLIMATE ACTION NETWORK- BCCAN)**

Jack Fry presented an overview of the history of BCCAN and current activities.

Annual membership for students is \$5 per annum and \$20 for general membership.

Discussion regarding partnering with Youth Council in events, eg tree planting, community gardens. Raise awareness of climate change by sharing items on Facebook.

Jack will provide a copy of his presentation for Youth Councillors.

**3.2 GUEST SPEAKER – RHIANNON MIJOVIC (BATHURST LIBRARY)**

Rhiannon provided information regarding resources to assist students. Outlining the connectivity to the NSW and National Libraries and their resources, plus online resources, HSC resources.

Rhiannon is also seeking assistance to promote the Library's services to the wider youth and general community.

Rhiannon will provide a copy of the Library Resource sheet for Youth Councillors.

**4. ADOPTION OF PREVIOUS MINUTES:**

**RESOLVED** that the minutes of the meeting held 8 February 2022 be accepted.

**MOVED:** Justin Laver

**SECONDED:** George Eliades

**CARRIED.**



**MINUTES OF BATHURST REGIONAL YOUTH COUNCIL MEETING HELD  
ON TUESDAY 22 MARCH 2022**

**5. FEEDBACK FROM PROJECTS COMPLETED SO FAR**

**Youth Art Prize competition**

Ashley and Harvey represented the Youth Council to present prizes at the recent competition. The artworks were of a high standard and covered various media including digital media.

**NSW Youth Conference**

Ella and Harvey provided feedback from the 3-day Youth Conference held in Goulburn. There was a variety of activities, group work and they gained a lot from attending the Conference. They were pleased to meet other youth from Youth Councils from across NSW and the sharing of experiences.

**6. YOUTH COUNCIL PROJECT PLANNING – YOUTH WEEK PLAN 2022**

**Chase the Rainbow – Sunday 10 April 2022**

- Promotion photos taken at Morse Park. Incorporated into poster and online promotion.
- St John Ambulance will be in attendance for First Aid requirements.
- NSW Police, Youth Liaison Officer and possibly other officers in attendance
- Mayor will be in attendance for welcome speech.
- Local Aboriginal dancers to be part of welcome to country ahead of the event.
- Lions Club barbecue, Harvest Café and mobile coffee/ice cream van will set up also.
- All Youth Councillors, if possible, to arrive at Morse Park by 7am on the morning of the event to assist with setup.
- Actual run will occur between 10am and 11am. A playlist of music to be completed and available on a usb during the event.
- Live music will follow – Tameka Kennedy and band.
- Runsheet under development.
- Suggestion/discussion for a “Headspace” lap – where green dye only is thrown. To be incorporated into the event.
- Posters and social media to be shared through youth and school networks.
- Reminder: Conditions on the use of the grounds for the event include; avoiding the cricket pitch and long jump areas (Megan will assist with keeping participants off no-go areas) and not allowing anything to be stuck into the ground (marquee pegs etc)

<b>School &amp; Community Promotion</b>	<b>Youth Councillors responsible</b>
Kelso High Campus & Raglan School	Loukia and Caitlin Morris
St Stanislaus' College	Tom & George (Tom will address assembly with the information).
headspace	Tom will liaise with Jake from Headspace via the headspace reference group.
Bathurst High Campus	Harvey will circulate via leadership group and year assembly.
Bathurst Public School	Caitlin Morris
Holy Family School	Loukia
South Bathurst School	Jeffrey
West Bathurst School	Caitlin McLean

This is page 2 of 4 pages of the Minutes of the Bathurst Regional Youth Council Meeting held on 22 March 2022.



**MINUTES OF BATHURST REGIONAL YOUTH COUNCIL MEETING HELD  
ON TUESDAY 22 MARCH 2022**

Mackillop College	Ashley and MacKillop Youth Councillors
St Philomena's & Cathedral	Stella
Scots All Saints – both Campus	Ella
Skillset Senior College	Stella
Assumption School	Stannies Youth Councillors
Kelso Public School	Loukia & Caitlin Morris
Bathurst Scouts	Justin & Caitlin McLean
Email to all schools	Emma to complete
Circulation of posters	All Youth Councillors to assist with distributing to businesses, shops etc
Radio Interview	Promotion on local radio – Ashley & Harvey. Emma will advise.
Facebook groups	All Youth Councillors – to share information with any local groups, eg Bathurst Our Town and Raglan Facebook group.

<b>Registrations &amp; collection of wristbands</b>	<b>Youth Councillors</b>
Adjacent to Bathurst Visitors Information Centre (BVIC) Wednesday 6 April 2022 – 3.30pm – 5.30pm	Stella & Justin
Adjacent to Bathurst Visitors Information Centre (BVIC) Friday 8 April 2022 – 3.30pm – 6.00pm	George & Jeffrey
Limited registrations & collection of wristbands can be taken on the day of the event from 8am – 9.30am.	

Colour Stations – 6 stations determined.

1. Caitlin Morris & Loukia
2. Justin & Jeffrey
3. Chelsea & Esther
4. Harvey & Ashley
5. Ella & Chloe
6. Tom & George

Water Station set up – not manned  
Bottled water will be for sale, as well.

## **7. SOCIAL MEDIA PLAN**

Social media posts will be prepared for the following;

- Youth Week 2022 - Chase the Rainbow
- Youth Council Recruitment 2022 - 2023

## **8. GENERAL BUSINESS**

- End of term party on 10 May 2022 – Youth Councillors to let Emma know where they would like to go out for lunch and possibly do an activity.
- George would like to put a proposal forward for more money in the budget for the Youth Council 2022-2023.

This is page 3 of 4 pages of the Minutes of the Bathurst Regional Youth Council Meeting held on 22 March 2022.



**MINUTES OF BATHURST REGIONAL YOUTH COUNCIL MEETING HELD  
ON TUESDAY 22 MARCH 2022**

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**9. NEXT MEETING – TUESDAY 10 MAY 2022**

**10. MEETING CLOSE**

There being no further business, the meeting closed at 2pm.

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This is page 4 of 4 pages of the Minutes of the Bathurst Regional Youth Council Meeting  
held on 22 March 2022.