

## ORDINARY MEETING OF BATHURST REGIONAL COUNCIL

13 July 2022

His Worship the Mayor & Councillors

# Notice of Ordinary Meeting of Bathurst Regional Council – Wednesday 20 July 2022

I have to advise that an Ordinary Meeting of Bathurst Regional Council will be held in the Council Chambers on Wednesday 20 July 2022 commencing at 6:00 PM or immediately following the conclusion of the Public Forum session.

Public Forum will be held from 6.00 pm where there will be an opportunity for members of the public to raise matters with Council.

D J Sherley

**GENERAL MANAGER** 

## MINUTES OF THE ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD ON Wednesday 20 July 2022

#### 1 PUBLIC FORUM

#### **MINUTE**

<u>W.Feebrey</u> - <u>Bathurst Branch National Trust</u> - <u>227 Peel Street DA 8.2.3</u>- Feels the cottage should not be demolished. The building reflects a rare example of a dwelling from that time. Questions the heritage impact assessment provided. Requests with matters such as this, that independent assessments are obtained, has Council considered doing this?

**Director Environmental Planning and Building Services -** Spoke to Council's processes that are in place.

<u>J.Attard</u> - Bathurst <u>Leo Club</u> - Spoke to event they are proposing - Picnic in the Park at the Adventure Playground. Noted the Club will organise security, St John Ambulance etc. The event will also be assisted by the Lions Club, and will raise awareness of the Bathurst Leo Club. Expect around 300-400 persons will attend, planned for 12 November 2022.

**Mayor -** Requested that a written request be submitted to Council for use of the Adventure Playground area.

<u>B.Hennessy</u> - Spoke to people who have authority must be held accountable and then referred to the DA they had approved. Noted; timelines, costs, and what the Hennessy's see as a personal vendetta. This needs to be investigated. Councillors have shown remarkable indifference to their concerns. Then spoke to allegations about a former staff member from 15 years ago. Feels the Council is not fit for purpose.

<u>I.Pearson</u> - Ratepayer - Thanked Councillors and staff for a wonderful Winter Festival. This was a really great event.

<u>S.Pearson</u> - Various matters - Referred to Health Precinct review by Destrauis Group on behalf of a number of parties. How much did the study cost? What was Council contribution?

Then spoke to BIMC proposal in the CBD and the Health Precinct Plan (Council was party to the plan). When will the public be able to see the plan?

<u>G.Crisp - Ratepayer</u> - Noted there is an NCAT hearing involving Bathurst Regional Council, he is seeking this to be held in Bathurst. Then spoke to meeting notice of 29 June 2022 and said General Manager had spoken to the Premier.

Then spoke to Council spending \$500,000 on a Crimes Allegation and this is not allowable. Then referred to Council expenses policy, referred to a water case.

Then mentioned Council's meeting of the 29.6.22 which he alleges was not lawful. The rates sent out are invalid.

<u>L.Sargeant</u> - DA 263 Lambert Street 8.2.4 - L. Sargeant raised concerns with Council's DCP and Planning processes. Feels developers are favoured by Council. Then referred to DA at 263 Lambert Street and concerns of over shadowing and and drainage problems. Felt not given time or appropriate notice of the DA, feels notices should be sent by priority post. Feels this has been disrespectful. Then spoke to letter received from the General Manager and not satisfied with responses. Requests Council not approve the DA before them tonight.

General Manager - Clarified contents of letter sent to Ms Sargeant.

<u>K. Ahearn - 3 Bailey Street</u> - Referred to levee bank issues and actions many years ago and land transfer that was to occur. Now expected to pay around \$20k for the land transfer, felt this was coming for free also extra land is being taken for a carriageway. Understood all unwanted land was to come to him, and this allowed the levee to be developed. Cannot understand the boundary that has been put in, takes 8 metres of his land. Requests Council put the land in his name.

<u>B.Triming</u> - <u>Disability Access Advocate</u> - Thanked staff for providing the information he requested. Marathon Health and Access Mobility location is a matter that need addressing as not accessible.

<u>Accessible Parking</u> - Can Bathurst Region Council supply 5 copies of the accessible parking map to Mr Triming.

<u>DIAP - DCCS 8.5.1</u>- In reading the submission, it is of concerns no disability groups had made a submission. The plan is great.

<u>Winter Festival</u> - Thanks to staff responding to the issues he raised about accessibility. Responses eg extra ramps were quick and fantastic. Has sent through some suggestions on Directional Signage.

<u>Speaking & Lectern requested</u> - thanked staff for research undertaken and initial actions taken.

## **2 RECORDING OF MEETINGS**

## 3 MEETING COMMENCES

#### **MINUTE**

Meeting commenced at 6.47pm.

<u>Present</u>: Cr W Aubin, Cr K Burke, Cr B Fry, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith, Cr R Taylor

- 4 PRAYER AND ACKNOWLEDGEMENT OF COUNTRY
- 5 APOLOGIES OR ATTENDANCE BY AUDIO-VISUAL LINK

#### **MINUTE**

MOVED: Cr I North SECONDED: Cr B Fry

**RESOLVED:** 

That the apology of Cr J Jennings be accepted and leave of absence granted.

#### 6 MINUTES

6.1 CONFIRMATION OF MINUTES - ORDINARY MEETING OF

**BATHURST REGIONAL COUNCIL HELD 15 JUNE 2022** 

File No: 11.00005

#### **RECOMMENDATION:**

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 15 June 2022 be adopted.

## **REPORT:**

The Minutes of the Ordinary Meeting of Bathurst Regional Council held on 15 June 2022 are **attached**.

### **FINANCIAL IMPLICATIONS:**

Nil

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

1. 150622 Ordinary minutes only [**6.1.1** - 24 pages]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-247** 

MOVED: Cr B Fry SECONDED: Cr A Smith

#### **RESOLVED:**

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 15 June 2022 be adopted.

## 6.2 CONFIRMATION OF MINUTES - EXTRAORDINARY

**MEETING OF BATHURST REGIONAL COUNCIL HELD 29** 

**JUNE 2022** 

File No: 11.00005

#### **RECOMMENDATION:**

That the Minutes of the Extraordinary Meeting of Bathurst Regional Council held on 29 June 2022 be adopted.

#### **REPORT:**

The Minutes of the Extraordinary Meeting of Bathurst Regional Council held on 29 June 2022 are **attached**.

#### **FINANCIAL IMPLICATIONS:**

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. 290622 Extraordinary Post Minutes [**6.2.1** - 16 pages]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-248** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

#### **RESOLVED:**

That the Minutes of the Extraordinary Meeting of Bathurst Regional Council held on 29 June 2022 be adopted.

#### 7 DECLARATION OF INTEREST

## **Declaration of Interest**

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-249** 

MOVED: Cr I North SECONDED: Cr M Hogan

**RESOLVED:** That the Declaration of Interest be noted.

Cr A Smith declared a non-pecuniary significant interest in item 12.2.1 of the DCSF Confidential Report.

Reason: Councillor and his wife are involved with Bathurst Juniors Rugby Club in senior roles which are part of the Bathurst Rugby Club.

Cr A Smith declared a non-pecuniary non-significant interest in item 12.3.5 of the DES Confidential Report.

Reason: Councillor's sister in-law is employed by CNSWJO and was involved in coordinating the tender process.

## 8 RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

#### **8.1 GENERAL MANAGER'S REPORT**

8.1.1 CENTRAL NSW JOINT ORGANISATION

(CNSWJO) BOARD MEETING HELD 26 MAY

**2022 IN SYDNEY** 

File No: 07.00017

#### **RECOMMENDATION:**

That the report on the Central NSW Joint Organisation (CNSWJO) Board meeting held on 26 May 2022 be noted.

#### **REPORT:**

The Central NSW Joint Organisation Board meeting was held on 26 May in Sydney. The Board met in Sydney to allow members to attend to Country Mayors Association Health Forum later in the day.

Speakers to the meeting included DPE representatives Amanda Chadwick, Executive Director Performance Division - Water Group, Jim Bentley, Deputy Secretary & CEO NSW Water Sector and Shagofta Ali, Leader of the Regional Water Strategies.

## Statement of Budget and Revenue 2022-2023

The Board approved the 2022/2023 Budget and Statement of Revenue to the Board with a 2.5% increase in fees with the exception of fees for the Central Joint Organisation Water Utilities' Alliance which will have no increase; and an internally restricted reserve of \$150K to enable outcomes from the Best Practice in Procurement Program.

Miscellaneous items:

- The Chair of GMAC is progressing discussion with Lithgow City Council on their interest in membership options;
- The Board is to receive a report on working more closely with Penrith City including membership options; and
- UMCC Upper Macquarie Country Council is to become an associate member.

### **Best Practice in Aggregated Procurement**

The outgoing Board received a report in November 2021 and resolved inter alia to recommend to the incoming Board that it adopt the BPAP Stages 1-6 reports and progress a number of recommendations.

Aggregated procurement has shown over \$5m of savings to members since the JO was proclaimed in May 2018. The JO will continue to invest in this programme.

#### **Electric Vehicles**

A number of member Councils submitted an EOI to the NSW Government's EV fast charging application. Where further support from the JO Consultants is required to assist with responses from operators as a result of the EOI, the JO has agreed to provide each Council up to 2.5 hours of support, which will be funded through the OLG Capacity Building funding earmarked for energy projects.

A round of funding focusing on destination chargers has recently been announced. The site assessment work undertaken by ChargeWorks in September 2021 identified the following destination charging sites:

Council	Site	Recommended Equipment Size	Estimated Cost EVSE + Install	Estimated Cost Infrastructure
	Sofala	1 x 25kW DC	\$30,000	\$0
Bathurst	Hill End	1 x 22kW AC	\$9,000	\$0
	Rockley	2 x 7kW	\$12,000	\$0
Blayney	Train Station	2 x Lockable Power Point	\$5,000	\$0
	Milthorpe	1 x 22kW Dual Port	\$20,000	\$0
Cabonne	Eugowra - Grevilia Ave Park	1 x 25kW DC	\$30,000	\$0
Caponne	Canowindra - Age of Fishes - VIC	1 x 25kW DC	\$33,000	\$0
Cowra	Japanese Gardens	2 x 7kW	\$12,000	\$0
Cowia	Aquatic Centre	2 x 7kW	\$10,000	\$0
Forbes	Victoria Park	2 x dual port 22kW	\$24,000	\$0
	Bathurst St - Condobolin	1 x dual port 22kW	\$15,000	\$0
Lachlan	VIC - Lake Cargelligo	1 x dual port 22kW	\$15,000	\$0
	Tottenham Memorial Park	1 x 25kW DC	\$32,000	\$0
Oberon	Tallys Lane	1 x dual port 22kW	\$18,000	\$0
Orango	Civic Centre Carpark	6 x 7kW	\$30,000	\$10,000
Orange	Woolworths Carpark	2 x dual port 22kW	\$26,000	\$0
Parkes	Peak Hill	1 x 25-50kW DC	\$45,000	\$5,000
Weddin	Forbes St	1x 25-50kW Dual port DC	\$45,000	\$5,000
				\$20,000.00

Support is being provided to members via the JO and the DPE Sustainable Councils team who have provided further funding to engage Chargeworks to assist Councils in preparing and collating the information required for the grant round.

#### **Review of the CNSWJO Strategy**

As with other Local Government bodies, the CNSWJO must review its Strategic Plan each term. The mandated Statement of Strategic Regional Priority is due in December 2022 and a subcommittee has been meeting regularly, to develop a draft document.

The Board adopted the Central NSW Economic and Social Environmental Scan and this is available on the CNSWJO website. This document provides advice on the opportunities identified at the State and Federal level for the Central NSW region.

The CNSWJO will be hold a Summit in region in September where Council representatives will be invited to come together to shape the regional strategy going forward

#### **Transport**

Industry which attended a meeting in Forbes in July 2019 identified the need for work to be done to enable Small to Medium Enterprise to access Inland Rail.

Subsequently, a successful application was made by the CNSWJO and RDA Central West for a fully funded business case to be developed for a productivity enhancement project for Inland Rail. This project is being funded by the Department of Infrastructure, Transport, Regional Development and Communications.

#### Water

The CNSWJO continues with advocacy for the region across multiple fronts in the strategic water planning and management space, including:

- information on the Options Assessment Process for the Regional Water Strategies,
- 10 yearly independent review by the Natural Resources Commission of the Water Sharing Plans for the Belubula Regulated, Macquarie Bogan Unregulated and Lachlan Unregulated River Water Sources 2012;
- on feedback to Infrastructure Australia on water infrastructure in their Regional Strengths and Infrastructure Gaps report.

With the implementation of a new Regulatory Framework for Local Water Utilities proposed to take effect from 1 July 2022, the Town Water Risk Reduction Program (TWRRP) has sought feedback on a draft Regulatory Framework for LWUs. The sector has been working with the TWRRP for the past 18 months on a draft framework which has drawn together the various moving parts of the program into one document.

At the same time the region is being asked to provide feedback to the Natural Resources Commission on whether the decade old Water Sharing Plans based on 20-year-old data should be reviewed or just extended. Town water has been an afterthought in these plans, the CNSWJO considers it is critical that they are reviewed.

Similarly, the IA Regional Strengths and Infrastructure Gaps report does not adequately represent the region's current or future needs with respect to town water.

The State Government has emphasised the importance of the Regional Water Strategies in addressing water needs including for towns, progress is however slow. Current advice is that they should be on exhibition in the second half of this calendar year.

## **Regional Submissions**

The Board has approved and/or endorses submissions for the

- a. Draft Central West and Orana Regional transport Plan;
- b. IPART proposed changes to the Waste Levy;
- c. DPE on the Draft Regulatory Framework for Local Water Utilities
- d. DPE on the draft Guidance Notes on Using the Integrated Planning and Reporting framework for local water utility strategic planning
- e. RACE for 2030 funding to enable an orderly transition to a renewable energy future; and
- f. Transgrid Consultation re Maintaining Reliable Supply to the Bathurst, Orange and Parkes areas.

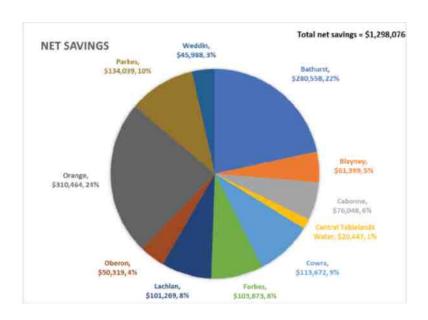
#### **Value to Members**

A snapshot of the value to members of the various activities undertaken by the JO for their members in the context of the CNSWJO Strategic Plan follows.

VALUE FOR MEMBERS 2020/2021	FY 2019/2020	FY 2020/2021	FYTD2021/2022
SUBMISSIONS	20	23	16
PLANS, STRATEGIES AND	26	12	2
COLLATERAL			
GRANTS SEEKING	3	3	0
GRANT FUNDING RECEIVED	\$215k	\$736k	0
COMPLIANCE	13	9	10
DATA	6	3	1
MEDIA INCLUDING SOCIAL MEDIA	13	18	22
COST SAVINGS	\$1.87m	\$2.2m	\$1.3m
REPRESENTATION	147	159	206
OPPORTUNITIES COUNCILS HAVE	35	102	100
BEEN AFFORDED			

#### **Savings**

The following chart shows the savings achieved by member councils through aggregated procurement and programming net of JO costs. The chart reflects savings in the 21/22 financial year to date.



### **FINANCIAL IMPLICATIONS:**

Funding for this item is contained within existing budgets

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

Strategy 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently.

Strategy 6.3 Advocate for our community.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

Nil

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-250** 

MOVED: Cr K Burke SECONDED: Cr G Hanger

## **RESOLVED:**

That the report on Central NSW Joint Organisation (CNSJO) Board Meeting held on 26 May 2022 be noted.

### 8.1.2 ABORIGINAL CULTURAL HERITAGE

File No: 20.00311, 23.00010, 09.00031, 20.00361

#### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

Council, at its meetings held May, September and December 2019, July and December 2020, July and November 2021, considered reports addressing the broad range of issues Council is facing with respect to Aboriginal Cultural Heritage. Our Region Our Future, the Bathurst Community Strategic Plan 2022, establishes Council's aspirations and long-term vision for the Bathurst Region. Priority 1.1 is to "Respect, protect and promote the region's indigenous heritage assets".

This report provides a further update since November 2021 relating to Council's key activities, programs and issues it is facing and addressing with respect to:

- 1. Protection and Recognition; and
- 2. Reconciliation.

#### 1. PROTECTION AND RECOGNITION

Heritage Protection Application under Aboriginal and Torres Strait Islander Heritage Protection (ATSIHP) Act 1984, Mount Panorama, Bathurst (Federal) - Section 10 Application – Specified lands, consisting of 6 parts, near and overlapping Mount Panorama Wahluu

A section 10 application has been made by the Wiradyuri Traditional Owners Central West Aboriginal Corporation (WTOCWAC) in relation to lands at or near Mount Panorama Wahluu. Council was notified of the application via advertisement in the Western Advocate dated 18 November 2021. A copy of the notification is included at <a href="mailto:attachment">attachment</a> 1.

Bathurst Regional Council is a landowner for much of the specified area; operates the Mount Panorama motor racing circuit; is the applicant for the proposed second circuit development, is the water supply authority for the City of Bathurst; is the solid waste management authority, owner of the Bathurst Bike Park, and represents other private ratepayers all who will be impacted by the application.

Council responded to the application on three separate occasions: an initial submission; a response to representations made to the application; and a response to a Procedural Fairness Summary issued by the Department of Agriculture, Water and the Environment.

Council received notification from the Department of Agriculture, Water and the Environment on 17 June 2022 advising that the former Minister for the Environment, the Hon Sussan Ley MP decided in response to the Application, not to make a declaration, as

she was not satisfied that the specified area is a significant Aboriginal area that is under threat of injury or desecration. A copy of the correspondence received from the Department is provided at **attachment 2**.

#### Site card#44-4-0277 – Aboriginal Object found and removed from Mount Panorama

Council noted an article in the Western Advocate (11 May 2021) of an individual claiming to have found an Aboriginal Object on Mount Panorama. Council notes that the Wiradyuri Elders have registered a site card for the object (#44-3-0277). It appears from the picture in the article that the object has been removed from the site. Council sought a compliance investigation with the NSW Department of Planning and Environment to determine if in fact the object is an Aboriginal object and if so how it has been removed from the site without an Aboriginal Heritage Impact Permit approval or a Care of Control permit in place.

A Heritage NSW Archaeologist determined that the item in question is not an Aboriginal object as defined under the *Act*. This conclusion was made on the basis that:

- the edges of the stone which appear to be 'worked' as previously claimed are the result of natural processes and are not remarkable and mostly intact.
- the stone is a 'platy' course grained material with high proportion of iron hence its colour. It is not uncommon throughout the region and is often found in the 'platy' shape it presents.
- the smooth wavy appearance indicates that it may have formed in a fluvial environment but there is no evidence of grinding.
- the type of stone is not used in stone tool making because it is unsuitable for flaking and grinding.

Written confirmation of this assessment was provided to Council and the Wiradyuri Traditional Owners Central West Aboriginal Corporation who it is understood have the stone in their possession.

The NSW Department of Planning and Environment confirmed that site card #44-3-0277 has been updated according to the Archaeologist's assessment.

## **Due Diligence Assessment – Mount Panorama for addition of Bathurst sign**

Council engaged Extent Heritage to complete a due diligence assessment of lands at the Mountain to enable installation of the 'Bathurst' sign. Council has received this report and has engaged with NSW Department of Primary Industries – Crown Lands regarding any necessary approvals for this work.

## Complaint under the Aboriginal and Torres Strait Island Heritage Protection Act 1983 (ATSIHP Act),

The team in the (current) Department of Agriculture, Water and the Environment who administers the *Aboriginal and Torres Strait Island Heritage Protection Act 1983* (ATSIHP Act), advised Council about correspondence they received from the Wiradyuri Traditional Owners Central West Aboriginal Corporation (WTOCWAC) in relation to the current section 10 declaration over the Mount Panorama Wahluu site.

The WTOCWAC advised of a conversation with Council and was seeking further action from the Department to protect the terms of the declaration, in relation to recent activities in the area for which Council had previously advised WTOCWAC and the Department of

the intention to undertake these works.

The Department responded to WTOCWAC with confirmation that activities such as public access to the site, camping activities, and vegetation clearance for public safety purposes, do not constitute a contravention of the declaration, and therefore no further action is required under the ATSIHP Act.

While not a requirement, to allay any unnecessary future concerns by WTOCWAC about activities at this site, the Department has indicated that it would appreciate it if the Bathurst Regional Council could consider advising WTOCWAC of relevant upcoming activities (where possible).

Note that Council recently notified WTOCWAC and other Aboriginal Groups of a current development application for a proposed satellite dish in an existing communications compound at the Mountain in good faith despite notification not being required under Council's Community Participation Plan.

#### Remediation works - Go Kart Site Mount Panorama

Council has prepared plans to remediate the lands, previously used for camping, at the top of the Mountain that have been fenced off in anticipation of the go kart track development. Remediation work to level the stockpiles created as part of the original construction work carried out in 2016 (within the land formerly within McPhillamy Park that was previously available to the public) has significantly been completed. Some minor relevelling is required when weather conditions and staff resources permit.

The scope and intention to undertake these works has previously been advised to WTOCWAC and the Department of Agriculture, Water and the Environment.

#### Wiradjuri Cultural Care

Council was notified, through Ms Tina Scott, of a new group the Wiradjuri Cultural Care Corporation who have registered with Council as a consultative group for the Bathurst Area. The Wiradjuri Cultural Care Corporation has an interest in cultural heritage issues, community advocacy and other important issues that affect the Bathurst Region.

#### 2. RECONCILIATION

## Planning for commemorations for the 2024 Bicentenary of the Declaration of Martial Law in 1824

An internal staff working group was created to initially guide Council's first response in the commemoration of the declaration of martial law in 1824 and the Bathurst Wars.

Subsequently, Council at the meeting held on 16 March 2022, resolved:

"That Bathurst Regional Council ensure due recognition and commemoration of the Bicentennial of the proclamation of Martial Law by the Colonial Government of NSW on 14 August 1824 against Aboriginal people of the Wiradjuri Nation. Given the local state and national importance of this Bicentennial, Council is to form a dedicated Frontier Wars Working Party (FWWP) which runs up to the Bicentennial event to scope, develop and deliver a lasting legacy that publicly recognises the fact of Australia's Frontier Wars.

The Frontier Wars Working Party will engage interested stakeholders and partners

to consider, amongst other opportunities, the reality of Bathurst hosting Recommendation 17 of the NSW Government's recent Review of the Heritage Act 1977, which reads:

• That the NSW Government allocate specific funding for an Aboriginal War Memorial Museum and work with Aboriginal people across New South Wales, including traditional owners and the NSW Aboriginal Land Council, to progress this proposal.

Other opportunities are to be pursued by the Frontier Wars Working Party to create, develop, assess, and source-fund legacy activities and items that respectfully commemorate the Bicentennial of the proclamation of Martial Law against Aboriginal Australians on the 14 August 2024.

The Working Party is being established with Councillor membership and will liaise with local Aboriginal groups and knowledge holders to further develop an appropriate role and response from the Council. A calendar of events, projects and activities is being established for the next three-year period.

## 2022 Theo Barker Lecture (facilitated and co-hosted by Council and the Bathurst District Historical Society)

Dr Stephen Gapps presented: Gudyarra. The first Wiradyuri War of Resistance - the Bathurst War 1822-1824. Gudyarra (war) is the story of the occupation of Wiradyuri Country and the resistance warfare conducted by Wiradyuri people between 1822 and 1824 around the Bathurst region.

This free lecture was held at BMEC on 17 March 2022 and was very well received.

#### **Interpretation Signage – Mount Panorama Wahluu Boardwalk**

Following completion of the Mount Panorama Wahluu boardwalk in 2020, Council prepared an Interpretation Plan for the Boardwalk to interpret the natural and cultural (Indigenous and European) heritage of the site and create a coherence to the Boardwalk experience, for both visitors and the local community.

The new signage at the Boardwalk lookout represents stage 1 of the Interpretation Plan and seeks to enhance the visitor experience across the top of the Mountain. The new lookout signage:

- Tells the Wahluu creation story and highlights the cultural significance of the Mountain to the local Wiradjuri.
- Describes Wiradjuri life on the Bathurst Plains before European settlement.
- Examines the early encounters between the Wiradjuri and the Europeans and the survival of the Wiradjuri between two worlds.
- Explores settlement of the region by Europeans, highlighting the many 'firsts' of the Bathurst Region and lesser-known historical facts.
- Highlights how the Mountain became the venue of a world-famous racing track.

Stage 1 of the project also includes additional freestanding signage to be erected at the entries to the Boardwalk in coming weeks.

Stage 1 of the project was developed by Council with the assistance of the Bathurst Local Aboriginal Land Council, the Wiradyuri Traditional Owners Central West Aboriginal Corporation, and the Bathurst District Historical Society.

#### **Bathurst Streets as Shared Spaces Round 1**

Council has worked closely with artists, through multidisciplinary design studio ESEM Projects, to create a significant wall mural, depicting a creation story of the Wiradjuri people, as well as other temporary art installations within the Bathurst Town Square precinct. The Birrunga Wiradyuri mural, 'Blue Banded Bee' creation story, was erected on the Post Office building in Howick Street earlier this year.

### **Bathurst Streets as Shared Spaces Round 2**

Council is seeking an Expression of Interest from suitably qualified artists to produce, design and install Public Art in the Bathurst Town Square precinct as part of the Bathurst Streets as Shared Spaces R2 Project. Wiradjuri and local Aboriginal artists and/or artists working in partnership with the local Wiradjuri / Aboriginal community are being encouraged to apply.

#### NAIDOC Week - 2022

NAIDOC Week celebrations are held nationally in the first week of July to celebrate and recognise the history, culture and achievements of Aboriginal and Torres Strait Islander peoples. In 2022 seven local Aboriginal and Torres Strait Islander community profiles were developed celebrating our local First Nations people. Seven local organisations were asked to nominate one Aboriginal and Torres Strait Islander person who demonstrates "getting up, standing up and showing up" for their community (this year's theme for NAIDOC Week). The profiles have been published in local media and on Council's social media platforms.

A free community event was also held on Thursday 30 June 2022 at BMEC to celebrate NAIDOC Week, which included performances, speeches and flag raising ceremony.

In partnership with Bathurst Local Aboriginal Land Council (BLALC), a community portrait project was undertaken during May 2022, with the community exhibition, Public Art Project Ngumbaay Galang (One Belonging), being held from 2 July to 17 July 2022 in Keppel Street and digital screen display Ribbon Gang Lane.

#### **Involvement and Engagement – Cultural and Community Events**

The table below outlines recent involvement and engagement with local Aboriginal Groups since the report to Council in November 2021 or events previously not reported in the November report to Council.

Section	Date/s	Event	Detail of Involvement / Engagement / Welcome to Country
BRAG / COMMUNITY SERVICES	May and July 2022	Public Art Project: Ngumbaay Galang (One Belonging) 2022 Winter Festival and NAIDOC Week	In partnership with Bathurst Local Aboriginal Land Council (BLALC) portrait project and community exhibition. Community digital projection portrait project Keppel Street and digital screen display Ribbon Gang Lane.
BRAG	March 2022	Social Cohesion Grant	Letter of support provided by BLALC (ReConnect Bathurst)

Section	Date/s	Event	Detail of Involvement / Engagement / Welcome to Country
BRAG	March 2022	2022 HOME Program Teachers Cultural Induction	Facilitated by Aunty Gloria Rogers
BRAG	February 2022	Public Art Project	PUBLIC ART: Birrunga Wiradjuri with Kane Brunjes, Stevie O'Chin, and the Bathurst Wiradyuri Elders mural erected, Post Office Building (SASS R1)
BRAG	Nov 2021– Jan 2022	VOID Touring Exhibition	Wagga Wagga Art Gallery (2,367 visitation)
BRAG	November 2021	MGNSW IMAGINE Awards Nomination	BRAG: Banha Belong Kelso Community Hub Mural Project wins MGNSW Highly Commended, Engagement category
BRAG	January 2022	2021 HOME Program Foyer Space exhibition	10 primary schools participated; workshops facilitated by Wiradjuri artist Rhonda Sharpe
BMEC/ COMMUNITY SERVICES	30 June 2022	Council NAIDOC Week Celebration and Flag Raising Ceremony held at BMEC	Council's 2022 NAIDOC Week Celebration held at BMEC, showcasing a range of Aboriginal talent and pride through performances and speeches.
BMEC	July – September 2022	Fast Cars & Dirty Beats	Consultation with Wiradyuri Elders in relation to Aboriginal significance of Mount Panorama – Wahluu as part of the development of this new performance work
BMEC	July – November 2022	BMEC 2022 Annual Season	Communication and collaboration with various Aboriginal artists and tour coordinators to program four Aboriginal performance projects in the BMEC 2022 Annual Season. Three of these focus on Wiradjuri stories.
BMEC	25 June 2022	Bathurst Wiradjuri Womens Network	Network meeting at BMEC from 10am to 4pm coordinated by Lynda-June Coe
EVENTS	26 January 2022	Australia Day	Acknowledgement to Country - Shirley Scott.
EVENTS	26 March 2022	Bathurst NRL	Welcome to Country (Uncle Ralph) and Bill Allen In 2022 three communities were represented and performed before the main game including Local Wiradjuri Elders, Waganha Dancers and Ngumbayy Miyagan group.
EVENTS	8 May 2022	Proclamation Day	Acknowledgement to Country - Shirley Scott.
EVENTS	July 2022	Bathurst Winter Festival	Engaged Wiradyuri Elder Birrunga Wiradyuri to create a piece for

Section	Date/s	Event	Detail of Involvement /
			Engagement / Welcome to Country
			illumination which is featured on
			Keystone.
			A smoking ceremony opened the
			illuminations in front of Keystone,
			on opening night.
			Leaana Carr-Smith Wiradyuri
			Elder Wirribee featuered artwork
			with Nicole Welch at the Tremain's
			Mill illumination site.
			Skate with your mates is a new
			event which allows free ice skating
			for disadvantaged youth. Gerald Power from Indigenous Cultural
			Adventures has been hired to
			provide free food for skaters on
			Tuesday 12 July. (Paid for by
			Holiday Grant Program)
ENVIRONMENT	2021-2022	River Connections	Educational program funded by
			NSW Environmental Trust for
			three years. Local Elders
			delivered face to face content on
			the cultural significance of the
			Wahluu to students from Holy
			Family and Eglinton Public
			Schools, including cultural
			emersion and training sessions with relevant school teachers.
ENVIRONMENT	2022	River Connections – Big	Variety of hands on activities, both
LIVINGINIZIVI	2022	River Day	cultural and environmental.
COMMUNITY	December 2021	Commissioned	William 'Bubba' Kennedy
SERVICES		Aboriginal Artwork	completed commissioned
		_	Aboriginal artwork for Bathurst
			Regional Council, in partnership
			with Bathurst Local Aboriginal
			Land Council.
COMMUNITY	8–11 February	Dance Workshops and	3 x Dance Workshops and 1 x
SERVICES	2022	Community Corroboree	Community Corroboree held at
			Kelso Community Hub, in
			partnership with Bathurst Local Aboriginal Land Council,
			Thikkabilla Vibrations and
			Dinawans Connection.
			Representation of many local
			services, including catering by
			Indigenous Cultural Adventures.
			Large turnout by local community
			members.
COMMUNITY	January 2022 –	Aboriginal Commitment	YourSay Survey, 2 x stakeholder
SERVICES	March 2022	Strategy consultation	workshops (involved Wiradyuri
			Traditional Owners Central West
			Aboriginal Corporation, Bathurst
			Local Aboriginal Land Council and
			other service providers) and 3 x
			community yarning circles with

Section	Date/s	Event	Detail of Involvement / Engagement / Welcome to Country
			independent Wiradjuri consultant, Kira-Lea Dargin.
COMMUNITY SERVICES	29 March 2022	Seniors Festival	Care packages delivered to 30 Aboriginal and Torres Strait Islander Elders during Seniors Festival.
COMMUNITY SERVICES	26 May 2022	National Sorry Day	Commemoration, plaque unveiling and afternoon tea held at the Civic Centre. Acknowledgement of Country by Hailee Provest and Cr Fry.
COMMUNITY SERVICES	27 May 2022	National Reconciliation Week	Footy and fun event held at Kelso Community Hub. Catering by Indigenous Cultural Adventures.
COMMUNITY SERVICES	2022	Indigenous meetings	Aboriginal Liaison Officer regularly attended the following meetings: Bathurst Aboriginal Interagency, Bathurst Aboriginal Education Consultative Group, NAIDOC Week Committee, Bathurst Aboriginal Health Service Advisory Group AMS Steering Committee.

### **Aboriginal Liaison Officer**

The Aboriginal Liaison Officer position commenced in February 2021. Activities of the officer are reported on an ongoing basis separately to Council inclusive of information relating to the preparation of a new Aboriginal Commitment Strategy.

#### FINANCIAL IMPLICATIONS:

- 1. The total cost to date on cultural interpretation studies and the anthropological investigations has been: \$182,138 (excluding RAP fees).
- 2. The total cost spent to date on Aboriginal Cultural Heritage Assessments (Campground, Go Kart Track and Second Circuit), investigations has been \$614,217.67 (excluding RAP fees).
- 3. The Registered Aboriginal Party fees paid to date for the ACHARs (above) and the Anthropological Investigations has been \$162,448.
- 4. The costs associated with the reconciliatory actions under this report have been met within existing Council budgets.
- 5. The costs associated with providing advice to Department of Premier and Cabinet and submitting new site cards at Mount Panorama are \$3,113.00.
- 6. The costs for expert advice in relation to the section 10 application were \$8,800.
- 7. The costs associated with the Wambuul Ceremonial sign were \$2,876.50.
- 8. It is estimated that the due diligence report and associated ACHA for the Stormwater Harvesting pipeline and ponds will be in the order of \$350,000. Final costs will be reported once the investigations are completed.
- 9. The costs associated with the preparation of the ACHA for the Kelso Industrial Park extension are estimated to be \$50,000. Final costs will be reported once the investigations are completed.
- 10. The costs associated with the preparation of the due diligence assessment for the Bridle Track realignment was \$3,500

- 11. The costs associated with initial investigations into the bone fragment at the Perthville levee was \$6,985, with additional costs expected but yet unknown.
- 12. \$120,000 received from NSW Regional Arts Fund to engage a First Nations curator to develop a program of arts and cultural activities to commemorate the bicentennial of the Bathurst Wars.
- 13. The cost to Council to employ the Aboriginal Liaison Officer, and associated costs, will be in the order of \$120,000 per annum.
- 14. The cost of the Construction Heritage Management Plan for the Go Kart track was \$4,400
- 15. The costs associated with the preparation of the due diligence assessment for the McPhillamy Park playground upgrade and additional services was \$7,194.
- 16. The cost of the additional assessment for the installation of sampling equipment on the Macquarie River was \$1,250.
- 17. Appointment of Dr Stephen Gapps to undertake research for Bathurst Wars digital mapping project was \$20,000.
- 18. AHIP application fee for the Hampton Park Industrial Estate: \$1,330.
- 19. The Streets as Shared Spaces project is fully funded from a NSW State Government Grant.
- 20. Due diligence assessment of lands at the Mountain to enable installation of the 'Bathurst' sign: \$7,260
- 21. Report from Extent Heritage to inform Council's submission in relation to the 2021 application lodged under the ATSIHP Act: \$34,017.50
- 22. Mount Panorama Wahluu Boardwalk Signage (Stage 1): \$29,125 (note this signage interprets both indigenous and non-indigenous heritage).

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

#### Objective 1: Our sense of place and identity.

- Strategy 1.1 Respect, protect and promote the region's Aboriginal heritage assets.
- Strategy 1.3 Enhance the cultural vitality of the region.

#### Objective 6: Community leadership and collaboration.

- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.
- Strategy 6.4 Meet legislative and compliance requirements.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

- 1. Western Advocate Ad 18-11-21 [8.1.2.1 1 page]
- 2. Letter-s 10 decision under the ATSIHP Act-17 June 2022 [8.1.2.2 1 page]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-251** 

MOVED: Cr I North SECONDED: Cr A Smith

## **RESOLVED:**

That the information be noted.

## 8.1.3 REQUEST TO NAME WALKWAY/CYCLEWAY WITHIN SALTRAM CREEK CIRCUIT

File No: 20.00024

#### **RECOMMENDATION:**

That Council adopt the name "Russell Carrig Walkway" for the walkway/cycleway which runs through the Saltram Creek open space adjacent to the Icely residential estate in Eglinton, in memory of Mr Russell William Carrig.

#### **REPORT:**

Council at the meeting held on 20 April 2022 considered a report (GM 9.1.2) **Attachment 1** on the proposal to name the walkway/cycleway adjacent to the Icely residential estate in Eglinton, in memory of Mr Russell William Carrig.

The Council resolved to advertise the proposal to seek community feedback; feedback was also sought via the Council's YourSay platform. Three submissions were received refer **Attachment 2**. The submissions closed 4 pm on 23 May 2022.

Submission	Comment	Response
R. Kent	Suggest naming the walkway  * WRC Promenade, or  * Carrig Promenade	Council's naming practice to date has been to utilise "Walkway" eg Kath Knowles Walkway. It is recommended that this practice be maintained. The submission supports the link to Mr Carrig.
H. Waldron	Suggests walkway should be named after Mr Scott	Whilst noting the submission, the report to Council 20.4.2022 shows the role of Mr Carrig and details reasons for the proposed naming.
A. Inwood	Supports the proposal but suggests the name Russ Carrig Lane	To maintain consistency with current practice, it will be recommended that the walkway be named, "Russell Carrig Walkway".

After considering the feedback and the previous representations in this matter, it is recommended that Council adopt the name "Russell Carrig Walkway" for the walkway/cycleway which runs through the Saltram Creek open space adjacent to the Icely residential estate in Eglinton, in memory of Mr Russell William Carrig.

#### FINANCIAL IMPLICATIONS:

At this time, there are no funding implications. Appropriate signage will be considered in future budget reviews.

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.5 Be open and fair in our decisions and our dealings with people.

Strategy 6.7 Invest in our people.

#### **COMMUNITY ENGAGEMENT:**

02 Consult - to obtain public feedback on alternatives and/or decisions

#### **ATTACHMENTS:**

1. Attachment 1 - GM Report No. 9.1.2 to 20 April 2022 Cl Meeting [8.1.3.1 - 50 pages]

2. Attachment 2 - Your Say Responses [8.1.3.2 - 4 pages]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-252** 

MOVED: Cr M Hogan SECONDED: Cr A Smith

#### **RESOLVED:**

That Council adopt the name "Russell Carrig Walkway" for the walkway/cycleway which runs through the Saltram Creek open space adjacent to the Icely residential estate in Eglinton, in memory of Mr Russell William Carrig.

## 8.2 DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING SERVICES REPORT

8.2.1 SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

File No: 03.00053

#### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

Section 4.15 of the Environmental Planning and Assessment Act 1979 is provided below to assist Council in the assessment of Development Applications.

- **4.15 Evaluation** (cf previous s 79C)
- (1) **Matters for consideration—general** In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application—
  - (a) the provisions of—
    - (i) any environmental planning instrument, and
    - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
    - (iii) any development control plan, and
    - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
    - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),
    - (v) (Repealed)
  - that apply to the land to which the development application relates,
- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
- (c) the suitability of the site for the development,
- (d) any submissions made in accordance with this Act or the regulations,
- (e) the public interest.
- (2) Compliance with non-discretionary development standards—development other than complying development If an environmental planning instrument or a regulation contains non-discretionary development standards and development, not being complying development, the subject of a development application complies

with those standards, the consent authority—

- (a) is not entitled to take those standards into further consideration in determining the development application, and
- (b) must not refuse the application on the ground that the development does not comply with those standards, and
- (c) must not impose a condition of consent that has the same, or substantially the same, effect as those standards but is more onerous than those standards,

and the discretion of the consent authority under this section and section 4.16 is limited accordingly.

- (3) If an environmental planning instrument or a regulation contains non-discretionary development standards and development the subject of a development application does not comply with those standards—
  - (a) subsection (2) does not apply and the discretion of the consent authority under this section and section 4.16 is not limited as referred to in that subsection, and
  - (b) a provision of an environmental planning instrument that allows flexibility in the application of a development standard may be applied to the non-discretionary development standard.

#### Note—

The application of non-discretionary development standards to complying development is dealt with in section 4.28(3) and (4).

- (3A) **Development control plans** If a development control plan contains provisions that relate to the development that is the subject of a development application, the consent authority—
  - (a) if those provisions set standards with respect to an aspect of the development and the development application complies with those standards—is not to require more onerous standards with respect to that aspect of the development, and
  - (b) if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards—is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development, and
  - (c) may consider those provisions only in connection with the assessment of that development application.

In this subsection, *standards* include performance criteria.

- (4) **Consent where an accreditation is in force** A consent authority must not refuse to grant consent to development on the ground that any building product or system relating to the development does not comply with a requirement of the *Building Code of Australia* if the building product or system is accredited in respect of that requirement in accordance with the regulations.
- (5) A consent authority and an employee of a consent authority do not incur any liability as a consequence of acting in accordance with subsection (4).
- (6) **Definitions** In this section—

- (a) reference to development extends to include a reference to the building, work, use or land proposed to be erected, carried out, undertaken or subdivided, respectively, pursuant to the grant of consent to a development application, and
- (b) **non-discretionary development standards** means development standards that are identified in an environmental planning instrument or a regulation as non-discretionary development standards.

## **FINANCIAL IMPLICATIONS:**

Nil

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

Nil

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-253** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

#### **RESOLVED:**

That the information be noted.

### 8.2.2 GENERAL REPORT

File No: 03.00053

#### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

The following reports are provided for Council's information.

- (a) Applications approved using authority delegated to the Director Environmental Planning & Building Services during June 2022 (<u>attachment 1</u>).
- (b) Applications refused during June 2022 (<u>attachment 2</u>).
- (c) Applications under assessment as at the date of compilation of this report (attachment 3).
- (d) Applications pending determination for greater than 40 days as at the date of compilation of this report (attachment 4).
- (e) Applications with variations to development standards under Clause 4.6 of Bathurst Regional LEP 2014 approved in June 2022 (**attachment 5**).
- (f) No political disclosure statements have been received in relation to any "planning applications" being considered at this meeting.

#### **FINANCIAL IMPLICATIONS:**

Nil

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.6 Plan for, assess and regulate development activity.

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

- 1. DAs approved [8.2.2.1 2 pages]
- 2. DAs refused [8.2.2.2 1 page]
- 3. DAs pending [**8.2.2.3** 3 pages]
- 4. Over 40 days [8.2.2.4 2 pages]
- 5. Variations [**8.2.2.5** 1 page]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-254** 

MOVED: Cr B Fry SECONDED: Cr K Burke

#### **RESOLVED:**

That the information be noted.

## 8.2.3 DEVELOPMENT APPLICATION NO. 2022/153 -

PROPOSED DEMOLITION, RECONSTRUCTION AND ADDITIONS TO DWELLING AT LOT: 1 DP:

998581, 227 PEEL STREET, BATHURST.

OWNER: MR M & MRS T ROBERTS.

**APPLICANT: MR M ROBERTS** 

File No: 2022/153

#### **RECOMMENDATION:**

That Council:

 a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2022/153, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following non-standard condition:

Prior to the issue of Construction Certificate, the applicant is to submit for approval:

- 1) a schedule of colours and materials. Colours and materials are to be consistent with the existing dwelling on the site. Any face brick is to be strong autumn tones.
- 2) Details of the proposed garage doors.

NOTE: The highlight windows proposed for the garage doors should be removed as they are not supported within the Heritage Conservation Area.

- b) notify those that made submissions of its decision; and
- c)
- d) call a division.

#### **SUMMARY:**

Council has received a Development Application for the demolition of an existing cottage and the construction of a replacement dwelling within the Bathurst Heritage Conservation Area at 227 Peel Street, Bathurst. The proposal includes the retention of the existing chimney of the cottage.

#### **REPORT:**

#### Site

227 Peel Street, (Lot: 1 DP: 998581) is a normal allotment fronting Peel Street between Lambert and Piper Streets, with an area of 1011.7m<sup>2</sup>.

The lot currently contains:

- An existing cottage,
- A selection of small sheds
- Gardens
- Terracing

The existing cottage is constructed on a timber frame with weatherboard cladding, an iron roof and a front verandah. It is regular in form and scale, with a symmetrical façade with central entrance door flanked by two double hung windows. The dwelling is situated close to the front boundary. The dwelling retains much of its original fabric (the external cladding, the half sheet roof sheeting and brick chimney). A half height masonry balustrade with the double timber posts and timber fretwork was likely installed in the early 20th Century.

It is noted that Development Application 2022/160 granted consent to a secondary dwelling (granny flat) to be constructed in the rear of the property. The granny flat consent includes the demolition of a number of sheds.

The site slopes from the rear to Peel Street from approximately 700m AHD (Australian Height Datum) to 696m AHD.

A location plan can be found at attachment 1.

#### **Proposed Development**

The proposed development seeks consent to:

- Demolish the existing cottage with the exception of the chimney
- Undertake earthworks and construct structural retaining walls to level the development site
- Construct a replacement dwelling incorporating the existing chimney
- Introduce an attached garage to the façade of the replacement dwelling

The proposed replacement dwelling has been designed to complement the existing cottage to be demolished, being clad in weatherboard, using sympathetic roofing and guttering materials, and retaining the original chimney.

Plans of the proposed development can be found at attachment 2.

#### **Summary of Attachments**

Attachment No.	Description
1	Location Plan
2	Plans of the proposed development
3	Statement of Heritage Impact
4	Structural Assessment
5	Submission from the Bathurst Branch of the National Trust.
6	Plans of DA 2022/160 (secondary dwelling)

#### **Planning Context**

#### **Bathurst Regional Local Environmental Plan 2014**

#### Zone

The land is zoned R1 General Residential. The objectives of the zone are as follows:

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To provide housing choice and affordability by enabling opportunities for medium density forms of housing in locations and at densities that complement the surrounding residential environment.
- To protect and conserve the historic significance and scenic quality of the urban villages of Eglinton, Raglan and Perthville.
- To enable commercial development that is compatible with the amenity of the area and does not prejudice the status and viability of the Bathurst central business district as the retail, commercial and administrative centre of Bathurst.

A dwelling house is permissible with consent in the R1 General Residential Zone. The proposal is consistent with the objectives of the R1 General Residential zone.

#### Clause 4.3 Height of Buildings

The maximum height for buildings on the land is 9m.

The existing cottage is approximately 4.63m high.

The proposed replacement dwelling is approximately 5.14m at the ridge of the new attached garage.

This development complies with the required height limit.

## Clause 5.10 Heritage Conservation

Clause 5.10(4) applies to the proposal and requires consideration be given to the effect of the proposal on the heritage significance of the Bathurst Heritage Conservation Area (HCA).

The land is within the HCA but is not listed as an individual heritage item.

#### **Historical Assessment**

The applicant provided a Statement of Heritage Impact assessing the value of the site and its context within the HCA. The Statement of Heritage Impact can be viewed at **attachment 3**.

The Heritage Impact Assessment includes the history of the ownership and development of the property. Based on the available information the following is apparent.

The first owner was Nicholas Read, having purchased the land in 1854. Nicholas Read was born in 1797 in Dublin, Ireland and is recorded as being a horse shoer and blacksmith. He was sentenced to seven years transportation to Australia.

Nicholas Read went on to become a publican, running the Good Woman Inn from 1843 to 1850, which became known as the Royal Hotel in 1851. In 1849 Nicholas Read built a two

storey Inn in George Street known as the Elephant and Castle. The name changed to the Courthouse Hotel and changed again to the Metropolitan Hotel.

His son, Richard Read, was the publican of the Post Office Hotel from 1900 – 1908. Richard Read was an alderman of Bathurst Council from 1874 – 1883 and was involved in Hunting and Coursing. He sat on the committee of the Bathurst Hunt Club in 1876 and the Bathurst Coursing Club in 1978.

Subdivision of the land occurred around 1878 resulting in the sale of the land to Mr Beale in the same year. The house at 227 Peel Street is listed in 1879 as a 'Wooden House with 4 rooms.' Various tenants are listed between 1885 and 1891 during the time of Charles Beale's ownership. In 1887 the property is listed as being a 'House with 5 rooms.'

In 1892 the owner is recorded as William Pascoe. It is considered unlikely that Mr Pascoe was living in the house, and that he rented it for income. William Pascoe was the curator of the Bathurst Museum from its date of opening in the 1890's until his death in 1903.

#### Structural Assessment

A Structural Assessment aims to demonstrate the condition of the building and essential and desirable works. Council's DCP defines essential work to be "any works required to make the building structurally sound and safe and reverse any adverse deterioration". Desirable works means "other work required to make the structure more habitable and comfortable".

The Structural Assessment prepared by Calare Civil (see <u>attachment 4</u>) identifies the following condition of the building and essential and desirable works.

## 3. External Inspection

Roof iron was in poor condition at the time of the inspection with severely damaged/leaking roof guttering and downpipes.

External timber (structural and non-structural) and eaves displayed weather damage and rotted at the time of the inspection. There would be a strong likelihood of asbestos in the building and will need to be tested.

#### 4. Internal Inspection

The internal inspection revealed major damage through every part of the building and evidence of old repairs. There was evidence of long term movement patterns (e.g. doors out of alignment, old cracks etc.)

There is damage to the floors in most areas, mostly from water. Timber piers are showing signs of rot and mildew.

Broken and damaged roof members.

#### 5. Remedial works and cost estimate of works

Our inspection revealed that the building has suffered major damage throughout due to reactive clay movement, unsuitable building techniques and general weathering/deterioration due to lack of maintenance over a long period of time.

## Remedial Works and cost estimate excluding GST

a)	Repair external timber and eaves	\$25,000
b)	Replace iron roof	\$20,000
c)	Replace all gutters and downpipes and ensure connection to in ground system	\$8,000
d)	Repair sub floor bearers and joists and replace floor throughout	\$40,000
e)	Check for asbestos(likely) and remove	\$30,000
f)	Repair cracked and damaged masonry	\$11,000
g)	Replace all internal plumbing	\$10,000
h)	Repair all stormwater drainage	\$4,000
i)	Replace bathroom	\$15,000
j)	Replace kitchen	\$15,000
k)	Replace all electrical wiring	\$11,000
Cos	st estimate ex GST	\$189,000

The Structural Report by Calare Civil (dated 27/7/21) indicates remedial works to rectify the building in the order of \$159,000. (Costs to install new bathroom and kitchen are not considered essential works and therefore not included). Whilst the dwelling has a high BCAMS rating and its external timber cladding makes it somewhat rare, the building in its current state will require significant reconstruction work which will ultimately alter the original fabric.

#### **BCAMS Assessment: 227 Peel Street Bathurst**

In order to assess the conservation significance of the dwelling proposed for demolition and consider the findings of the Statement of Heritage Impact in relation to whether or not demolition can be supported in this instance, an assessment under the *Bathurst Conservation Area Management Strategy* (BCAMS) was undertaken.

The following table provides a summary of the assessment.

Address of Building: 227 Peel Street Bathurst	BCAMS Rating: 10
Type of Building/Current Use: Residential detached dwelling	Zoning: R1 General Residential
	Period of Construction:  Late Victorian 1875- 1901



□ <u>Rare</u>

**Heritage Listings:** None. The subject site is located within Bathurst Heritage Conservation Area and has a BCAMS rating of Contributory and Federation (1901-1920's). The Heritage Impact Statement submitted with the application (prepared by Brett Moulds, Issue B, dated 8 March 2022), indicates a construction date of 1878. The dwelling on the site incorporates a half height masonry balustrade with the double timber posts and timber fretwork, which were likely instated in the early 20<sup>th</sup> Century. The BCAMS age is based on a visual inspection of architectural features and as such is subject to confirmation should further historical information be sought, which in this case, it has.

**Brief History:** As noted in the HIS, the first owner was Nicholas Read, having purchased the land in 1854. Nicholas Read was born in 1797 in Dublin, Ireland and is recorded as being a horse shoer and blacksmith. He was sentenced to seven years transportation to Australia.

Nicholas Read went on to become a publican, running the Good Woman Inn from 1843 to 1850, which became known as the Royal Hotel in 1851. In 1849 Nicholas Read built a two storey Inn in George Street known as the Elephant and Castle. The name changed to the Courthouse Hotel and changed again to the Metropolitan Hotel.

His son, Richard Read, was the publican of the Post Office Hotel from 1900 – 1908. Richard Read was an alderman of Bathurst Council from 1874 – 1883 and was involved in Hunting and Coursing. He sat on the committee of the Bathurst Hunt Club in 1876 and the Bathurst Coursing Club in 1978. Subdivision of the land occurred around 1878 resulting in the sale of the land to Mr Beale in the same year. The house at 227 Peel Street is listed in 1879 as a 'Wooden House with 4 rooms.' Various tenants are listed between 1885 and 1891 during the time of Charles Beale's ownership. In 1887 the property is listed as being a 'House with 5 rooms.' In 1892 the owner is recorded as William Pascoe. It is considered unlikely that Mr Pascoe was living in the house, and that he rented it for income. William Pascoe was the curator of the Bathurst Museum from its date of opening in the 1890's until his death in 1903.

**Physical Description:** The original dwelling is constructed on a timber frame with weatherboard cladding, an iron roof and a front verandah. It is regular in form and scale, with a symmetrical façade with central entrance door flanked by two double hung windows. The dwelling is situated close to the front boundary. Retains much of its original fabric (the external cladding, the half sheet roof sheeting and brick chimney). A half height masonry balustrade with the double timber posts and timber fretwork as likely instated in the early 20<sup>th</sup> Century.

Condition Description: A Structural Report (prepared by Calare Civil dated 27/7/21) indicates the dwelling has suffered significant damage as a result of ground movement and ageing building techniques. Statement of Significance: A small scale timber cottage of a size typical for the period, displaying many original features. The external timber cladding on a dwelling of this small scale and in this location is relatively rare.

Heritage Significance

## (4) Historically significant in a regional context (pre 1900/state significant)

- (3) Historically significant in a local context (1900 1920s)
- (2) Significant in a local context (1930s-50s)
- (0) Not significant

Special Vegetation: None.

Streetscape Rating

(3) Contributory

- (1) Neutral
- (0) Intrusive

Integrity
(3) Substantially intact
(2) Altered sympathetically
(1) Altered unsympathetically –
Reversible
(0) Altered unsympathetically – Non-
reversible
(0) Identified as intrusive under
Streetscape rating

The overall conclusion of Council is that the dwelling is historically significant given its age and connection to prominent citizens from the past. This is reflected in its high BCAM's rating of 10 which is the highest level available. That said however the cottage has been allowed to decay over time to the point such that repair work would likely involve significant reconstruction, the result being that significant alteration and replacement of fabric would be required.

## **Infill development**

The proposed design has been altered as part of the assessment process in relation to the roof form over the garage, increased separation to the dwelling and the addition on the northern elevation has been increased off the existing chimney. In relation to the proposal:

- The original chimney (in bed 3) is to be retained.
- The highlight windows in the garage panel doors are not supported. A condition of consent is recommended.

Whilst it is Council's preference to retain the existing dwelling, the condition of the building requires significant reconstruction work which will ultimately alter the original fabric. The proposed reconstruction will enable the form of the original building to contribute to the streetscape. The design of the proposal is considered appropriate in this instance given the constraints of the site including the slope of the land and a sewer main that traverses the site.

## 7.3 Airspace Operations

It is noted that the site is affected by the Obstacle Limitation Surface Map of the Bathurst Regional Local Environmental Plan 2014. The map indicates that the site is affected by the Approach Surface (879.5-920.4m AHD), limiting development to below this height. The proposed development rises to approximately 699m AHD and is therefore compliant with the Clause 7.3.

## 7.5 Essential Services

Service	Availability		
Water,	Water will be provided by existing connection.		
Electricity,	Electricity will be provided by existing connection.		
Sewage disposal/management	The proposed dwelling will be connected to the existing sewer connection.		
Stormwater	Storm water must be conveyed to Peel Street.		
Access.	Access is proposed by a new driveway to Peel Street, to which Council's subdivision supervisor does not object. Council's subdivision supervisor requires that the existing driveway be sealed or removed. This will form part of the conditions of any consent.		

## **Bathurst Regional Development Control Plan 2014**

## Chapter 4 Residential Development

The existing cottage is set back 2.2m from the front boundary to Peel Street. The proposed replacement dwelling and garage are set back from the front boundary approximately 2.2m and 3m respectively.

Section 4.4.2 of the DCP requires that the minimum building line within the Bathurst HCA "must complement the existing setbacks of surrounding buildings in the vicinity and within the streetscape. Visibility must be maintained on corner allotments". The proposed setbacks are considered to be satisfactory.

It is considered that privacy to adjoining lots is retained.

It is considered that the proposed parking and maneuvering areas are adequate.

Private open space requirements are retained for both the approved granny flat, and the proposed replacement dwelling.

## Chapter 10 Urban Design & Heritage Conservation

These matters are addressed in detail above. Whilst it is Council's preference that the existing cottage be retained, the condition of the building requires significant reconstruction work which will ultimately alter the original fabric. The proposed reconstruction will enable the form of the original building to contribute to the streetscape. The design of the proposal is considered appropriate in this instance given the constraints of the site including the slope of the land and a sewer main that traverses the site.

#### Chapter 16 Earthworks

The application proposes significant cut to level the site for the proposed replacement dwelling and garage. The site plans provided at <u>attachment 2</u> provides an illustration of the extent of the cut. The maximum depth of the cut is proposed to be 2.2m, supported by retaining wall.

Section 16.3.2 of the DCP requires that where cut and/or fill in excess of 1m is proposed, any change in level (in excess of 1 metre) is to be stepped away from the boundary at a minimum of 45°. The application proposes a 2.2m cut on the boundary adjoining the neighbouring Lot: B DP: 158047 (229 Peel Street, Bathurst). This represents a variation to the development standard which is considered supportable. A condition of consent will require that the cut be appropriately retained, with all retaining wall elements (footings, drainage, wall, etc) located within Lot: 1 DP: 998581.

### The Bathurst Regional Community Participation Plan 2019

The application was notified to property owners within the vicinity of the site between 19 April and 2 May 2022.

One submission was received during this notification period, from the Bathurst Branch of the National Trust. The submission can be found at **attachment 5**.

The submission raises the following matters:

- 1. The lodgment of DA [2022/160] for the erection of a second dwelling suggests that the intent is to remove a perfectly restorable original heritage cottage to allow for the second dwelling access and a future resub- division of the lot.
- 2. The rear fibro extension could be demolished and additions added to the original 4 rooms of the cottage providing an update of the cottage for modern living. By retaining the four front rooms of the cottage and the verandah, the streetscape would be maintained as has been accomplished in the adjoining and adjacent heritage cottages.
- 3. The proposed attached double garage would adversely affect the heritage streetscape as it dominates the proposed facade of the new dwelling. There is room on the site for a double garage without it being attached to the front of the dwelling.

Below are comments addressing each of the concerns:

- 1. Development Application 2022/160 has approved the construction of a secondary dwelling (granny flat) at the rear of the site (see <u>attachment 6</u> for plans of the proposed granny flat). There is no provision for secondary dwellings (granny flats) to be subdivided
- 2. The development originally intended to retain the existing cottage, but it has been identified that the cottage is not in a state to repair. The proposed replacement dwelling has been designed to replicate the features of the existing cottage, whereby the style will continue to contribute to the streetscape.
- 3. It is considered that the garage, while certainly a presence on the street front, is setback from the street and does not dominate the streetscape.

#### **CONCLUSION:**

Council has received a Development Application seeking consent for the demolition of an existing cottage and the construction of a replacement dwelling and double garage at 227 Peel Street, within the Bathurst Heritage Conservation Area. The replacement dwelling is proposed to retain the chimney of the existing cottage as well as being constructed to compliment many design features of the façade.

One (1) submission was received during notification, raising concerns over the heritage value of the site, and the impact on the broader heritage context of Bathurst.

The current proposal is consistent with the LEP and the DCP, and the variation regarding earthworks is considered supportable, therefore the application is recommended for approval subject to conditions.

#### FINANCIAL IMPLICATIONS:

N/A

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.2 Protect, enhance and promote the region's European heritage assets and character.

Objective 4: Enabling sustainable growth.

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business

groups on important matters affecting the Bathurst region.

Strategy 6.4 Meet legislative and compliance requirements.

Strategy 6.5 Be open and fair in our decisions and our dealings with people.

### **COMMUNITY ENGAGEMENT:**

02 **Consult** - to obtain public feedback on alternatives and/or decisions

### **ATTACHMENTS:**

- 1. Location Plan [8.2.3.1 1 page]
- 2. Plans of the proposed development [8.2.3.2 8 pages]
- 3. Statement of Heritage Impact [8.2.3.3 115 pages]
- 4. Structural Assessment [8.2.3.4 37 pages]
- 5. Submission [**8.2.3.5** 2 pages]
- 6. Approved Plan 2022-160 [8.2.3.6 8 pages]

#### MINUTE

**RESOLUTION NUMBER: ORD2022-255** 

MOVED: Cr B Fry SECONDED: Cr M Hogan

#### **RESOLVED:**

That Council:

a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2022/153, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following non-standard condition:

Prior to the issue of Construction Certificate, the applicant is to submit for approval:

- a schedule of colours and materials. Colours and materials are to be consistent with the existing dwelling on the site. Any face brick is to be strong autumn tones.
- 2) Details of the proposed garage doors.

NOTE: The highlight windows proposed for the garage doors should be removed as they are not supported within the Heritage Conservation Area.

b) notify those that made submissions of its decision; and

c) call a division.

## On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

## The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

<u>Against the Motion</u> - Nil

<u>Absent</u> - Cr J Jennings

<u>Abstain</u> - Nil

8.2.4 DEVELOPMENT APPLICATION NO. 2022/207 PROPOSED TWO STOREY DWELLING, DETACHED
CARPORT AND 2 LOT RESIDENTIAL SUBDIVISION AT
263 LAMBERT STREET, BATHURST. APPLICANT: MRS
D SETHI. OWNER: MRS D SETHI

File No: 2022/207

## **RECOMMENDATION:**

That Council:

 a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application no. 2022/207, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following:

b)

1) Prior to the issue of Construction Certificate, the applicant is to submit for approval a schedule of colours and materials. Colours and materials are to be consistent with the existing dwelling on the site. Any facebrick is to be strong autumn tones.

2)

3) During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.

4)

5) The cladding on the roof of the proposed dwelling and garage is to be of traditional corrugated profile.

6)

7) No demolition shall cause damage to, or adversely affect, the structural integrity of a building or those portions that are to be retained (clause 1.7.3.1 – AS2001-2001). The applicant is to ensure that when undertaking the proposed partial demolition every precaution is taken to protect the structural integrity of the remaining walls and roof. This may necessitate the removal of materials by hand, particularly where materials are bonded in or 'toothed' in (such as brickwork) or have a shared foundation or shared timber plate.

8)

9) The use of heavy machinery is strongly discouraged because of the damage it can cause to the subject building and surrounding buildings. Heavy machinery must not be used within three metres of those portions that are to be retained.

10)

- 11) NOTE: A description of the method of demolition proposed to be used and the type of equipment proposed for implementing those methods is to be lodged with Council prior to the commencement of work.
- 12) All earthworks, filling, building, driveways or other works, are to be designed

and constructed (including stormwater drainage if necessary) so that at no time will any ponding of stormwater occur on adjoining land as a result of this development.

13)

- c) notify those that made submissions of its decision; and
- d) call a division.

## **SUMMARY:**

Council has received a Development Application seeking consent to demolish the existing shed and construct a two storey second dwelling house (dual occupancy), a detached carport and two (2) lot torrens title subdivision at 263 Lambert Street, Bathurst.

## **REPORT:**

#### <u>Site</u>

263 Lambert Street, Bathurst (Lot A DP161951) is located on the north-eastern side of Lambert Street and is within the Bathurst Heritage Conservation Area (HCA). The site is approximately 607m² in area and currently contains an existing semi-detached dwelling house with a detached shed. The site contains a number of existing trees grouped adjacent to the southern side boundary which are not of a substantial height and are introduced species.

An aerial map of the land and surrounding area is available in attachment 1.



Figure 1 - Proposed development overlaid aerial imagery.

Adjoining the land to the north west and north east is 265 Lambert Street, where there is development consent to construct 8 detached single storey units (DA2019/156).

Adjoining to the south east (261 Lambert) is a semi detached dwelling. Development consent has been granted to construct a single storey second dwelling (dual occupancy)

in the rear yard of 261 Lambert Street (DA2019/198).

## **Proposed development**

The development application seeks consent to:

- Demolish the existing detached shed
- Remove five (5) existing trees
- Construct a two-storey second dwelling (dual occupancy)
- Construct a detached carport for the existing semi-detached dwelling house
- Two (2) lot Torrens title subdivision

The proposed allotments will comprise the following:

Proposed Lot	Proposed Lot Size (approx.)	To Contain
А	300.1m <sup>2</sup>	Existing semi-detached dwelling house, proposed detached single carport and visitor space.
В	303.0m <sup>2</sup>	Proposed two storey dwelling house with three bedrooms, study, two bathrooms, open plan living/dining/kitchen, laundry and single garage.

Proposed plans for the development are provided in <u>attachment 2</u> and the Statement of Environmental Effects at **attachment 3**.

Note that during assessment, additional information was requested to include amendments to the plans.

### **Summary of Attachments**

Attachment No.	Description
1	Aerial map of land and surrounding area.
2	Plans of the proposed development.
3	Statement of Environmental Effects.
4	Public submissions received in relation to proposal.
5	Applicant's written response to the public submission.

## **Planning Context**

## Bathurst Local Environmental Plan 2014

The subject site is zoned R1 – General Residential under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. A *dual occupancy (detached)* is permissible with consent in the R1 General Residential zone. The proposal is consistent with the objectives of the zone.

## Clause 4.1B Minimum lot sizes for dual occupancies, multi dwelling housing and residential flat buildings

The *Minimum Lot Size – Dual Occupancy Map* for this locality indicates a minimum lot size of 600m<sup>2</sup>. The subject site has an area of 607m<sup>2</sup> and therefore a dual occupancy is permissible.

#### Clause 4.3 Height of Buildings

The *Height of Buildings Map* for this locality indicates a maximum overall building height of 9 metres. The proposed two-storey dwelling will have an overall height of 6.8 metres which complies.

## **Clause 5.10 Heritage Conservation**

The subject site is within the Bathurst Heritage Conservation Area. The subject site does not contain an individual Heritage Item.

The siting of the new dwelling at the rear of the site and the design of the front façade will ensure that there is minimal impact on the existing semi-detached dwellings at the front of the site.

While parts of the proposed new two-storey dwelling will be visible from Lambert Street and partially visible from Stewart Street, the dwelling will be set back approximately 43m from Lambert Street and approximately 50m from Stewart Street. The development will therefore have limited direct impact on the streetscape of the respective streets.

The materials to be used on the property are consistent with those used in the Heritage Conservation Area, being face brick on the ground floor external walls with weatherboard profile on the first floor external walls, and Colorbond roof sheeting.

Bathurst Regional Development Control Plan 2014

## **Chapter 4 – Residential Development**

The site is contained within Precinct 1 pursuant to the *Bathurst Regional Development Control Plan 2014 (DCP)*. Dual occupancies are permissible with consent in the precinct. The proposal complies with the objectives of the Precinct and the development standards for dual occupancies as outlined below:

Development standard	Requirement	Proposed	Compliance
Minimum lot size	600m <sup>2</sup>	607m <sup>2</sup>	Yes.
Site coverage	Max. 50% coverage	46.93%	Yes.
Height	Two-storey max.	Two-storey	Yes.
Setback – front	N/A	N/A	N/A.
Setback – rear	1.5m	2.7m	Yes.
Setback – side	In compliance with NCC for single storey 1.5m for two storey	400mm 1.5m	Yes.
Carparking – resident	1 per dwelling	1 per dwelling	Yes.
Carparking – Visitor	1 per 2 dwellings	1 to be shared	Yes.
Accessway width	3-6m wide	3m with ROW	Yes.
Open space area (existing 2-BR dwelling)	30m <sup>2</sup>	40m <sup>2</sup>	Yes.
Open space area (proposed 3-BR dwelling)	40m <sup>2</sup>	42.5m <sup>2</sup>	Yes.
Open space width (existing 2-BR dwelling)	4m wide	4.1m	Yes.
Open space width (proposed 3-BR dwelling)	4m wide	4.1m	Yes.

#### **Public Consultation**

The Development Application was notified to adjoining property owners from 20 May 2022

to 30 May 2022. Two (2) submissions were received (attachment 4).

A Discussion Forum was arranged for 21 June 2022. The discussion forum was attended by representatives on behalf of the applicant. The submission makers did not attend. It was requested that the applicant provide a written response to the concerns raised which can be viewed in **attachment 5**.

Issues raised in the submissions included:

- Overshadowing
- Height of the two-storey dwelling impacting the HCA
- Visual impact of the design on the HCA
- Privacy impacts
- Stormwater drainage

### Overshadowing

**Applicant's response:** Overshadowing will not be an issue given the location of the subject property to 249 Stewart Street. This is evident in the sun shadow diagrams provided within the documentation. At no time other than late afternoon will the property be affected by projected shadows, which pose no greater shadow than the existing boundary fence.

**Comment:** Shadow diagrams for the proposal are provided in <u>attachment 2</u>. The properties affected by overshadowing are:

- 261 Lambert Street, Bathurst (Lot B DP 161951)
- 251 Stewart Street, Bathurst (Lot 1 DP 997080)
- 249 Stewart Street, Bathurst (Lot 1 DP 152569)

It is noted that a single storey dwelling house (dual occupancy) has been approved on 261 Lambert Street, Bathurst which has not yet been constructed nor subdivided.

Shadow Diagrams have been prepared to include the approved dwelling house on 261 Lambert Street and can be viewed in Figure 2 and 3 below.

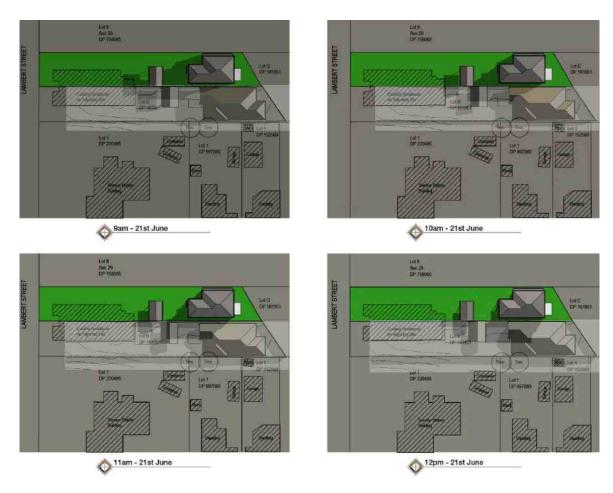
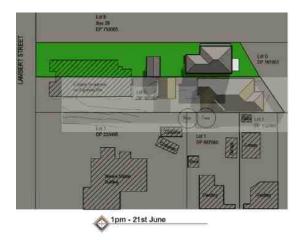
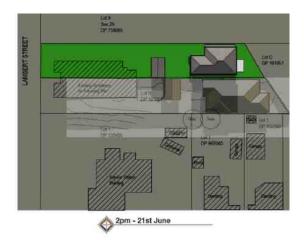


Figure 2 – Shadow Diagrams for surrounding development 9am-12pm 21 June





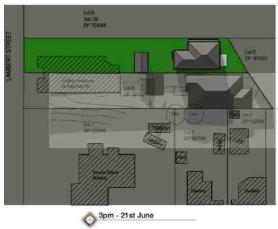


Figure 3 – Shadow Diagrams for surrounding development 1pm – 3pm 21 June

## The DCP 2014 states that:

New development should not significantly affect access to sunlight of existing or likely future development on other property between 9.00am and 3.00pm, particularly living areas and usable open space. At least two hours sunlight to indoor and outdoor living areas of adjoining properties is to be maintained between 9.00am and 3.00pm on June 21.

As evident in the above figures, the proposed two-storey dwelling does not overshadow its own private open space except for a minor occurrence at 3pm allowing more than 2 hours of sunlight to be accessed. The shadows cast will overlay the vehicular circulation space for the proposed development, and will cast over the vehicular circulation space, carport and second dwelling (dual occupancy) on 261 Lambert Street, Bathurst. No private open space is significantly impacted by the overshadowing and all surrounding development will received at least two hours of sunlight.

#### Height

**Applicant's response:** There are many two storey dwellings within the Heritage Conservation Area. The subject building is proposed within the rear yard of a site reducing its bulk and scale from any streetscape. The façade treatment and proposed materials are in keeping with other existing dwellings within the area.

Comment: As demonstrated above the proposed development complies with Clause 4.3

Height of Buildings of the LEP 2014 given that the overall building height is under 9m. Further, the DCP 2014 requires that no more than two floors are constructed in the R1 General Residential and R2 Low Density Residential zones. The two-storey dwelling house (dual occupancy) is compliant with this requirement.

## Visual impact of the design on the HCA

The proposed dwelling will be set back from Lambert Street by approximately 43m, and will be partially visible from the street. The second dwelling (dual occupancy) has been articulated in its form and building materials to complement the existing dwelling house, allowing the existing dwelling to remain the dominant feature of the Lambert Street streetscape. It is also noted that the existing dwelling house will mostly screen the proposed dwelling from Lambert Street.

The proposal is considered to have minimal impact on the heritage conservation area and is supported subject to the following conditions:

- Prior to the issue of Construction Certificate, the applicant is to submit for approval a schedule of colours and materials. Colours and materials are to be consistent with the existing dwelling on the site. Any face brick is to be strong autumn tones.
- During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.
- NOTE 1: A Section 140 Permit will need to be obtained to disturb archaeological relics. This permit is to be obtained from the Department of Premier & Cabinet (Heritage), prior to the disturbance of the archaeological relics.
- The cladding on the roof of the proposed dwelling and carport is to be of traditional corrugated profile.
- No demolition shall cause damage to, or adversely affect, the structural integrity of a building or those portions that are to be retained (clause 1.7.3.1 AS2001-2001). The applicant is to ensure that when undertaking the proposed partial demolition every precaution is taken to protect the structural integrity of the remaining walls and roof. This may necessitate the removal of materials by hand, particularly where materials are bonded in or 'toothed' in (such as brickwork) or have a shared foundation or shared timber plate.

The use of heavy machinery is strongly discouraged because of the damage it can cause to the subject building and surrounding buildings. Heavy machinery must not be used within three metres of those portions that are to be retained.

NOTE: A description of the method of demolition proposed to be used and the type of equipment proposed for implementing those methods is to be lodged with Council prior to the commencement of work.

#### Privacy

**Applicant's response:** The windows on the upper floor of the south east side of the proposed dwelling which will address 249 Stewart Street consist of two bathroom

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windows. The size of each window is 1000mm high x 730mm wide, the glazing will be obscure. This will have no negative impact on 249 Stewart Street.

**Comment:** The second dwelling (dual occupancy) has been designed and sited such that there are no windows that will directly face the habitable rooms or private open space of adjoining properties. 'Active' rooms such as the living and dining room are located on the ground floor and have windows which face the vehicular circulation space and patio respectively. Given the setback of the dwelling, the location and the size of the windows, it is expected that privacy impacts would be minimal.

### Stormwater drainage

**Applicant's response:** As a part of the proposed works, a civil design will be completed by a practicing engineer. This will include a retaining wall design and a stormwater and pavement design. The combination of the designs will see that all stormwater generated by the subject property will be drained to the street.

**Comment:** The proposed second dwelling (dual occupancy) will be required to be serviced wholly within the proposed allotment. Stormwater drainage will be required to be discharged at the legal point and a condition of consent will be imposed that at no point will ponding of stormwater occur on adjoining land as a result of the development.

## **CONCLUSION:**

Council has received a Development Application for a two-storey dual occupancy (second dwelling), a detached carport and two (2) lot Torrens title subdivision at 263 Lambert Street, Bathurst. The proposal complies with the objectives of the Residential Precinct and the development standard for dual occupancies. The Development Application was notified to adjoining property owners from 20 May 2022 to 30 May 2022. Two submissions were received during the notification period. Issues raised in the submission are addressed in this report and in recommended conditions of consent.

## FINANCIAL IMPLICATIONS:

Nil

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.5 Promote good design in the built environment.

Objective 4: Enabling sustainable growth.

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

02 Consult - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

- 1. Aerial map [8.2.4.1 1 page]
- 2. Plans of the proposed development [8.2.4.2 12 pages]
- 3. Statement of Environmental Effects [8.2.4.3 29 pages]
- 4. Public Submissions received in relation to proposal [8.2.4.4 2 pages]
- 5. Applicant's written response to the public submission [8.2.4.5 2 pages]

### **MINUTE**

**RESOLUTION NUMBER: ORD2022-256** 

MOVED: Cr I North SECONDED: Cr A Smith

**RESOLVED:** 

That:

- a. Consideration of DA 2022/207 be deferred to the August meeting of Council,
- b. Prior to the August Council meeting, that a meeting be held with the Applicant and objectors be facilitated by Council staff; and
- c. Call a division

## On being PUT to the VOTE the MOTION was CARRIED

## The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

Against the Motion - Cr B Fry

Absent - Cr J Jennings

Abstain - Nil

8.2.5 DEVELOPMENT APPLICATION NO. 2020/31 – BAKERY, CAFÉ & TWO LOT SUBDIVISION AT 369 STEWART STREET, BATHURST. APPLICANT: ANTHONY DAINTITH TOWN PLANNING. OWNER: PREFABRICATED BUILDINGS PTY LTD

File No: 2020/31

## **RECOMMENDATION:**

That Council:

- a) having undertaken a review of the application pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979, change its decision and grant consent to Development Application 2020/31 for a bakery, café and two lot subdivision at 369 Stewart Street, Mitchell, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
  - 1) The automatic fire suppression system installed in the building currently being used by AWH as a wool store is to be upgraded to comply with Performance Requirement EP1.4 which states that:

An automatic fire suppression system must be installed to the degree necessary to control the development and spread of fire appropriate to—

- (a) the size of the fire compartment; and
- (b) the function or use of the building; and
- (c) the fire hazard; and
- (d) the height of the building.
- 2) The existing property entrance is to be upgraded to include a Basic Right (BAR) and Basic Left (BAL) in accordance with the Austroads Guide to Road Design. The existing pavement is to be widened if required and appropriate line marking and changes to on street parking are to be implemented to accommodate and formalize these treatments. All works are to be in accordance with the requirements of TfNSW.
- 3) The construction of a 1.5 metre wide, 100 mm thick concrete footpath within the footway on the northern side of Stewart Street for the full frontage of proposed Lot 4 in accordance with Bathurst Regional Council's Guidelines for Engineering Works. Where this involves a corner lot it is to include connections to the back of the kerb and the construction of perambulator laybacks in those kerbs.

The extent of the footpath may be reduced where it can be demonstrated that the construction of the footpath will require removal of existing established trees within the public road reserve.

4) The construction and sealing of the road shoulder and the construction of barrier kerbing and guttering, including the provision of street drainage where

necessary, in Stewart Street for the full frontage of proposed Lot 4. All such works are to comply with Bathurst Regional Council's Guidelines for Engineering Works.

(b) call a division.

#### **REPORT:**

Council has received a request to review its decision to refuse a Development Application for subdivision and construction of a bakery and cafe at 369 Stewart Street pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979.

The Development Application was refused under Delegated Authority on 7 February 2022 following a number of requests for provision of additional information that remained outstanding.

The refusal was issued for the following reason:

1. The proposed two lot subdivision will place a new boundary within 18 metres of the existing warehouse building on the subject site. The applicant has failed to provide details of the existing and proposed fire safety measures for the existing warehouse building to enable detailed assessment of the proposal.

See written request for review at **attachment 1**.

#### The Site

Council has received a Development Application for the construction of a bakery, café and two lot subdivision at 369 Stewart Street, Mitchell, described as Lot 2, DP 270264.

See location plan and aerial photo at attachment 2.

369 Stewart Street is a large industrially zoned parcel of land which has an area of 7.25 ha. It has frontage to both Stewart Street and Browning Street.

The subject site currently contains two large warehouses, a gatehouse and a number of separate business premises and storage premises. The "H" shaped building located off Stewart Street is listed as a heritage item because of its association with the old munitions factory.

The adjoining properties to the west and south contain the Bathurst Correctional Centre. The adjoining properties to the north-east contain industrial workshops.

Council also has before it a second Development Application for consideration at this meeting. Each application is considered in isolation and although the issues as they relate to the location of the boundary relative to the buildings on site are common, each application can be considered on its own merits.

#### Summary of attachments

Attachment No.	Description

1	Request for review
2	Location plan and aerial photo
3	Plans of proposed development
4	Statement of Environmental Effects
5	Traffic & Parking Impact Assessment
6	TfNSW comments
7	Fire Safety Report

## The proposal

The proposal involves:

- Additions and alterations to existing gatehouse building and change of use to café;
- Construction of separate bakery building; and
- Two lot subdivision.

The café building includes alterations to the existing gatehouse building to accommodate a kitchen, amenities and dining areas.

A separate bakery building is also to be constructed comprising the bakery and associated storage and coolrooms.

Access to the café and bakery is provided from the existing entry into the property from Stewart Street.

A carpark is to be constructed within site to provide parking for the respective uses.

The subdivision involves dividing the land into two allotments. Lot 4 being an allotment of 1610 sqm and will contain the cafe and bakery building. Lot 2 being an allotment of 7.09 ha will contain the remainder of the buildings on the site.

See plans of proposed development at <u>attachment 3</u> and Statement of Environmental Effects at <u>attachment 4</u>.

Assessment of application and requests for additional information

The Development Application was originally lodged on 7 February 2020

Additional information requests were made of the applicant on 2 April 2020, 16 September 2020 and 21 April 2021 to address various matters required for proper assessment of the issues.

On 26 November 2021, the Minister for Planning published an Order under the Environmental Planning and Assessment Act 1979 known as the "Statement of Expectations". The Statement sets out the expectations for councils in relation to the performance of its planning functions. Relevant to development applications was the Minister's Expectation that they should be determined as soon as practical and no longer than 180 days from lodgment.

Consistent with that Expectation, Council advised the applicant on 31 January 2022 that the application would be determined in the near future unless the outstanding information was provided.

Accordingly, the application was refused under delegated authority on 7 February 2022.

The current submitted documentation addresses the principal reason for refusal. The review involves a complete assessment of the Development Application as lodged and is not purely limited to the fire safety matters.

## Planning Context

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned IN1 General Industrial under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. The proposal is defined as restaurant or café and light industry, the definitions of which are:

**Restaurant or cafe** means a building or place the principal purpose of which is the preparation and serving, on a retail basis, of food and drink to people for consumption on the premises, whether or not liquor, take away meals and drinks or entertainment are also provided.

**Light industry** means a building or place used to carry out an industrial activity that does not interfere with the amenity of the neighbourhood by reason of noise, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil, or otherwise, and includes any of the following—

- (a) high technology industry,
- (b) home industry,
- (c) artisan food and drink industry,
- (d) creative industry.

Restaurant or café and light industry are all permissible with consent in the IN1 General Industrial zone. The proposal is not inconsistent with the objectives of the zone.

#### Clause 4.4 Floor space ratio

The Floor Space Ratio Map for this locality identifies a maximum FSR of 1:1. The FSR of this site will not exceed 1:1 even with the proposed buildings.

## Clause 5.10 Heritage conservation

The subject site contains a Heritage Item, specifically the subject site contains the "H-shaped Administration Building for the ADI Small Arms Factory". Approximately half of the existing gatehouse building to be used as the café is within the curtilage of the Heritage Item.

The proposed extensions to the gatehouse building and the new bakery building do not have any direct impact on the heritage item.

The following conditions are considered appropriate to be imposed on the consent:

 During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.

NOTE 1: A Section 140 Permit will need to be obtained to disturb archaeological relics. This permit is to be obtained from the Department of Premier & Cabinet

(Heritage), prior to the disturbance of the archaeological relics.

- The cladding on the walls and roof of the proposed building is to be of traditional corrugated profile.
- Unless development consent can be assumed in accordance with the Bathurst Regional Local Environmental Plan 2014, a Development Application is to be submitted to Council and development approval obtained, prior to any advertising structure, sign, notice, device or representation in the nature of an advertisement being erected, fixed or displayed on the land or on any building thereon.
- The submission of a letter or report, rendered drawings, manufacturers brochures and/or samples sufficient to detail the types and colours of the external materials to be used in the construction.
- Prior to the issue of an Occupation Certificate, details of a heritage interpretation strategy are to be submitted to Council for Approval. The strategy is to provide details of how the Heritage of the site will be recorded and interpreted in/and around the new/existing buildings (e.g. a sign plaque).

#### Bathurst Regional Development Control Plan 2014

The relevant development standards contained in Chapters 5 (business and industrial development) and 14 (parking) of the DCP are summarised below.

Development Standard	Permissible	Proposed	Compliance
Floor area	NA	Bakery – 138m² Café – 107m²	NA
Setback – Front	10 metres	10 metres	YES
Setback – Rear	As per NCC	As per NCC	YES
Setback – Side	As per NCC	As per NCC	YES
Floor space ratio	1:1	< 1:1	YES
Car parking	Bakery (Industry):  1 space per 100m2 or 1 space per 2 employees whichever is greater Based on 138m2 – this equates to 1.3 spaces.  Restaurant/Café: 1 space per 10m2 or 1 space per 3 seats whichever is greater. Based on 107m2 this equates to 10.7 spaces (also it is likely that there will be no more than 30 seats which also requires to 10 spaces).	1.3 + 10.7 = 12  Plans indicate 12 onsite car parking spaces	YES
Accessway Width	6m	6 metres	YES
12.5m vehicle manoeuvring	Yes	Yes	YES
Landscaping	Yes	No landscape plan submitted	NO¹

<sup>&</sup>lt;sup>1</sup> Plans for the proposed development identify locations for landscaping but do not include a detailed landscape plan. A condition will be imposed to ensure that a detailed landscape plan is submitted prior to the issue of the Construction Certificate.

## Agency Referrals

The Development Application has been supported by a Traffic and Parking Impact Assessment (see **attachment 5**).

Stewart Street/Mid Western Highway is a TfNSW controlled road. As the proposed development will intensify the use of an existing access to the Mid Western Highway, the proposal was referred to Transport for NSW (TfNSW) for comment. TfNSW provided the following:

The additional information submitted indicates, as a minimum, and pursuant to Austroads Guide to Road Design, that the intersection of Stewart Street and the access servicing the proposed development, needs to include Basic Right (BAR) and Basic Left (BAL) turn treatments. Minimum specifications for these turn treatments are enclosed. The existing pavement appears to have sufficient width to accommodate BAR and BAL turn treatments, however, some line marking and changes to on-street parking arrangements are needed to accommodate and formalise these treatments.

See comments from TfNSW at <u>attachment 6</u>. This can be imposed by way of condition of consent.

It is noted that the café has the potential to generate demand for on street parking in Stewart Street. Given its location on the Highway this may entail heavy vehicles stopping on either side of Stewart Street. This scenario is more likely given the fact that the carpark is located some distance from the café, is not readily visible from Stewart Street and requires the visitors to enter the site which has multiple unrelated uses occurring. Presently there is kerb constructed on the northern side of Stewart Street for part of the frontage (approx. 36m) of the land. There are no limitations on parking on this side of the road. Given the significant potential to increase the need for kerbside parking in Stewart Street inclusive of the need to accommodate large vehicles, it is considered appropriate to require the extension to the kerb on the northern side of Stewart Street for the full frontage of Lot 4 (i.e. approximately 50 metres from the current location).

Similarly, the reliance upon on street parking is likely to generate a need for pedestrians to use the footpath area to access the café. Currently there is no constructed footpath in this vicinity of the proposal. Under those circumstances it would be appropriate to have a footpath constructed as part of the development to coincide with the extension of the kerb. It is however noted that the constructability of the footpath will be limited by virtue of the location of the kerb line and the proximity to established trees within the road reserve. In this regard it would be appropriate to require construction of a footpath for as much of the frontage as physically possible without requiring removal of established street trees.

On the southern side of Stewart Street (i.e. opposite the site) is a widened road shoulder which acts as a de facto trucking parking area.

#### Compliance with National Construction Code (NCC)

The Development Application includes a two lot subdivision which places the proposed café and bakery on a separate lot to the remainder of the buildings on the site. Relative to the discussion is the position of the new boundary to be placed between the proposed café and bakery and the large warehouse located on Lot 2. The proposed subdivision will place a new boundary within 18 metres of the existing warehouse building on the subject site which, for the reasons outlined in more detail below, triggers consideration of the fire protection measures for that existing warehouse building.

The original application was lodged in February 2020 without any detail of the existing or proposed fire protection measures within the existing warehouse building.

As the location of the boundary relative to the warehouse building has the potential to impact upon fire safety on the site, it was subject to a request for further information in the form of existing and proposed fire safety measures. That information was not provided giving rise to the refusal of the application under Delegated Authority on 7 February 2022. The refusal was issued for the following reason:

1. The proposed two lot subdivision will place a new boundary within 18 metres of the existing warehouse building on the subject site. The applicant has failed to provide details of the existing and proposed fire safety measures for the existing warehouse building to enable detailed assessment of the proposal.

Submitted with the request for review of determination is a report from Central Fire and Electrical dated 27 May 2022. This report details the existing fire safety measures in the adjacent warehouse building. See Fire Safety Report at <u>attachment 7</u>.

The existing wool store building is approximately 16,000 m² and is being used for storage purpose being Class 7b under the National Construction Code 2019. Due to its size and usage it is considered a "Large Isolated Building" for the purposes of the NCC 2019. A "large isolated building" is a building that has a greater fire compartment size than the maximum allowable in Clause 2.2 NCC.

C2.3 (a)(ii) of the NCC applies to this building. C2.3 reads as follows:

## C2.3 Large isolated buildings

The size of a *fire compartment* in a building may exceed that specified in *Table C2.2* where –

- (a) the building does not exceed 18 000m² in *floor area* nor exceed 108 000m³ in volume, if
  - (i) the building is Class 7 or 8 and -
    - (A) contains more than 2 storeys; and
    - (B) is provided with open space complying with *C2.4(a)* not less than 18m wide around the building; or
  - (ii) the building is Class 5, 6, 7, 8 or 9 and is
    - (A) protected throughout with a sprinkler system complying with Specification E1.5; and
    - (B) provided with a perimeter vehicular access complying with *C2.4(b)*; or

. .

The NCC requirement for such a building is that a fire sprinkler system is installed in accordance with Clause E1.5 NCC. The existing building has a fire sprinkler system, however it is approximately 90 years old and the recent report has indicated that it does not comply with the current NCC.

As the proposed subdivision creates an allotment boundary that is closer to the large isolated building than what was there previously, the existing fire sprinkler system is no longer considered an appropriate fire safety measure to mitigate the risk of spread of fire

to buildings on the newly created allotments. The new boundary being located closer than 18 metres to the building increases the risk of fire between buildings. Therefore, it is considered in the public interest to require the upgrading of the sprinkler system to the current standard to ensure that there is adequate protection between buildings.

In light of the above, and in the public interest, the following condition should be imposed:

The automatic fire suppression system installed in the building currently being used by AWH as a wool store is to be upgraded to comply with Performance Requirement EP1.4 which states that:

An automatic fire suppression system must be installed to the degree necessary to control the development and spread of fire appropriate to—

- (a) the size of the fire compartment; and
- (b) the function or use of the building; and
- (c) the fire hazard; and
- (d) the height of the building.

#### **Public Notification**

As the proposal is for a bakery and café on an established industrial site with frontage to a major highway, the determination was made to not notify the proposed development. Similarly, the request for review was not notified.

## **CONCLUSION:**

Council has received a request to review its decision to refuse Development Application 2020/31 pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979.

The Development Application was refused under Delegated Authority on 7 February 2022. The refusal was issued because the applicant failed to provide details of the existing and proposed fire safety measures for the existing warehouse building to enable detailed assessment of the proposal. Submitted with the request for review of determination is a report from Central Fire and Electrical dated 27 May 2022. This report details the existing fire safety measures in the adjacent warehouse building. As the proposed subdivision creates an allotment boundary that is closer to this large isolated building than what was there previously, the existing fire sprinkler system is no longer considered an appropriate fire safety measure to mitigate the risk of spread of fire to buildings on the newly created allotments. Therefore it is considered in the public interest to require the upgrading of the sprinkler system to the current standard.

## FINANCIAL IMPLICATIONS:

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.6 Plan for, assess and regulate development activity.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

- 1. Request for review [**8.2.5.1** 2 pages]
- 2. Location & aerial [8.2.5.2 2 pages]
- 3. DA Plans [8.2.5.3 13 pages]
- 4. Statement of Environmental Effects [8.2.5.4 31 pages]
- 5. Traffic & Parking Assessment [8.2.5.5 22 pages]
- 6. TfNSW Comments [**8.2.5.6** 3 pages]
- 7. Fire Safety Report [**8.2.5.7** 12 pages]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-257** 

MOVED: Cr I North SECONDED: Cr A Smith

## **RESOLVED:**

That Council:

- a) having undertaken a review of the application pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979, change its decision and grant consent to Development Application 2020/31 for a bakery, café and two lot subdivision at 369 Stewart Street, Mitchell, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
  - 1) The automatic fire suppression system installed in the building currently being used by AWH as a wool store is to be upgraded to comply with Performance Requirement EP1.4 which states that:

An automatic fire suppression system must be installed to the degree necessary to control the development and spread of fire appropriate to—

- (a) the size of the fire compartment; and
- (b) the function or use of the building; and
- (c) the fire hazard; and
- (d) the height of the building.
- 2) The existing property entrance is to be upgraded to include a Basic Right (BAR) and Basic Left (BAL) in accordance with the Austroads Guide to Road Design. The existing pavement is to be widened if required and appropriate line marking and changes to on street parking are to be implemented to accommodate and formalize these treatments. All works are to be in accordance with the requirements of TfNSW.
- 3) The construction of a 1.5 metre wide, 100 mm thick concrete footpath within the footway on the northern side of Stewart Street for the full frontage of

proposed Lot 4 in accordance with Bathurst Regional Council's Guidelines for Engineering Works. Where this involves a corner lot it is to include connections to the back of the kerb and the construction of perambulator laybacks in those kerbs.

The extent of the footpath may be reduced where it can be demonstrated that the construction of the footpath will require removal of existing established trees within the public road reserve.

- 4) The construction and sealing of the road shoulder and the construction of barrier kerbing and guttering, including the provision of street drainage where necessary, in Stewart Street for the full frontage of proposed Lot 4. All such works are to comply with Bathurst Regional Council's Guidelines for Engineering Works.
- (b) call a division.

## On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

#### The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

<u>Against the Motion</u> - Nil

<u>Absent</u> - Cr J Jennings

<u>Abstain</u> - Nil

8.2.6 DEVELOPMENT APPLICATION NO. 2020/32 –

MOTEL & TWO LOT SUBDIVISION AT 369 STEWART STREET, BATHURST. APPLICANT: ANTHONY DAINTITH TOWN PLANNING.

OWNER: PREFABRICATED BUILDINGS PTY

**LTD** 

File No: 2020/32

## **RECOMMENDATION:**

That Council:

- a) having undertaken a review of the application pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979, change its decision and grant consent to Development Application 2020/32 for a motel and two lot subdivision at 369 Stewart Street, Mitchell, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
  - 1) The automatic fire suppression system installed in the building currently being used by AWH as a wool store is to be upgraded to comply with Performance Requirement EP1.4 which states that:

An automatic fire suppression system must be installed to the degree necessary to control the development and spread of fire appropriate to—

- (a) the size of the fire compartment; and
- (b) the function or use of the building; and
- (c) the fire hazard; and
- (d) the height of the building.
- 2) The wall of the building located between the large isolated building and the proposed new allotment boundary, if located within 3m from the new boundary, must be upgraded to comply the fire protection requirements of the NCC.
- b) call a division.

#### **REPORT:**

Council has received a request to review its decision to refuse a Development Application for subdivision and construction of a motel at 369 Stewart Street pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979.

The Development Application was refused under Delegated Authority on 7 February 2022 following a number of requests for provision of additional information that remained outstanding.

The refusal was issued for the following reason:

1. The proposed two lot subdivision will place a new boundary within 18 metres of the existing warehouse building on the subject site. The applicant has failed to provide details of the existing and proposed fire safety measures for the existing warehouse building to enable detailed assessment of the proposal.

See written request for review at **attachment 1**.

## The Site

Council has received a Development Application (DA) for the construction of a forty-two (42) room motel and two lot subdivision at 369 Stewart Street, Mitchell, described as Lot 2, DP 270264.

See location plan and aerial photo at attachment 2.

369 Stewart Street is a large industrially zoned parcel of land which has an area of 7.25 ha. It has frontage to both Stewart Street and Browning Street.

The subject site currently contains two large warehouses, a gatehouse and a number of separate business premises and storage premises. The "H" shaped building located off Stewart Street is listed as a heritage item because of its association with the old munitions factory.

The adjoining properties to the west and south contain the Bathurst Correctional Centre. The adjoining properties to the north-east contain industrial workshops. The adjoining property to the north-west contains the Bathurst Correctional Centre.

Council also has before it a second Development Application for consideration at this meeting. Each application is considered in isolation and although the issue as it relates to the location of the boundary relative to the buildings on site are common, each application can be considered on its own merits.

#### Summary of attachments

Attachment No.	Description
1	Request for review
2	Location plan and aerial photo
3	Plans of proposed development
4	Statement of Environmental Effects
5	Fire Safety Report

## The proposal

The proposal involves construction of a forty-two (42) room motel and a two lot subdivision.

The motel component of the development is located fronting Browning Street. The complex comprises 42 rooms and caretakers accommodation constructed in a "U" shape. The motel will be single storey and constructed of painted blockwork and colorbond roofing.

Access to the motel will be from Browning Street with designated ingress and egress driveways.

The subdivision involves dividing the land into 2 allotments. Lot 100 being an allotment of 5410 sqm will contain the proposed motel. Lot 101 being an allotment of 6.71 ha will contain the remainder of the buildings on the site.

See plan of proposed development at <u>attachment 3</u> and Statement of Environmental Effects at <u>attachment 4</u>.

Assessment of application and requests for additional information

The Development Application was originally lodged on 7 February 2020

Additional information requests were made of the applicant on 2 April 2020, 16 September 2020 and 21 April 2021 to address various matters required for proper assessment of the issues.

On 26 November 2021 published an Order under the Environmental Planning and Assessment Act 1979 known as the "Statement of Expectations". The Statement sets out the expectations for councils in relation to the performance of its planning functions. Relevant to development applications was the Minister's Expectation that they should be determined as soon as practical and no longer than 180 days from lodgment.

Consistent with that Expectation Council advised the applicant on 31 January 2022 that the application would be determined in the near future by way of refusal unless the outstanding information was provided.

Accordingly, the application was refused under delegated authority on 7 February 2022.

The current submitted documentation addresses the principal reason for refusal. The review involves a complete assessment of the Development Application as lodged and is not purely limited to the fire safety matters for which the application was refused.

#### Planning Context

State Environmental Planning Policy (Resilience and Hazards) 2021 (formerly State Environmental Planning Policy No. 55 – Remediation of Land)

Given the historic use of the overall site for heavy industrial purposes and the use of the specific development site for heavy industrial storage, a Preliminary Contamination Investigation was requested.

A Preliminary Contamination Investigation Report, prepared by Envirowest Consulting, dated 9 October 2020, was subsequently submitted. The Investigation is limited to proposed Lot 100 and does not assess proposed Lot 101.

The report draws the following conclusion:

The site is located in an area with a history of industrial land-use. Site investigations in 2000 identified the site as suitable for industrial land-use. The site has been vacant or used for the storage of materials since the 2000 investigation.

An inspection of the site was made on 22 July and 24 September 2020. The inspections identified a cutting along the north western boundary and an ash impacted area located in the eastern section of a disturbed area in the southern section. Two drums were present on the site. No vegetation stunting or soil staining was identified around the drums. No other indicators of contamination including

asbestos containing materials were identified on the site.

Levels of potential contaminants were below the adopted thresholds in all samples.

Further investigation or remediation is therefore not warranted.

Bathurst Regional Local Environmental Plan 2014

The subject site is zoned IN1 General Industrial under the provisions of the *Bathurst Regional Local Environmental Plan 2014*. The proposal is defined as a motel. Hotel or motel accommodation is defined as:

- "... a building or place (whether or not licensed premises under the Liquor Act 2007) that provides temporary or short-term accommodation on a commercial basis and that—
- 1. comprises rooms or self-contained suites, and
- 2. may provide meals to guests or the general public and facilities for the parking of guests' vehicles,

but does not include backpackers' accommodation, a boarding house, bed and breakfast accommodation or farm stay accommodation.

*Motels are* permissible with consent in the IN1 General Industrial zone. The proposal is not inconsistent with the objectives of the zone.

#### Clause 4.4 Floor space ratio

The Floor Space Ratio Map for this locality identifies a maximum FSR of 1:1. The FSR of this site will not exceed 1:1 even with the proposed buildings.

#### Clause 5.10 Heritage conservation

The subject site contains a Heritage Item, specifically the subject site contains the "H-shaped Administration Building for the ADI Small Arms Factory".

The residential area located on the opposite side of Browning Street is located within the Heritage Conservation Area.

The proposed motel and subdivision has no direct impact on the heritage item in that it is well separated from the heritage item both physically and visually and does not impact upon its continued operation.

The following conditions are considered appropriate to be imposed on the consent:

- During the carrying out of the proposed works, if any archaeological remains are discovered, the developer is to stop works immediately and notify the Heritage Division, NSW Office of Environment & Heritage. Any such find is to be dealt with appropriately and in accordance with the Heritage Act 1977, recorded, and details given to Council prior to the continuing of works.
  - NOTE 1: A Section 140 Permit will need to be obtained to disturb archaeological relics. This permit is to be obtained from the Department of Premier & Cabinet (Heritage), prior to the disturbance of the archaeological relics.
- The cladding on the walls and roof of the proposed building is to be of traditional

corrugated profile.

- Unless development consent can be assumed in accordance with the Bathurst Regional Local Environmental Plan 2014, a Development Application is to be submitted to Council and development approval obtained, prior to any advertising structure, sign, notice, device or representation in the nature of an advertisement being erected, fixed or displayed on the land or on any building thereon.
- The submission of a letter or report, rendered drawings, manufacturers brochures and/or samples sufficient to detail the types and colours of the external materials to be used in the construction.
- Prior to the issue of an Occupation Certificate, details of a heritage interpretation strategy are to be submitted to Council for Approval. The strategy is to provide details of how the Heritage of the site will be recorded and interpreted in/and around the new/existing buildings (e.g. a sign plague).

Bathurst Regional Development Control Plan 2014

The relevant development standards contained in Chapters 5 (business and industrial development) and 14 (parking) of the DCP are summarised below.

Development Standard	Permissible	Proposed	Compliance
Floor area	NA		NA
Setback – Front	10 metres	9.8 metres & 8.7 metres	NO <sup>1</sup>
Setback – Rear	As per NCC	As per NCC	YES
Setback – Side	As per NCC	As per NCC	YES
Floor space ratio	1:1	< 1:1	YES
Car parking	1 space per unit plus 1 space per 2 employees (42 motel units)	50 spaces (including 2 accessible)	YES
Accessway Width	6m	6 metres	YES
12.5m vehicle manoeuvring	Yes	Yes	YES
Landscaping	Yes	No landscape plan submitted	NO <sup>2</sup>

<sup>&</sup>lt;sup>1</sup> The very minor variations to the minimum 10 metre front boundary setbacks are considered appropriate for the following reasons:

- The variation will not be discernible on site;
- The proposed setbacks will allow for significant landscaping;
- There is not a consistent front setback along the subject section of Browning Street;

## Chapter 15 Crime Prevention

The proposed development was referred to NSW Police for assessment against the principles of Crime Prevention Through Environmental Design (CPTED). NSW Police made the following comments and recommendations:

After conducting a Safer by Design Evaluation for this development application the crime risk rating has been identified on a sliding scale of low, moderate and high. The rating for this development is **Moderate Crime Risk.** 

<sup>&</sup>lt;sup>2</sup> Plans for the proposed development identify locations for landscaping but do not include a detailed landscape plan. A condition will be imposed to ensure that a detailed landscape plan is submitted prior to the issue of the Construction Certificate.

If the lighting plan treatments and risk control measures are implemented as per the Crime Prevention through Environmental Design (CPTED) then the risk will be significantly reduced.

#### Recommendations

- 1. Lighting in the car park and at the entrance to the premises.
- 2. Sensor lighting to all vestibule and walkways including community centre and outdoor areas.
- 3. Sensor lights should be vandal resistant and projected away from buildings towards pathways not towards windows and doors.
- 4. Installation of CCTV cameras in all aspects of car park.
- 5. Installation of CCTV cameras in the Office space
- 6. Installation of CCTV outside the community centre.
- 7. Installation of back to base alarm system.
- 8. Security patrols.
- 9. All ingress and egress points to be well defined and clearly marked with signage and traffic flow arrows.
- 10. Speed limit signage in the driveway/carpark area. Max 10kph.
- 11. Trespassers will be prosecuted signage clearly visible around entrance/exit points.
- 12. Premises monitored by CCTV/ Security patrols.
- 13. The motel reception area to be well signed.
- 14. Shrubs should on average not be above 900mm in height. Consider pruning the shrubs in the front yard to reduce concealment.
- 15. When selecting and maintaining vegetation, consideration should be given to the possibility of areas becoming overgrown and concealment opportunities on the maturity of the vegetation.
- 16. A safety convention is to have 3- 5 metres of cleared space on either side of paths. Pedestrians generally feel safer on wider pathways.
- 17. Develop a maintenance plan as clean, well maintained areas often exhibit strong territorial cues.
- 18. Electronic communications/entry system
- 19. Security screen doors to all entry/exit points.
- 20. Polycarbonates and impact resistant glass/glazing to all windows.
- 21. Key operated to all windows.
- 22. The main entry/exit doors to all buildings should be fitted with single cylinder locksets (Australian Standards) which comply with the building code of Australia.
- 23. Appropriate locksets be installed on any skylights to prohibit unauthorised entry.
- 24. Speed bumps in car parks/access ways help to reduce the likelihood of attracting bike riders and skateboarders.
- 25. Night safe if cash on premises

#### Compliance with National Construction Code (NCC)

The Development Application includes a two lot subdivision which places the proposed motel on a separate lot to the remainder of the buildings on the site. Relative to the discussion is the position of the new boundary to be placed between the proposed motel and the large warehouse located on Lot 101. The proposed subdivision will place a new boundary within 18 metres of the existing warehouse building on the subject site which, for the reasons outlined in more detail below, triggers consideration of the fire protection measures for that existing warehouse building.

The original application was lodged in February 2020 without any detail of the existing or proposed fire protection measures within the existing warehouse building.

As the location of the boundary relative to the warehouse building has the potential to impact upon fire safety on the site it was subject to a request for further information in the form of existing and proposed fire safety measures. That information was not provided giving rise to the refusal of the application under Delegated Authority on 7 February 2022. The refusal was issued for the following reason:

1. The proposed two lot subdivision will place a new boundary within 18 metres of the existing warehouse building on the subject site. The applicant has failed to provide details of the existing and proposed fire safety measures for the existing warehouse building to enable detailed assessment of the proposal.

Submitted with the request for review of determination is a report from Central Fire and Electrical dated 27 May 2022. This report details the existing fire safety measures in the adjacent warehouse building. See Fire Safety Report at <u>attachment 5</u>.

The existing wool store building is approximately 16,000 m² and is being used for storage purpose being Class 7b under the National Construction Code 2019. Due to its size and usage it is considered a "Large Isolated Building" for the purposes of the NCC 2019. A "large isolated building" is a building that has a greater fire compartment size than the maximum allowable in Clause 2.2 NCC.

C2.3 (a)(ii) of the NCC applies to this building. C2.3 reads as follows:

## C2.3 Large isolated buildings

The size of a *fire compartment* in a building may exceed that specified in *Table C2.2* where –

- (a) the building does not exceed 18 000m² in *floor area* nor exceed 108 000m³ in volume, if
  - (i) the building is Class 7 or 8 and
    - (A) contains more than 2 storeys; and
    - (B) is provided with open space complying with *C2.4(a)* not less than 18m wide around the building; or
  - (ii) the building is Class 5, 6, 7, 8 or 9 and is
    - (A) protected throughout with a sprinkler system complying with *Specification E1.5*; and
    - (B) provided with a perimeter vehicular access complying with C2.4(b); or

. . .

The NCC requirement for such a building is that a fire sprinkler system is installed in accordance with Clause E1.5 NCC. The existing building has a fire sprinkler system however, it is approximately 90 years old and the recent report has indicated that it does not comply with the current NCC.

As the proposed subdivision creates an allotment boundary that is closer to the large isolated building than what was there previously, the existing fire sprinkler system is no longer considered an appropriate fire safety measure to mitigate the risk of spread of fire to buildings on the newly created allotments. The new boundary being located closer than 18 metres to the building increases the risk of fire between buildings. Therefore, it is

considered in the public interest to require the upgrading of the sprinkler system to the current standard to ensure that there is adequate protection between buildings.

In light of the above, and in the public interest, the following condition should be imposed:

The automatic fire suppression system installed in the building currently being used by AWH as a wool store is to be upgraded to comply with Performance Requirement EP1.4 which states that:

An automatic fire suppression system must be installed to the degree necessary to control the development and spread of fire appropriate to—

- (a) the size of the fire compartment; and
- (b) the function or use of the building; and
- (c) the fire hazard; and
- (d) the height of the building.

Additionally, the wall of the building located between the large isolated building and the proposed new allotment boundary, if located within 3m from the new boundary, would also need to be upgraded to comply the fire protection requirements of the NCC. A condition of consent can be applied to achieve this requirement.

## **Public Notification**

As there are a number of dwellings adjacent to the development site on Browning Street and as the proposed motel has the potential to generate noise and traffic, the determination was made to notify the proposal to adjoining and adjacent landowners. The proposal was notified to adjoining and adjacent property owners (including the Bathurst Correctional Centre) between 18 February 2020 and 28 February 2020. No submissions were received during the notification period.

Council's Community Participation Plan requires that when undertaking a review "only those applications where it is considered that there will be additional or significantly altered likely environmental impact will be re-exhibited or re-notified". In this case the Development Application remains as originally exhibited and accordingly was not renotified.

## **CONCLUSION:**

Council has received a request to review its decision to refuse Development Application 2020/32 pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979.

The Development Application was refused under Delegated Authority on 7 February 2022. The refusal was issued because the applicant failed to provide details of the existing and proposed fire safety measures for the existing warehouse building to enable detailed assessment of the proposal. Submitted with the request for review of determination is a report from Central Fire and Electrical dated 27 May 2022. This report details the existing fire safety measures in the adjacent warehouse building. As the proposed subdivision creates an allotment boundary that is closer to this large isolated building than what was there previously, the existing fire sprinkler system is no longer considered an appropriate fire safety measure to mitigate the risk of spread of fire to buildings on the newly created allotments. Therefore it is considered in the public interest to require the upgrading of the sprinkler system to the current standard.

## **FINANCIAL IMPLICATIONS:**

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.6 Plan for, assess and regulate development activity.

## **COMMUNITY ENGAGEMENT:**

02 Consult - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

- 1. Request for review [**8.2.6.1** 2 pages]
- 2. Location & aerial [8.2.6.2 2 pages]
- 3. DA Plans [8.2.6.3 9 pages]
- 4. Statement of Environmental Effects [8.2.6.4 38 pages]
- 5. Fire Safety Report [**8.2.6.5** 12 pages]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-258** 

MOVED: Cr I North SECONDED: Cr K Burke

#### **RESOLVED:**

That Council:

- a) having undertaken a review of the application pursuant to Section 8.2 of the Environmental Planning and Assessment Act 1979, change its decision and grant consent to Development Application 2020/32 for a motel and two lot subdivision at 369 Stewart Street, Mitchell, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended and including conditions to the effect that:
  - 1) The automatic fire suppression system installed in the building currently being used by AWH as a wool store is to be upgraded to comply with Performance Requirement EP1.4 which states that:

An automatic fire suppression system must be installed to the degree necessary to control the development and spread of fire appropriate to—

- (a) the size of the fire compartment; and
- (b) the function or use of the building; and
- (c) the fire hazard; and
- (d) the height of the building.

- 2) The wall of the building located between the large isolated building and the proposed new allotment boundary, if located within 3m from the new boundary, must be upgraded to comply the fire protection requirements of the NCC.
- b) call a division.

## On being **PUT** to the **VOTE** the **MOTION** was **CARRIED**

#### The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor
Against the Motion - Nil
Absent - Cr J Jennings
Abstain - Nil

## 8.2.7 NSW GOVERNMENT POPULATION PROJECTIONS

File No: 03.00008

#### **RECOMMENDATION:**

That Council, when planning for future growth, continue to use the .id Consulting projections, projecting a population of 58,622 by 2041.

#### **SUMMARY:**

The NSW Government has recently released a revised edition of the population projections by Local Government Area (LGA) for NSW. After lobbying by Bathurst Regional Council and the Central NSW Joint Organisation (CWNSW JO), the projections for the Bathurst LGA have been revised from 50,050 by 2041 in the original forecasts to 57,060 by 2041 in the revised edition.

These more realistic population assumptions will help ensure the future needs of our community are met, particularly with regard to State Government funded projects such as schools, hospitals and infrastructure investment generally.

#### **BACKGROUND:**

Every 2-3 years the NSW Government releases population projections at a Local Government Area (LGA) level across New South Wales. These projections have historically been calculated using a 'top down' approach, which does not consider local market conditions.

The NSW Government population projections are used by the State Government to determine the level of services needed for a given LGA, including schools and hospitals. If the projections are understated, then so too will be the funds provided for these critical pieces of infrastructure.

Mid last year the latest NSW Population Projections were released. The projections appeared very low when compared to the historical trend for Bathurst and differed significantly from those provided by .id Consulting. Bathurst Regional Council and the CWNSW JO have been lobbying to have the population projections for Bathurst and the region revised.

#### **REPORT:**

In mid-2021 the NSW Government released the latest population projections for NSW (shown in Table 1). The population in the Bathurst LGA was projected to increase from 42,244 in 2016 to 50,050 by 2041, representing a total increase of 7,806 persons or an average of 390 persons per year.

This projected growth rate of 0.7% per annum was low when compared to the historical trend for the Bathurst LGA of 1.1% per annum over the past 20 years. The projections

had population growth in the Bathurst LGA falling to historical lows, despite the significant demand for residential property and the number of major projects/investments planned throughout the Bathurst Region. Independent forecasts sourced from .id Consulting projected the Bathurst LGA population would increase to 58,622 by 2041, some 8,572 more people than that projected by the NSW Government.

Council, with the help of the CWNSW JO, strongly objected to the NSW Government's population projections, providing a detailed submission with evidence of historical trends, wider customer trends driving regional growth, and future major projects planned for Bathurst that will generate population growth.

The NSW Government recently released a revised set of projections. The population projections for Bathurst lifted from 50,050 by 2041 in the previous forecasts to 57,060 by 2041 in the revised edition. This represents an additional 7,010 persons between the two sets of forecasts, with the latest NSW Government projections more in line with those projected by .id Consulting.

A lift of this scale is almost unprecedented and illustrates the NSW Government's commitment to the growth of Bathurst. These more realistic population assumptions will help ensure the future needs of our community are met, particularly with regard to State Government funded projects such as schools and hospitals. The private sector will also use these projections as part of their investment decision due diligence.

TABLE 1 - POPULATION PROJECTION COMPARISON

	Act	tual			Projected	k		
	2011	2016	2021	2026	2031	2036	2041	2016-41
NSW Government - Original Pro	ojections							
Population	39,960	42,244	44,300	46,150	47,750	49,050	50,050	7,806
Average Annual Change (No.)		457	411	370	320	260	200	390
Average Annual Change (%)		1.1%	1.0%	0.8%	0.7%	0.5%	0.4%	0.7%
NSW Government - Revised Pro	ojections							
Population	39,960	42,244	44,370	47,187	50,413	53,710	57,060	14,816
Average Annual Change (No.)		457	425	563	645	659	670	741
Average Annual Change (%)		1.1%	1.0%	1.2%	1.3%	1.3%	1.2%	1.2%
.id Projections 2021								
Population	39,960	42,244	45,183	48,323	52,067	55,631	58,622	16,378
Average Annual Change (No.)		457	588	628	749	713	598	819
Average Annual Change (%)		1.1%	1.4%	1.4%	1.5%	1.3%	1.1%	1.3%
Difference								
NSW Gov't Revised vs NSW Gov	't Origina	I 0	70	1,037	2,663	4,660	7,010	7,010
NSW Gov't Original vs .id 2021		0	-883	-2,173	-4,317	-6,581	-8,572	-8,572
NSW Gov't Revised vs .id 2021		0	-813	-1,136	-1,654	-1,921	-1,562	-1,562
Source: ABS; .id; NSW Government								

### **Challenges for Council**

Whilst these population forecasts are welcome for the continuation of growth expected for

the Bathurst Region, this level of growth presents challenges to all levels of Government to fund infrastructure and services to meet future demands.

### **CONCLUSION:**

A previous recommendation was made by Council to adopt the .id Consulting projections for strategic planning purposes. Given the relatively close nature of the NSW Government projections and those prepared by .id Consulting, it is recommended that the .id Consulting projections, projecting a population of 58,622 by 2041, continue to be used by Bathurst Regional Council when planning for future growth.

## FINANCIAL IMPLICATIONS:

N/A

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

Nil

### **MINUTE**

**RESOLUTION NUMBER: ORD2022-259** 

MOVED: Cr I North SECONDED: Cr B Fry

#### **RESOLVED:**

That Council, when planning for future growth, continue to use the .id Consulting projections, projecting a population of 58,622 by 2041.

## 8.2.8 BATHURST REGION HERITAGE PLAN 2021-

2022

File No: 20.00123

#### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

#### **Heritage Plan**

As part of Council's ongoing commitment to the region's heritage and to meet its obligations to Heritage NSW, Council at its meeting 20 October 2021 adopted the Bathurst Region Heritage Plan 2021-2025 (the Heritage Plan).

The Heritage Plan responds to the Planning Priorities contained in the Bathurst Local Strategic Planning Statement and Objective 1 of the Bathurst Community Strategic Plan. It provides the detail as to how Council and the community will protect, enhance and promote our heritage – buildings and places, the natural environment, people and projects and their embedded stories. It aims to guide heritage management within the Bathurst Region and establishes the key strategic priorities and associated actions for heritage management over the next 4 years.

The Bathurst Region Heritage Implementation Plan (the Heritage Implementation Plan) has been prepared to sit alongside the Heritage Plan. It highlights the key activities/programs/projects and services being undertaken by Council's Planning, Museums, Library, Economic Development and Tourism sections to implement the actions of the Heritage Plan. It provides an opportunity for interested community, heritage and village groups to provide regular updates on activities they are undertaking with respect to the actions of the Heritage Plan, although the Implementation Plan should not be viewed as an exhaustive list of all Council and community activities that might relate to heritage management and promotion within the Bathurst Region.

Council provides an update to the Implementation Plan at the end of September, December, March and June of each financial year hosted on Council's YourSay page and a copy of the quarterly Heritage Implementation Plans and the actions of the Strategic Planning Priorities for the 2021/22 financial year is at **attachment 1**.

## **Bathurst Heritage Advisory Service**

Council has operated a heritage advisory service since 1996. Generally, the heritage advisory service operates on a fortnightly basis, meeting on site with private property owners, developers and designers, free of charge, to discuss maintenance and conservation advice and development options.

During the 2021/22 year, 79 site visits were undertaken by the Council's Heritage Advisor and Senior Heritage Planner. As a result of the Public Health Orders issued in regard to

COVID-19, this face-to-face service was significantly disrupted between July 2021 and November 2021. During that time, onsite site inspections and face-to-face meetings were not undertaken and instead virtual inspections and online meetings were provided where possible. However, the number of inspections able to be undertaken was substantially reduced. The service recommenced fortnightly inspections as of January 2022.

The service is invaluable to urban and rural landholders in providing conservation and maintenance advice and informing the owners of built history and context. The service offers advice on materials, conservation, trades, sympathetic and appropriate additions and alterations, repairs and reconstruction. The heritage advisory service is an integral part of Council's assessment process both at pre DA stage and at development application stage, offering advice in relation to appropriate alterations and additions and retaining or improving the character of the streetscape through new developments.

The service promotes ongoing maintenance and education to the community about the older building stock of the region. The service also provides technical advice on historical research and interpretation and policy advice with respect to LEP/DCP provisions and the preparation of heritage studies.

## **Heritage Assistance Funds**

## 1. Bathurst Region Heritage Conservation and Interpretation Fund

The Bathurst Region Heritage Conservation and Interpretation Fund is in its 11th year of operation. The fund was established to assist private property owners and community groups to undertake special heritage projects including:

- preparation of conservation management plans;
- publishing local history books and publications;
- implementing heritage interpretation projects; and
- presenting exhibitions promoting the heritage and history of the Bathurst Region.

The table below provides a summary of the Interpretation Funds' success since its inception in 2011/12. The fund has contributed to projects valued at approximately \$760,000 across the Bathurst region.

Conservation and Interpretation Fund		Overview of the Conservation and Interpretation fund to date:			
	Year	Projects Completed	Funding Offered	Total Value of Works	
	2011/12	6	\$14,505	\$27,510	
	2012/13	4	\$11,755	\$41,533	
	2013/14	8	\$16,773	\$61,789	
	2014/15	11	\$20,475	\$62,303	
	2015/16	10	\$20,063	\$11,8583	
	2016/17	10	\$16,255	\$36,472	
	2017/18	9	\$16,215	\$80,626	
	2018/19	10	\$18,000	\$68,140	
	2019/20	11	\$20,450	\$105,938	
	2020/21	10	\$20,000	\$95,420	
	2021/22	7	\$14,775	\$68,236	
	Total	96	\$189,266	\$766,550	

The 2021/22 fund received 11 applications and grants were offered to all 11 applicants. Seven (7) of these projects were completed, with a total cost for the projects of

approximately \$68,236.00 and \$14,775.00 worth of funding offered. Note that Council allocated funding of \$20,000 for this year's programs to come from Council's Heritage budget and it was not fully expended in this financial year.

<u>Attachment 2</u> provides the summary of projects completed. Key projects completed this year included:

- Publication of the well received '100 Heritage Homes of Bathurst & District' Volume 3 authored by Lee Steele.
- Interpretative signage and audio tours in association with the Bathurst Region "Step Beyond" app at Rockley and Perthville Convent.
- A celebration day for the sesqui-centenary of St Stephen's Anglican Church, Fitzgeralds Valley and associated historical pamphlet.
- An English Translation of Mew Chip's Register.
- Renewal of a bronze memorial plague at the Former Migrant Centre.
- Continuation of the digitalisation of the database inventory for the Bathurst Agricultural Research Station's moveable heritage items.

## 2. Bathurst Region CBD Main Street Improvement Fund

Council launched the Bathurst Region CBD Main Street Improvement Fund in 2016 and it is in its 6th year of operation. The Main Street fund aims to assist property owners and tenants to improve, repair and maintain buildings within the Bathurst CBD.

The table below summarises the success of the fund since its inception. The fund has contributed to just over \$1 million worth of works on buildings within the Bathurst CBD.

Main Street Fund	Overview of the Main Street Fund to date:			
	Year	Projects	Funding	Total Value of
		Completed	Offered	Works
	2016/17	12	\$33,015	\$162,031
	2017/18	10	\$27,000	\$290,077
	2018/19	5	\$15,300	\$53,610
	2019/20	9	\$21,300	\$110,440
	2020/21	8	\$17,000	\$172,951
	2021/22	14	\$35,000	\$323,926
	Total	57	\$148,600	\$1,113,035

The 2021/22 fund received 21 applications for works, and funding was offered to 19 projects. Fourteen (14) of these projects were completed, with a total cost for the projects of approximately \$323,926.00 and \$35,000.00 of funding offered. **Attachment 3** provides a summary of the projects completed. Key projects completed this year included:

- Façade repairs to 104 Russell Street, 88 Russell Street and 140 Rankin Street, Bathurst.
- Repairs and repainting to the entrance of the Bathurst Uniting Church.
- Painting and repairs to front façade of Gladstone Terraces (52-60 Bentinck Street), which required cooperation from 5 separate owners.
- Verandah reinstatement at 215-217 George Street, Bathurst.
- Street art on the façade of 187 Russell Street.
- Repainting of the front facade at The 1880 Hotel (formerly the Eddy) and 62 Durham Street, Bathurst

Council's total allocation of \$50,000 was not expended in this financial year. It is always difficult to achieve completion of all the projects offered funding as application

circumstances can change and often it is difficult to coordinate the works with relevant trades within a 12-month period. CBD projects are often large-scale projects and require considerable private finance to reach fruition. COVID-19 did affect projects later in the year and in particular the availability of tradespeople to undertake the job in the timeframe.

## 3. Bathurst Region Local Heritage Fund

The Bathurst Region Local Heritage Fund program is in its 24<sup>th</sup> year of operation. The fund is one of the largest such funds in the State. The table below summarises the success of the fund since its inception. The fund has contributed to in excess of \$8.4 million worth of maintenance and conservation works on buildings within the Bathurst Region.

Local Heritage	Overview of the	e Local Heritage Fun	d to date:	
Fund	Year	Projects	Funding	Total Value of
		Completed	Offered	Works
	1998/99	8	\$ 9,000	\$38,278
	1999/00	11	\$ 7,900	\$56,203
	2000/01	14	\$ 8,000	\$92,681
	2001/02	24	\$ 14,012	\$122,014
	2002/03	24	\$ 15,521	\$109,599
	2003/04	25	\$ 20,300	\$139,399
	2004/05	40	\$ 67,030	\$389,195
	2005/06	33	\$ 29,510	\$190,930
	2006/07	33	\$ 34,284	\$293,740
	2007/08	44	\$ 30,175	\$376,965
	2008/09	44	\$ 42,377	\$360,849
	2009/10	39	\$ 39,300	\$273,535
	2010/11	47	\$ 42,750	\$812,598
	2011/12	39	\$ 37,800	\$288,786
	2012/13	62	\$ 62,840	\$752,786
	2013/14	50	\$ 52,700	\$630,375
	2014/15	47	\$ 55,016	\$434,526
	2015/16	54	\$ 48,250	\$410,800
	2016/17	51	\$ 40,000	\$355,015
	2017/18	49	\$ 45,800	\$398,442
	2018/19	44	\$ 55,300	\$410,935
	2019/20	46	\$56,875	\$502,583
	2020/21	47	\$50,200	\$532,055
	2021/22	35	\$56,500	\$520,139
	Total	910	\$ 921,440	\$8,492,427

The 2021/22 fund received 54 applications for works and funding was offered to 46 projects. Thirty five (35) of these applications were completed, with a total cost of works for the projects of approximately \$520,139 from \$56,500 of funding offered. **Attachment 4** provides a summary of the completed projects.

Note that Council allocated funding of \$60,500 from Council's Heritage budget and the NSW Heritage Office as follows:

NSW Heritage Office contributions \$5,500
Council contribution \$55,000
TOTAL \$60,500

There continues to be an extremely positive response from property owners and community groups throughout the region to the Bathurst Region Local Heritage Fund. Council continues to see property owners annually undertake small projects that have improved their property and over time helped to improve the streetscapes of the heritage conservation areas.

This year the fund, amongst other things, has helped cemetery restorations in the village of Rockley and at St Stephen's Anglican Church, Fitzgeralds Valley. Other projects included reroofing, repainting and timberwork repairs, replacement of gutters and downpipes, repairs to verandahs, repairs to chimneys, underpinning of buildings and window repairs to a wide range of dwellings throughout the region. Covid-19 did impact on the completion of some projects during the year given the high unavailability of tradespeople to complete the job.

## FINANCIAL IMPLICATIONS:

Funding is contained within existing Council budgets.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: C	Our sense of p	place and i	dentity.
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- Strategy 1.1 Respect, protect and promote the region's Aboriginal heritage assets.
- Strategy 1.2 Protect, enhance and promote the region's European heritage assets and character.
- Strategy 1.3 Enhance the cultural vitality of the region.
- Strategy 1.5 Promote good design in the built environment.

## Objective 4: Enabling sustainable growth.

- Strategy 4.6 Plan for, assess and regulate development activity.
- Objective 5: Community health, safety and well being.
- Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.
- Objective 6: Community leadership and collaboration.
- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

1. Heritage Plan Implementation Plan 2021-22 Annual Update [8.2.8.1 - 76 pages]

- LHF 2021-22 Project List Final Report [8.2.8.2 2 pages] MSF 2021-22 Project List Final Report [8.2.8.3 1 page] 2.
- 3.
- Interpretation Projects List 2021-22 Final Report [8.2.8.4 1 page] 4.

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-260** 

MOVED: Cr M Hogan SECONDED: Cr K Burke

## **RESOLVED:**

That the information be noted.

## 8.2.9 BATHURST TOWN CENTRE MASTER PLAN AND FUTUREPROOFING OUR CBD

File No: 20.00340

#### **RECOMMENDATION:**

That Council:

- a) adopt the Bathurst Town Centre Master Plan as a reference document to inform future decision making within the Bathurst CBD; and
- b) place the draft Policy "Futureproofing our CBD 2022 and beyond" on public exhibition for a period of 28 days.

## **REPORT:**

The Bathurst Town Centre Master Plan 2021 provides a vision for improving seven city blocks within the Bathurst CBD, an area known as the Bathurst Town Centre.

Allen Jack + Cottier Architects (AJ+C) were invited to prepare the Master Plan for Bathurst Regional Council. The project was co-sponsored by Charles Sturt University (CSU), who were investigating the opportunities for a Bathurst CBD Campus at the time.

The Master Plan outlines AJ+C's analysis of the existing condition of the Town Centre, the outcomes of stakeholder and community engagement undertaken in the development of the draft plan, and then makes several site or area-specific recommendations as well as Centre-wide master plan proposals. As CSU decided not to proceed with an investigation of a CBD Campus part way through the Master Plan process, several options explored for campus facilities were identified as open opportunities for other uses.

**'Futureproofing our CBD'**, Council's Response to the Bathurst Town Centre Master Plan, summarises the key concepts proposed in the A J + C Master Plan. The **'Futureproofing our CBD'** response did <u>not</u> recommend wholesale adoption of the Master Plan but outlined those elements of the Master Plan considered appropriate, at that time, for consideration of their implementation into the future.

The community's response to Council's 'Futureproofing Our CBD' report was sought through a formal public exhibition process. "Futureproofing Our CBD" was exhibited for a one-month period with submissions closing on 24 May 2021.

A range of voices were heard and messages received during the public exhibition period. These were collated in the report: Futureproofing our CBD (Council's Response to the Bathurst Town Centre Master Plan) – "What Bathurst Said". This report was presented to Council at its meeting held in October 2021.

The "What Bathurst Said" report was presented in five volumes as follows:

- Volume 1 (Submission Summary) summarises the public exhibition process. It
  collates and summarises the range of matters raised at the public information
  sessions and from the range of submissions received as a result of the public
  exhibition process.
- **Volume 2 (Key Messages)** provides a summary of the key messages heard against Council's Futureproofing our CBD response to the Master Plan.
- Volume 3 (Copy of Submissions) contains copies of the individual submissions received during the public exhibition process.
- Volume 4 (Copy of Pro Forma Submissions) contains copies of the pro forma submissions received during the public exhibition process.
- **Volume 5 (Copy of Petition)** contains a copy of the petition received prior to the public exhibition process against a permanent road closure of Russell St.

The Master Plan, the Future proofing our CBD and the What Bathurst Said report are all available at:

https://yoursay.bathurst.nsw.gov.au/bathursttowncentre/widgets/278695/documents

Volume 1, the submission summary is provided again as **attachment 1** to this report.

The What Bathurst Said Key Messages Summary highlights that there was clear support for some elements presented in the draft Bathurst Town Centre Master Plan but that some of the solutions presented in the Master Plan were not accepted, or not fully accepted, and may not be the only solutions.

Key areas of the Master Plan supported by the community included:

- 1. Maintain and provide additional public parking. Offset losses in on-street parking with new off-street parking supply (e.g. George St car park and a new car park at Carrington Park)
- 2. Improve opportunities to enhance public transport services into the CBD including:
  - a. Retention of bus bays and taxi ranks
  - b. Sharing bus bays for multiple service types.
  - c. Investigating and providing park and ride facilities outside of the CBD.
- 3. Enable the adaptive reuse of the historic building stock within the Bathurst CBD e.g. former TAFE and Ambulance station.
- 4. Support and enable enhancement of cultural facilities within the CBD e.g. new entrance to AFMM.
- 5. Adopt a people first approach that enhances pedestrian priority and the pedestrian environment through:
  - a. Trialing change, such as the streets as shared spaces trial, rather than committing to irreversible change such as street closures.
  - b. Temporary street closures for events (but not permanent street closures).
  - c. Reduction in speed limit.
  - d. Conversion of roundabouts to signalised intersections where pedestrian flows are highest.
  - e. Limit unnecessary truck movements.
  - f. Enhance mid-block locations for pedestrian movements.
- 6. Green the CBD with new street trees subject to minimising the loss of on-street carparking or offsetting losses with more off-street parking. Support trialing moveable street trees.
- 7. Await further advice on active transport through the development of a new Active Transport Strategy.
- 8. Enable new and more intense development within the CBD, including residential development. Open the centre of the CBD blocks through mid-block laneway

- improvements. Further consultation was sought on opportunities to permit greater height and density to ensure adequate consideration and protection is afforded to the heritage streetscapes.
- 9. Support opportunities to introduce new public art and interpretation into the CBD to tell the stories of the history and heritage of the Bathurst Region.
- 10. Retain and extend the historic street lamp standards.

Following Council's consideration of the public response to the Master Plan in October 2021, it was anticipated that this report would be presented to Council recommending adoption of certain elements only of the draft Bathurst Town Centre Master Plan. However, this is considered a limiting approach and one that does not account for changing community values and economic and environmental influences into the future.

## Streets as Shared Spaces

At about the time Council placed its proposed response to the Master Plan on public exhibition Council was successful in attracting a substantial grant (\$767,884) under the NSW Government's Streets as Shared Spaces (SaSS) program – round 1.

The NSW Government's Streets as Shared Spaces program provides one-off grant funding to support local councils to test and pilot new and innovative ideas for streets as safe, shared public spaces. The program provides funding to quick-response demonstration projects and strategic pilots that temporarily adapt streets to support healthier, safer and more resilient communities. Key objectives of the program are to: build on the local character; increase space for safe walking; improve access on foot to key destinations; and activate streets to create better public spaces.

The Bathurst Streets as Shared Spaces Pilot project was concentrated in the southeast corner of the Bathurst Town Square block encompassing: William Street (between Howick and Russell Streets), Church Street, and Ribbon Gang Lane. The project included elements of change as suggested in the draft Bathurst Town Centre Master Plan.

Key outcomes from the Pilot project included:

- Generated further engagement and feedback on key elements of the draft Master Plan for the Bathurst Town Centre.
- Created a shared access way though the middle of the Town Square, connecting William Street to Parrish Lane. 165 linear metres of shared access way between Parrish Lane and William Street was made accessible and has resulted in a 300% increase in pedestrians using this shareway between William Street and Parrish Lane.
- Pedestrian's have more priority and dedicated spaces in the carriageway of Church Street. The project has resulted in a 48% increase in pedestrians crossing Church Street.
- Removable bollards have been provided in four locations on Church Street, allowing for full closure or partial closure of Church Street.
- Two areas (parklets) of public space have been created off William Street adding 260 sqm of public green spaces into the CBD.
- Installation of 25 street trees in pots on William, Church and George Streets has
  resulted in quite a lot of community engagement now showing increased support for
  trees in the Town Centre. Some business owners initially opposed to trees are now
  in support of more trees.

- Installation of new public art: Birrunga Wiradyuri mural 'Blue Banded Bee' creation story on the Post Office building and Rochelle Haley 'Arches', on Ribbon Gang Lane.
- Installation of 4 street lamps lighting 620 sqm of public space, 3 CCTV cameras connected to Bathurst Police System and up-lighting of the former Technical College with colour programmable LED's.

Some of the longer-term conclusions from the project included:

- The potential to green streets and plant trees in the CBD.
- The potential to implement shared zones and low speed environments within the CBD.
- The value of public art particularly in underrepresented diverse voices.

The Pilot project (SaSS round 1) was officially launched on 27 April 2022.

Council was recently successful in receiving a further grant of \$500,000 under SaSS Round 2 program to extend these trial works to Machattie Lane, the creation of a new laneway adjacent to the Elizabeth Chifley preschool to more directly connect George St to Parrish Lane and trialling the conversion of the existing pedestrian refuge across George Street to a formalised pedestrian crossing. Again, these are all elements suggested in the draft Bathurst Town Centre Master Plan.

The SaSS projects have highlighted the value in trialling change in stages rather than seeking wide ranging irreversible change. This has proved a very effective method of engaging with the community as to how that change is best managed and achieved. The success of the SaSS project has changed the way Council staff believe the Master Plan should be considered by Council.

### A Way Forward

It was anticipated that this report would be presented to Council recommending adoption of certain elements only of the draft Bathurst Town Centre Master Plan. Given the limitations of this approach and the success of the SaSS trials, it is instead recommended that Council adopt the Bathurst Town Centre Master Plan as a reference document only.

As a reference document, the Master Plan can be used in its entirety or in parts to simply inform future decision making. It does not commit Council to a specific list of works or actions or a specific set of solutions but only commits Council to considering the suggestions of the Master Plan as it makes future decisions relating to the CBD.

Other strategies and plans will also inform those decisions including, for example, the future Active Transport Strategy and a revised Retail Strategy.

Importantly, community engagement can continue as each new decision is made. The SaSS projects have highlighted the value of ongoing engagement as trials for change have been proposed.

It is proposed that Council consider adopting a new supporting Policy for the CBD - "Futureproofing our CBD - 2022 and beyond". The new Policy would apply to the whole of the CBD (land zoned B3 Commercial Core) and respond to the suggestions of the Bathurst Town Centre Master Plan and the community's response to it. The Policy would set guiding principles for future decisions concerning the CBD without establishing a specific list of actions or solutions to be implemented. Decisions involving future changes

will need to assess their consistency against these Principles. Those decisions can reference the Master Plan report for possible solutions, adapt solutions to suit the circumstances of the case or develop new solutions, provided they respond to the principles of the Policy. Other strategies and plans will also inform those decisions.

A draft Policy - "Futureproofing our CBD - 2022 and beyond" is provided at attachment 2.

The key principles proposed to guide future change in the CBD under the draft policy include:

- Sense of Place How does change engage with the Bathurst Town Centre.
- Heritage and Streetscape How does change integrate with the Bathurst Town Centre and its heritage streetscapes and parklands.
- Landscape and environment How does change respond to and integrate with the environment and landscape of the Bathurst Town Centre.
- Economic vitality How does change revitalise the Bathurst Town Centre and particularly activate the streets of the Bathurst Town Centre.
- Connection How does change prioritise connectivity and walkability.
- Traffic and Parking How does change manage disruptions to traffic and parking and enhance opportunities for public and active transport.
- Climate and Resilience How does change respond to climate conditions and their impacts on the Bathurst Town Centre.
- Liveability How does change encourage new employees to work and new residents to live in the Bathurst Town Centre.

Importantly the draft Policy also makes a commitment to ongoing community engagement and where appropriate the ongoing trialling of change.

It would be appropriate to place the draft Policy on public exhibition to enable further input from the community. This would also enable Council to communicate its adoption of the Master Plan for reference purposes only. Those persons who responded to the draft Town Centre Master Plan would be included in this process.

## **CONCLUSION:**

It is recommended that Council adopt the Bathurst Town Centre Master Plan as a reference document only. As a reference document, the Master Plan can be used in its entirety or in parts to simply inform future decision making. It does not commit Council to a specific list of works or actions or a specific set of solutions but only commits Council to considering the suggestions of the Master Plan as it makes future decisions relating to the CBD.

It is recommended that Council consider a new supporting Policy for the CBD — "Futureproofing our CBD - 2022 and beyond". The new Policy would apply to the whole of the CBD (land zoned B3 Commercial Core) and respond to the suggestions of the Bathurst Town Centre Master Plan and the community's response to it. The Policy would set guiding principles for future decisions without establishing a specific list of actions or solutions. Decisions involving future changes will need to assess their consistency against these Principles.

It is recommended the draft Policy be placed on public exhibition to enable further input from the community. This would also enable Council to communicate its adoption of the Master Plan for reference purposes only.

## FINANCIAL IMPLICATIONS:

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1:	Our sense of I	place and identity.
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- Strategy 1.3 Enhance the cultural vitality of the region.
- Strategy 1.5 Promote good design in the built environment.

## Objective 2: A smart and vibrant economy.

- Strategy 2.1 Support local business and industry.
- Strategy 2.6 Promote our City and Villages as a tourist destination.

### Objective 4: Enabling sustainable growth.

- Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.
- Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.
- Strategy 4.6 Plan for, assess and regulate development activity.

#### Objective 5: Community health, safety and well being.

- Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.
- Strategy 5.4 Make our public places safe and welcoming.
- Strategy 5.5 Plan and respond to demographic changes in the community.

## Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### **ATTACHMENTS:**

- 1. What Bathurst Said Volume 1 Submission Summary [8.2.9.1 66 pages]
- 2. Draft Policy Future proofing our CBD 2022 and beyond [8.2.9.2 5 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-261** 

MOVED: Cr A Smith SECONDED: Cr B Fry

## RESOLVED:

That Council:

- a) adopt the Bathurst Town Centre Master Plan as a reference document to inform future decision making within the Bathurst CBD; and
- b) place the draft Policy "Futureproofing our CBD 2022 and beyond" on public exhibition for a period of 28 days.

## 8.3 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

## 8.3.1 STATEMENT OF INVESTMENTS

File No: 16.0001

## **RECOMMENDATION:**

That the information be noted.

## **REPORT:**

\$98,730,000 was invested at 30<sup>th</sup> June 2022 in accordance with Council's investment policies, the Minister's Investment Order dated 12 January 2011, the Local Government Act 1993 and associated regulations. All investments have been reconciled with Council's general ledger and are listed below:

Short Term 1 – 365 Days (comprising Commercial Bills, Term Deposits, Debendance)	Rating tures and Cer	Balance tificates of Depos	Averag <u>e</u> Return its):
National Australia Bank Limited CBA Suncorp AMP Bank of Queensland Limited Bendigo & Adelaide IMB Members Equity Bank Maritime, Mining & Power Credit Union Limited	A-1+ A-1+ A2 A2 A2 A2 A2 A2 ADI	28,500,000 15,000,000 10,500,000 3,000,000 7,500,000 3,000,000 7,500,000 1,500,000 \$79,500,000	0.64% 0.90% 1.61% 0.65% 0.54% 0.56% 2.70% 0.55% 0.49% <b>0.87%</b>
Long Term > 365 Days (comprising Commercial Bills, Term Deposits, Debendance)	tures and Bor	nds):	
Floating Rate Term Deposits Westpac Coupon Select 2 (6/9/2022) Westpac Fixed Term deposit (9/6/2021) Westpac Green Tailored Deposit (15/11/2023) Maritime Mining & Power Credit Union Limited	AA- AA- AA- ADI	1,500,000 1,500,000 1,500,000 1,230,000 \$5,730,000	2.24% 1.25% 1.20% 0.30% 1.29%
Floating Rate Notes CBA Green (23/12/2026) Commonwealth Bank of Aust 2 (16/08/2023) National Australia Bank (19/6/2024)	AA- AA- AA-	1,500,000 500,000 700,000	2.15% 1.93% 1.90%

National Australia Bank 1 (24/8/2026)	AA-	1,200,000	1.48%
National Australia Bank 2 (30/5/2025)	AA-	1,000,000	2.07%
HSBC Sydney (27/9/2024)	AA-	1,500,000	2.60%
Westpac (20/5/2027)	AA-	1,000,000	2.09%
Macquarie Bank (9/12/2025)	A+	1,500,000	1.96%
UBS AG Australian (31/7/2025)	A+	650,000	1.58%
Suncorp Metway Ltd (24/02/2026)	A+	500,000	1.52%
Suncorp Metway Ltd (15/09/2026)	A+	1,550,000	2.19%
Sumitomo Mitsui Banking Corp (5/06/2025)	Α	1,000,000	2.39%
Bendigo & Adelaide Ltd 4 (02/12/2025)	BBB+	900,000	1.74%
	_	\$13,500,000	2.03%

Total Investments \$98,730,000 1.06%

## These funds were held as follows:

Total Investments	\$98,730,000
Unrestricted Investments	0
Section 7.11 Funds held for specific purposes	48,825,918
Grants held for specific purposes	1,425,106
Reserves Total (includes unexpended loan funds)	48,478,976

<u>Total Interest Revenue to 30 June 2022</u> \$653,699.09 1.06%

A Jones
Responsible Accounting Officer

## FINANCIAL IMPLICATIONS:

There are no financial implications resulting from this report.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

Strategy 6.6 Manage our money and our assets to be sustainable now and into the

future.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. Investments 30 June 2022 [8.3.1.1 - 2 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-262** 

MOVED: Cr K Burke SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

## 8.3.2 MONTHLY REVIEW - 2021/2025 DELIVERY PLAN AND OPERATIONAL PLAN 2021/2022

File No: 16.00187

#### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

Bathurst Regional Council has in place the Bathurst 2040 Community Strategic Plan which aims to inform the community about the major directions and programs Council is undertaking in shaping the future of the Bathurst Region. These directions are summarised as objectives and strategies in the Community Strategic Plan which was adopted by Council on 16 May 2018. The Plan is available for viewing at the council offices at 158 Russell Street or can be downloaded from the Public Documents section of Council's website, **Error! Hyperlink reference not valid.** A listing of the Objectives and Strategies from the Bathurst 2040 Community Strategic Plan can be found within the Plan commencing from page 22.

At <u>attachment 1</u> is an update of Council's progress towards achieving the Strategies and Objectives for the 2021-2025 Delivery Plan and the Annual Operational Plan 2021-2022. The Local Government (General) Regulation 2005 has been amended by inserting clause 413A to make it the duty of the General Manager to give timely information to Councillors about any fines or penalty notices from agencies such as the Australian Taxation Office, the Roads and Maritime Services or the Environment Protection Authority, or where a court or tribunal makes a costs order against a council.

Fines or penalty notices this month - Refer to attachment 1.

#### FINANCIAL IMPLICATIONS:

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

1. Operating Plan Review - June 2022 [8.3.2.1 - 68 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-263** 

MOVED: Cr I North SECONDED: Cr G Hanger

## **RESOLVED:**

That the information be noted.

# 8.3.3 SUNDRY SECTION 356 DONATIONS, BATHURST MEMORIAL ENTERTAINMENT CENTRE COMMUNITY USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY

File No: 18.00004

#### **RECOMMENDATION:**

That the information be noted and any additional expenditure be voted.

### **REPORT:**

At <u>attachment 1</u> is a list of Sundry Section 356 Donations, Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies granted by Council for the period ending 30 June 2022 including a report on annual Rental Subsidies granted by Council.

#### FINANCIAL IMPLICATIONS:

Council's Sundry Section 356 Donations and Bathurst Memorial Entertainment Centre Community Use Subsidies and Mount Panorama Fee Subsidies are included in the current budget, which currently have a balance as follows:

Section 356: \$ 13,905.00\*\*

BMEC Community use: \$ 9,256.00

Mount Panorama: \$ 22,727.73

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. 356 Council Report June 2022 [8.3.3.1 - 3 pages]

<sup>\*\*</sup> The above amount includes donations already committed but not yet paid. After allowing for the committed donations the remaining balance is \$13,905.

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-264** 

MOVED: Cr I North SECONDED: Cr M Hogan

## **RESOLVED:**

That the information be noted and any additional expenditure be voted.

## 8.3.4 POWER OF ATTORNEY

File No: 11.00007

## **RECOMMENDATION:**

That the information be noted.

## **REPORT:**

That the General Manager's action in affixing the Power of Attorney to the following be noted.

Purchaser	Address	Lot & DP	Agreement Type
	7 Lee Street,	Part lots 101, 102	
VMCC	Kelso	& 103 DP	Licence
		1204847	agreement
Sandema	Sydney Road/	Part lots 2 & 3 DP	Lease agreement
	Lee Street, Kelso	1186691 & Part	
		lots 101, 102 &	
		103 DP 1204847	
Taxi Cabs of	McPhillamy Park	Part lot 1 DP	Licence
Bathurst		634401	agreement
			Licence
Bathurst District	47 Mitre Street,	Part lot 1 DP	agreement
Historical Society	Bathurst	613544	
	12 Whitman		
Dareen Morgan	Place,	Lot 127 DP	Tenancy
	Windradyne	249576	agreement

## **Linen Plan Release**

Nil

## **General Items**

Nil

## **FINANCIAL IMPLICATIONS:**

N/A

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 6: Community leadership and collaboration.

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

Nil

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-265** 

MOVED: Cr A Smith SECONDED: Cr B Fry

## **RESOLVED:**

That the information be noted.

## 8.3.5 CONTROL OF RFS ASSETS – RURAL FIREFIGHTING EQUIPMENT

File No: 16.00034

#### **RECOMMENDATION:**

### That Council:

- confirms that it does not control the Rural Firefighting Equipment that has been vested to Council under the Rural Fires Act 1997, in accordance with the provisions of the Australian Accounting Standards and associated pronouncements: and
- ii. consistent with the requirements of the Australian Accounting Standards, not recognise this rural firefighting equipment in the Council's annual financial statements and include a notation in the annual financial statements to this effect.

#### **REPORT:**

The NSW Auditor General has recently tabled a Report to Parliament on Local Government 2021, which in part, recommends that NSW councils should include rural firefighting equipment, that has been vested to them, in their financial statements.

This report has been prepared in response to this recommendation.

In considering this report it is important to note that this report has been prepared to determine whether Council "controls" the rural firefighting assets that have been vested to Council. This report <u>has not</u> been prepared to determine whether these assets are controlled by the NSW Rural Fire Service or any other State agency. This assessment should be undertaken by the relevant State agency.

## 1. Documents relied upon in forming a Position

Recommendations arising from NSW Auditor General's Report – Local Government 2021

### Recommendation to councils

Councils should perform a full asset stocktake of rural firefighting equipment, including a condition assessment for 30 June 2022 financial reporting purposes.

Consistent with the requirements of the Australian Accounting Standards, councils should recognise this equipment as assets in their 30 June 2022 financial statements.<sup>1</sup>

<u>Statement of Accounting Concepts (SAC) 4 – Definition and Recognition of the Elements</u> of Financial Statements

<sup>&</sup>lt;sup>1</sup> NSW Auditor General's Report to Parliament – Local Government 2021 – Page 12

#### **Definitions**

#### Clause 14

"Assets" are future economic benefits controlled by the entity as a result of past transactions or other past events; and

"control of an asset" means the capacity of the entity to benefit from the asset in the pursuit of the entity's objectives and to deny or regulate the access of others to that benefit.

### Legal Enforceability

#### Clause 37

... the presence of legal rights does not guarantee control... Another example is where a government entity, such as a government department, does not have legal ownership of the buildings in which it operates, such ownership vesting in another government entity, but controls the future economic benefits embodied in the buildings because of the terms of a particular government policy, ministerial directive or administrative arrangement.

### Rural Fires Act 1997

## Section 119 - Maintenance and disposal of fire fighting equipment purchased from Fund

- (1) In this section
  - *fire fighting equipment* means fire fighting apparatus, buildings, water storage towers or lookout towers.
- (2) All fire fighting equipment purchased or constructed wholly or partly from money to the credit of the Fund is to be vested in the council of the area for or on behalf of which the fire fighting equipment has been purchased or constructed.
- (3) A council must not sell or otherwise dispose of any fire fighting equipment purchased or constructed wholly or partly from money to the credit of the Fund without the written consent of the Commissioner.
- (4) There is to be paid to the credit of the Fund
  - a. if the whole of the cost of the purchase or construction of any fire fighting equipment was met by money to the credit of the Fund
    - i. an amount equal to the proceeds of sale of any such equipment, and
    - ii. any amount recovered (whether under a policy of insurance, from the Bush Fire Fighters Compensation Fund under the Workers Compensation (Bush Fire, Emergency and Rescue Services) Act 1987, or otherwise) in respect of the damage to, or destruction or loss of, any such equipment, and
  - b. if a part only of the cost of the purchase or construction of any such equipment was met by money to the credit of the Fund—an amount which bears to the amount that would be required by this subsection to be paid if the whole of that cost had been met by money to the credit of the Fund the same proportion as that part of the cost bears to the whole of that cost.
- (5) A council must take care of and maintain in the condition required by the Service Standards any fire fighting equipment vested in it under this section.
- (6) The Commissioner may, with the concurrence of the council in which fire fighting equipment is vested under this section, use any of the equipment not reasonably required by the council to deal with incidents in the area of the council to deal with incidents outside the area.

### Rural Fire District Service Agreement<sup>2</sup>

## Clause 4 – Commissioner to exercise Councils' Functions and manage the District

4.2 The Commissioner will, in consideration of an annual fee of \$1.00 payable by the Council:

- a. exercise, for the Term, all of the functions imposed on the Council by or under the Act other than those function specified in
  - Sections 7,12A, 37(3), 60(2), 62, 63, 64, 65, 74(1)(2)(a) & (b), 74C(3), 76, 77, 79, 95, 83(1)(a), 100E (2)(b) & (c), 100G, 100H, 104, 109, 110, 119 (save for sub-section 119(5)), 120 and 126 of the Act; and
  - ii. Regulations 14(a), and 37 of the Rural Fires Regulation (2008).
- b. undertake the day to day management of the RFS in the District.

## 2. Report Considerations

The NSW Auditor General is recommending that councils record the Rural Firefighting Equipment that has been "vested" to the councils, in their financial statements.

The determination as to whether councils "control" these assets by the NSW Auditor General appears to have been formed on advice from State agencies that the State Government does not control these assets, so therefore "by default" they must be controlled by the councils that they are vested in.

The financial statements of the NSW Total State Sector and the NSW Rural Fire Service do not include these assets, as the State is of the view that rural firefighting equipment that has been vested to councils under section 119(2) of the Rural Fires Act 1997 is not controlled by the State. In reaching this conclusion, the State argued that on balance it would appear that councils control the rural firefighting equipment that has been vested to them. It is important to note that there are only two parties who would be considered to control this equipment – the NSW Rural Fire Service in the State sector, or councils in the local government sector.

The Department of Planning and Environment (inclusive of the Office of Local Government) (the Department) confirmed in the 'Report on Local Government 2020' (tabled in Parliament on 27 May 2021) their view that rural firefighting equipment is not controlled by the NSW Rural Fire Service.

The Local Government Code of Accounting Practice and Financial Reporting confirms the State's view that it does not control these assets but provides the 'Councils need to assess whether they control any rural firefighting equipment in accordance with Australian Accounting Standards'. It would however seem, given the State's view that it does not control these assets, that these assets can only be controlled and therefore recognised by councils in the local government sector.<sup>3</sup>

Whilst the references above have formed the common view in that the rural firefighting equipment <u>is not</u> controlled by NSW Rural Fire Service, or any other State agency, the references do not appear to have undertaken an assessment of these assets to ascertain that they are controlled by councils.

<sup>&</sup>lt;sup>2</sup> Rural Fire District Service Agreement between The Council and The Commissioner of the NSW Rural Fire Service – Template Version: February 2012

<sup>&</sup>lt;sup>3</sup> NSW Auditor General's Report to Parliament – Local Government 2021 – Page 12

The Local Government Code of Accounting Practice acknowledges the need for this assessment to be undertaken by prescribing that "... Councils need to assess whether they control any rural firefighting equipment in accordance with Australian Accounting Standards"<sup>4</sup>.

Accordingly, it is appropriate that Council undertakes a control test to ascertain whether they control the rural firefighting equipment that has been vested to them by Section 119(2) of the Rural Fires Act 1997.

SAC 4 provides guidance to ascertain control. Clause 37 of SAC 4 confirms that an asset that has been "vested" in itself does not determine control.

Clause 37 elaborates on an example, which is very relevant, and not too dissimilar to the current situation with rural firefighting equipment. This example is again repeated below:

Another example is where a government entity, such as a government department, does not have legal ownership of the buildings in which it operates, such ownership vesting in another government entity, but controls the future economic benefits embodied in the buildings because of the terms of a particular government policy, ministerial directive or administrative arrangement.

This example can now be updated, to reflect this current situation, by inserting the relevant agencies party to this situation:

Another example is where a government entity (eg: NSW Rural Fire Service), such as a government department, does not have legal ownership of the buildings (or rural firefighting equipment) in which it operates (or uses), such ownership vesting in another government entity (eg: the councils), but controls the future economic benefits embodied in the buildings (or rural firefighting equipment) because of the terms of a particular government policy, ministerial directive or administrative arrangement (eg: a Rural Fire District Service Agreement).

Reference is then drawn to the Rural Fire District Service Agreement, specifically clause 4.2 which provides that the Commissioner of the NSW Rural Fire Service is to "…exercise Council's Functions and manage the District." Accordingly, an "administrative arrangement" is present that assigns the day-to-day management, and therefore the future economic benefits, of the rural firefighting equipment to the Commissioner.

#### 3. Conclusion

Applying the control provisions of SAC 4 confirms that these items of rural firefighting equipment are not controlled by Council.

The Mayor, a Councillor (usually the Deputy Mayor), the General Manager and the Responsible Accounting Officer are required to sign a statement attesting that the Council's annual financial statements have been prepared in accordance with "... the Australian Accounting Standards and other pronouncements of the Australian Accounting Standards Board". Accordingly, a notation should be included in the financial statements that acknowledges that a control test over rural firefighting equipment has been undertaken, with Council forming the opinion that it does not control these assets.

<sup>&</sup>lt;sup>4</sup> Local Government Code of Accounting Practice and Financial Reporting 2021/22 – January 2022

<sup>&</sup>lt;sup>5</sup> Rural Fire District Service Agreement between The Council and The Commissioner of the NSW Rural Fire Service – Template Version: February 2012

## FINANCIAL IMPLICATIONS:

As Council does not control these assets, there are no financial implications arising from this report.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

## Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

Nil

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-266** 

MOVED: Cr I North SECONDED: Cr K Burke

#### **RESOLVED:**

That Council:

- confirms that it does not control the Rural Firefighting Equipment that has been vested to Council under the Rural Fires Act 1997, in accordance with the provisions of the Australian Accounting Standards and associated pronouncements; and
- ii. consistent with the requirements of the Australian Accounting Standards, not recognise this rural firefighting equipment in the Council's annual financial statements and include a notation in the annual financial statements to this effect.

#### 8.4 DIRECTOR ENGINEERING SERVICES' REPORT

8.4.1 PROPOSED DEDICATION AND CONSTRUCTION OF PYE STREET BATHURST

File No: 25.00475

## **RECOMMENDATION:**

That Council:

- a) approve the transfer of Pye Street, Bathurst to its ownership; and
- b) approve the proposed Deed of Agreement for Pye Street Construction.

#### **REPORT:**

Council has received a request from Mr Grant Booth (applicant) who is the owner of properties located at Pye Street, Bathurst, seeking Council's consent to a proposed development which will include the construction of Pye Street to an acceptable standard. The site location is shown in **attachment 1**.

A search to ascertain the legal status of Pye Street has revealed that the land is privately owned and registered to Thomas Pye who is deceased. In his Will of 1875 Thomas Pye reserved the land for use by his children as a footway or roadway only. No evidence could be found as to the formal resumption or dedication of Pye Street.

Under normal circumstances, any development including the construction of a road requires the consent of the landowner. This is obviously not possible for the Pye Street land. However, as the land was set aside for the purposes of a road in a subdivision effected before 1 January 1907, Council does have the ability to dedicate the land to the public as a Council public road pursuant to section 16 of the Roads Act 1993.

So that the applicant may commence construction of the road it is proposed that Council dedicates the land as a public road by publishing a notice in the NSW Government Gazette. It is further proposed that Council enters into an agreement with the applicant which outlines the parties' responsibilities, including the applicant having to pay a \$400,000.00 bond, ensuring that Council won't be left with the cost of completing the road's construction, should the applicant not fully meet his obligations under the agreement. A copy of the proposed Deed of Agreement is shown in **attachment 2**.

It is therefore recommended that Council:

- 1) approve the transfer of Pye Street, Bathurst, to its ownership; and
- 2) approve the proposed Deed of Agreement for Pye Street Construction.

## FINANCIAL IMPLICATIONS:

Should Council support the recommendation then there are no financial implications to Council as the applicant will be responsible for all costs.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.1 Facilitate development in the region that considers the current and future needs of our community.

Strategy 4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

- 1. Location of Proposal [**8.4.1.1** 1 page]
- 2. Draft Deed of Agreement [8.4.1.2 14 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-267** 

MOVED: Cr G Hanger SECONDED: Cr W Aubin

#### **RESOLVED:**

That Council:

- a) approve the transfer of Pye Street, Bathurst to its ownership; and
- b) approve the proposed Deed of Agreement for Pye Street Construction.

## 8.4.2 PROPOSED EASEMENT TO DRAIN WATER OVER 32 & 34 BARR STREET, WINDRADYNE

File No: 22.15751, 22.15752

#### **RECOMMENDATION:**

That Council approve a proposed Easement to Drain Water over Lots 1077 and 1078 in DP1215618 – 32 and 34 Barr Street, Windradyne, as detailed in the Director Engineering Services' report.

#### **REPORT:**

During large storm events, properties in Messenger Street and particularly the property at 29 Messenger Street have been subject to flooding due to the drainage network being unable to efficiently drain the stormwater from the street, resulting in the water pooling at the front of 29 Messenger Street and flowing over the kerb and into the property.

To rectify the problem, it is proposed to replace existing drainage pipes in the vicinity with larger pipes and to install new pipes through the Council owned properties at 32 and 34 Barr Street, Windradyne, being Lots 1077 and 1078 in DP1215618. Each property is classified as operational land for the purpose of the Local Government Act 1993.

It is proposed that an easement to drain water be created for the legal protection of the new pipes. The proposed easement will be 3.8m wide along the eastern boundary of both lots and 2.5m wide along the southern boundary of lot 1078 (refer **attachment 1**).

It is therefore recommended that Council approve an Easement to Drain Water over Lots 1077 and 1078 in DP1215618.

## FINANCIAL IMPLICATIONS:

Anticipated costs including survey and legal costs are estimated at \$8,000.00. Funding for this item is contained within the existing Stormwater Drainage Capital Works budget.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 4: Enabling sustainable growth.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. Location of Proposed Easements [8.4.2.1 - 1 page]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-268** 

MOVED: Cr A Smith SECONDED: Cr B Fry

## **RESOLVED:**

That Council approve a proposed Easement to Drain Water over Lots 1077 and 1078 in DP1215618 – 32 and 34 Barr Street, Windradyne, as detailed in the Director Engineering Services' report.

## 8.4.3 WATER SUPPLY UPDATE

File No: 32.00017

### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

Council at its Ordinary Meeting held 16 March 2022 requested a monthly report regarding storage levels within Council's water supply dams.

As at Tuesday 5 July, Chifley Dam was at 103.8%, with 31,246ML in storage. Refer **attachment 1** for a graph of Chifley Dam storage levels. Chifley Dam has been overflowing for the past 93 weeks.

Water release from Chifley Dam outlet pipework is currently 4.35ML/day.

Winburndale Dam was at 90.2% on Tuesday 5 July. The level is 0.82 below the crest level and there is 1,534ML in storage.

The Winburndale Dam water level has been held artificially low to enable the dam wall strengthening project to be carried out in a safe manner noting that work is taking place on the dam crest. This allows for a buffer should a rain event occur that would otherwise cause the dam to overtop, thus placing personnel and equipment at risk. With the recent rain, overtopping has been avoided.

In Bathurst, the estimated residential water usage varies from week to week but remains around the target for Level 5 water restrictions. Over the last 4 weeks, the average estimated residential water usage is 10.3ML/d. Refer **attachment 2** for details of consumption.

#### FINANCIAL IMPLICATIONS:

Nil

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 3: Environmental stewardship.

Strategy 3.2 Develop Bathurst as a Smart City.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

- 1. Chifley Dam Monthly Storage Graph July 5 2022 [8.4.3.1 1 page]
- 2. Estimated Residential Water Usage Graph July 5 2022 [8.4.3.2 1 page]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-269** 

MOVED: Cr B Fry SECONDED: Cr W Aubin

## **RESOLVED:**

That the information be noted.

## 8.5 DIRECTOR CULTURAL AND COMMUNITY SERVICES' REPORT

8.5.1 DISABILITY INCLUSION ACTION PLAN 2022-

2027

File No: 09.00051

### **RECOMMENDATION:**

That Council,

- (a) Note the submissions received during the public exhibition period.
- (b) Provide a letter to those who provided a submission thanking them for their contribution to the Disability Inclusion Action Plan 2022–2027.
- (c) Adopt the Disability Inclusion Action Plan 2022–2027 and endorse the actions contained in the document.

#### **REPORT:**

At the ordinary meeting of Council held 20 April 2022, Council resolved that the draft Disability Inclusion Action Plan (DIAP) 2022-2027 be placed on public exhibition.

The draft DIAP was placed on public exhibition from Wednesday 27 April 2022 to Friday 27 May 2022. The draft DIAP was made available to members of the public at the following locations during this period encouraging review and comment:

- Your Say Bathurst
- Council's website
- Council's Civic Centre
- Bathurst Library

As at the closing date for submissions six (6) responses were received from the public, feedback included;

- Not specifically listing Mt Panorama Motor Racing Precinct;
- Concern regarding the variety of people consulted with;
- Concern the actions of the DIAP 2022–2027 will not be actioned;
- The need for a Liberty Swing
- The need for a Changing Places/Adult Changing facility;
- Addressing Ableism;
- A need to focus on the social model rather than the medical model of disability;
- Concern regarding the lack of employment opportunities for people living with disability;
- Design, formatting and wording suggestions;
- The need to mention the Australian Disability Discrimination Act;
- A call for increased State Government funding to resource the development and

implementation of DIAPs.

A copy of the updated Disability Inclusion Action Plan 2022–2027 is provided at **attachment 1.** 

An easy-read version is provided at attachment 2.

A copy of the submissions received and subsequent changes to the Disability Inclusion Action Plan 2022–2027 is provided at <u>attachment 3.</u> Submission provided by Independent Advocate, Mr Triming is provided at <u>attachment 4.</u>

## **FINANCIAL IMPLICATIONS:**

Funding for this item is contained within existing budgets

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1:	Our sense of place and identity.
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- Strategy 1.3 Enhance the cultural vitality of the region.
- Strategy 1.5 Promote good design in the built environment.

### Objective 5: Community health, safety and well being.

- Strategy 5.1 Provide opportunities for our community to be healthy and active.
- Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.
- Strategy 5.3 Help build resilient, inclusive communities.
- Strategy 5.4 Make our public places safe and welcoming.
- Strategy 5.5 Plan and respond to demographic changes in the community.

## Objective 6: Community leadership and collaboration.

- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.
- Strategy 6.3 Advocate for our community.
- Strategy 6.4 Meet legislative and compliance requirements.
- Strategy 6.5 Be open and fair in our decisions and our dealings with people.
- Strategy 6.6 Manage our money and our assets to be sustainable now and into the future.
- Strategy 6.7 Invest in our people.
- Strategy 6.8 Implement opportunities for organisational improvement.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

- 1. BRC DIAP Booklet 2022-27 FINAL [8.5.1.1 30 pages]
- 2. Easy English Final [8.5.1.2 23 pages]
- 3. Attachment 3 Public Exhibition Comments [8.5.1.3 3 pages]
- 4. 2022 05-24 To GM re- DIAP draft suggestions [8.5.1.4 4 pages]

### **MINUTE**

**RESOLUTION NUMBER: ORD2022-270** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

## **RESOLVED:**

That Council,

- (a) Note the submissions received during the public exhibition period.
- (b) Provide a letter to those who provided a submission thanking them for their contribution to the Disability Inclusion Action Plan 2022–2027.
- (c) Adopt the Disability Inclusion Action Plan 2022–2027 and endorse the actions contained in the document.

## 8.5.2 CREATING CONNECTIONS PROGRAM

File No: 09.00057

## **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

Creating Connections, a free program aiming to improve social opportunities for older people, was launched in May 2022.

The program saw 19 participants aged 65 years and over engaging in activities including chair yoga, healthy cooking, stretch class for seniors, arts and crafts, woodworking, an allied health talk and lawn bowls.

The program was developed by the Bathurst Regional Council with the support of the NSW Government \$11,543 + GST Reducing Social Isolation in Seniors Grant.

Participants were encouraged to form social connections with other members of the program by forming special interest groups. Participants were also provided with vouchers to support continued attendance at activities.

Creating Connections was promoted through aged care service providers, GPs and pharmacies to encourage socially isolated seniors to participate in the program.

The program was delayed due to COVID-19 restrictions in 2021.

### FINANCIAL IMPLICATIONS:

Funding for this item is contained within existing budgets

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 5:	Community health, safety and well being.
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- Strategy 5.1 Provide opportunities for our community to be healthy and active.
- Strategy 5.3 Help build resilient, inclusive communities.
- Strategy 5.5 Plan and respond to demographic changes in the community.

#### Objective 6: Community leadership and collaboration.

Strategy 6.7 Invest in our people.

## **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

Nil

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-271** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

**RESOLVED:** 

That the information be noted.

## 8.5.3 BATHURST TOURISM INDUSTRY

**ENGAGEMENT FRAMEWORK UPDATE - JULY** 

2022

File No: 20.00299

#### **RECOMMENDATION:**

That Council note the implementation and future actions concerning tourism industry engagement.

#### **BACKGROUND**

A new three-tiered system for engaging with the regional tourism industry was developed and detailed in a report to Council on 15 July 2020 (DCCS Report #7.5.2), see <a href="https://example.com/attachment1">attachment 1</a>. This system is now being implemented, and this report details an update of this activity.

#### **REPORT**

The Bathurst Region Destination Management Plan 2019-2024, adopted by Council on 11 December 2019 (DCCS Report #8.5.2), contains four overarching strategic priorities of which Priority Three is "Capacity Building and Collaboration". The Bathurst Visitor Information Centre continues to develop resources to increase engagement and to provide information and sector building tools to the regional tourism industry including an industry focused website <a href="https://www.bathurstregiontourism.com">www.bathurstregiontourism.com</a> which provides updated business advice, campaign information, reporting and statistics.

Bathurst Visitor Information Centre (BVIC) has also been working with industry within the framework of the new three-tier approach.

### 1. Industry Networking and Cohesion

- (a) BVIC continued to work with its Tourism Industry Partners in the 21/22 financial year. In addition to the promotional benefits of the program, these partners also receive regular industry updates from BVIC. The ongoing impact of the COVID-19 pandemic and lockdowns from July-December 2021 continued to impact local tourism businesses. In consequence, BVIC did not seek to actively increase paid memberships or to penalise non-financial members in 21/22. There were 125 financial partners active in 21/22. A new drive to renew the partnership base and attract new businesses commenced in June 2022.
- (b)
- (c) BVIC has increased its focus on public relations activity in 21/22 to drive brand awareness and consumer engagement, and to capitalise on latent demand following the lifting of COVID travel restrictions. A major part of this activity has been to develop packages and itineraries that connected tourism businesses as components of an overall visitor experience.

(d)

(e) BVIC staff have resumed a regular schedule of partner business visits, once again discontinued from July-December 2021, to provide promotional resources such as Destination Guides, relevant brochures and Villages Guides to businesses as well as to discuss tourism activity and promotional opportunities. A total of 32 businesses were visited in the period January – June 2022.

(f)

(g) BVIC staff undertook an exchange program in March and May 2022 with reciprocal visits between staff and hosted familiarisations to increase understanding and a collaborative approach to extending length of stay within the broader region. All staff involved from both Bathurst and Orange VICs reported on the value of this information exchange.

## 2. Sector Based Reporting

(a) Action 3.5 of the DMP requires an annual report of the industry and BVIC has increased data gathering capacity including through engagement of a dedicated location data and intelligence company, *Localis*, appointed to provide more detailed insights and measurement including mobile data and mining of online booking platforms. This activity will provide key data for that report and consequently inform the direction of Council activity.

(b)

To further inform the annual report, to be completed and tabled at the August Meeting of Bathurst Regional Council, A number of industry sector leaders were invited to contribute their thoughts on current trends, the state of the industry and future growth opportunities. 11 meetings were held in May/June 2022 between these leaders and Council's Manager Tourism & Visitor Services providing feedback reporting from industry sectors.

### 3. Capacity Building

(a) BVIC has established a regular schedule of monthly industry and partner newsletters reach a combined audience of 1086 with an average 35% open rate, well above the broad industry average. These newsletters provide information regarding available grants, industry trend updates, regional data and collaborative opportunities as well as keeping operators briefed on campaign activity and public relations activity.

(b)

(c) A key capacity building factor is to build the digital capacity of operators and enhancing the industry's digital footprint. BVIC has recently piloted a program of digital mentorship, and now offers individual tourism partner businesses structured advice and guidance in website and social media setup, operation and monitoring.

(d)

(e) BVIC's dedicated industry website <a href="www.bathurstregiontourism.com.au">www.bathurstregiontourism.com.au</a> saw an increase of 39.5% in pageviews in 2021/22. It has been substantially upgraded to enhance ease of access to tourism data and trends collated by BVIC as well as to information for businesses regarding current campaign activity and funding opportunities.

(f)

(g) BVIC has partnered with Destination NSW on two major collaborative projects in 2021/22 intended to increase length of stay and to disperse visitors within the Bathurst LGA. These have included creation of new

high quality still imagery and video content, printed resources for children and increased bookable online products and experiences.

(h)

BVIC has continued to support new initiatives, events and interpretive projects in the region's villages through the Village Event Development Program. This program in 2021/22 has supported the establishment of the Rockley Artisan Markets, the Hill End 150 celebration, Rockley Gardens and Art Festival and new interpretation enhancements at Perthville and Rockley.

This three-tier system provides constructive engagement between Council and the tourism industry and facilitates delivery of the action items as defined under Strategic Priority Area Three of the Bathurst Region Destination Management Plan 2019-2024. Engagement will be further increased in 22/23, with emphasis on returning to regular face to face industry gatherings that were discontinued due to COVID, and the 2021/22 State of the Industry report will be reported back to Council.

### FINANCIAL IMPLICATIONS:

There are no financial implications resulting from this report.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

- Strategy 1.1 Respect, protect and promote the region's Aboriginal heritage assets.
- Strategy 1.2 Protect, enhance and promote the region's European heritage assets and character.
- Strategy 1.3 Enhance the cultural vitality of the region.
- Objective 2: A smart and vibrant economy.
- Strategy 2.1 Support local business and industry.
- Strategy 2.6 Promote our City and Villages as a tourist destination.
- Objective 6: Community leadership and collaboration.
- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.
- Strategy 6.5 Be open and fair in our decisions and our dealings with people.

### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

1. Tourism Industry Engagement Council Report - 15 July 2020 [8.5.3.1 - 4 pages]

## **MINUTE**

**RESOLUTION NUMBER: ORD2022-272** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

## **RESOLVED:**

That Council note the implementation and future actions concerning tourism industry engagement.

# 8.5.4 BATHURST MUSEUMS UNIT - JUNE LONG WEEKEND 2022, STEAM TRAIN AND VISITORS

File No: 21.00144, 21.00120

### **RECOMMENDATION:**

That the information be noted.

The 2022 June long weekend period Saturday 11 June to Monday 13 June proved to be a busy time for museums Bathurst with a total of 3,129 visitors generating an income of over \$40,000.

The weekend was marked with a visit from the Beyer Garratt 6029 steam engine in partnership with Transport Heritage NSW (THNSW) and the Bathurst Rail Museum. The visit commenced on Friday 10 June with train rides open to local schools. A total of 333 students took advantage of this opportunity on the day with students from O'Connell, Perthville and Rockley schools also having a guided tour through the rail museum.

Public rides on Saturday and Sunday were sold out with eight return trips to Wimbledon then again on Monday a longer return trip to Orange which was also sold out. A total of 3,500 individuals enjoyed the rides over the weekend. Locals and visitors from Sydney, Parkes, Orange, Dubbo, Albury and Southeast Queensland were among the people that visited Bathurst just for this event.

This is the second time that Transport Heritage NSW has brought a steam engine to Bathurst for this type of event with the first in 2021. Planning for a similar event in 2023 is already underway.

Bathurst Regional Councils museums also benefited from the long weekend with good visitor numbers. This was reflected in a total of 1,096 visitors to the Australian Fossil and Mineral Museum, 877 to the National Motor Racing Museum and 1,156 to the Bathurst Rail Museum. Income across all the museums increased by 14% on the same time in 2021.

#### **Economic Impact**

Using the id economic event calculator tool to measure the economic benefit to the Bathurst Region over the long weekend it is estimated that the total benefit to the economy was \$779,316. This was calculated on the number of visitors and journey attendees and projected spend per day including overnight stays based on the postcard data collected.

#### FINANCIAL IMPLICATIONS:

There are no financial implications resulting from this report.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.2 Protect, enhance and promote the region's Non-Indigenous heritage assets and character.

Strategy 1.3 Enhance the cultural vitality of the region.

Objective 2: A smart and vibrant economy.

Strategy 2.1 Support local business and industry.

Strategy 2.4 Promote our City and Villages as an attractive place to live.

Strategy 2.6 Promote our City and Villages as a tourist destination.

Objective 5: Community health, safety and well being.

Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.

### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

Nil

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-273** 

MOVED: Cr B Fry SECONDED: Cr M Hogan

#### **RESOLVED:**

That the information be noted.

## 8.5.5 BATHURST ARTS RESIDENCY NSW (BARN)

File No: 16.00190

## **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

Council, adopted the Cultural Vision 2036 on 21 June 2017. The Cultural Vision 2036 was created, developed and adopted as a roadmap to provide a sustainable creative industry for Bathurst and the Central West.

Outcome 1.2.2 Chifley Dam Performing Arts Residency Space Strategy of the Cultural Vision 2036, was adopted. As one of its projects, Council has developed the vision and concept for a multi-purpose facility to be built at the Chifley Dam precinct.

The Deputy Premier, Minister for Regional NSW and Member for Bathurst, Hon Paul Toole announced on Friday 8 July 2022, that Bathurst has been granted \$4.78 million under the Creative Capital Funding Program to deliver the Bathurst Arts Residency Program. The facility will be built at the Chifley Dam precinct. Council's contribution will be the provision of land for the facility.

The construction of a versatile, purpose-built, rehearsal and fabrication studio with on-site group catering facilities for residencies by local, national and international performing arts groups will provide focus on Bathurst as a leading regional arts hub and incubation leader.

Further information is provided at attachment 1.

#### FINANCIAL IMPLICATIONS:

Financial input contribution to the facility has been provided by the State Government through Create NSW capital fund project.

Council's contribution, at this time is the provision of land.

## BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 1: Our sense of place and identity.

Strategy 1.3 Enhance the cultural vitality of the region.

Objective 5: Community health, safety and well being.

# Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life.

## **COMMUNITY ENGAGEMENT:**

02 Consult - to obtain public feedback on alternatives and/or decisions

## **ATTACHMENTS:**

1. The BARN 2 pager updated [8.5.5.1 - 2 pages]

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-274** 

MOVED: Cr B Fry SECONDED: Cr K Burke

### **RESOLVED:**

That the information be noted.

## 9 REPORTS OF OTHER COMMITTEES

9.1 TRAFFIC COMMITTEE REPORT - 7 JUNE 2022

File No: 07.00006

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-275** 

MOVED: Cr B Fry SECONDED: Cr A Smith

## **RESOLVED:**

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 7 June 2022 be adopted.

## 9.2 TRAFFIC COMMITTEE REPORT - 5 JULY 2022

File No: 07.00006

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-276** 

MOVED: Cr B Fry SECONDED: Cr A Smith

## **RESOLVED:**

That the recommendations of the Traffic Committee Meeting of Bathurst Regional Council held on 5 July 2022 be adopted.

### 10 NOTICES OF MOTION

10.1 RECOGNITION OF AUSTRALIA'S FRONTIER

WARS - MOTION SUBMISSION TO LGNSW ANNUAL CONFERENCE - COUNCILLORS

**BURKE AND JENNINGS** 

File No: 23.00166

#### **RECOMMENDATION:**

That Council submit the following motion to the LGNSW Annual Conference:

That LGNSW and its member councils recognise the fact of Australia's Frontier Wars which occurred during the British colonisation of Australia.

#### **REPORT:**

Councillors' Jennings and Burke have jointly submitted the following Notice of Motion in relation to recognising Australia's Frontier Wars.

That Council submit the following motion to the LGNSW Annual Conference:

That LGNSW and its member councils recognise the fact of Australia's Frontier Wars which occurred during the British colonisation of Australia.

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-277** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

#### **RESOLVED:**

That Council submit the following motion to the LGNSW Annual Conference:

That LGNSW and its member councils recognise the fact of Australia's Frontier Wars which occurred during the British colonisation of Australia.

### 11 COUNCILLORS / DELEGATES REPORTS

## 11.1 MINUTES - COUNCILLORS MEETING WITH COMMUNITY GROUPS/REPRESENTATIVES - 8 JUNE 2022

File No: 11.00019

#### **RECOMMENDATION:**

That the information be noted.

#### REPORT:

<u>Present:</u> Clr Taylor (Mayor), Clr Fry (Deputy Mayor, teams), Clr Aubin, Clr Hanger, Clr Hogan (teams), Clr Jennings (teams), Clr North, Clr Smith

**Apologies:** Clr Burke

## 1. TAFE NSW Automotive Technology Training – 18.00093

Attendee: John Ewing

- Provided update/background about the program.
- Discussed the TAFE Workshop at Mt Panorama dedicated as 'Tony Warrener Repair Shed'.
- Discussed letter of appreciation from Luke King Racing.
- Discussed the range of activities the project undertakes during the various race events, including student placements with Supercar teams and scrutineering.
- Discussed the relationships between Council and TAFE throughout the events and program.

### 2. <u>ATCO – Pumped Hydro Project – 20.00342</u>

Attendees – Ben Bolot (teams), Kimbalee Clews, Rosahlena Robinson

- Provided update/background to the project.
- Discussed the impacts of energy sources and impact on electricity prices.
- Discussed the CE REZ in that the zone is geared for wind and solar not hydro.
- Discussed the details of the project and the premise of the project as well as how the project connects to surrounding land.
- Discussed the benefits to the local economy, including construction and operational jobs.
- Discussed the ATCO Communities Fund and that 2022 was the first round offered to 8 projects.
- Discussed the community consultation/briefing activities that have occurred to date
- ATCO are currently preparing the EIS for the project. It is a State Significant Project.

- Expecting consultation on the EIS to happen during July/Aug 2022, waiting for SEARS to be issued by DPE.
- Discussed projects similar to this in other areas.

#### 3. Western Sydney Wanderers – 23.00026

Attendees: Scott Hudson

- Provided update/background to Western Sydney Wanders and the organisation.
- Celebrated 10-year anniversary this year.
- Discussed the catchment area of the club, 110,000 registered football players in Western Sydney. A further 4330 registered players in western NSW. Around 2M registered players nationally, larger than AFL, NRL and Union combined. Largest code with female participation.
- Discussed the ambition of the code in the future.
- Discussed the inclusivity and diversity of players in the code.
- Discussed community engagement activities Wanderers Foundation, all abilities, grassroots program and youth development programs.
- Discussed the opportunities to partner with Council regarding local football development.

## FINANCIAL IMPLICATIONS:

Nil

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

Objective 2: A smart and vibrant economy.

Strategy 2.1 Support local business and industry.

Objective 4: Enabling sustainable growth.

Strategy 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.

Objective 5: Community health, safety and well being.

Strategy 5.1 Provide opportunities for our community to be healthy and active.

Objective 6: Community leadership and collaboration.

Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.

## **COMMUNITY ENGAGEMENT:**

01 Inform - to provide the public with balanced and objective information to help them

understand the problem, alternatives, opportunities and/or solutions.

## **ATTACHMENTS:**

Nil

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-278** 

MOVED: Cr B Fry SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

# 11.2 MINUTES - COUNCILLORS MEETING WITH COMMUNITY GROUPS/REPRESENTATIVES - 6 JULY 2022

File No: 11.00019

#### **RECOMMENDATION:**

That the information be noted.

#### **REPORT:**

<u>Present:</u> Clr Taylor (Mayor), Clr Fry (Deputy Mayor), Clr Aubin, Clr Burke, Clr Hanger (video link), Clr Hogan, Clr North, Clr Smith (video link)

**Apologies:** Clr Jennings

## 1. Bathurst Agricultural Horticultural & Pastoral Association

Attendees: Brett Kenworthy & Colin McPhee

- Thanked Council & Councillors for their support over the last number of years;
- 2022 Show recorded an attendance that exceeded expectations despite the wet weather over the weekend;
- Have had to change the dates for next year 5-7 May;
- Many attendees stayed in Bathurst overnight;
- Access to the Sportsground for the Showmen's camp is an ongoing problem.
   Limiting access is resulting in some ride operators not attending;
- A number of the ride operators also didn't attend due to the Hawkesbury Show being on the following weekend;
- AH&P will provide a document on how the Sportsground Campsite is going to be managed - DES to provide the AH&P with matters that, as a minimum, need to be addressed:
- Requested an update on the progress of the construction of the Hereford Street Carpark - is there a capacity to utilise the opposite side of Hereford Street as a carpark for the Show so as to not conflict with the users of the Rugby/League precinct. BRC to review.
- Additional costs incurred due to the utilisation of trained traffic management staff and shuttle buses:
- Seeking to have input in the setting of Food Inspection fees, becoming onerous.
   Compliance & payment of these fees is the responsibility of the food operators;
- BRC Sponsorship seeking a 3yr continuance of the agreement, and requesting Council's consideration to increase the value of sponsorship after having regards to the increasing costs involved in delivering the Show.

#### FINANCIAL IMPLICATIONS:

N/A

### **BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND**

### **STRATEGIES:**

Objective 1: Our sense of place and identity.

Strategy 1.5 Promote good design in the built environment.

Objective 2: A smart and vibrant economy.

Strategy 2.1 Support local business and industry.

Objective 5: Community health, safety and well being.

Strategy 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages

attractive and full of life.

Objective 6: Community leadership and collaboration.

Strategy 6.4 Meet legislative and compliance requirements.

### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

### **ATTACHMENTS:**

Nil

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-279** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

**RESOLVED:** 

**RECOMMENDATION:** 

That the information be noted.

## 12 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS

## 12.0 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-280** 

MOVED: Cr K Burke SECONDED: Cr A Smith

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

There were no representation from the public.

#### **RESOLVED:**

That:

Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.

- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

- 1. In accordance with Section 9(2A) of the Local Government Act 1993, it is the opinion of the General Manager that the following business is of a kind as referred to in section 10A(2) of the Act and should be dealt with in a part of the meeting closed to the media and public.
- 2. In accordance with Section 10B(1) it is considered that discussion of the matter in open meeting, would on balance, be contrary to the public interest.
- 3. In accordance with Section 10A(4) members of the public are invited to make representations to the Council as to whether the matters should or should not be dealt with in Confidential Committee.

## 12.1 DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING SERVICE'S REPORT

#### 12.1.1 KEY DEVELOPMENT SITE - PARKING CONSIDERATIONS

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposal for a development that includes Council owned land.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-48** 

MOVED: Cr A Smith SECONDED: Cr B Fry

#### **RESOLVED:**

That Council adopt the recommendation contained in this report.

#### 12.2 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

# 12.2.1 RENEWAL OF SPORTING LICENCE AGREEMENT – PART LOT 2 DP1272602 – ASHWOOD PARK

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed renewal of the Sporting Licence Agreement for part Lot 12 DP1272602, Ashwood Park

Councillor Smith declared non-pecuniary significant interest in this item and left the Chamber.

Reason: Councillor and his wife are involved with Bathurst Juniors Rugby Club in senior roles which are part of the Bathurst Rugby Clubs.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-49** 

MOVED: Cr I North SECONDED: Cr B Fry

**RESOLVED:** 

That Council approves the renewal of the Sporting Licence Agreement for part Lot 2 DP1272602, Ashwood Park for a period of five (5) years as detailed in the report.

# 12.2.2 RURAL LICENCE AGREEMENT – LOT 1 DP995205 AND LOT 1 DP1007963, KNOWN AS LOT 1 PATNA STREET, WEST BATHURST

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal for Council to enter into a Rural Licence Agreement for Lot 1 DP995205 and Lot 1 DP1007963, known as Lot 1 Patna Street, West Bathurst, for a period of twelve (12) months.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-50** 

MOVED: Cr B Fry SECONDED: Cr K Burke

#### **RESOLVED:**

That Council approves entering into a rural licence agreement for Lot 1 DP995205 and Lot 1 DP1007963, known as Lot 1 Patna Street, West Bathurst, for a period of twelve (12) months as detailed in the report and subject to Council's Land Management Guidelines and insurance requirements.

### 12.2.3 MOUNT PANORAMA CYCLING EVENT

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to hold a cycling event at Mount Panorama.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-51** 

MOVED: Cr B Fry SECONDED: Cr I North

#### **RESOLVED:**

That Council act in accordance with the recommendations of this report.

## 12.2.4 RENEWAL OF BATHURST 6-HOUR AGREEMENT

**Reason:** 10A (2) (d) (iii) Contains commercial information of a confidential nature that would, if disclosed, reveal a trade secret.

This item relates to the proposal the renewal of the Bathurst 6-hour agreement.

#### MINUTE

**RESOLUTION NUMBER: CONF2022-52** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

#### **RESOLVED:**

That Council:

- (a) Approve the option to renew the Bathurst 6-Hour Agreement for a further five (5) annual events; and
- (b) Delegate authority to the General Manager to prepare and execute the relevant documents activating this option.

# 12.2.5 AMENDMENT TO COMMERCIAL LICENCE AGREEMENT - LEE STREET, KELSO

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to revise the licence agreement with Upper Macquarie County Council.

### **MINUTE**

**RESOLUTION NUMBER: CONF2022-53** 

MOVED: Cr M Hogan SECONDED: Cr A Smith

## **RESOLVED:**

That Council endorse the General Manager's actions in executing a revised licence

agreement with Upper Macquarie County Council, as detailed in this report.

#### 12.3 DIRECTOR ENGINEERING SERVICES' REPORT

## 12.3.1 PROPOSED LAND TRANSFER AFFECTING COUNCIL OWNED LOT 6 IN DP1029078 AND LOT 8 IN DP1032436

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposed land transfer affecting Council owned Lot 6 in DP1029078 & Lot 8 in DP1032436.

## **MINUTE**

**RESOLUTION NUMBER: CONF2022-54** 

MOVED: Cr G Hanger SECONDED: Cr B Fry

#### **RESOLVED:**

That Council act in accordance with Alternative 1 as detailed in the Director of Engineering Services' Report

## 12.3.2 TENDER - NETWASTE REGIONAL ENVIRONMENTAL MONITORING OF LICENCED LANDFILLS

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to undertake environmental monitoring of licenced landfills.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-55** 

MOVED: Cr K Burke SECONDED: Cr I North

#### **RESOLVED:**

That Council act in accordance with the Director Engineering Services' report.

# 12.3.3 TENDER FOR DESIGN & CONSTRUCTION OF WATER HARVESTING SYSTEM

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed tender for the design and construction of Stormwater Harvesting System.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-56** 

MOVED: Cr M Hogan SECONDED: Cr I North

#### **RESOLVED:**

That Council

- i. Accept the tender of Hynash Constructions Pty Ltd in the amount of \$20,994,673 inc GST and including provisional sums, for the design and construction of Stormwater Harvesting System, subject to adjustments and provisional items.
- ii. Approve the drawing down of a \$6 million loan for the water Harvesting System works.

# 12.3.4 ENGAGEMENT OF PROJECT MANAGEMENT SERVICES FOR CONSTRUCTION OF WATER HARVESTING SYSTEM

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposed engagement of project management services for construction of stormwater harvesting system.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-57** 

MOVED: Cr A Smith SECONDED: Cr W Aubin

## **RESOLVED:**

That Council:

- (a) due to extenuating circumstances, including the urgency of the work and detailed project knowledge and extensive experience of the preferred supplier, resolve that a satisfactory result would not be achieved by inviting tenders, and
- (b) engage Upright Management Pty Ltd for project management services for the Water Harvesting Scheme in accordance with the Director Engineering Services' report.

## 12.3.5 CNSWJO TENDER FOR THE SUPPLY & DELIVERY OF BULK FUEL

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to the supply and delivery of bulk fuel.

Councillor Smith declared non-pecuniary/non significant interest in this item and remained in the Chamber.

Reason: Councillor's sister in-law is employed by CNSWJO and was involved in coordinating the tender process.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-58** 

MOVED: Cr M Hogan SECONDED: Cr B Fry

#### **RESOLVED:**

That Council accept and sign a contract with the following organisations for the supply and delivery of bulk fuel:

- Lowes Petroleum
- Oilsplus Holdings Australia (pending resolution of insurances)
- Onsite Fuel Rural Xpress Group, and
- Park (pending resolution of insurances)

## 13 RESOLVE INTO OPEN COUNCIL

**MINUTE** 

**RESOLUTION NUMBER: CONF2022-59** 

MOVED: Cr A Smith SECONDED: Cr M Hogan

**RESOLVED:** That Council resume open Council.

### 14 ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-281** 

MOVED: Cr I North SECONDED: Cr G Hanger

**RESOLVED:** 

That the Report of the Committee of the Whole, resolution numbers Conf2022- 48 to Conf2022- 58 not including Conf2022- 49 be adopted.

Councillor Smith left the chamber and took no part in the resolution.

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-282** 

MOVED: Cr I North SECONDED: Cr B Fry

**RESOLVED:** 

That the Report of the Committee of the Whole, resolution numbers Conf2022-49 be adopted.

### 15 MEETING CLOSE

#### **MINUTE**

The Meeting closed at 8.53pm.	
CHAIR:	

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## MINUTES OF THE ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD ON Wednesday 15 June 2022

#### 1 PUBLIC FORUM

#### **MINUTE**

Paul and Bonny Hennessy - 708 Tarana Road Section 7.11 Fees - Spoke to process to get a DA approved for their property. Feels have been denied natural justice and complained about staff. Noted General Manager has recommended refusal of the request, the General Manager should recuse himself from this matter as he is conflicted. Mr Hennessy then referred to report to Council where the approval was given to the DA, this report included an independent review.

<u>Jack Fry - BCCAN President -</u> Spoke to Climate and Environmental issues and referred to report 8.2.9, Climate Change Statement. Thanked Council for considering this matter, requests Council approves this statement.

In regard to the Water Harvesting report, does it include recommendations for Gross Pollutant Traps (GPT'S).

**Director Engineering Services -** The proposal doesn't include GPT's, this can be considered into the future.

<u>Michael McCarmack - Peel Street Development 8.2.4</u> - Council doesn't consider the communities concerns. Problem with two back-to-back community titles, this should not be allowed to happen especially where the only 'share' is the driveway. There needs to be public consultation on this, it is a rort by developers to get greater densities. The LEP allows alternative opportunities, Council needs policies on community title. There basically should be no titles community except for eg. Golf course/houses, where major infrastructure is shared, aged care villages.

Then spoke to Councillor heritage and environmental credibility.

Lorraine Sargeant - Stewart Street - Has recorded 150 Trucking companies utilising Stewart Street. Asked why Department prioritises developers over the interest of ratepayers. Ratepayers are being detrimentally affected by Council Planning decisions. Then referred to BIMC development and the proposal for units before Council tonight. Requests Council plan, develop and adopt new planning guidelines to meet resident needs. Then spoke to Councils mission statement.

<u>G.Crisp</u> - Secretary of Strata 475355 - Has been seeking and collecting Strata fees as required to do. Cannot get a lawful invoice for the fees from Bathurst Regional Council so he can pay Council, based on the requirements of the Strata Act. Council cannot ignore his request.

Asked when section 233A was first introduced into the Business Papers.

<u>B.Triming</u> - <u>Disability Access Advocate</u> - Well done on the works out the front of the Court House (footpath). Then spoke to damage caused to Council footpaths by developers and there appears to be no policy to deal with this, used an example of a driveway in Kepple Street, where bricks were put in. Staff have been good, but appear to be "hog tied" in this matter. There needs to be a Council policy to help staff, it should also cover were people cut through strips of the footpath and the fill put in subsides. Could a suitable lectern be provided for people with a disability or of short stature.

## 2 RECORDING OF MEETINGS

### 3 MEETING COMMENCES

#### **MINUTE**

Meeting commenced at 6.33pm.

<u>Present</u>: Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith, Cr R Taylor

### 4 PRAYER AND ACKNOWLEDGEMENT OF COUNTRY

#### 5 APOLOGIES OR ATTENDANCE BY AUDIO-VISUAL LINK

**MINUTE** 

MOVED: Cr K Burke SECONDED: Cr I North

**RESOLVED:** 

That the attendance via audio-visual link of Cr M Hogan be accepted.

#### **6 MINUTES**

6.1 CONFIRMATION OF MINUTES - ORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD 18 MAY 2022

File No: 11.00005

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-179** 

MOVED: Cr K Burke SECONDED: Cr A Smith

#### **RESOLVED:**

That the Minutes of the Ordinary Meeting of Bathurst Regional Council held on 18 May 2022 be adopted.

### 7 DECLARATION OF INTEREST

#### **Declaration of Interest**

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-180** 

MOVED: Cr K Burke SECONDED: Cr A Smith

**RESOLVED:** That the Declaration of Interest be noted.

Cr G Hanger declared a pecuniary interest in item 11.3.1 of the DES Confidential Report.

Reason: Son's company (ENACON Group P/L) is an applicant for the preferred contractors list.

Cr I North declared a pecuniary interest in item 11.3.1 of the DES Confidential Report.

Reason: Son works for a company that has tendered for being on the preferred contractors list.

Cr B Fry declared a pecuniary interest in item 11.3.1 of the DES Confidential Report.

Reason: One of the applicants is utilised by Cr Fry in running his business.

Cr M Hogan declared a non-pecuniary/ non-significant interest in item 9.1 of the NOM Report.

Reason: One of the representatives from Rotary volunteered for two hours at a polling booth on election day.

# 8 RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

# **8.1 GENERAL MANAGER'S REPORT**

8.1.1 LOCAL GOVERNMENT NSW ANNUAL CONFERENCE 2022 (HUNTER VALLEY: CROWN PLAZA)

OKOWINI LAZA

File No: 18.00074

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-181** 

MOVED: Cr I North SECONDED: Cr A Smith

### **RESOLVED:**

That Council:

- Nominate Councillors Taylor, Fry & Jennings as its delegates and Councillors Burke & Smith as observers for the Local Government NSW Annual Conference 2022.
- 2. Delegate the authority to the Mayor and the General Manager to nominate substitute delegates for:
  - (i) Motions
  - (ii) Board Elections
  - 8.1.2 OUR REGION OUR FUTURE BATHURST REGIONAL COMMUNITY STRATEGIC PLAN

2022

File No: 03.00180-05

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-182** 

MOVED: Cr B Fry SECONDED: Cr K Burke

#### **RESOLVED:**

That Council endorse the revised Our Region Our Future document in Attachment 4 to this report as the Community Strategic Plan for the Bathurst Region for this term of Council.

8.1.3 DEVELOPMENT APPLICATION 2020/107 –

REQUEST TO WAIVE OR REDUCE DEVELOPER CONTRIBUTIONS. OWNER: V & P HENNESSY

File No: 2020/107

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-183** 

MOVED: Cr K Burke SECONDED: Cr A Smith

#### **RESOLVED:**

That Council not support the request to waive or reduce developer contributions payable under Development Consent 2020/107.

# 8.1.4 AIR PASSENGER SERVICE EXPRESSION OF INTEREST

File No: 36.00786

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-184** 

MOVED: Cr B Fry SECONDED: Cr I North

**RESOLVED:** 

That the information be noted.

# 8.2 DIRECTOR ENVIRONMENTAL PLANNING AND BUILDING SERVICES REPORT

# 8.2.1 SECTION 4.15 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

File No: 03.00053

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-185** 

MOVED: Cr I North SECONDED: Cr B Fry

**RESOLVED:** 

8.2.2 GENERAL REPORT

File No: 03.00053

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-186** 

MOVED: Cr I North SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

8.2.3 DEVELOPMENT APPLICATION NO. 2022/145.

TWO STOREY DWELLING WITH ATTACHED GARAGE AND EARTHWORKS, 36 NEWLANDS

CRESCENT, KELSO, APPLICANT: MR

**GREGORY COLEMAN. OWNER: GREGORY J** 

**COLEMAN PTY LTD** 

File No: 2022/145

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-187** 

MOVED: Cr J Jennings SECONDED: Cr A Smith

#### RESOLVED:

That Council:

- (a) as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2022/145, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended;
- (b) notify those that made submissions of its decision; and
- (c) call a division.

#### On being PUT to the VOTE the MOTION was CARRIED

#### The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith and Cr R Taylor

<u>Against the Motion</u> - Nil

<u>Absent</u> - Nil

Abstain - Nil

8.2.4 DEVELOPMENT APPLICATION NO. 2021/358 - PROPOSED TWELVE DETACHED RESIDENTIAL UNITS AT LOTS 93, 94 AND 95 DP 1246025, 225A, 225B AND

225C PEEL STREET, BATHURST.. APPLICANT: MR P HUMPHREYS. OWNER: MR M E & MRS J I HOHNEN

File No: 2021/358

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-188** 

MOVED: Cr B Fry SECONDED: Cr K Burke

### RESOLVED:

That Council

- as the consent authority, grant consent pursuant to Section 4.16 of the Environmental Planning and Assessment Act 1979 to Development Application No. 2021/358, subject to conditions able to be imposed pursuant to Section 4.17 of the Environmental Planning and Assessment Act 1979, as amended, including but not limited to the following non-standard conditions:
  - i. The land identified as lots 93, 94 and 95 DP: 1246025 must be consolidated into one lot prior to the commencement of any works.
  - ii. The developer is to provide a privacy screen to create a separation and maintain the privacy between the proposed outdoor dining area and the properties adjoining to the south-east.
- b) notify those that made submissions of its decision; and
- c) call a division.

#### On being PUT to the VOTE the MOTION was CARRIED

#### The result of the division was:

In favour of the motion - Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr I North, Cr A Smith and Cr R Taylor

<u>Against the Motion</u> - Cr M Hogan

Absent - Nil

<u>Abstain</u> - Nil

8.2.5 EMPLOYMENT ZONES REFORM

File No: 02.00018

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-189** 

MOVED: Cr K Burke SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

8.2.6 FINDINGS OF PARLIAMENTARY INQUIRY INTO

**HEALTH OUTCOMES AND ACCESS TO** 

**HEALTH AND HOSPITAL SERVICES IN RURAL,** 

**REGIONAL AND REMOTE NSW** 

File No: 18.00035

MINUTE

**RESOLUTION NUMBER: ORD2022-190** 

MOVED: Cr B Fry SECONDED: Cr A Smith

**RESOLVED:** 

That Council continue its efforts to secure further commitment from Government to secure better health services and infrastructure for the Bathurst region.

8.2.7 GRANT WRITING WORKSHOP

File No: 20.00071

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-191** 

MOVED: Cr B Fry SECONDED: Cr K Burke

**RESOLVED:** 

8.2.8 CBD SHOP COUNT

File No: 20.00071

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-192** 

MOVED: Cr J Jennings SECONDED: Cr W Aubin

**RESOLVED:** 

That the information be noted.

8.2.9 BATHURST REGIONAL COUNCIL CLIMATE

**CHANGE POSITION STATEMENT** 

File No: 13.00027

MINUTE

**RESOLUTION NUMBER: ORD2022-193** 

MOVED: Cr B Fry SECONDED: Cr K Burke

**RESOLVED:** 

That Council:

a) adopt the Climate Change Position Statement outlined as follows;

#### Climate Position Statement

Bathurst Regional Council accepts the overwhelming scientific evidence presented by the Intergovernmental Panel on Climate Change and acknowledges:

- the global climate is changing because of increased concentrations of greenhouse gases in the atmosphere, and that these increased concentrations are largely the result of human activity.
- the extreme risks climate change presents to the economic, ecological, and social futures of our region. Bathurst Regional Council accepts the scientific consensus that responding to climate change requires 'rapid, far reaching and unprecedented changes to all aspects of society'.
- that some human-induced climate change is already having an impact on human and natural systems and that further climate change will occur because of past, present and future emissions. It is therefore necessary that Bathurst Regional Council assesses and adapts to these changes.
- that delayed global action on climate change mitigation and delayed local adaptation will increase costs and potential liabilities to Council in a range of

- areas, in particular planning and infrastructure management and risk management.
- that Australia has the capacity to contribute to global climate change mitigation, by reducing emissions now, in a way that creates positive opportunities for communities, industries and economic sustainability.

In response Bathurst Regional Council will:

- 1. Take actions to mitigate how much our climate will change in the future by reducing emissions from its own operations. Council will align itself with the NSW Government's target for Net Zero Emissions by 2050 and set interim emissions reduction targets to help plan a rapid transition to a low emissions future;
- 2. Plan and act to effectively adapt to climate change which is already occurring; to protect employee health and safety and support public safety; and
- 3. Act to limit pressure on natural systems affected by climate change.

Specifically, Bathurst Regional Council will:

- Develop and adopt an Emissions Reduction Plan for Council activities.
- Use a risk assessment approach to develop a Climate Change Adaptation Plan.
- Incorporate climate change implications into urban development, land-use planning and infrastructure development.
- Incorporate climate change considerations into waste management, energy use and transport infrastructure.
- Collaborate with others to increase the awareness and effectiveness of climate action.
- Support the community to transition to a low emissions future by leading by example and by creating a policy framework that supports the community to transition.
- b) that the background and context information provided in this report be included as an appendix to the Climate Change Position Statement.

# 8.2.10 BATHURST REGIONAL COUNCIL EMISSIONS REDUCTION PLAN

File No: 13.00097

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-194** 

MOVED: Cr B Fry SECONDED: Cr I North

**RESOLVED:** That Council:

a) place the draft Emissions Reduction Plan on public exhibition for a period of 28 days;

- b) if no submissions are received then adopt the Emissions Reduction Plan; and
- c) if submissions are received which warrant changes to the draft plan a further report be prepared for Council.

# 8.2.11 CONTAMINATED LAND POLICY REVIEW

File No: 16.00141

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-195** 

MOVED: Cr I North SECONDED: Cr A Smith

**RESOLVED:** 

That Council:

- a) place the revised Contaminated Land Policy on public exhibition for a period of 28 days;
- b) if no submissions are received, adopt the revised Contaminated Land Policy
- c) if submissions are received, prepare a further report to Council.

# 8.3 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

# 8.3.1 STATEMENT OF INVESTMENTS

File No: 16.00001

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-196** 

MOVED: Cr J Jennings SECONDED: Cr K Burke

**RESOLVED:** 

8.3.2 **MONTHLY REVIEW - 2021/2025 DELIVERY** 

**PLAN AND OPERATIONAL PLAN 2021/2022** 

16.00187 File No:

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-197** 

MOVED: Cr I North SECONDED: Cr W Aubin

**RESOLVED:** 

That the information be noted and budget variations be approved.

8.3.3 **SUNDRY SECTION 356 DONATIONS, BATHURST** MEMORIAL ENTERTAINMENT CENTRE COMMUNITY

**USE SUBSIDY AND MOUNT PANORAMA FEE SUBSIDY** 

File No: 18.00004

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-198** 

MOVED: Cr B Fry SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted and any additional expenditure be voted.

8.3.4 **POWER OF ATTORNEY** 

File No: 11.00007

MINUTE

**RESOLUTION NUMBER: ORD2022-199** 

MOVED: Cr K Burke SECONDED: Cr W Aubin

**RESOLVED:** 

8.3.5 UPDATE DELEGATIONS REGISTER

File No: 41.00088

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-200** 

MOVED: Cr B Fry SECONDED: Cr W Aubin

**RESOLVED:** 

That Council adopt the updated delegations register.

8.3.6 COUNCIL POLICY REVIEW - POLICIES

**REVIEWED WITH NO OR MINIMAL CHANGES** 

**IDENTIFIED** 

File No: 11.00006, 23.00042, 18.00171

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-201** 

MOVED: Cr I North SECONDED: Cr W Aubin

**RESOLVED:** 

That Council adopt the Television and Film Production Shoots Policy and Privacy Management Plan as amended.

### **8.4 DIRECTOR ENGINEERING SERVICES' REPORT**

8.4.1 WATER HARVESTING - ENVIRONMENTAL ASSESSMENT

File No: 32.00046

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-202** 

MOVED: Cr K Burke SECONDED: Cr A Smith

**RESOLVED:** 

MINUTES - Ordinary Meeting of Council - 15 June 2022

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#### That Council:

- (a) approve the Environmental Assessment for the Bathurst Water Harvesting Project, and
- (b) consider tenders for the construction of the Bathurst Water Harvesting Project as soon as practical

as recommended in the Director Engineering Services' Report.

8.4.2 WATER SUPPLY UPDATE

File No: 32.00017

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-203** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

8.4.3 SCRAP TOGETHER EPA GRANT FUNDED

**PROJECT** 

File No: 14.00007

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-204** 

MOVED: Cr B Fry SECONDED: Cr K Burke

**RESOLVED:** 

That the information be noted.

8.4.4 EVERY ONE CAN PLAY GRANT

**DEMONSTRATION PROJECT UPDATE** 

File No: 04.00127/04.00139

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-205** 

MOVED: Cr I North SECONDED: Cr B Fry

### **RESOLVED:**

That Council:

- (a) Note the Director Engineering Services Report, and
- (b) Commence the community consultation process to inform of the new plans and seek comments and submissions.

8.4.5 WASTE 2 ART 2022 EXHIBITION AND COMPETITION

File No: 23.00145

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-206** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

# 8.5 DIRECTOR CULTURAL AND COMMUNITY SERVICES' REPORT

8.5.1 BATHURST REGIONAL COUNCIL CHILDREN'S SERVICES UPDATE - JUNE 2022

File No: 09.00008, 09.00007

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-207** 

MOVED: Cr K Burke SECONDED: Cr G Hanger

**RESOLVED:** 

#### 8.5.2 AUTUMN COLOURS HERITAGE PROGRAM 2022

File No: 23.00060

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-208** 

MOVED: Cr G Hanger SECONDED: Cr B Fry

**RESOLVED:** 

That the information be noted.

8.5.3 BATHURST ARTS RESIDENCY NSW (BARN)

**RESIDENCIES** 

File No: 21.00060

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-209** 

MOVED: Cr J Jennings SECONDED: Cr W Aubin

**RESOLVED:** 

That the information be noted.

# 9 NOTICES OF MOTION

9.1 COUNCILLOR BURKE - FEE WAIVER RYDA

File No: 11.00004, 28.00002

Cr Hogan declared non-pecuniary/non-significant interest in this item and remained in the chamber.

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-210** 

MOVED: Cr K Burke SECONDED: Cr J Jennings

#### **RESOLVED:**

That Council:

- 1. Waive 50% of the hire fees of Mount Panorama complex for the RYDA 2022 event, up to a value of \$5,000 (GST exclusive).
- 2. That funding be provided from the Mount Panorama fee waiver section 356 allocation.
- 3. Request Council to meet with RYDA in the near future to discuss sustainable future funding models.

## 10 COUNCILLORS / DELEGATES REPORTS

10.1 MINUTES - BATHURST REGIONAL YOUTH COUNCIL - 10 MAY 2022

File No: 11.00020

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-211** 

MOVED: Cr B Fry SECONDED: Cr A Smith

**RESOLVED:** 

That the information be noted.

10.2 MINUTES - COUNCILLORS MEETING WITH COMMUNITY

**GROUPS/REPRESENTATIVES - 11 MAY 2022** 

File No: 11.00019-22

MINUTE

**RESOLUTION NUMBER: ORD2022-212** 

MOVED: Cr G Hanger SECONDED: Cr B Fry

**RESOLVED:** 

10.3 MINUTES - BATHURST REGIONAL COMMUNITY SAFETY COMMITTEE - 19 MAY 2022

File No: 07.000107

MINUTE

**RESOLUTION NUMBER: ORD2022-213** 

MOVED: Cr B Fry SECONDED: Cr J Jennings

**RESOLVED:** 

That the information be noted.

10.4 MINUTES - COUNCILLORS MEETING WITH COMMUNITY

**GROUPS/REPRESENTATIVES - 1 JUNE 2022** 

File No: 11.00019

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-214** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

RESOLVED:

That the information be noted.

# 11 RESOLVE INTO CONFIDENTIAL COMMITTEE OF THE WHOLE TO DEAL WITH CONFIDENTIAL REPORTS

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-215** 

MOVED: Cr A Smith SECONDED: Cr K Burke

The Mayor invited members of the public to make submissions on whether the matter/s should or should not be dealt with in Confidential Committee.

There were no representation from the public.

#### **RESOLVED:**

That:

Council resolve into closed Council to consider business identified, together with any late reports tabled at the meeting.

- (b) Pursuant to section 10A(1)-(3) of the Local Government Act 1993, the media and public be excluded from the meeting on the basis that the business to be considered is classified confidential under the provisions of section 10A(2) as outlined above.
- (c) Correspondence and reports relevant to the subject business be withheld from access.

In accordance with the Local Government Act 1993 and the Local Government (General) Regulation 2005:

- 1. In accordance with Section 9(2A) of the Local Government Act 1993, it is the opinion of the General Manager that the following business is of a kind as referred to in section 10A(2) of the Act and should be dealt with in a part of the meeting closed to the media and public.
- 2. In accordance with Section 10B(1) it is considered that discussion of the matter in open meeting, would on balance, be contrary to the public interest.
- 3. In accordance with Section 10A(4) members of the public are invited to make representations to the Council as to whether the matters should or should not be dealt with in Confidential Committee.

# 11.1 GENERAL MANAGER'S REPORT

# 11.1.1 AIR PASSENGER SERVICE EXPRESSION OF INTEREST

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposal to provide a regular air passenger service between Bathurst and Sydney.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-39** 

MOVED: Cr I North SECONDED: Cr A Smith

**RESOLVED:** 

# 11.1.2 LATE REPORT - AIR PASSENGER SERVICE EXPRESSION OF INTEREST

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposal to provide a regular air passenger service between Bathurst and Sydney.

#### MINUTE

**RESOLUTION NUMBER: CONF2022-40** 

MOVED: Cr B Fry SECONDED: Cr I North

#### **RESOLVED:**

That Council delegate the General Manager to enter into negotiations with the preferred operator for a regular passenger service between Bathurst and Sydney.

#### 11.2 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT

# 11.2.1 SALE OF LAND AT CORPORATION AVENUE, ROBIN HILL

**Reason:** 10A (2) (c) Contains commercial information of a confidential nature that would, if disclosed, confer a commercial advantage on a person with whom the Council is conducting (or proposes to conduct) business, and Commercial information of a confidential nature that would, if disclosed, (i) prejudice the commercial position of the person who supplied it, (ii) confer a commercial advantage on a competitor of the Council.

This item relates to the proposal to the sale of land at Lot 27 DP1070624, Corporation Avenue. Robin Hill.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-41** 

MOVED: Cr K Burke SECONDED: Cr B Fry

#### **RESOLVED:**

That Council approve the sale of Lot 27 in DP1070624, Corporation Avenue as detailed in the report.

# 11.2.2 RENEWAL OF RESIDENTIAL LEASE AGREEMENT - 12 WHITEMAN PLACE

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal renew the residential lease agreement for Lot 127 DP249576, known as 12 Whiteman Place, Windradyne.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-42** 

MOVED: Cr K Burke SECONDED: Cr A Smith

**RESOLVED:** 

That Council approve the renewal of the residential lease agreement for Lot 127 DP249576, known as 12 Whiteman Place, Windradyne, for a period of twelve (12) months with a twelve (12) month option period as detailed in the report.

# 11.2.3 RENEWAL OF AERODROME LEASE AGREEMENT - LOT 9 PJ MOODIE DRIVE, BATHURST AERODROME, RAGLAN

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to renew the lease agreement at Lot 9 DP873722, PJ Moodie Drive at the Bathurst Aerodrome.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-43** 

MOVED: Cr B Fry SECONDED: Cr J Jennings

#### **RESOLVED:**

That Council approves the renewal of the lease agreement for a hangar site located at Lot 9 DP873722, PJ Moodie Drive at the Bathurst Aerodrome for a period of ten (10) years with a ten (10) year option period at Council's discretion as detailed in the report.

# 11.2.4 RURAL LICENCE AGREEMENT - LOT 3 AND LOT 10 DP232111 - 68 MOUNTAIN STRAIGHT, MOUNT PANORAMA

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to renew the Rural Licence Agreement for Lot 3 and Lot 10 DP232111, 68 Mountain Straight, Mount Panorama.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-44** 

MOVED: Cr I North SECONDED: Cr K Burke

#### **RESOLVED:**

That Council approve the renewal of the Rural Licence Agreement for Lot 3 and Lot 10 DP232111, 68 Mountain Straight, Mount Panorama for a period of three (3) years as detailed in the report and subject to Council's Land Management Guidelines and insurance requirements.

#### 11.3 DIRECTOR ENGINEERING SERVICES' REPORT

# 11.3.1 TENDER 36.00783 - PREFERRED CONTRACTORS LIST FOR MINOR WORKS 2022-2023

**Reason:** 10A (2) (d) (i) Contains commercial information of a confidential nature that would, if disclosed, prejudice the commercial position of the person who supplied it. Discussion of the matter in open council would, on balance, be contrary to the public interest as it would prejudice the commercial position of the person who supplied it.

This item relates to the proposal to accept the Preferred Contractor List for the engagement of contractors for minor works up to the value of \$20,000 (incl. GST) as listed in the Director Engineering Services' report, subject to submission of complete information being supplied for casual hire and in accordance with the General Conditions of Tender.

Councillors Fry, Hanger & North declared pecuniary interests in this item and left the Chamber.

# **MINUTE**

**RESOLUTION NUMBER: CONF2022-45** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

#### **RESOLVED:**

That Council accepts the 2022/23 Preferred Contractors List for the engagement of contractors for minor works up to the value of \$20,000 (incl. GST) as listed in the

Director Engineering Services' report, subject to submission of complete information being supplied for casual hire and in accordance with the General Conditions of Tender.

# 11.3.2 LOCAL GOVERNMENT ROAD SAFETY PROGRAM - TABLELANDS ROAD SAFETY OFFICER

**Reason:** 10A (2) (a) Deals with personnel matters concerning particular individuals (other than Councillors) disclosure of which would not be in the public interest as it would reveal personal details of the individuals concerned

This item relates to Council's partnership under the Local Government Road Safety Program, and consideration of matters related to this requiring direction from the Council.

#### **MINUTE**

**RESOLUTION NUMBER: CONF2022-46** 

MOVED: Cr A Smith SECONDED: Cr K Burke

**RESOLVED:** 

That Council act in accordance with the advice contained within the report.

# 12 RESOLVE INTO OPEN COUNCIL

### **MINUTE**

**RESOLUTION NUMBER: CONF2022-47** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

**RESOLVED:** That Council resume open Council.

### 13 ADOPT REPORT OF THE COMMITTEE OF THE WHOLE

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-216** 

MOVED: Cr W Aubin SECONDED: Cr A Smith

### **RESOLVED:**

That the Report of the Committee of the Whole, resolution numbers Conf2022-39 to Conf2022-47 not including Conf2022-45 be adopted.

Councillors Fr	y, North and Hang	er left the Chambe	r and took no part in t	he
resolution				

MOVED: Cr A Smith SECONDED: Cr W Aubin

# **RESOLVED:**

That the Report of the Committee of the Whole, resolution number Conf2022-45 be adopted.

# 14 MEETING CLOSE

#### **MINUTE**

The Meeting closed at 8.19pm.

### **CHAIR:**

# MINUTES OF THE EXTRAORDINARY MEETING OF BATHURST REGIONAL COUNCIL HELD ON Wednesday 29 June 2022

- 1 RECORDING OF MEETINGS
- 2 MEETING COMMENCES

#### **MINUTE**

Meeting commenced at 6.00pm.

<u>Present</u>: Cr W Aubin, Cr K Burke, Cr B Fry, Cr J Jennings, Cr G Hanger, Cr M Hogan, Cr I North, Cr A Smith, Cr R Taylor

- 3 PRAYER AND ACKNOWLEDGEMENT OF COUNTRY
- 4 APOLOGIES OR ATTENDANCE BY AUDIO-VISUAL LINK

**MINUTE** 

MOVED: Cr K Burke SECONDED: Cr I North

**RESOLVED:** 

That the attendance via audio-visual link of Cr A Smith be accepted.

# 5 DECLARATION OF INTEREST

### **Declaration of Interest**

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-217** 

MOVED: Cr M Hogan SECONDED: Cr I North

**RESOLVED:** That the Declaration of Interest be noted.

Cr B Fry declared a non-pecuniary significant interest in item 6.1.2 of the submission Report to DP/AOP - Funding for conference & training for intense weather events

Reason: Councillor's father has made the submission to the Council for funding consideration.

# 6 RECEIVE AND DEAL WITH GENERAL MANAGER'S AND DIRECTORS' REPORTS

### **6.1 DIRECTOR CORPORATE SERVICES AND FINANCE'S REPORT**

6.1.1 ADDITIONAL SPECIAL VARIATION

File No: 16.00187

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-218** 

MOVED: Cr I North SECONDED: Cr W Aubin

**RESOLVED:** 

That the information be noted.

6.1.2 SUBMISSIONS - DRAFT DELIVERY PROGRAM

2022 -2026 AND OPERATIONAL PLAN

2022/2023

File No: 16.00187

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-219** 

MOVED: Cr I North SECONDED: Cr K Burke

**RESOLVED:** 

That Council consider the submissions individually.

Submissions 1 and 2 - Road maintenance Bridle Track

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-220** 

MOVED: Cr M Hogan SECONDED: Cr B Fry

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 3 - Funding for Carrington Park and Proctor Park

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-221** 

MOVED: Cr M Hogan SECONDED: Cr K Burke

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Cr Fry declared a non-pecuniary significant interest in this item and left the chamber.

Submission 4 – Funding for conference and training for intense weather events

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-222** 

MOVED: Cr W Aubin SECONDED: Cr J Jennings

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 5 – Condition of public toilets and mapping of Major Projects

MINUTE

**RESOLUTION NUMBER: ORD2022-223** 

MOVED: Cr B Fry SECONDED: Cr G Hanger

**RESOLVED:** 

Submission 6 – Change to Revenue Policy – Animal Trap Deposit (Refundable)

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-224** 

MOVED: Cr B Fry SECONDED: Cr K Burke

#### **RESOLVED:**

That the information be noted, and amendment be made to the Revenue Policy 2022/2023.

Submission 7 – Strategy / Management Plan for public space at top of Mt Panorama

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-225** 

MOVED: Cr I North SECONDED: Cr J Jennings

#### **RESOLVED:**

- 1. That the information be noted
- 2. An amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/23;
  - a. Provide \$50,000 in the 2022/23 AOP for the commencement of a management Plan for the development of public land/public space at the top of Mount Panorama/Wahluu, to be funded from the Emergency Services Levy (ESL) rebate (yet to be advised).
  - b. That Council consider the inclusion of additional funds for future years for the management plan, in next years budget process.
- 3. An amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/23 to:
  - a. Provide \$50,000 in the 2022/23 AOP for the commencement of a study for a proposed Aboriginal Cultural Centre, to be funded from the ESL rebate (yet to be advised).
  - b. That Council consider the inclusion of additional funds for future years to progress the development of an Aboriginal Cultural Centre.
- 4. An amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/23 to;
  - a. Provide \$200,000 in the 2022/23 AOP to facilitate the hosting of a Western Sydney Wanderers (WSW) football match in Bathurst.

Submission 8 - Master Plan for McPhillamy Park

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-226** 

MOVED: Cr M Hogan SECONDED: Cr I North

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 9 - Centennial Park works

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-227** 

MOVED: Cr M Hogan SECONDED: Cr K Burke

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 10 - Restorative work for McPhillamy Park

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-228** 

MOVED: Cr K Burke SECONDED: Cr M Hogan

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 11.1 - Maintenance on heritage protected stone cottage on Mt Panorama

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-229** 

MOVED: Cr J Jennings SECONDED: Cr M Hogan

**RESOLVED:** 

Submission 11.2 - Planning for McPhillamy Park as a regional tourist destination

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-230** 

MOVED: Cr M Hogan SECONDED: Cr K Burke

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 11.3 - Sunbright subdivision planting of native trees

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-231** 

MOVED: Cr M Hogan SECONDED: Cr K Burke

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 11.4 George and Howick St zebra crossings

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-232** 

MOVED: Cr K Burke SECONDED: Cr I North

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 11.5 Planning for better road access from Kelso to the CBD

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-233** 

MOVED: Cr K Burke SECONDED: Cr B Fry

**RESOLVED:** 

**Submission 11.6 Using Investments** 

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-234** 

MOVED: Cr M Hogan SECONDED: Cr I North

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 12 - Ray Carter

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-235** 

MOVED: Cr I North SECONDED: Cr K Burke

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 13 - Mr G.A. Crisp

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-236** 

MOVED: Cr K Burke SECONDED: Cr B Fry

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 14 - Funding allocation for McPhillamy Park

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-237** 

MOVED: Cr M Hogan SECONDED: Cr W Aubin

**RESOLVED:** 

**Submission 15 – Funding for Western Sydney Wanderers** 

MINUTE

**RESOLUTION NUMBER: ORD2022-238** 

MOVED: Cr I North SECONDED: Cr B Fry

**RESOLVED:** 

That the information be noted.

Submission 16 – Change to Revenue Policy – Children's Services

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-239** 

MOVED: Cr I North SECONDED: Cr M Hogan

**RESOLVED:** 

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and Operational Plan 2022/2023.

Submission 17 - Change to Revenue Policy - Library / Art Gallery

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-240** 

MOVED: Cr I North SECONDED: Cr W Aubin

**RESOLVED:** 

That the information be noted, and amendment be made to the Revenue Policy 2022/2023.

Submission 18 - Change to Revenue Policy - Security Deposit Mt Panorama

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-241** 

MOVED: Cr B Fry SECONDED: Cr W Aubin

**RESOLVED:** 

That the information be noted, and amendment be made to the Revenue Policy 2022/2023.

**Submission 19 – Carrington Park Loan** 

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-242** 

MOVED: Cr B Fry SECONDED: Cr K Burke

#### RESOLVED:

That the information be noted, and no amendment be made to the Delivery Program 2022-2026 and the Operational Plan 2022/2023.

6.1.3 DELIVERY PROGRAM 2022-2026 AND OPERATIONAL PLAN 2022/2023

File No: 16.00187

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-243** 

MOVED: Cr B Fry SECONDED: Cr K Burke

### **RESOLVED:**

That Council:

- a) Following consideration of the submissions received by Council, the Draft Delivery Program 2022-2026 and Operational Plan 2022/2023 be adopted as the Bathurst Regional Council Delivery Program 2022-2026 and Operational Plan 2022/2023, subject to the inclusion of any amendment adopted as a result of the submissions received, and all expenditure and income items incorporated in the Operational Plan 2022/2023 be voted.
- b) Councillor's remuneration be set at the maximum level for the category applicable to Council as published by the Local Government Remuneration Tribunal, less the recent 2% increase recently approved by the Tribunal.
- c) Councillors be paid superannuation from 1 July 2022 at the prevailing rate.
- d) Note that Council has reviewed its organisation structure in accordance with section 333 of the Local Government Act 1993 as amended.
- e) Approve the proposed borrowing of funds as detailed in the Operational Plan.

# 6.1.4 2022/2023 REVENUE POLICY

File No: 16.00187

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-244** 

MOVED: Cr M Hogan SECONDED: Cr J Jennings

#### **RESOLVED:**

That, following consideration of the submissions received by Council, the Revenue Policy for 2022/2023, as presented to Council, be adopted as the Bathurst Regional Council 2022/2023 Revenue Policy with the inclusion of any amendments adopted as a result of the submissions received.

6.1.5 2022/2023 RATE LEVY - MAKING THE RATES

File No: 16.00187

#### **MINUTE**

**RESOLUTION NUMBER: ORD2022-245** 

MOVED: Cr K Burke SECONDED: Cr B Fry

#### **RESOLVED:**

That Council formally resolve to make the following rates and charges in relation to the 2022/2023 Rating Year.

- (a) ORDINARY RATES FOR 2022/2023 That in accordance with Sections 534 and 535 of the Local Government Act, 1993, WHEREAS the Bathurst Delivery Program 2022-2026 and Operational Plan 2022/2023 for the twelve months to 30 June 2023 was adopted by the Council on 29 June 2022 it is hereby recommended that:
  - a Residential Rate of zero point two five three seven nine seven (0.253797) cents in the dollar on the land value of all rateable land categorised as Residential in accordance with Section 516 of the Local Government Act, 1993 excepting those parcels of land sub-categorised as "Residential Town/Villages", AND THAT
  - a Residential Town/Villages Rate of zero point eight eight five nine two seven (0.885927) cents in the dollar on the land value of all rateable land subcategorised as Residential – Town/Villages, in accordance with Section 529(2) (b) of the Local Government Act, 1993, AND THAT

- 3. a **Farmland Rate** of zero point one five five seven zero three (0.155703) cents in the dollar on the land value of all rateable land categorised as Farmland in accordance with Section 515 of the Local Government Act, 1993, AND THAT
- 4. a Business Rate of zero point four zero six nine six one (0.406961) cents in the dollar on the land value of all rateable land categorised as Business in accordance with Section 518 of the Local Government Act, 1993, excepting those parcels of land sub-categorised as "Business Bathurst City", "Business Forest Grove", "Business Ceramic Avenue", "Business Eglinton Non-Urban", "Business Orton Park", "Business Stewarts Mount", "Business Evans Plains" AND THAT
- 5. a **Business Bathurst City Rate** of one point five seven two nine seven seven (1.572977) cents in the dollar on the land value of all rateable land subcategorised as Business Bathurst City in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- a Business Forest Grove Rate of one point four four zero three four eight (1.440348) cents in the dollar on the land value of all rateable land subcategorised as Business Forest Grove in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- 7. a **Business Ceramic Avenue Rate** of one point four four zero three four eight (1.440348) cents in the dollar on the land value of all rateable land subcategorised as Business Ceramic Avenue in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- 8. a **Business Eglinton Non-Urban Rate** of one point four four zero three four eight (1.440348) cents in the dollar on the land value of all rateable land subcategorised as Business Eglinton Non-Urban in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- 9. a **Business Orton Park Rate** of one point four four zero three four eight (1.440348) cents in the dollar on the land value of all rateable land subcategorised as Business Orton Park in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- a Business Stewarts Mount Rate of one point four four zero three four eight (1.440348) cents in the dollar on the land value of all rateable land subcategorised as Business Stewarts Mount in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- 11. a **Business Evans Plains Rate** of one point four four zero three four eight (1.440348) cents in the dollar on the land value of all rateable land subcategorised as Business Evans Plains in accordance with Section 529(2)(d) of the Local Government Act, 1993, AND THAT
- 12. a **Mining Rate** of zero point three five one six three seven (0.351637) cents in the dollar on the land value of all rateable land categorised as Mining in accordance with Section 517 of the Local Government Act, 1993,

BE NOW MADE for the 2022/2023 Rating Year subject to the following Minimum and Base Amounts in accordance with Section 548 and Section 499 of the Local Government Act, 1993, AND THAT aggregation of values of certain parcels of land subject to a minimum or base amount in accordance with Section 548A of the Local Government Act, 1993, be permitted.

	Category	Minimum	Base	%Yield
		Amount	Amount	Base
				Amount
1	Residential		\$288.00	32
2	Residential/Town Village	\$410.00		
3	Farmland		\$389.00	24
4	Business	\$285.00		
5	Business Bathurst City	\$438.00		
6	Business Forest Grove	\$438.00		
7	Business Ceramic Avenue	\$438.00		
8	Business Eglinton Non-Urban	\$438.00		
9	Business Orton Park	\$438.00		
10	<b>Business Stewarts Mount</b>	\$438.00		
11	Business Evans Plains	\$438.00		
12	Mining		\$251.00	48

- DOMESTIC WASTE MANAGEMENT CHARGES FOR 2022/2023 That the annual residential charge - Standalone Dwellings where the service is available under Section 496 of the Local Government Act, 1993, for the removal of weekly general waste, weekly food and green waste and the fortnightly collection of material for recycling for the twelve months commencing 1 July 2022 being four hundred and sixty four dollars and zero cents (\$464.00) for the provision of one waste mobile bin, one food and green waste mobile bin and one recycle mobile bin be made by the Council, and the annual residential charge for other than standalone dwellings for the removal of weekly general waste, and the fortnightly collection of material for recycling for the twelve months commencing 1 July 2022 being three hundred and forty four dollars and zero cents (\$344.00), and that the annual charge to be made for each parcel of rateable vacant land where the service is available under Section 496 of the Local Government Act, 1993, for the twelve months commencing 1 July 2022 being six dollars and zero cents (\$6.00) be made by the Council and further that a charge where the service is provided under Section 496 of the Local Government Act, 1993, for each additional domestic waste collection service, two hundred and forty dollars and zero cents (\$240.00) per mobile bin and for each additional food and green waste collection service, one hundred and twenty dollars and zero cents (\$120.00) and for each additional fortnightly recycling collection service, one hundred and four dollars and zero cents (\$104.00) per mobile bin be made by the Council.
- (c) WASTE MANAGEMENT SERVICE CHARGES FOR 2022/2023 (NON DOMESTIC) That the annual charge where the service is provided under Section 501/502 of the Local Government Act, 1993, for the weekly removal of garbage being two hundred and forty dollars and zero cents (\$240.00) per mobile bin and the weekly removal of food and green waste being one hundred and twenty dollars and zero cents (\$120.00) and the fortnightly collection of material for recycling being one hundred and four dollars and zero cents (\$104.00) per mobile bin for the twelve months commencing 1 July 2022 be made by the Council.
- (d) WASTE MANAGEMENT SERVICE CHARGES RURAL AREAS FOR 2022/2023 That the annual waste charge be levied for each rural rateable property that is outside of the waste collection area, Council provides access to rural transfer stations, under Section 501 of the Local Government Act, 1993, for the twelve months commencing 1 July 2022 being ninety-nine dollars and zero cents (\$99.00) be made by the Council.

- (e) WASTE MANAGEMENT VOUCHERS FOR 2022/2023 That the Council provide to all rateable properties eight waste management vouchers, consisting of 4 Mixed Refuse Vouchers consisting of two by 200kg and two by 100kg each and 4 Green Waste Vouchers consisting of two by 200 kg and two by 100kg each, at no charge.
- (f) SEWERAGE CHARGES FOR 2022/2023 That in accordance with Sections 501,502, 503, 539, 541 and 552 of the Local Government Act, 1993, the following charges are made for the twelve months commencing 1 July 2022.
  - 1. That the annual charge for single residential (including residential strata) and un-metered properties, be six hundred and ninety-eight dollars and zero cents (\$698.00).
  - 2. That the annual charge for vacant land be four hundred and forty five dollars and zero cents (\$445.00).
  - 3. That the annual access charges for non-residential and multiple residential properties are to be the total of the metered charges applicable to the property as shown in the table below multiplied by a sewerage discharge factor.

Size of Water Connection (mm)	Charge for 2022/2023
20	\$631.00
25	\$978.00
32	\$1,603.00
40	\$2,506.00
50	\$3,913.00
65	\$6,291.00
80	\$10,005.00
100	\$15,634.00
150	\$35,166.00
Strata Properties (Each non-residential lot)	\$631.00
Assumption School	\$1,962.00

- 4. That the Sewer Usage Charge (Section 502) for non-residential and multiple residential properties be two dollars and twenty cents (\$2.20) per kilolitre of filtered water supplied multiplied by a sewerage discharge factor.
- (g) SEWERAGE CHARGES -TRADE WASTE 2022/2023 That in accordance with Sections 501,503, 539, and 541 of the Local Government Act, 1993, the following charges are made for the twelve months commencing 1 July 2022.
  - 1. That the Annual Trade Waste Fee for individual businesses be one hundred and forty two dollars and ten cents (\$142.10).
  - 2. That the Annual Trade Waste Fee (Large Discharger) for individual business be nine hundred and forty seven dollars and fifty cents (\$947.50).
  - 3. That the Trade Usage Charge for non-residential properties be three dollars and seventy cents (\$3.70) per kilolitre of filtered water supplied multiplied by a trade discharge factor.

- (h) STORMWATER MANAGEMENT CHARGES 2022/2023 That in accordance with Sections 496A of the Local Government Act, 1993, the following charges are made for the twelve months commencing 1 July 2022.
  - 1. That the Annual Stormwater Management Charge for urban area residential category (not vacant and not strata) be twenty-five dollars and zero cents (\$25.00).
  - 2. That the Annual Stormwater Management Charge for urban area residential category strata (not vacant) be twelve dollars and fifty cents (\$12.50).
  - 3. That the Annual Stormwater Management Charge for urban area business category (not strata) up to 350 square metres be twenty-five dollars and zero cents (\$25.00).
  - 4. That the Annual Stormwater Management Charge for urban area business category (not strata) between 351 and 700 square metres be fifty dollars and zero cents (\$50.00).
  - 5. That the Annual Stormwater Management Charge for urban area business category (not strata) between 701 and 1050 square metres be seventy-five dollars and zero cents (\$75.00).
  - 6. That the Annual Stormwater Management Charge for urban area business category (not strata) more than 1050 square metres be one hundred dollars and zero cents (\$100.00).
  - 7. That the Annual Stormwater Management Charge for urban area business category strata be five dollars and zero cents (\$5.00).
- (i) WATER CHARGES 2022/2023 That in accordance with Sections 501,502, 503, 539, 541 and 552 of the Local Government Act, 1993, the following charges are made for the twelve months commencing 1 July 2022.
  - 1. That the annual water availability charges are to be the total of the metered charges applicable to the property as shown in the table below for:

Size of Water Connection	Charge for 2022/2023
(mm)	\$
20	\$175.00
25	\$274.00
32	\$448.00
40	\$701.00
50	\$1,094.00
65	\$1,848.00
80	\$2,797.00
100	\$4,369.00
150	\$9,831.00
Hillview Water Supply	\$159.00

2. That the minimum annual water availability charge for each unit within a Strata development be one hundred and seventy-five dollars and zero cents (\$175.00).

- 3. That the annual water availability charge for vacant unconnected land be one hundred and seventy-five dollars and zero cents (\$175.00).
- 4. That the annual water availability charge for unmetered or unconnected properties be eight hundred and eighty two dollars and zero cents (\$882.00).
- 5. That if water pressure at a property is less than 120 kpa, then a larger service may attract a charge of one hundred and seventy-five dollars and zero cents (\$175.00).
- 6. That Water Usage Charges (Section 502) be as follows in the below table.

Туре	Consumption	Tariff per kilolitre for 2022/2023
Hillview Estate Water Supply	First 250 kl	\$2.70
	> 250 kl	\$5.33
Residential Filtered	First 250 kl	\$2.58
	> 250 kl	\$3.87
Residential Raw	First 250 kl	\$1.12
	> 250 kl	\$1.69
Other Filtered	First 250 kl	\$2.58
	> 250 kl	\$3.87
Other Raw	First 250 kl	\$1.12
	> 250 kl	\$1.69
Large Industrial Filtered	>0 kl	\$2.01
Large Industrial Raw	>0 kl	\$1.26
Community Clubs:	First 18,000 kl	{resolution}.98
Golf, Majellan & Bathurst Community Club	>18,000kl to 45,000kl	\$1.29
	Balance	\$2.05
Strata Unit property	First 250 kl (for each unit)	\$2.58
	>250 kl (for each unit)	\$3.87
Home Dialysis – subject to doctors' certificate	First 200 kl	Free
	200kl-250 kl	\$2.58
	>250 kl	\$3.87
Hospital	1st x patient average	Free
	Balance per KL	\$3.87

(j) Included in this year's Delivery Program 2022-2026 and Operational Plan 2022/2023 in the Water Fund are amounts for Operational expenditure at the Manning Aquatic Centre Bathurst. This is to be financed from revenue raised from the Water Fund as detailed in the Operational Plan.

- (k) INTEREST ON OVERDUE RATES AND CHARGES FOR 2022/2023 That in accordance with Section 566(3) of the Local Government Act, 1993 Council charge interest on overdue rates at a rate of 6% per annum as advised by the Minister.
- (I) The rates and charges have been based upon the advertised estimates of income and expenditure, which provided for increases in Ordinary Rates of 2.5%, a 4.0% increase in Sewer Charges, Waste Charges have been calculated on the basis of the reasonable cost of providing the service and Water Charges have been calculated on achieving a 25/75 basis (25% access charge and 75% usage charge) based on the Best Practice Guidelines introduced by the NSW Office of Water, August 2007.

6.1.6	LONG TERM FINANCIAL PLAN 2022/23	TO
	2031/32	

File No: 16.00187

**MINUTE** 

**RESOLUTION NUMBER: ORD2022-246** 

MOVED: Cr I North SECONDED: Cr K Burke

**RESOLVED:** 

That Council adopts the Long Term Financial Plan 2022/2023 – 2031/2032.

### 7 MEETING CLOSE

### MINUTE

The Meeting closed at 6.27pm.

CHAIR:

### Aboriginal and Torres Strait Islander Heritage Protection Act 1984 (Cth)

### Notice of an application for the protection of a specified area, consisting of six parts, near and overlapping Wahluu / Mount Panorama, Bathurst, NSW

### Invitation to make representations

I. Elle Lillis, hereby give notice as follows:

The Minister for the Environment (Minister), responsible for the Aboriginal and Torres Strait Islander Heritage Protection Act 1984 (Cth) (Act), has received an application made under section 10 of the Act. The application is seeking long term preservation and protection of a claimed significant Aboriginal area, consisting of six parts, near and overlapping, Wahluu / Mount Panorama, Bathurst, New South Wales. The Minister has appointed me to provide a report to the Minister under paragraph 10(1)(c) of the Act.

### The Applicant

he application is made by the Wiradyuri Traditional Owners Central West Aboriginal Corporation

### The purpose of the application

The application seeks the long-term preservation or protection of the area specified in the application (specified area). The specified area is depicted in Figure 1 below. Section 10 of the Act confers power on the Minister to make a declaration to preserve and protect an area where the Minister is satisfied that it is a 'significant Aboriginal area' under threat of injury or desecration. A 'significant Aboriginal area' is defined by section 3 of the Act as an area of land or waters that is "of particular significance to Aboriginals in accordance with Aboriginal tradition". 'Aboriginal tradition' is defined as the "body of traditions, observances, customs and beliefs of Aboriginals generally or of a particular community or group of Aboriginals, and includes any such traditions, observances, customs or beliefs relating to particular persons, areas, objects or relationships".

### Matters the report is required to deal with

The Minister must consider my report pursuant to section 10 of the Act in relation to the specified area before deciding whether to make a declaration under section 10 of the Act. Under subsection 10(4) of the Act, the report is required to deal with the following matters

- (a) the particular significance of the area to Aboriginals:
- (b) the nature and extent of the threat of injury to or desecration of, the area;
- (c) the extent of the area that should be
- (d) the prohibitions and restrictions to be made with respect to the area;
- (e) the effects the making of a declaration may have on the proprietary or pecuniary interests of persons other than the Aboriginal or Aboriginals who made the application, or on whose behalf the application is made;
- (f) the duration of any declaration;
- (g) the extent to which the area is or may be protected by or under a law of the State or Territory, and the effectiveness of any remedies available under any such law; and
- (h) such other matters (if any) as prescribed.

### The specified area

Figure 1 below depicts the specified area, consisting of six parts, near and overlapping Wahluu / Mount Panorama for which preservation and protection is sought.



Figure 1 Map showing the specified area of Wilora Claims in relation to 'significant Aboriginal area' The applicant claims the specified area is of particular significance in accordance with Aboriginal tradition for the following reasons:

- The applicant has knowledge that Wahluu, including the specified area, is a cultural landscape with deep cultural significance that includes a complex of sacred places and significant cultural items associated with specific cultural purposes.
- The applicant has knowledge that the specified area has both tangible and intangible heritage values, including archaeological evidence.
- The applicant has knowledge that the specified area is sacred and associated with their cultural knowledge and stories.

### The applicant claims the specified area is under threat from:

- The construction of a second motor vehicle racing circuit, and associated facilities near, and overlapping parts of, Wahluu / Mount Panorama. The second circuit is proposed by Bathurst Regional Council (proponent 1). Refer to Figure 1 specified area labelled A;
- Circuit maintenance and preparation, including earthworks and removal of rocks at Mount Panorama Motorcycle Club Mount Panorama Motocross Circuit, proposed by Panorama Motorcycle Club Inc (proponent 2). Refer to Figure 1 specified area labelled A
- Remediation works at McPhillamy Park proposed by Bathurst Regional Council. Refer to Figure 1 specified area labelled B;
- The construction of a dwelling at 428 Conrad Straight, proposed by Botham Homes (proponent 3). Refer to Figure 1 specified area labelled C; and
- Geotechnical test pits and bore holes for construction of a pipeline, proposed by GHD Pty Ltd (**proponent 4**). Refer to Figure 1 specified

### Invitation to make representations

Interested parties are invited to furnish representations in connection with my report to:

FILE Lillis Principal Archaeologist, Virtus Heritage PO Box 101 POTTSVILLE NSW 2489

Phone: (02) 6676 4354 Email: consultation@virtusheritage.com.au

Interested parties are urged to contact me as soon as possible to be provided with further information about the submission process, including the provision of the application, making representations in response to the application, and making final comments in response to representations received.

Representations must be made in writing by 5pm on Monday 6 December 2021, or within such further period as may be allowed. Do not send your representations directly to the Minister

Representations received by the due date will subsequently be provided to the applicant and to interested parties who submitted a representation, and thereafter the applicant and interested parties will be afforded an additional period of two weeks to make final comments in writing.

### Claiming confidentiality

If you wish to claim confidentiality over any part of your representation, please identify why you are claiming confidentiality and how you wish confidentiality to apply. Representations will be provided to the Minister for the Environment and the Department of Agriculture, Water and the Environment, along with the section 10 report. Representations, even those subject to confidentiality, may be disclosed where it is authorised or required by law, to meet procedural fairness requirements, and in response to a request by a House or Committee of the Parliament of the Commonwealth.

### Privacy notice

Personal information means information or an opinion about an identified individual, or an individual who is reasonably identifiable.

Sensitive information is a subset of personal information and includes any information or opinion about an individual's racial or ethnic origin, political opinion or association, religious beliefs or affiliations, philosophical beliefs, sexual preferences or practices, trade or professional associations and memberships, union membership, criminal record, health or genetic information and biometric information or templates.

By submitting a representation in response to the Notice of an application for the preservation and protection of a specified area, being the Wahluu Mount Panorama second circuit area, you consent to the collection of all personal information, including sensitive information, contained in your representation.

I, Elle Lillis, collect your personal information (as defined by the *Privacy Act 1988* (Cth)) contained in your representation for the purposes of consideration in drafting a report under section 10 of the Aboriginal and Torres Strait Islander Heritage Protection Act 1984 (Cth) (Act) in relation the specified area and related purposes. If you do not provide some or all of any relevant personal information in your representation(s), I may be unable to fully and comprehensively consider your representation in the drafting of the report to be submitted for consideration by the Minister responsible for the Department of Agriculture, Water and the Environment (Minister).

The Department of Agriculture, Water and the Environment (department) collects your personal information (as defined by the Privacy Act 1988 (Cth)) contained in your representation for the purposes of the Minister's consideration in deciding whether to make a declaration under section 10 of the Act in relation to the specified area and related purposes. If you do not provide some or all of any relevant personal information in your representation(s), the Minister may be unable to fully and comprehensively consider your representation in deciding whether to make a declaration under section 10 of the Act in relation to the specified area.

The department may disclose your personal information to the Minister, parties that may be affected by a decision of the Minister under section 10 of the Act (to meet procedural fairness requirements), and other Australian government agencies, persons or organisations where necessary for the above purposes, provided the disclosure is consistent with relevant laws, in particular the Privacy Act 1988 (Cth). Your personal information will be used and stored in accordance with the Australian Privacy Principles.

By submitting a representation, you consent to the disclosure of all personal information contained in your representation to the Minister and parties that may be affected by the decision of the Minister under section 10 of the Act.

See the department's Privacy Policy to learn more about accessing or correcting personal information or making a complaint. Alternatively, telephone the department on +61 2 6272 3933.



Mr David Sherley General Manager **Bathurst Regional Council** Private Mail Bag 17 **BATHURST NSW 2795** 

David.sherlev@bathurst.nsw.gov.au

Dear Mr Sherley

I am writing in regard to the application of 21 October 2021 (the Application), under section 10 of the Aboriginal and Torres Strait Islander Heritage Protection Act 1984 (Cth) (ATSIHP Act). The Application sought protection on behalf of the Wiradyuri Traditional Owners Central West Aboriginal Corporation of area on Wahluu (Mount Panorama) (the specified area).

To make a declaration under section 10 of the ATSIHP Act the Minister for the Environment must be satisfied that the specified area is 'a significant Aboriginal area' for the purposes of 10(1)(b)(i) of the ATSIHP Act and 'under threat of injury or desecration' for the purposes of 10(1)(b)(ii) of the ATSIHP Act.

On 20 May 2022, the former Minister for the Environment, the Hon Sussan Ley MP decided in response to the Application, not to make a declaration, as she was not satisfied that the specified area is a significant Aboriginal area that is under threat of injury or desecration. In making her decision, the former Minister noted that the section 10 reporter did not find that the specified area was significant, and noted the lack of consensus amongst Traditional Owners on the significance of the area.

I apologise for the delay in notifying you of the former Minister's decision.

If you would like further information on the former Minister's decision, please contact the Department of Agriculture, Water and the Environment at ATSIHPA@awe.gov.au.

I have also written to the Wiradyuri Traditional Owners Central West Aboriginal Corporation, the Panorama Motorcycle Club, Bathurst Goldfields and Regis Resources to advise of this decision.

Yours sincerely

James Tregurtha A/Deputy Secretary

Major Environment Reform

T+61 2 6272 3933

### 9.1.2 REQUEST TO NAME WALKWAY/CYCLEWAY WITHIN SALTRAM CIRCUIT EGLINTON

File No: 20.00024

### **RECOMMENDATION:**

That Council advertise for two weeks the proposal to name the walkway/cycleway which runs through the Saltram Creek open space adjacent to the Icley residential estate in Eglinton, in memory of Mr Russell William Carrig for public comment.

### REPORT:

Council has received a request to consider the naming of the walkway/cycleway which runs through the Saltram Circuit Open Space adjacent to the Icley residential estate in Eglinton, in memory of Mr Russell William Carrig. This matter was previously discussed at Council's Working Party held on 2 March 2022.

The site for the walkway is shown at attachment 1.

Mrs Robyn Waddell (Mr Carrig's daughter) has provided supporting documentation:

- (i) Road request naming 2014 attachment 2.
- (ii) Walkway request 2019 attachment 3.
- (iii) Walkway additional information 2021 attachment 4.

Having regard to the documentation provided by Mrs Waddell, contact was made with Mr Chris Marshall, former District Soil Conservationist, who advised:

"The proposal to name the new section of cycleway at Eglinton adjacent to Saltram Creek after Russ Carrig is entirely appropriate and I totally support it."

Mr Marshall provided some additional data, refer attachment 5.

Under Council's Procedures for naming of Council facilities, it is generally a requirement to seek public comment via a two week advertising period in the local newspaper, before a decision is made by the Council over the naming proposal. A copy of Council's Policy for the naming of Council facilities is shown at <u>attachment 6</u>, which highlights the conditions that an application will need to meet in order to be worthy for consideration of having a facility named after someone.

### FINANCIAL IMPLICATIONS:

Costs of consultation will be met within existing budgets.

### BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

### Objective 6: Community leadership and collaboration.

Strategy 6.5 Be open and fair in our decisions and our dealings with people.

Strategy 6.7 Invest in our people.

### **COMMUNITY ENGAGEMENT:**

02 Consult - to obtain public feedback on alternatives and/or decisions

### **ATTACHMENTS:**

- 1. Site Map [**9.1.2.1** 2 pages]
- 2. Road request naming [9.1.2.2 6 pages]
- 3. Walkway request [9.1.2.3 1 page]
- 4. Walkway additional information [9.1.2.4 29 pages]
- 5. Additional data [9.1.2.5 7 pages]
- 6. Naming of Council Facility Policy [9.1.2.6 3 pages]







10 November 2014

The General Manager
Bathurst Regional Council
Russell Street
Bathurst NSW 2795

Dear Sir,

### Re. Application for a Street Name

My name is Robyn Waddell and I am writing this letter with rather an unusual request.

This request is in regard to the new soon to be developed Icely Estate Stage 2 at Eglinton and the naming of a street in honour of my father Russell William Carrig.

My request is to name a street within Stage 2 of the Icely Estate after my father - CARRIG PLACE or CARRIG STREET.

To give you a bit of back ground regarding my wonderful father, his name was Russell William Carrig (passed away 2009), he and my mother Norma Jean Carrig (currently 91yrs old) were landowners of a property called "Toora" which was approximately 250 acres, this property was subdivided from an initial property called" Allowaybank" on the Eleven Mile Drive, Eglinton (around 1974). My parents purchased this property from Barney Tyers in 1975.

My father was very well known in the sheep and wool farming industry and the agricultural arena, winning The Farmer of the Year in 1976. At that stage my parents also owned a farm on the O'Connell Road, however sold this farm shortly after purchasing Toora off the Eleven Mile Drive.

Toora is now owned by Peter and Raquel Graham.

My father, in 1987 was instrumental in developing the East Saltram Creek Landcare group, which he later became chairman of. The enthusiasm and commitment dad showed along with other landowners to the project led to the formation of one of the first Landcare Groups in NSW (1990).

I have attached a clipping from the Western Advocate 1989 which shows an article supporting my claim. You will also note from the clipping that there were representatives from Evans Shire, Bathurst City Council and the Soil Conservation Service of NSW.

The project was to combat the serious gully erosion, tree decline and the potential for increasing land acidity on the surrounding properties. The flooding and sedimentation on the Eleven Mile Drive causeway at Saltram Creek near Eglinton was also addressed and corrected. He was very committed to the project running many information sessions on the erosion of land, running of field days with the planting of trees and educational sessions showing the benefits of landcare on his and other landowner's properties. I have attached some photos to support this.

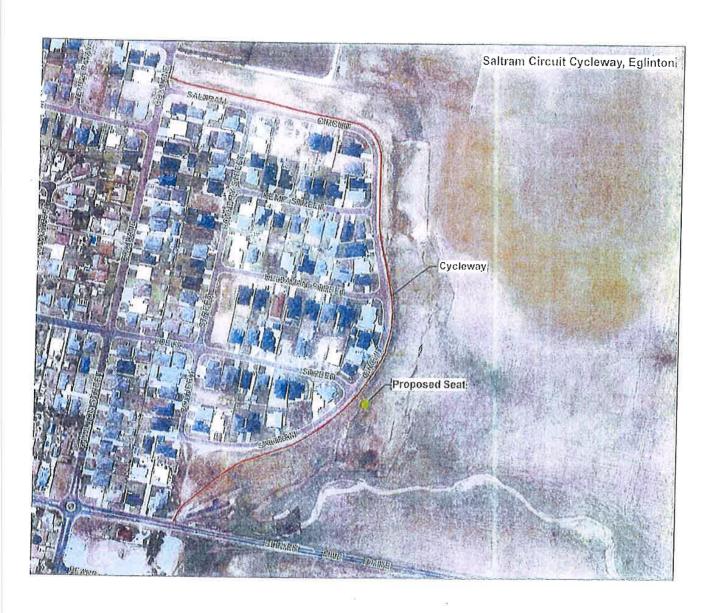
Following on from this, my husband Laurie and I currently live on 6 acres at 455 Eleven Mile Drive Eglinton. We purchased and built our family home 30 years ago, where we brought up our 5 children and now have 10 grandchildren. Laurie and I are also in the process of purchasing lot 18 in the new Icely Estate Stage 1. We are hoping to build a new home there for our next stage in our lives ......retirement!

1

I hope my request will be considered as I was very proud of what my father stood for and I know my mother, sister Cheryll Brown and all our families would be very honoured. I feel it would be a small token to show that we all recognised the hard work and dedication my father showed to the area and in particular to the East Saltram Creek.

Kind regards

Robyn Waddell 455 Eleven Mile Drive Eglinton NSW 2795 0437370775



### Lambs easier at Blayney market

Lightweight lambs were most affected when an easier trend struck the Blayney prime stock sales on Tuesday.

There were 2500 lambs yarded, quality being

With reduced inquiry the market suffered a cheaper trend in keeping with sales in other parts of the state, heavyweight lambs being to \$2.50 cheaper and lightweights to \$4 cheaper.

Quotes: 1

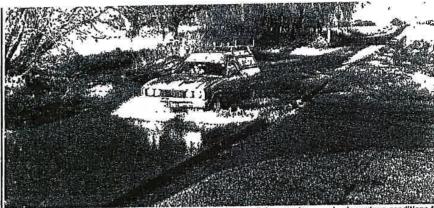
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16 to 18kg, \$27 to \$31; 18 to 20kg, to \$34.80.

Old lambs, 16 to 18kg: woolly, \$25 to \$30; slu \$20 to \$30.

Old lambs 18 to 20kg, woolly, \$30 to \$32.60.
There were insufficient mutton and cattle for



Sediment washed down Saltram Creek is doposited on the 11 Mile Drive crossing, causing hazardous conditions for

### Landcare group to combat aerobic erosion in Eglinton area



on their properties has prompted local landholders near Eglinton to form the districts first 'Landcare'

The groups chairman is Mr Rus Carrig who is well known as a grazier and past holder of the 2BS Farmer of the Year Award.

Mr Carrig announced the formation of the East Saltram Creek Catchment Landcare Group following a recent meeting on his property of landholders and representatives of Evans Shire Council, Bathurst City Council and the Soil Conservation Service of NSW.

He said that the group had consulted with the Soil Conservation Service who with the Soil Conservation Service who had in turn prepared an assessment of the land resources and land degradation within the East Saltram Creek catch-

The report had confirmed the groups concern for serious guily erosion as well as highlighting the problems of flooding and sedimentation on the Eleven Mile Drive causeway at Saltram creek near Eglinton.

The report also drew the landholders attention to tree decline and the potential for increasing soil acidity on their

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It also showed that today's land management needed changing and im-provement to prevent further erosion, soil acidification and tree decline.

TURN TO PAGE 8

Chris Marshell Inspects severe tree decline on one of the properties in the Eglinton area.

The Western Advocate, Friday, September 15, 1989-5

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ORANGES fard specificate for foother sheep was so successful, that Orange Solepards manager. Dan Tobiey, believed that if istree soles are as successful. There was a paring of 2500 steep of the initial they will go a long way towards cradicating hours, in the district.

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the Midges municipality and has served for years on the local government executive, Mid Western Weeds County Council, and as president of Midges Now FOR the with time, Councillor Bill Con-decided president of Mudges Shire Council. Cr. Cox was also mayor five times during the lite of has been

He is also a leading breader and judge of positry, and mather for a positry raising publication.

In other local government electricate in the Central Toldands, Ald Ann Astronoi was elected Mayor of Bathurst for the second time, Ald Inn Sulfivan, Mayor of Orange for the seventh time; and Evin Johnson, president of Cabonne Stire Council.

LANDHOLDERS in the Eginton area, near Ba-finers, have builded together to form the district's first "Leuteure" group, to handle gully croston, Hooding

Erown as the Bast Saltern Creak Casement Landeure Group, it comprises landfolders, representa-tives of Frans State Council, Bathurat City Council and the Soil Conservation Service President of the group is Russ Currig, a farmer 185

Birriwa Bush Fire Brigade. WR PETER Rams OCCER elected. captain of

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FROM PAGE 5

catchment showing where critical crosson control works were needed. He said that the plan allowed each farmer to see how bad the problems were on his farm and to see what Mr Carrig said that an important part of the Soil Conservation report was the plan for the type of work should be carried out.

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support is needed. 070301

project. He felt sure that all parties would MPs and councils to support them with their that the group would be approaching local was not looking for a free handout but that loans in the form of Soil Conservation problems like land degradation to be tackled recognise how important it is for community be carried out quickly and efficiently. He said Advances would be sought to allow works to Mr Carrig said that the Landcare Group capacity of individuals and some community as a team by the community and the individual

management in the whole Bathurst district. It Mr Carrig said that the Landcare Group approach would be a role model for better land problems caused in the past and to set their was a way for today's landholders to overcome members of the group but to the downstream duction. Benefits would flow not only to the properties up for long term sustainable protion and pollution. community through less floating, sedimenta-



77

BATHURST REGIONAL COUNCIL

Mr Daniel Dwyer Council's Environmental Planning & Development Services Dept. Russell Street Bathurst NSW 2795 -9 SEP 2019

REF. 20.00024-10 077

Dear Daniel,

### Council's Road Naming Database - Nomination of the name "CARRIG"

I have attached for your information, my previous request and response I received from council, which I might add I appreciated Council's response.

Firstly, I have another request which I would like to put forward:

There is a long walkway that goes around the lower part of the Icely Estate (I have attached a photo for your information). From what I can see the walkway has not been gazetted a name.

Therefore, is there an avenue to seek approval to have that walkway named after my father?

### "CARRIG WALKWAY"

The walkway named after my father would not only be a great honour in memory of the work he did for the area but also fitting as he was instrumental in developing the East Saltram Creek Landcare Group of which he was Chairman which focused on reducing the environmental improvement of the creek.

Please refer to my attached letter to Council Nov 2014 (previous supporting documentation was also provided with my first request and can be re-submitted if required).

Secondly, our family would also like to discuss an offer to donate the cost for a permanent seat to be placed at the end of Icely Street, beside the walkway for residences to take a rest and view the sites of Bathurst.

My husband Laurie and I have purchased a block of land (17 Icely Street) and are due to start building early next year with Marple Constructions. We chose this area because it is close to our hearts knowing the dedication dad had given to the area.

Thankyou for taking the time to consider my request and the family would be so honoured if it was approved. Please let me know if you require any further supporting documentation.

Look forward to hearing from you.

Kind regards

Robyn Waddell 0437370775 aberdeen455@outlook.com RECEIVED - 6 SEP 2019

BATHURST REGIONAL COUNCIL

DEPB

6 September 2021

The General Manager Bathurst Regional Council Russell Street Bathurst NSW 2795

### Appeal Council's decision to name Saltram circuit, walkway/cycleway after the late Russell Carrig

This email refers to my previous application for a request to name, Saltram circuit walkway/cycleway after my father Russell Carrig.

As you are aware, Council denied my first request on the information I submitted, stating the following.

"Council reviewed the supporting information that you provided in line with the Council's policy for the naming of Councils facilities. Unfortunately, on this occasion I must advise that your application has not been successful"

While I acknowledge and appreciate Council adding his name to the data base for a future street naming within a new subdivision in this area (which will be may years away), I am concerned that it will not be in the area overlooking the East Saltram Creek, in which the walkway faces.

To support my appeal, I have provided additional documentation and support from people who knew dad and the commitment and dedication he had to the agricultural sector. I am hoping Council will review their decision. I am passionate about my request and know I feel that my request is very relevant.

While I acknowledge my father did not contribute directly to City of Bathurst as such, his commitment and dedication to the East Saltram Creek in the area in Eglinton was commendable.

Councillor John Fry can support the commitment dad had as he assisted dad with the planting of some trees

Please find below a brief outline of Dad's achievements and supporting information.

- Purchased part of Alloway Bank on the Eleven Mile Drive, (1977-2003), where dad farmed crossbred sheep. This is where he became involved in the East Saltram Creek Landcare (Attachment 2)
- Taught Sheep and Wool classing Expertise at Bathurst Technical College and Oberon Technical College circa 1960's - early 1970's. This is supported by John Seaman (Attachment 3)
- Supporting documents of recognition
  - o Won the farmer of the year 1976 on his property "Illawong" O'Connell Road
  - Won the 2BS, 2MG, 2LF Farmer of the year, Life Membership, Organising Committee
  - Highly Commended by Orange Agricultural College, The University of Sydney for Land Wise Farmer Quest 1994 (Attachment 4)

1 | Page

### Attachment 8.1.3.1

I have also attached (last attachment) a copy of the previous correspondence between Council and myself.

I hope my appeal will be upheld as I feel my request is reasonable given the work my father did for this particular area, being the East Saltram Creek. The formation of the group is outlined in attachment 2.

I also want to thank Council for the recent approval of a bench seat that will hopefully be installed by the end of the year 2021 (which the CARRIG family are fully funding) on the walkway in question in memory of my dad.

As we live near the walkway, I have observed a considerable number of residents from the surrounding area taking the opportunity to walk along the pathway with their families and children on their bikes and scooters. It is a wonderful area for residence to take time out and take in the beautiful views of the surrounding rural land, and the Kelso and Bathurst landscape.

Thank you for taking the time to review my application and I am looking forward to a positive outcome.

Commented [LW1]:

Regards

Robyn Waddell

0437370775

**2 |** Page

cast account your vanor This Grown consisting of lever immediate newbouring landholders was formed in Movember 1987. The aim of the group was to adentify a seek assistance in the correction of land degredation I tree decline in the inmediate area. The major concerns as we saw it were I Land Regredation ( Doil - gully - relling sheet exosion) 2 dres Decline - (Severe a on gaing) 3 Sail acidity 4 Sectionent Glow onto district soudo (11 nice Drive) , ento the Maguarie Rever. a request was made to the Sail bon Server for assistance in identifying assessing these frallens a to auggest possible control measures. Sallowing the request the Soil Son Dervice made a very detailed a thorough survey of the area of the group has received a comprehensive analysis of their findings The co-operation afforded us by the Soil bon" has been most fraiseworthy o is greatly appreciated. after Graup disacussion on these findings I recommendations it was decided to call a muting & invite various bookes to attend a co-ordinate a affroach to address these matters This meeting was held on the 31 legg 1989 & was attended by I Luc Officero from Sail bon Hour quartero Orange (Senior) 2 The Local Bathurst Conservasionist 3 an Engineer from Bathwat bity bouncil It an Engineer from Evano Shire. 5 14 freuh members. So out mind this meeting was centremely successful I our sums were given total occeptance , a fromise of full support from all in attendance at the suggestion of the Chief Lail conservacionest from ange Aladquarter a committee of deven of the group was formed & an invitation extended to both bur . Whire & Bathwat council to momente a heraon

East Saltram Creek Landcare

4 to join this committee - the committee would happfully be then necognized a registered us un official dand band group. tallowing this meeting the local freez gave our proposals a very good coverage a expressed suffort for any further media assistance subsequent to this story appearing in the local frees Frime deleviaion contacted us I said they would like to do a segment as they thought the concept was worthy of community suffort, this segment was subsequently filmed a screened of CBNS as a group we feel someone has to take a lead in correcting the neglect of our soil guegetation a the serious decline of our trees This is the first Land base " group to be formed in our area o if successful might well be a "Pilot Scheme for this district as a whole if it is sufferted.

### Attachment 8.1.3.1

Duflicate

Original Posted
East Saltram Creek Catchment Group,
21 Miller Street,
PATHURST. 2795.

Mr. Tony McCarthy, Regional Director of Soil Conservation, Soil Conservation Service of N.S.W., Govt. Office Block, ORANGE. 2800.

Dear Sir,

The above group has formed in response to a common concern for the erosion problem which exists in our valley. A recent meeting of the group resolved that we would like to undertake a whole catchment Soil Conservation Scheme.

The East Saltram Creek Catchment is located approximately 7 km north of Bathurst and is approximately 1500 ha in size. It involves eight (8) landholders. The catchment is suffering active gully erosion which is contributing to sedimentation and flash flooding at an open causeway on the Eleven Mile Drive at the village of Eglinton. We understand the Bathurst City Council is approaching your organisation over this same problem.

We believe that a whole catchment approach is the only effective way of solving our problems. We have observed the success of the nearby Evans Plains Creek Soil Conservation Project and one of our members has had first hand experience as a participant in that Project. We can see that a systematic and co-ordinated attack can solve the problem, leading to benefits to our group and the community as a whole.

To enable the group to get a clear idea of how the problem can best be tackled and to allow assessment of the financial requirements, it is requested that your Service assists the group. It would be appreciated if you could make staff available to carry out a co-ordinated plan of soil conservation works for the East Saltram Creek catchment. We believe that it is only through such a co-ordinated plan that a group's approach can be successful in tackling the erosion problem.

Having established a base plan for the catchment, our group will be in a position to consider the financial needs for carrying out the required works. As a group we are not asking for direct subsidies, but for help under the Soil Conservation Advances scheme with perhaps some State funds being made available for works with direct community benefit.

We hope you find this request for assistance practical and worthwhile. We look forward to your early reply.

Yours faithfully,

Rus Carrig, Chairman.

21st October, 1987.



### New South Wales Government



### **Soil Conservation Service**

Local Office: N.S.W. Government Offices, William Street, Bathurst.

P.O. Box 143, Bathurst. N.S.W. 2795.

Phone (063)334340

The Chairman,
East Saltram Creek Catchment Group,
21 Miller Street,
BATHURST. 2795.

(Attention Rus Carrig)

Dear Rus,

In November, 1987 this Service undertook with your group to prepare an assessment of the land resources, erosion problems and required erosion control measures in the East Saltram Creek catchment area.

To this end a report has been prepared as has a separate works plan that shows the general style and location of works required to tackle the catchment's problems.

Recommendations are made in the report for action which the group and individuals can take towards solving the catchment and property problems.

I have included with this letter sufficient copies of the report to distribute to your members for their consideration.

o that there can be full discussion of the report, its recommendations and the works plan, I suggest that we get together at a meeting of your group. I would be happy to attend such a meeting to answer any questions that may arise.

Yours faithfully,

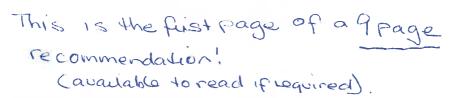
Chris Marshall,

District Soil Conservationist,

BATHURST.

10 August, 1989.





### RECONNAISSANCE ASSESSMENT OF LAND DEGRADATION AND

### SOIL CONSERVATION REQUIREMENT

EAST SALTRAM CREEK CATCHMENT, BATHURST. JUNE, 1988.

### INTRODUCTION

In October, 1987 the East Saltram Creek Catchment Group representing eight landholders with ownership of approximately 1,500ha in the catchment contacted the Soil Conservation Service for assistance with an active gully erosion problem. At the same time, the Service was contacted by Bathurst City Council regarding sedimentation of the causeway across Saltram Creek on the Eleven Mile Drive beside the village of Eglinton.

In November, 1987 the Soil Conservation Service undertook to prepare an assessment of land resources, erosion and possible control measures in the East Saltram Creek catchment.

This report sets out the results of that assessment together with proposed actions.

### SUMMARY OF FINDINGS

An assessment of the East Saltram Creek catchment land resources and land condition has:

- Established a gully erosion problem and its associated downstream community sedimentation problem.
- Identified the erodible and poorly structured nature of most of the areas' topsoil, and highlighted the need for changed cultivation practices as well as for conservative stocking rates.
- Identified a significant tree decline problem with its implications for seasonal waterlogging, gully control and loss of other on-farm benefits.
- Suggested the need for choosing deep rooted perennial pasture species for drought tolerance, protective groundcover, groundwater utilisation and nitrate use.
- Identified the need to investigate the present position and future trends of induced soil acidity.
- Identified the need to investigate the relationship of tree decline and pasture type to seasonal waterlogging.
- Proposed a package of land management changes and structural works to overcome the identified problems.



3

Advocate Chippings

Setting up of the first hand Care group for the District.

FROM PAGE 5

catchment showing where critical erosion control works were needed. He said that the type of work should be carried out. Mr Carrig said that an important part of the Soil Conservation report was the plan for the plan allowed each farmer to see how bad the problems were on his farm and to see what

people in the group. However, it is obvious that some of the problems. deduction incentives and the resources of the that much could be achieved using taxation the land degradation problems and recognised The new Landcare Group is keen to solve the problems are beyond the

> support is needed. capacity of individuals and some community as a team by the community and the individual

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andholders.

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# Footrot sheep sale success

they will go a long way towards eradicating footrot in successful that Orange Saleyards manager, Dan Toohey, believed that if future sales are as successful. ORANGE'S first stock sale for footrot sheep was so

clean sheep at regular sales. sale, and prices were on a par with those for tootrot There was a yarding of 2500 sheep at the initial

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FOR the sixth time, Councillor Bill Cox, has been elected president of Mudgee Shire Council.

Cr Cox was also mayor five times during the life of

Society. the Mudgee municipality and has served for years on the local government executive, Mid Western Weeds County Council, and as president of Mudgee Show

Thelands, Ald Ann Ashwood was elected Mayor of Bathurst for the second time; Ald Tim Sullivan, and author of a poultry raising publication. Johnson, president of Cabonne Shire Council. Mayor of Orange for the seventh time; and He is also a leading breeder and judge of poultry. In other local government elections in the Central

thurst, have banded together to form the district's first "Landcare" group, to handle gully erosion, flooding LANDHOLDERS in the Eglinton area, near Baflooding

and the Soil Conservation Service.

President of the group is Russ Carrig, a former 2BS Known as the East SAltarm Creek Catchment Landcare Group, it comprises landholders, representa-tives of Evans Shire Council, Bathurst City Council Farmer of the Year

Carria

Birriwa Bush Fire Brigade MR PETER Rains has been elected captain of



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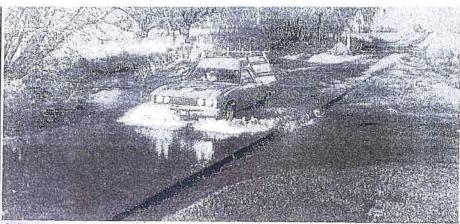
New season's suckers

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16 to 18kg, \$27 to \$31; 18 to 20kg, to \$34.80.

Old lambs, 16 to 18kg: woolly, \$25 to \$30; shorn \$20 to \$30.

Old lambs 18 to 20kg, woolly, \$30 to \$32.60. There were insufficient mutton and cattle for a reliable quote.



Sediment washed down Saltram Creek is deposited on the 11 Mile Drive crossing, causing hazardous conditions for

### Landcare group to combat



Rus Carrig and Chris Marshall examine some active gully erosion in the East Saltram Creek catchment area.

Concern at serious gully erosion on their properties has prompted local landholders near Eglinton to form the districts first 'Landcare'

The groups chairman is Mr Rus Carrig who is well known as a grazier and past holder of the 2BS Farmer of the Year Award.

Mr Carrig announced the formation of the East Saltram Creek Catchment Landcare Group following a recent meeting on his property of landholders and representatives of Evans Shire Council, Bathurst City Council and the Soil Conservation Service of NSW.

He said that the group had consulted with the Soil Conservation Service who had in turn prepared an assessment of the land resources and land degradation within the East Saltram Creek catchment.

The report had confirmed the groups concern for serious gully erosion as well as highlighting the problems of flooding and sedimentation on the Eleven Mile Drive causeway at Saltram creek near Eglinton.

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Chris Marshall inspects severe tree decline on one of the properties in the Eglinton area.



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Name ..... (Mr/Mrs/Miss/Ms) Address .....



The Western Advocate, Friday, September 15, 1989-5

# RUSS CARRIG and ee awareness gro

spread planting on mine the most suitable ing trees as part of Group, are pictured plant-Saltram Land Care of the farmer-based East species trial to deter-

The group received grant from Greening

been actively trying to "Farmers in the Bathurst region have

Marshall. menting a program de-signed by district soil Australia and are impleconservationist, Chris

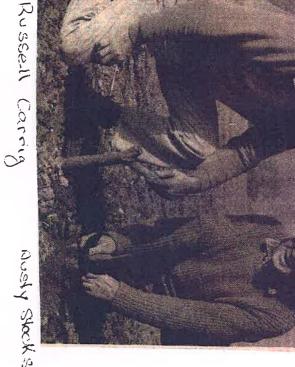
Austy Stocks (below),

now is heighened aware-"What we are seeing

restore the environment hibited progress. and expertise have infor the last 30 years, but the limited funds

Chris said.

ness combining with a well funded, co-ordithere planting trees," ting people of all ages nated effort that is getbackgrounds out



austy Stock's



But he realised that the overall problems of the catchment could only be solved if his neighbors became equally involved. A joint

approach was needed.

So, dusting off the public relations and educational skills from his earlier career as a woolbroker and woolclassing teacher, Mr Carrig set about convincing his neighbors of the need for combined action.

Whether it was the force of his argument or just the sheer personal magnetism of this craggy conservation crusader, the end result was that Mr Carrig was able to enlist eight adherents to his cause.

Together, they approached the Bathurst district soil conservationist, Chris Marshall, to see what needed to be done.

This was about the time that the landcare movement was getting under way, and with the SCS keen to give impetus to the trend, Mr Marshall was able to win approval for the SCS to conduct a detailed survey of the problem area, as a no-cost service.

The survey revealed that while erosion and related sedimentation were indeed severe problems, they were only part of a much wider

"We also identified rampant tree decline we estimated about two per cent a year since the 1950s," Mr Marshall said. "Creek-bank and shelter-belt tree plantings were clearly needed.

"As well, the survey revealed that the whole area almost certainly has a problem of induced soil acidity; there is a problem of rising water tables and seasonal waterlogging; and on the lower flats there is evidence of soil structure decline reflecting the long history of traditional tillage practices

With the problems identified, things started to move quickly.

The East Saltram Landcare Group was formed in 1987, with Mr Carrig as its chairman. A farm-by-farm catchment strategy plan was prepared by Mr Marshall and his

East Saltram Creek Landcare Group chairman, Russell Carrig, Bathurst, checks the progress of young native trees planted in autumn along the banks of a badly-eroded gully, watched by fellow group members Andrew Rendall (left) and Austin Stocks (right) and Bathurst district soil conservationist. Chris Marshall. The trees consist. ist, Chris Marshall. The trees, consisting of eucalypts, acacias and casuarinas in equal proportions, have been planted on the property of group mem-ber, Len Barone, Bathurst, in an attempt to intercept water flowing off adjacent improved pasture country into the gully.

team, and the wheels of funding submissions started to turn.

Government funds for this and other landcare groups are available mainly to subsidise the cost of on-site demonstration

projects aimed at showing landholders how they themselves can combat their problems. Public-funded works undertaken so far for the East Saltram group range from creek-bank and shelter belt tree plantings to installation of still interception structures and gully referen silt interception structures and gully reform-

A grant of \$7000 was obtained from Greening Australia and a further \$2500 from Trees on Farms, to fund the planting of 2000 native trees in nine separate demonstration

This money covered the cost of supplying the trees and protective fencing; it was matched by an equivalent landholder contribution in the form of labor, involving site preparation, tree planting and follow-up weed

Mr Carrig said the actual task of preparing the sites and planting and tending the trees had been a model exercise of co-operative landholder involvement, and had done much landholder involvement, and to bind the group together.

In addition to the tree planting funds, the SCS has contributed \$2300 for demonstration

earthworks, while meeting the costs of producing a regular newsletter to keep members abreast of what is going on.

Mr Marshall is enthusiastic about the

group's achievements this far, saying the East Saltram example is a classic case of what can be achieved by co-operation and relatively

He says in addition to the joint trial exercises, some \$40,000 of landholders' own money has been spent on conservation works since the group was formed — an investment he sees as being directly related to the landcare

And he says the scope is there for a further \$250,000 to be spent if, as expected, low interest loan funds are made available, on dams, banks, trees and in-stream works.

As well as anti-erosion measures, Mr Marshall says landholders will need to carry out more enlightened pasture improvement if the productive capacity of their land is to be restored.

In particular, deep-rooted perennial grasses in particular, deep-rooted perennial grasses like phalaris are needed instead of the shallow-rooted sub clover and ryegrass, to soak up water and acidity-inducing nitrates.

Mr Marshall sees the success of the East Saltram group also as an example of how a seemingly disparate collection of farmers can be moulded into a single minded force.

be moulded into a single-minded force.

He points out that the group's membership spans all age brackets and includes retirees, hobby farmers and 'Pitt Street' farmers — all now united by the problems of a catchment.

One of the group's most enthusiastic members is its youngest, Andrew Rendall, who manages his family's 134ha block, "Lladner". at the lower end of the creek where the valley levels out.

As such, his farm suffers from severe waterlogging as a result of a century of overclearing and erosion neglect further up the catchment — a problem he hopes to see solved by landcare group projects.

The East Saltram Bathurst Group receives National Soil Conservation Funds.

velop a strong community spirit. problems and would dedemonstrations Mr Carrig said the would

unds, Group Chairman us Carrig said the

Inservation Program. om the National Soil

peaking at the offi-

over of

carried out in the catch-Group would armers outside the He expected other

Landcare Group will be investigating the extent of area acid soils and will be implementing Landcare with the Soil Conservation Service, Joe Cummins, said efforts already made towards improved land strations. mangement by the Group hanced by new demon-

be fixed using practical He said the group aimed

ers in providing

natched by group mem-

atchment repair works

other services

Mr Carrig said the grant funds would be

Mr Carrig said

ems that exist there.

degradation prob-

works on the ground.

He said community based actions of East

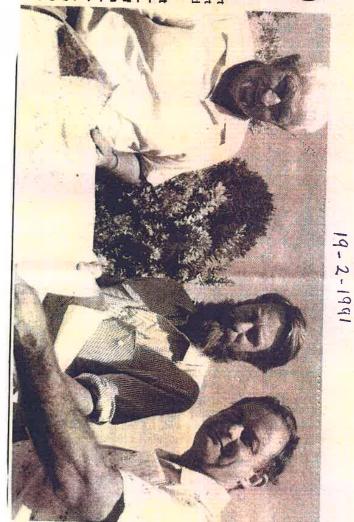
andcare Group has re-eived a grant of \$9,000 demonstration tree plantings and other measures

degradation problems. of a nation-wide effort Saltram Group were part to tackle Australia's land

to control gully erosion.

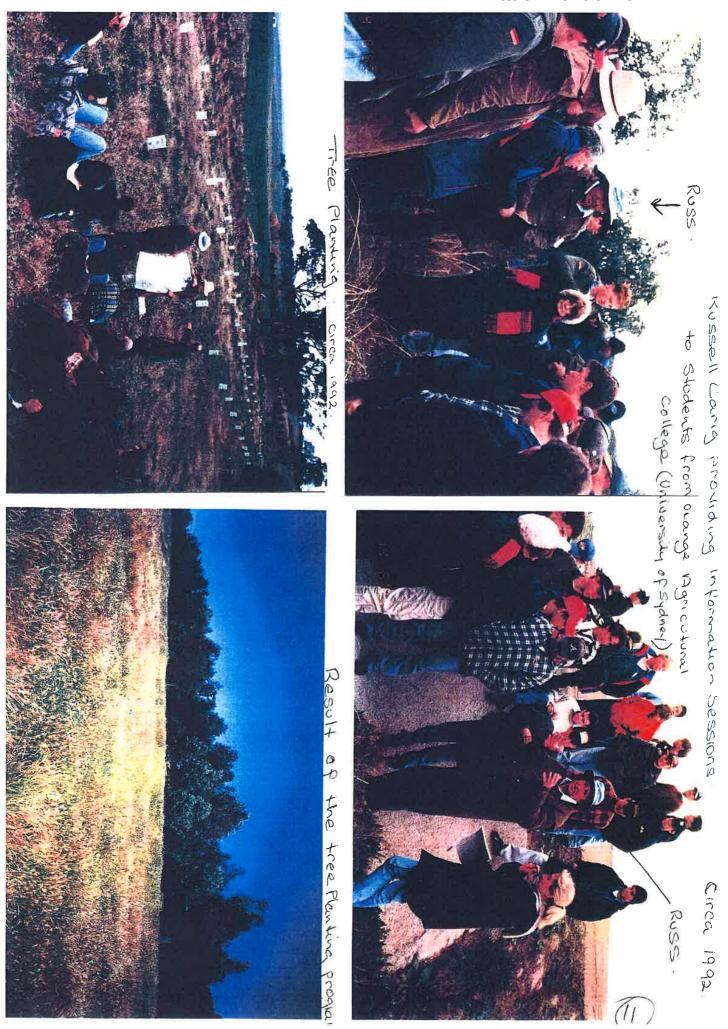
East Saltram group to care Group, Russ Car-Saltram Creek Landquarie Landcare Directhe Soil Conservation ew funding will allow Chairman of East Joe Cummins Marshall of

arry out activities in the





### Attachment 8.1.3.1



type to our Merinos, but it other offshoots. future competitions that may Polworths and a brace of have to include does open a Pandora's Box for SAMM's

acquired a local boom spray-ing business so he will be

ing business so he will

involved

Ħ.

registered Merino studs. include (or reject) ewes from

made for ultrasound preg-Sutton Breeding Services at a nancy testing of cattle. mpressed rural outlet recently and was I PICKED up a flier for James Sutton conducts by the claims

sion needs to be clarified. matter if these breeds are be made about how included, but a policy deci-It probably doesn't really A similar decision needs to ಕ

> tonbreedingservices.com.au. 4889 and website www.sutlablelands agriculture. His home phone is 6329

THERE are still a few places left for the Bathurst Centre on Thursday, May 14 Farming Systems evening with Tim Flannery, to be run to Adam Hook on 6339 4915 Authority at the Bathurst Memorial Catchment All information and RSVP Central Entertainment Management West ty in our industry. classing and shearing shed expertise to us in the early

FIACTIONS STATE SOUTH OF AN James has also recently

its advantages.

wool specialist Russ Carrig. A CHEERIO call to former

of "Alloway Bank" Eglinton. "Illawong" Sydney broking O'Connell and later a portion Russ came from a woolbackground conduct property Cross.

mulesing, drenching and lice and fly treatments will cost much less with each cross. Shearing,

crutching

apparently quite achievable. When so many are making 150 per cent lambing

Kelso. All members and nonmembers most welcome.

their list of advantages reads:

Joining White Dorper rams duction to the White Dorper to big-framed Merino ewes the switch from vealer pro-Several high profile cattle breeders have already made amb breeding strategy and

gives quite good wool shed-ding ability with the first

the advantages of the breed

tage are grateful to Russ for

Many local men of my vin-

teaching sheep and wool

good time to stick with big changes, it may be a very heavy-cutting

Entry Forms and Brochures from Bally's Bikes or

Winning Edge Cycles or Enter online at

www.nsw.cycling.org.eu

Short Course Starts 10.00am Blayne, Femily Fun Chellenge Starts 8.30em Long Course Starts 8.30am Blaynoy

The Pits Mount Panorama

2405471

commonsense and practicali-

1960s and for showing us

ENTER NOW

them John Swaman

has options to help you get ahead

and further your career potential - but you're not sure that you want to commit to

Are you keen to build up your professional qualifications, develop your expertise

workforce as young profes-

enabled us to enter the wool wool clips to class that

He helped many of us find

ramed,

sionals.

We never forget the people

direction as we grew up. who pointed us in the right

a full course of study? subject, with the option of building your subjects up to a degree further down the Choose from a wide range of undergraduate and postgraduate courses, of Discover the flexible study choices at CSU, one of Australia's leading universities see our website or call us now – and study your way And our online supported distance education program lets you lit study around track. Many subjects are Open Entry, which means there are no prerequisites rake advantage of our new single subject program. This lets you study just one your other commitments. Many courses are available with a mid-year start, so

Mid-year enrolments close 1 June 2009 | www.csu.edu.au/nsw | 1300 135 435

Dood.

間の問題 æ Ħ SHALL

WESTERN ADVOCATE, Thursday, April 16, 2009

# WESTERN ADVOCATE Thursday May 20, 202

# Show's bell tolling for Co.

## RURAL NOTEBOOK

ing of a bell by the late Bunty Show was started by the ringparade at the Royal Bathurst FOR many years the grand rah, Duramana. Thompson of Goonamur

son OAM, and I'm told that of Palmers Oakey, Col Ferguably performed by the mayor ne really enjoyed the task This year's bell ringing was The Agricultural, Horti-

comment so many times that the idea of rotating the bell ciation have a number of cultural and Pastoral Assoyou been to a better Bathurst it had to be put in print: "Have may be a rewarding process. honorary life members and ringer on an annual basis I have heard the following

a top class local event, ar-ranged and controlled by adults really appreciated that it was the best and most locals. A real country show The local kids would agree

show in your lifetime?"

## Honour for Russell?

project in the Icely Estate at East Saltram Creek Landcare Eglinton should be named IT has been suggested a tian who conducted the "Il-

Carria

would be a fitting tribute to a highly respected Bathurs-Russell Carrig. and initial chairman, the late This naming of a pathway group's founder

nell for many years before settling in the Eglinton area.

and wool classing and mapeople as a teacher of sheep by a generation of country Russell was widely known

chinery maintenance at the

**Hunter's poll positions** 

weekend's Upper Hunter THE 13 starters for this public and her government

College in the CBD. former Bathurst Technical

activities soon becoming concerning it narrowly. the

RING OUT LOUD: Col Ferguson rings the bell at the official opening of the Royal Bathurst Show grand parade earlier

this month. 050121cshow6a

and the Nationals could hold by-election are at the barrier

ICAC finding premier's

> edge, this Saturday's result is currently sitting on a knife's vitally important.

## Unbalanced budget

upcoming federal election framed with an eye on the al Budget was obviously for lots of voters. (possibly later this year) and here were lots of incentives week's Feder

shock of the Global Finan billion in cash that eased the Government left around \$30 ber that the Howard-Costello To look back we remem

anced budget before Covic borrowed from China. most \$1 trillion, most of it struck yet we now owe team presented a near bal The Morrison-Frydenberg

any mistakes as someone country can't afford to make jumping to 4.2 per cent ou will one day have to With the US inflation rate

### **BMA** meeting

24 from 7.30pm. Perthville next Monday, May meeting at the Bridge Hotel quested to attend their next BMA members

westernadvocate.com.au

# Thursday December 05, 2019 WESTERN ADVOCATE

## RURAL NOTEBOOK

go sale brought \$240 and top sheep at last week's auction. sors and one Ballarat agent are being spent by procesus that phenomenal amounts for lambs and \$172.44 for averaged \$157.95 per head sheep and lamb sales show SALE reports from weekly The best wethers at Bendi-

China and its serious shortlever outbreak. losses of pigs from the swine fall of red meat due to huge apparently Mutton sheep returning Much of the demand is coming from

price for heavy export lambs

Each of

ling these details.

## KEEP 'EM COMING

ers dressing out at 52kg. NOT FORGOTTEN

weights with the \$240 weth

record prices are extra heavy

week, please be aware that notice less silly jokes each column who tell me that they FOR all the readers of this blokes from the shop. be home for hours. He's playby s coming home," he said. ing cards with you and two

She breathed: "He won'

mark/Nutrien story, a friend

TO add to my recent Land-

during the late 1990s. that have been amalgamated added some more agencies

to Dalgety. and AML&F (all to Elders) New Zealand while Australia Estates and Badgery, Goldsbrough Mort monwealth Wool, Country Producers, Pitt Son and Loan went Com-

lawong" at O'Connell where came from the wool store to and first on the list is the late purchase the property "II-Russell Carrig, Co-Wool, who names will revive memories he ran a good merino flock. Thanks to Alan for provid

They included

these company

just a different mob doing it." answered: "Oh yes there is, Mick thought a while and

when the phone rang. THEY were in mischief

editorial staff at the Western laughs each week. Advocate often don't have the room for two harmless

cluded, please SMS to 0429 372 471. items they would If readers have rural news like in-

## LAUGH LINES

the 1960s." Bathurst now as there was in key business going on in "There's not as much mon-GEORGE told Mick:

Thanks offin, Matinar gathall

Dear Mr Carnig,

Just wanted to thank your

per atronung ne the work that's tean
done by East Sattran Cle. I wany nuch

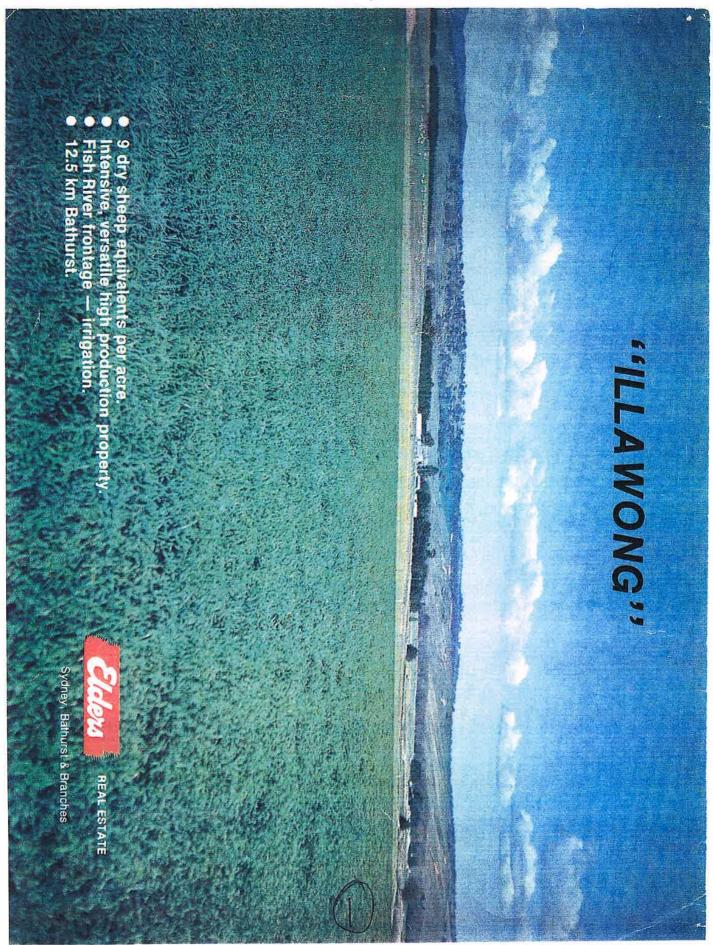
uppreciated your time and your
information. Take Cone.

96-01-60

- One of many letters!

Dad opter had groups visiting his property, either to help with planning of thees or for onsight information regarding erosion, rehabilitation and planning of thees for long term substainable production of the land.

Property "Illawong"
Farmer of the year.





 Picture shows Mr Carrig preparing for dipping operations yesterday at Illawong.

# O'Connell man wins "Farmer of Year" award

A member of a partnership, operating a sheep holding on the O'Connell Rd, Mr Russ Carrig, has won the 2BS Farmer of the Year award.

The win entitles Mr Carrig to a six-weeks overseas study tour and \$500 spending money.

\$500 spending money.

Mr Carrig conducts
the Illawong and The
Grange properties in
conjunction with Mr
Ern Jones.

Announcement of the win was made by the Prime Minister, Mr Malcolm Fraser, who congratulated Mr Carrig on his success.

rig on his success.

In addition to the Farmer of the Year award, the Illawong - The Grange properties was awarded second prize in the improvement award.

The awards included:
BEEF CATTLE:
Thompson Brothers,
Warrie, Sunny Corner,
I: Tarcoola Pastoral
Company, Tarana. 2.
Golden Vallay,
Duckmaloi, 3.

OPEN SHEEP:
Messrs R. Carrig and
E. Jones, Illawong,
O'Connell Rd, 1: C. J.
and N. J. Gardiner, Illoura, Vittoria, 2: C. E.
and E. A. Case, Illowal.

J. S. Indyck, Golden Valley, Duckmaloi, 1; H. McKinnon, Jonglora Pastoral Company, Porters Retreat, 2; R. T. and T. V. Young, Edith, 3.

VEGETABLES:
Messrs K. R. and E. J.
Hamer, Clearview,
Perthville, I; Allan
Booth, White Rock, 2.
APIARY: D. Dibley,
Bathurst, I; E. Porter
and Son, Yetholme, 2;
Mackay Bros, Bathurst,

PIGS: Gardiner Partnership, Gunnedah, 1.

WHEAT: R. L. Balcombe, Bugaldie, I; R. Powell, Coolah, 2; Mandagera Pastoral Co, Manildra, 3.

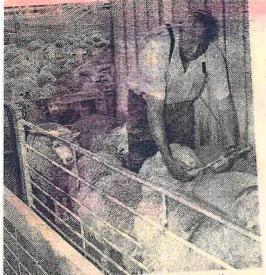
IMPROVEMENT:

mpson Bros.

Carrig and E. Jones, O'Connell Rd, 2; Dr J. S. Indyck, Golden Valley, Duckmaloi, 3.



### Central West woolgrowers see pointers of hope



MR RUSS CARRIG, Illawong, O'Connell, near Bathurst, drenching Merino ewes on his property.

the rise in wool prices.
Central West wool
growers have entered
1977 on the most encouraging note for
years.

Nevertheless there is unlikely to be a dramatic and immediate swing to increased wool production.

Many former wool growers, who forsook wool for cattle the past few years, are too involved financially to effect a quick changeover.

Furthermore, there is a lack of good breeding stock available, the supply being depleted because of the reduced breeding pro-

### district farming report



gram evident during the past few years.

This shortage of stock has also been accentuated by losses following last year's blowfly wave and floods in the outer Central West.

It is likely also that many of the established Merino wool growers in the Western Dictricts, who added first cross ewe breeding to their activities to participate in the stable prime lamb industry will continue on this course.

If wool prices remain stable during the current year, many woolgrowers in the area consider that the industry will remain viable, despite the heavy cost of labor, drenches and insec-

One such grower is Mr Russ Carrig, Illawong, O'Connell, in the Bathurst

district.

Mr Carrig. 1975 farmer of the year in the Central West, breeds his own Merino stock and is currently carrying 3400 sheep on 200 hectares (500 acres), the equivalent of 8.3 drysheep to the acre.

He arranges his breeding program for two lambings a year. At the last shearing of 1570 sheep of his flock, completed last Christmas, the average cut per head was 141b 3oz.

He expects that the remainder of the flock will cut an even higher average, because of the predominance of wethers.

Mr Carrig, who breeds medium to strong Merinos based on Merryanbone blood, was a wool valuer for 10 years with Grazcos. Commonwealth Wool and Elder Smith before going on to his present properly 16 years ago. He also taught technical college woolclassing for 10 years at Bathurst and Oberon.

### Confident

This competent, confident woolgrower gets his results by providing good management and selection plus adequate nutrition.

Though confident of prospects in the coming year. Mr Carrig intends to dispose of cattle he is carrying and join the cast for age ewes in his flock to Border Leicesters as a saver."

Two other long-established Merino woolgrowers with equal confidence are Hugh and Cam Ross, who are carrying 9000 Merino wethers and 2000 cross-breds on 1377 ha (3435 ac) in two properties. The Springs and Willow Glenat Evans Plains near Batharst



• Top farmer of the Central Tablelands & 46. 1976

### Wise management pays off for an enterprising grazier

Hard and thoughtful effort for 15 years has won for Russ Carrig, of "Illawong", O'Connell, near Bathurst, the title of "Farmer of the Year" of a large section of the Central Tablelands.

Russ gained the honor in an annual contest conducted by radio stations 2BS, (Bathurst), and 2MG,

2BS, (Bathurst), and 2MG, (Mudgec), open to farmers in the listening areas of those stations. There were 150 entries.

Russ runs "Mawong" and an adjoining property "The Grange", both with a combined area of 500 acres, in conjunction with Mr Edward Jones. He assumed managership of the combined properties nine years ago.

City born Russ worked

City born Russ worked with Grazcos for seven years, then on Common-wealth Wool's wool valuwealth Wool's wool valuing staff for five years and then, when he moved to O'Connell, became a partime instructor in sheep and wool at Bathurst Technical College, a job he held for 12 years, He has wrought vast improvements in both "Illawong" and "The Grange"; the latter is one of the first farms of the Bathurst district.

Bathurst district.

A mixture of perennial rye, cocksfoot, Marrar sub, clover and lucerne was sown on 170 acres of the higher country on "Illawong", and 57 acres of cutting lucerne on "The Crutaing lucerne on "The Crutain lucerne on "Th Grange" Macquarie River flats. A further 14 acres of lucerne was sown last year, and it is planned to

### JOE MCMENAMIN

have a total area of 90

have a total area of 90 acres.

The river flat lucerne usually gives five or six cuts a year, and last year the total harvest was 12,000 bales.

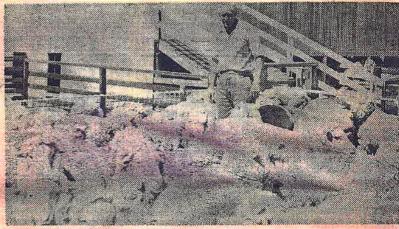
The running of the farm enterprise is a one-man job for Russ He uses only part-time labor and the lucerne work is done by contract.

There is now a reserve of 8000 bales of lucerne hay in two sheds. Normally each winter about 1500 to 2000 bales are used in supplementary feeding of the stock, and a good deal of hay is marketed.

Russ says it costs 32 to 35 cents a hele to haz to

Russ says it costs 32 to 35 cents a bale to harvest the lucerne and a further 15 cents a bale to shed it. But he has been able to get \$1.30 a bale on the market.

"I usually grow about oats a year, and generally manage to strip about 40 acres of the area", Russ



O'Connell, ne Merino flock. near Bothurst, and portion of his CARRIG, of "Illowong"

Using his own fertiliser Using his own fertiliser spreader the champion farmer topdresses the entire farm area annually at the rate of 1½ cwts of super. to the acre.
"It has paid dividends", said Russ, who bought a good supply of super. before the bounty was removed.

improvement jobs was the subdivision of the properties into 30 paddocks.

The result of subdividing, pasture improvement, supering and supplementary feeding has been a lift in the carrying capacity from 13 sheep to the acre to eight sheep to the acre in seven years. Russ is running 700 bold medium Merino ewe of Merryanbone blood.

of Merryanbone blood.

The past three season the entire flock, exclusive of lambs, has cut an aver age of 13 lb of wool head, and last year the clip was 115 bales.

Let 1978.

# The oat grain is conserved in four silos with a total capacity of bushels, of which 700 bushels is used for plementary feeding. It now appears that the Lucerne Alfalfa Aphia



# "FARMER OF THE YEAR" COMPETITION

Merit Award

Mr. R. W. Carrig

varded for Outstanding Agricultural Achievement

Open Sheep Section

resented at Alloway Bankon the seventh day of

October 1971

Rad Black



# "FARMER OF THE YEAR" **COMPETITION**

Merit Award

FW M Carrie

warded for Outstanding Agricultural Achievement

**SECTION** 

The Need Nection.

resented at Bathurst on the 18th day of

agust 1971-2









Orange Agricultural College The University of Sydney

# Landwise Farmer Quest

Highly Commended

(June Quarter 1994)

Russell Carrig





Signed: .....

Chairman, Landwise Farm Quest



# Statement of Appreciation

# Awarded to

# **RUSS CARRIG**

For your assistance and support for young people and projects in the Landcare Environment Action Program

Saughoppin .

16 JANUARY 1997



319119

Mr Daniel Dwyer Council's Environmental Planning & Development Services Dept. Russell Street Bathurst NSW 2795

Dear Daniel.

### Council's Road Naming Database - Nomination of the name "CARRIG"

I have attached for your information, my previous request and response I received from council, which I might add I appreciated Council's response.

Firstly, I have another request which I would like to put forward:

There is a long walkway that goes around the lower part of the Icely Estate (I have attached a photo for your information). From what I can see the walkway has not been gazetted a name.

Therefore, is there an avenue to seek approval to have that walkway named after my father?

### "CARRIG WALKWAY"

The walkway named after my father would not only be a great honour in memory of the work he did for the area but also fitting as he was instrumental in developing the East Saltram Creek Landcare Group of which he was Chairman which focused on reducing the environmental improvement of the creek.

Please refer to my attached letter to Council Nov 2014 (previous supporting documentation was also provided with my first request and can be re-submitted if required).

Secondly, our family would also like to discuss an offer to donate the cost for a permanent seat to be placed at the end of Icely Street, beside the walkway for residences to take a rest and view the sites of Bathurst.

My husband Laurie and I have purchased a block of land (17 Icely Street) and are due to start building early next year with Marple Constructions. We chose this area because it is close to our hearts knowing the dedication dad had given to the area.

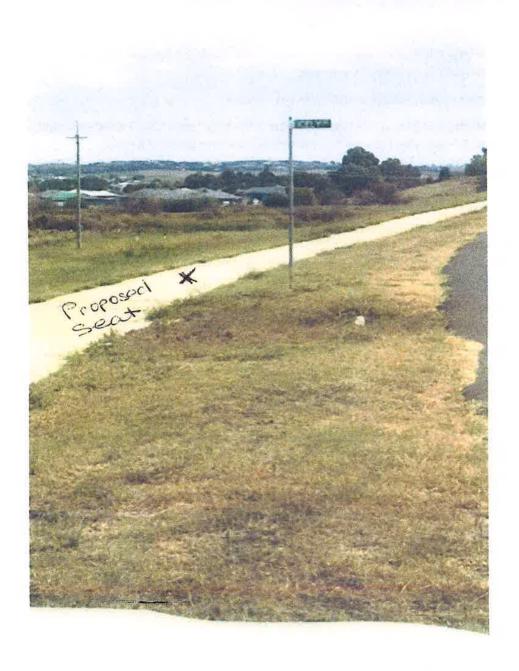
Thankyou for taking the time to consider my request and the family would be so honoured if it was approved. Please let me know if you require any further supporting documentation.

Look forward to hearing from you.

Kind regards

Robyn Waddell 0437370775 aberdeen455@outlook.com





Pg2 1



Civic Centre 158 Russell Street Private Mail Bag 17 Bathurst NSW 2795 Telephone 02 6333 6 11 Facsimile 02 6331 7211 council@bathurst.nsw.gov.au www.bathurst.nsw.gov.au

17 February 2020

Mrs R Waddell 455 Eleven Mile Drive EGLINTON NSW 2795 Reply

Dear Mrs Waddell

### Request to name Saltram Circuit walkway/cycleway after the late Mr Russell Carrig

Council refers to your application submitted in September 2019 to name the footpath/cycle way located along Saltram Circuit after your late father Mr William Carrig. Council apologises for the length of time taken for this reply, however it has been deemed important to give due consideration and investigation into your request.

In relation to your application to have the footpath/cycle way named in honour of your father, Council has reviewed the supporting information that you have provided in line with Council's policy for the naming of Council facilities. Unfortunately, on this occasion, I must advise that your application has not been successful.

It is noted that your application in 2014 for adding the name "Carrig" to Council's road naming database was successful and this name is in Council's system for future use. I can advise that Council will escalate the name "Carrig" within its database to ensure that it is given opportunity to be utilised within acceptable subdivisions of Eglinton, when opportunity becomes available.

Council thanks you for your interest in this matter.

Yours faithfully.

Mark Kimbel

MANAGER RECREATION

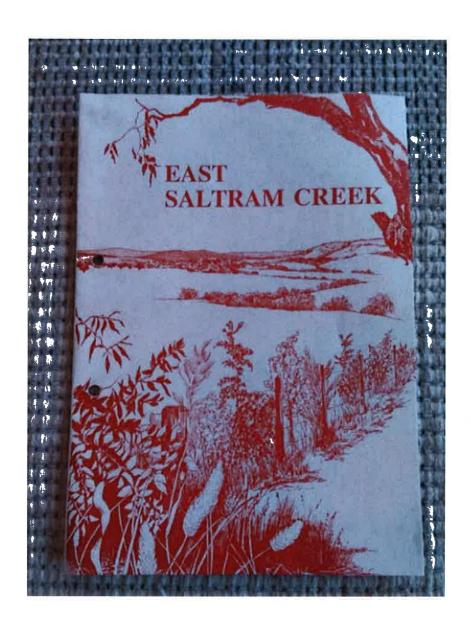
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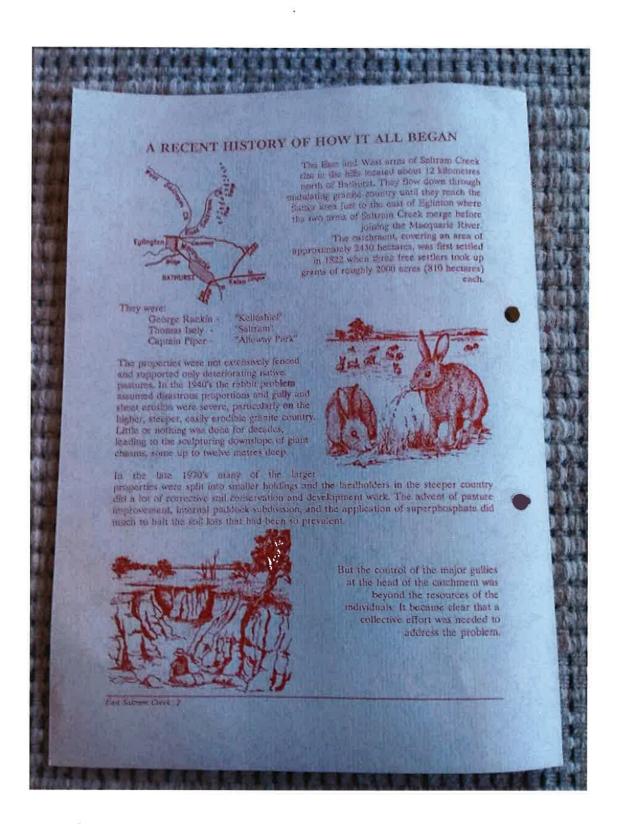
Reference: Enquiries: MK:MB: 20.00024-10/077

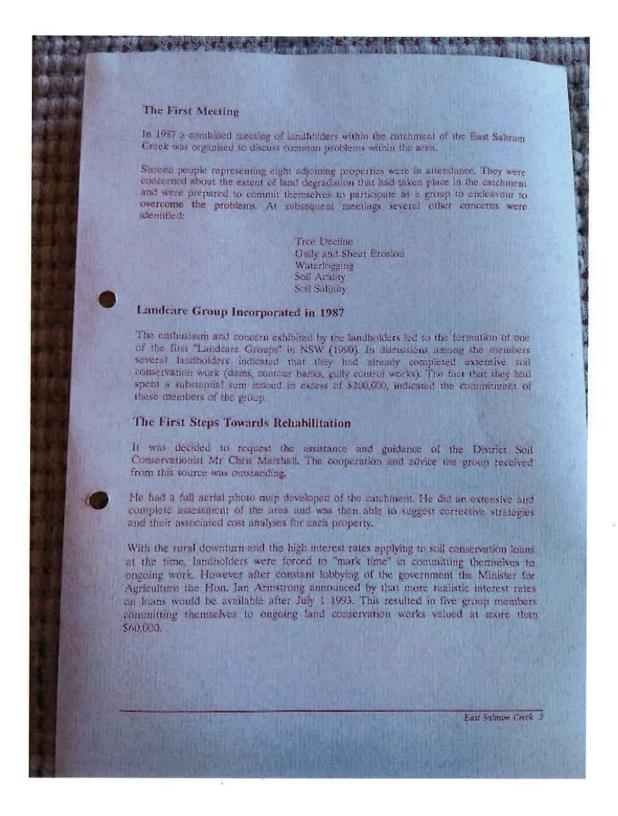
s: Mr Mark Kimbel - (02) 6333 6285

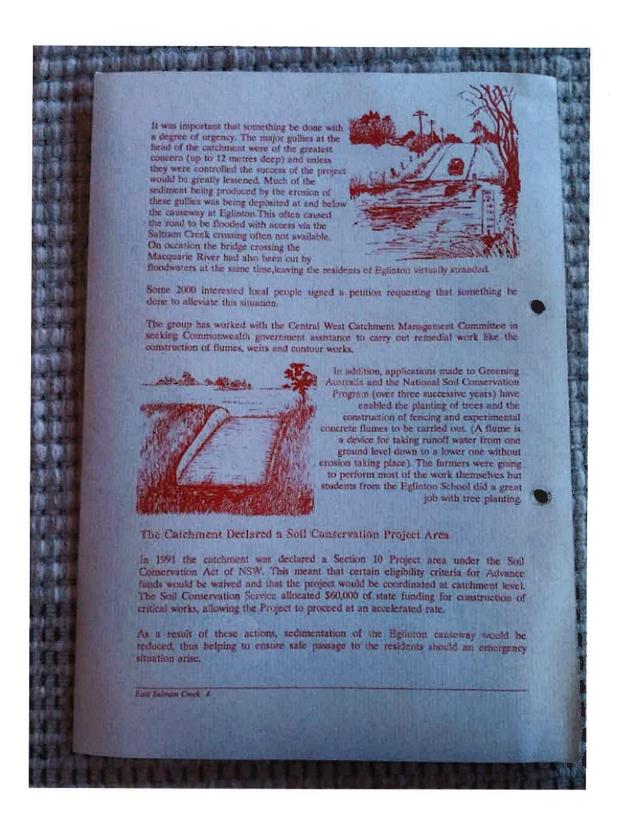


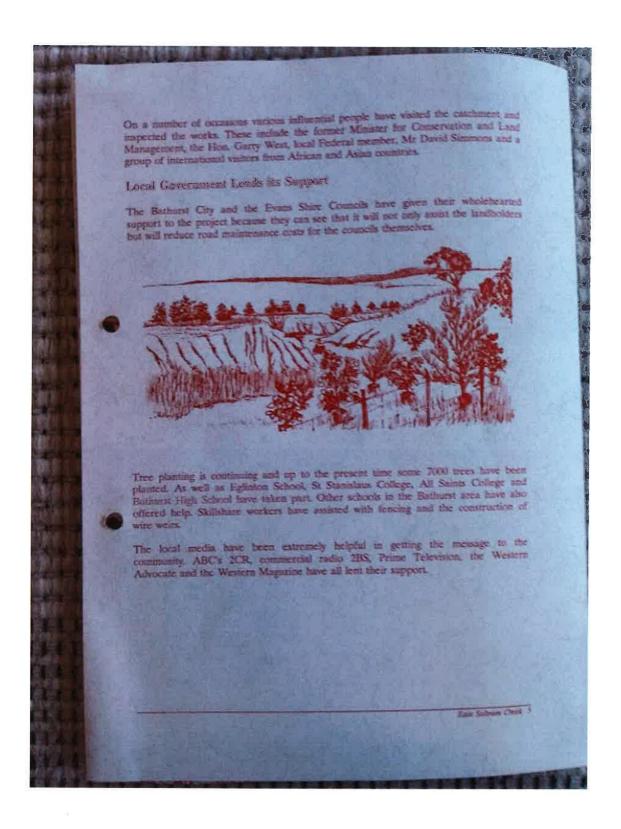


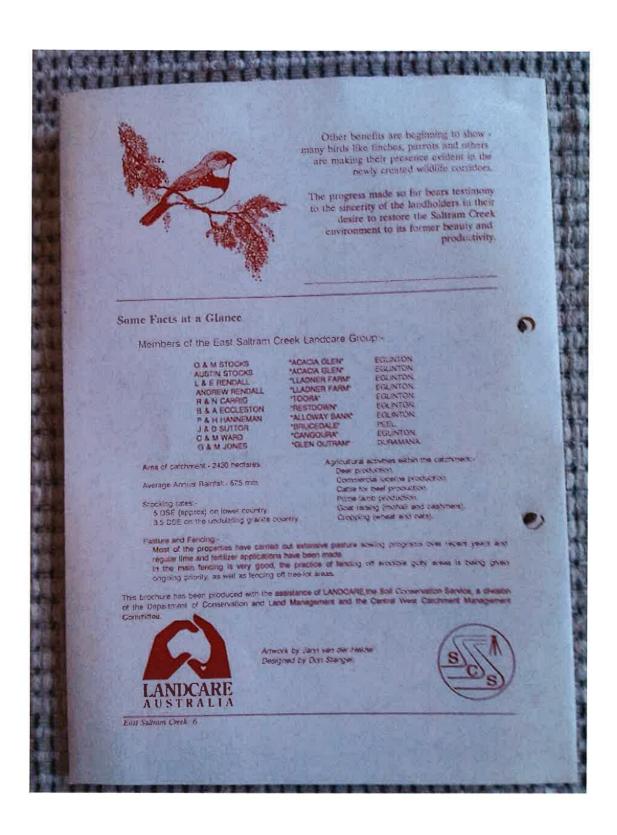












### David.

Many thanks for the opportunity to reflect on the significant contributions of Russ Carrig to landcare and conservation in the Bathurst Region. I am completely confident in recommending that Council recognise Russ and his work by naming the new section of cycleway at Eglinton after him.

Your request has challenged me to reflect on a significant part of my career as the District Soil Conservationist in Bathurst during the 1980's and 1990's. This all seems so long ago and while so much has been achieved before and since, much remains to be done to care for our landscape. Many people have contributed to this ongoing effort and Russ Carrig is one of those special people who took on the task with vigour, wisdom and diplomacy.

These were times of change with land use, and land management relationships involving land holders, the State and Federal governments and local councils. It was the beginning of the "landcare" movement. State organisations, including the Soil Conservation Service of NSW, began diversifying from providing one on one services to individual landholders to working with groups of landholders, including local councils and others to focus on wider catchment and regional issues. The Federal Government boosted funding opportunities with a National Soil Conservation initiative that developed into a broader Landcare support program.

Russ Carrig had been a long term individual client of the Soil Conservation Service when I first met him. He had implemented a soil conservation farm plan involving gully repair, tree planting and fencing according to land capability. Further to this, Russ was a community leader in that he championed soil conservation through his off farm work with rural service companies and with TAFE students. Russ was a perfect fit for the changes at hand. The community was primed to move to collective, self-directed action with landcare but needed leaders to emerge.

When the opportunity arose at Bathurst to develop the new model of whole of catchment management through organised community groups Russ was a natural and enthusiastic facilitator and leader. He intuitively understood what the land and his community needed and was prepared to do all the hard work to bring a diverse range of people and organisations together. He was a great communicator, an energetic advocate and a profoundly practical person who got the work done in the paddock. He set high standards.

The East Saltram Creek Landcare Group, of which Russ was the Chair, was one of the first landcare groups incorporated NSW and was certainly a leader at the time in the Bathurst Region. The group provided the inspiration and model that many other regional groups soon followed.

While much had been done by individuals in the group to improve land condition and repair historic erosion many large gullies remained active and beyond the resources of individuals to repair. It was common knowledge that these gullies were delivering huge sediment loads into the lower reaches of Saltram Creek and creating flooding issues that were regularly blocking the causeway on Eleven Mile Drive, restricting access for the people living in Eglinton.

Russ saw this problem as an opportunity to broaden the focus of the group and to engage with the then Bathurst City Council which was grappling with the causeway problem. With his usual confidence and character Russ facilitated Council support for his group and its work. Further to this Russ championed the declaration of East Saltram Creek Catchment as a Project under the Soil Conservation Act of NSW enabling the construction of large scale critical sediment trapping works that were well beyond the financial capacity of the group's members.

At the time East Saltram Creek Landcare Group delivered on its projects under the leadership of Russ there were concerns arising for the security of water quality at the regionally significant Chifley and Fish River water storages. Investigations had highlighted the link between algae problems and sediment yield across their respective catchments. Engineers with both the Fish River Water Scheme and Bathurst Regional Council looked to the community based catchment management model that was working so well with Russ and his neighbours at East Saltram Creek. It was a proven and practical model and its transfer at such an increased scale and scope in these important catchments is due in some measure to the model so well demonstrated by Russ and his group.

In short Russ was a hardworking leader of change, an inspiration to others, a great communicator and diplomat in the field of landcare. He certainly deserves a chapter in the book that someone may write one day chronicling the long history of conservation effort in the Bathurst Region.

Chris Marshall

20/1021

POLICY:

NAMING OF COUNCIL FACILITIES

**DATE ADOPTED:** 

Director Corporate Services & Finance's Report

#8.3.5.1

Council 16 June 2021

Resolution No. ORD2021-189

Council 21 July 2021

Resolution No. ORD2021-233

Director Corporate Services & Finance's Report

#1

Policy 5 December 2018 Council 6 February 2019 Minute Book No. 12902

**ORIGINAL ADOPTION:** 

Director Engineering Services & Report #1

Policy 1 September 2010. Council 15 September 2010 Minute Book No. 10985

FILE REFERENCE:

04.00008

**OBJECTIVE:** 

To provide Council with a set of guidelines for the naming of Council owned and managed public open spaces, including reserves, parks, public gardens, sporting fields / facilities and recreational areas and to allow for the recognition of both the European and Indigenous cultural heritage of the Bathurst

Region.

The guidelines will ensure that the naming of all places is carried out in a consistent manner according to an established set of criteria.

This policy excludes the naming of geographical or topographical features which are covered by the Geographic Names Board and also excludes roads and streets which have their own set of guidelines.

Where existing Council owned public open space is not named, Council will apply this policy and associated guidelines. The policy will not be used to rename places already named, or names approved by Council, Committees or Community Boards by formal resolution.

It is intended that facilities would be named after individuals only in exceptional circumstances and that such naming would:

November 2021

Page N - 1

Service No. 6\_17

- Commemorate and recognize individuals, institutions or events that contributed significantly to the betterment of the Bathurst community.
- Demonstrated achievement at a high level.
- Portray the appropriate physical, historical or cultural character of the area/place concerned.
- Be consistent with the overall interest, values and expectation of the Bathurst community.
- Be consistent with the relevant legislation and Geographical Names Board Guidelines where applicable
- · Be consistent with Council's guidelines for naming roads.
- Generally, the recommendation to name a Council facility after a person
  of good character will only be considered after the person is deceased. In
  exceptional circumstances a Council facility could be named after a
  person still living in recognition of past contributions, but generally only
  when the association or link has ceased or is completed.
- Where practicable, the deceased person's next of kin or appropriate relative will be consulted before a deceased person's name is recommended for naming.
- Facilities should not be named for members of Council staff, Councillors, appointees to Committees of the Council or those formally associated with Council, as long as that formal relationship exists.
- The names of existing facilities would only be changed if exceptional circumstances warrant the name to be changed.
- If a facility that has been named is removed or replaced for any reason, or the nature of the facility changes, Council is not obliged to retain the name.
- Council will require sufficient information regarding the request to name the specific area/facility and such information will need to be collaborated by an independent source.
- Council may forward any request to name a specific area/facility to any other party (e.g. Bathurst District Sport and Recreation Council, local sporting organization, Geographical Names board, Bathurst District Historical Society, Local Aboriginal Land Council etc) for comment.

### **Approval**

Approval will be based on the merits of each application and on the guidelines as set in this policy. Proposals for the naming of facilities may come from a variety of sources including individuals, groups, clubs, committees and societies etc.

An initial review of the proposal will be made by Council Officers and an assessment of the proposal for its conformance with the criteria and procedure herein.

If assessed as conforming, the proposal will be advertised in Council's column in the local newspaper for a minimum of 2 weeks to allow for the

November 2021

Page N - 2

### Attachment 8.1.3.1

community an opportunity to comment. Following this, the proposal will be put to Council for final consideration and approval.

Council will ensure the origin of the name will be clearly stated and recorded.

Once approved, the installation and type of signage will be coordinated by Bathurst Regional Council with the cost being borne by the applicant of the request or in exceptional circumstances by Council.

November 2021

Page N - 3 Service No. 6\_17

## Survey Responses

24 April 2022 - 23 May 2022

# Russell Carrig Walkway

# Your Say Bathurst Region

Project: Road/Laneway naming



			tors 2				
C	ONTRIBUTOR	S	RESPONSES 2				
2 Registered	<b>O</b> Unverified	<b>O</b> Anonymous	2 Registered	<b>O</b> Unverified	<b>O</b> Anonymous		

### Attachment 8.1.3.2

Respondent No: 1

Login: RJK

Email: robjames\_kent@hotmail.co

Responded At: May 10, 2022 12:56:24 pm

Last Seen:

May 10, 2022 02:53:12 am

IP Address:

114.78.73.253

Q1. Name

Rob Kent

Q2. What is your preferred contact method?

Emall

Q3. Postal Address

not answered

Q4. Your email address

robjames\_kent@hotmail.com

Q5. Would you like to upload a document?

not answered

Q6. Please outline your submission

I would like to submit for consideration the naming for this walkway to be, WRC PROMENADE or Carrig Promenade

### Attachment 8.1.3.2

Respondent No: 2

Login: HeidiWaldron

Email: held.waldron3@gmail.com

Responded At: May 12, 2022 05:00:47 am

Last Seen:

May 11, 2022 18:58:48 pm

IP Address:

110.150.99.7

Q1. Name

Heidi

Q2. What is your preferred contact method?

Email

Q3. Postal Address

not answered

Q4. Your email address

heid.waldron3@gmail.com

Q5. Would you like to upload a document?

not answered

Q6. Please outline your submission

Should be named after Scott, the man who lives adjacent and takes his own time to mow this frequently to ensure the area is maintained and safe for children and walkers

174

BATHURST REGIONAL COUNCIL

1 9 MAY 2022 REF. 20,00024-10/174

TRAIES INLUGOD 23 GLANMIRE LANE GLANMIRE 2795

deing changed to Russ Carrig line because of his tireless efforts to improve our community

af huverd

### RECEIVED

1 8 MAY 2022

BATHURST REGIONAL COUNCIL



DEPBS

### DA's Approved

Attachment 8.2.2.1



1/06/2022 - 30/06/2022

Printed: 7	7/07/2022	2:26:24PM				Date
Туре	Year	No.	Value	Description	Address	Date Determine
10	2021	358		Construction of a multi unit housing 12 x 3	225C Peel Street BATHURST	28/06/2022
			, ,,,,,,	bedroom units		. <del>-</del>
10	2021	568		Two lot rural subdivision	526 Willow Tree Lane MOUNT RANKIN	10/06/2022
10	2021	596	\$446,500	6 Lot subdivision, Place of Public Worship and Demolition of existing	48 Hamilton Street EGLINTON	17/06/2022
10	2022	45		Use of existing above ground swimming pool and safety barrier & deck	3444 Great Western Highway YETHOLME	7/06/2022
10	2022	64		Two storey dwelling with attached garage	5 Meagher Street LLANARTH	2/06/2022
10	2022	66		Partial demolition, alterations, two storey addition to dwelling	177 Stewart Street BATHURST	2/06/2022
10	2022	70	\$60,000	_	9 Press Court KELSO	7/06/2022
10	2022	75	. ,	Two storey dwelling with attached garage	107 Blue Ridge Drive WHITE ROCK	6/06/2022
10	2022	76		Workshop shed	390 Panorama Avenue MITCHELL	6/06/2022
10	2022	138		Additions, alterations to building, change of use shed to dwelling	21 Williams Lane PERTHVILLE	22/06/2022
10	2022	144		single storey dwelling & shed	291 Redbank Road TRIANGLE FLAT	14/06/2022
10	2022	145	\$450,000	Two storey dwelling with attached garage and earthworks	36 Newlands Crescent KELSO	21/06/2022
10	2022	146		Construction of an amenities block and installation of new septic	Sofala Road SOFALA	22/06/2022
10	2022	147	\$50,000	inground swimming pool with safety barrier and retaining walls	23 Icely Street EGLINTON	27/06/2022
10	2022	152	\$554,326	Alterations & two storey addition to existing dwelling, pool & cabana	7 John Norton Place BATHURST	6/06/2022
10	2022	159		Removal of one tree	255 Bentinck Street BATHURST	3/06/2022
10	2022	160		single storey secondary dwelling	227 Peel Street BATHURST	6/06/2022
10	2022	161	\$170,000	Demolition of sheds and construction of secondary dwelling	247 Browning Street WEST BATHURST	22/06/2022
10	2022	163		Single storey dwelling with attached garage	74 George Thomas Close THE LAGOON	16/06/2022
10	2022	170		Single storey rural dwelling with attached garage	330 Laffing Waters Lane LAFFING WATERS	2/06/2022
10	2022	174	\$19,220		254 Peel Street BATHURST	6/06/2022
10	2022	185	\$30,000	Partial demolition, additions & alterations to residential unit	2A Keppel Street BATHURST	22/06/2022
10	2022	189	\$320,000	Dual occupancy and two lot subdivision	41 Hamilton Street EGLINTON	16/06/2022
10	2022	198		Alterations and addition to existing dwelling	28 Henry Street BATHURST	2/06/2022
10	2022	200		Shed and use of part of shed as temporary dwelling and earthwokrs	1611 Trunkey Road GEORGES PLAINS	2/06/2022
10	2022	201		Construction of a shed	8B Delaware Crescent ROBIN HILL	2/06/2022
18	2022	84		Inground swimming pool and safety fence	25 Lorimer Street LLANARTH	7/06/2022
10	2021	257		MOD - shed and separate carport	47 Wellington Street EGLINTON	3/06/2022
18	2022	87		single storey dwelling with attached garage	1 Cardinia Avenue ROBIN HILL	10/06/2022
10	2022	210		Garage and inground swimming pool with safety barrier	9 Darvall Drive KELSO	9/06/2022
10	2022	212		Installation of Solar Panels	107 William Street BATHURST	20/06/2022
10	2022	213	\$460,000	Dual Occupancy (Detached) and Two (2) Lot Residential Subdivision	67 Basalt Way KELSO	29/06/2022
10	2022	214		Detached habitable room and shed	24 Country Way ABERCROMBIE	30/06/2022
10	2022	217		Alterations to existing dwelling	13 Graham Drive KELSO	22/06/2022
10	2022	218		dual occupancy and two lot subdivision	42 Basalt Way KELSO	24/06/2022
10	2022	221		Earthworks and retaining walls	39 Basalt Way KELSO	2/06/2022
10	2022	222		Use of existing premises as mechanical workshop	41 Hampden Park Road KELSO	16/06/2022
18	2022	89		single storey dwelling with attached garage	39 Basalt Way KELSO	24/06/2022
10	2022	223		Earthworks and retaining walls	53 Basalt Way KELSO	7/06/2022
18	2022	91		Internal alterations construction of staff kitchen	16 Vale Road SOUTH BATHURST	6/06/2022
18	2022	92 225		single storey dwelling with attached garage	56 Basalt Way KELSO	1/06/2022
10 10	2022	225 227		Retaining wall	57 Basalt Way KELSO  18 Appledore Drive KELSO	7/06/2022
10	2022	227		single storey dwelling with attached garage, detached garage and pool	18 Appledore Drive KELSO	23/06/2022
10	2022	229		inground swimming pool with safety barrier	47 Tarana Road BREWONGLE	22/06/2022
10	2022	230	\$865,000	Single storey dwelling with attached garage	3632 O'Connell Road BREWONGLE	24/06/2022

Authority

### Attachment 8.2.2.1

### DA's Approved

1/06/2022 - 30/06/2022



LIVE

Printed: 7	7/07/2022	2:41:17PM				Date
Туре	Year	No.	Valu <u>e</u> D	Description	Address	Determine
10	2022	232	\$20,000 C	Construction of a storage shed	160 Hartwood Avenue ROBIN HILL	16/06/2022
10	2022	233	\$39,965 Ir	nground swimming pool and safety barrier	216 Rankin Street BATHURST	22/06/2022
10	2022	234	\$6,700 C	Construction of a deck and patio cover	3 Gibsone Drive KELSO	10/06/2022
10	2022	235	\$15,000 e	earthworks, cut and fill	70 George Thomas Close THE LAGOON	16/06/2022
10	2016	255	\$0 M	MOD - Single storey rural dwelling	555 Limekilns Road FOREST GROVE	22/06/2022
10	2022	238	\$88,000 A	Alterations & additions to an existing dwelling	218 Suttor Street WINDRADYNE	7/06/2022
18	2022	98	\$41,000 Ir	nstallation of a swim spa and barrier	201 Peregrine Road BILLYWILLINGA	16/06/2022
10	2022	242	\$77,783 a	additions and alterations to exisitng dwelling	49 George Thomas Close THE LAGOON	7/06/2022
10	2022	245	\$585,000 D	Dual occupancy and two lot subdivision	40 Basalt Way KELSO	24/06/2022
10	2018	483		Partial demolition of existing dwelling and additions and alterations	38 Rankin Street BATHURST	10/06/2022
10	2022	143	\$15,700 N	MOD - shed and inground swimming pool with safety barrier	17 Darvall Drive KELSO	8/06/2022
10	2022	249	\$21,000 C	Construction of a shed	45 Hamilton Street EGLINTON	28/06/2022
10	2022	2		MOD - alterations and additions to existing	82 Morrow Place ROBIN HILL	8/06/2022
18	2022	101		single storey dwelling with attached garage	34 Basalt Way KELSO	20/06/2022
10	2022	258	\$7,800 C		5 Church Street TRUNKEY CREEK	23/06/2022
18	2022	103		nground swimming pool with safety barrier	46 Wentworth Drive KELSO	23/06/2022
18	2022	104		single storey dwelling with attached garage	13 Cain Drive KELSO	20/06/2022
10	2022	263		Additions and alterations to existing dwelling	52 Rose Street SOUTH BATHURST	22/06/2022
10	2022	267	\$18,369 C	0 0	17 Vincent Crescent KELSO	30/06/2022
10	2022	269		Colourbond double garage 7x7m enclosed, 2m awning on 7x9m concrete	71 White Rock Road WHITE ROCK	22/06/2022
10	2022	273		single storey dwelling with attached garage	5 Campbell Close LLANARTH	23/06/2022
10	2022	279		Alterations and additions to existing dwelling	16 Kite Place RAGLAN	30/06/2022
18	2022	107		Construction of a two storey dwelling with	121 Hughes Street KELSO	23/06/2022
	2022	107		attached garage	121 Hagnes Greek NEEDS	
18	2022	108	\$20,000 Ir	nground swimming pool with safety barrier	11 Peacock Street EGLINTON	23/06/2022
18	2022	110		Construction of a single storey dwelling with attached garage	26 Basalt Way KELSO	28/06/2022
18	2022	115		Single storey dwelling with attached garage	19 Granite Rise KELSO	28/06/2022
18	2022	119		single storey dwelling with attached garage	53 Basalt Way KELSO	29/06/2022

### DA's Refused

Attachment 8.2.2.2



LIVE

1/06/2022 - 30/06/2022

Printed:	7/07/2022	2:41:58PM			
					Date
Туре	Year	No.	Value Description	Address	Determine
10	2017	214	\$75,000 Internal office addition to existing hangar	PJ Moodie Drive RAGLAN	23/06/2022
10	2021	416	\$424,600 Single storey dwelling with attached garage	92 McManus Road MEADOW FLAT	28/06/2022
10	2021	490	\$2,270,000 Function centre, tourist-visitor accommodation and primitive camping	25 Hollis Lane PERTHVILLE	2/06/2022
10	2022	247	\$0 Use of existing shed	23A Logan Street EGLINTON	7/06/2022

### DA's Pending



Printed: 7/07/2022 2:42:42PM Year Value Description Type Address No 2020 314 \$15,000 Change of use from garage to habitable rooms 1336 Limekilns Road CLEAR CREEK 10 2021 72 \$303,537 Single storey dwelling 7 Bolton Street KELSO 2021 75 \$10,000 Intensification of existing mining facility 10 Trunkey Road CALOOLA 2021 21 \$320,000 Second storey extension to exisiting residential dwelling 10 208 Boundary Road ROBIN HILL 2021 293 124 Bentinck Street BATHURST 10 \$500,000 Demolition of existing dwelling and construction of 3 commercial units 2021 312 \$100,000 Proposed Function Centre, Primitive Camping Ground and 1932 The Bridle Track BRUINBUN 10 Amenities Build 2021 338 \$2,750,673 Eleven lot subdivision and associated works Corporation Avenue ROBIN HILL 10 10 2021 497 \$30,000 Replace retaining wall and install new 7x3m swimming 30 Jarrah Court KELSO pool and barrier 2021 577 \$906,422 Demolition of Existing Dwelling House, Construction of Multi 169 Stewart Street BATHURST 10 10 2021 619 \$0 Use of existing shed Turondale Road TURONDALE 255 College Road ORTON PARK 18 2021 277 \$350,000 Alterations and additions to existing dwelling 10 2022 11 \$330,000 1. Two storey Dwelling House 2. Three (3) Retaining Walls 87 Bant Street SOUTH BATHURST 10 2022 29 \$406,000 Demolish dwelling and structures and construct new 163 Sydney Road KELSO dwelling and shed 17 2022 \$0 3 Beavis Place LLANARTH 18 2022 62 \$552,590 Demolition of existing & construction of a single storey 19 River Road KELSO 10 10 2022 831 Rivulet Road DURAMANA 68 \$507,400 Single storey dwelling 10 2022 74 95 Lee Street KELSO \$187,000 Silos and associated infrastructure at existing intermodal transport 2020 272 \$20,000 MOD - Construction of garage 5 Delaware Crescent ROBIN HILL 10 10 2022 89 \$665,000 Single storey dwelling with attached garage 343 Wells Access Road WATTLE FLAT 10 2022 93 \$40,000 Three lot subdivision 21 Samuel Way THE LAGOON 2022 115 266 Havannah Street SOUTH BATHURST 10 \$380,500 New single dwelling with two lot subdivision (boundary adjustment) 10 2022 123 4040 O'Connell Road KFLSO \$0 26 Lot Industrial Subdivision (Including One Open Space Lot. Construct 10 2022 124 \$360,000 Demolition, two storey additions and construction of 54 Seymour Street BATHURST detached carport 10 2022 125 \$448,583 Second Rural Dwelling 1729 The Bridle Track BRUINBUN \$0 Three lot residential subdivision (2 existing lots) 2022 98 Piper Street BATHURST 10 131 10 2022 141 \$3,437,090 Warehouse and Service Station 57 Hampden Park Road KELSO 10 2022 153 \$412.500 demolition of dwelling and new single storey dwelling 227 Peel Street BATHURST 2022 10 157 \$800,000 Two storey dwelling with attached garage 121 Hughes Street KELSO 18 2022 64 \$74,823 In ground swimming pool and safety barrier 67 George Thomas Close THE LAGOON 42 Lloyds Road SOUTH BATHURST 10 2022 166 \$48,475 Two lot subdivision, demolition, tree removal and dividing fence 10 2022 168 \$15,000 Use of existing retaining walls 63 Amber Close KELSO 10 2022 176 \$297,300 Second dwelling (Dual Occupancy) 110 Peel Street BATHURST 10 2022 183 \$407,000 Demolition of existing shed, alterations & additions to 96 Evernden Road LLANARTH existing dwell 2022 10 186 \$350,000 demolition, dual occupancy and two lot subdivision 38 Stewart Street BATHURST 2022 Brocks Skyline MOUNT PANORAMA 10 191 \$30,000 Satellite Dish with associated infrastructure. 10 2019 399 Sydney Road KELSO \$0 MOD - 16 Lot Commercial Subdivision (Including 1 Open Space/Drainage L 10 2021 429 \$1,155,000 Six two bedroom units & six lot community title subdivision 38A Stanley Street BATHURST 10 2021 75 \$10,000 Intensification of existing mining facility Trunkey Road CALOOLA 300 Mount Haven Way MEADOW FLAT 2022 192 \$30,000 Construction of a shed 10 2022 195 5 Chard Street TRUNKEY CREEK 10 \$150,000 Demolition of existing dwelling & installation of a portable 10 2022 197 \$100,000 single storey dwelling, water tanks and system of sewage Sofala Road WATTLE FLAT managemnt. 10 2022 199 \$0 Two lot boundary adjustment 345 Yetholme Drive YETHOLME 10 2022 202 \$15,756 Carport 9 Bathurst Street PERTHVILLE 10 2022 204 \$170,000 Alterations and additions of existing dwelling 180 Piper Street BATHURST 10 2022 205 \$650,000 Construction of single storey dwelling and detached shed 299 Mount Haven Way MEADOW FLAT 10 2022 207 \$498,300 Two storey dwelling, detached carport & 2 lot residential 263 Lambert Street BATHURST subdivision

10

2022

208

\$8,000,000 Specialised Retail Premises & signage

6 Ingersole Drive KELSO

### DA's Pending



Printed: 7/07/2022 2:42:43PM Year Value Description Address Type No \$300,000 Two storey detached habitable rooms 25 Ridgeview Close WHITE ROCK 10 2022 211 10 2022 216 \$60,000 secondary dwelling 164 Howards Drive MOUNT RANKIN 2022 \$257,841 single storey dwelling 1118 Rockley Road FOSTERS VALLEY 10 219 2022 220 10 \$115,000 Additions to Existing Industrial Building (Washbay) 9 Michigan Road KELSO 10 2021 419 \$0 modification to 2 lot subdivision 82 Hodges Road BRUINBUN 10 2022 226 \$808,245 Demolition of existing dwelling and construction of new 195 Burges Road CALOOLA dwelling 2022 228 135 Durham Street BATHURST 10 \$2,656,500 6 two storey dwellings, 8 lot strata subdivision, 1 tree 10 2022 231 \$416,000 Two storey dual occupancy 13 Bolton Street KELSO 10 2022 236 \$329,000 Secondary dwelling 141 Mount Rankin Road MOUNT RANKIN 2022 237 \$5,000 Additions and alterations to dwelling 411 Yetholme Drive YETHOLME 10 10 2022 239 \$4,000 Change of use to piercing studio and internal fitout 141 George Street BATHURST 240 8 Princes Street BATHURST 2022 10 \$220,000 Two storey addition and alterations to existing single storey dwelling 10 2022 241 \$600,000 demolition of existing dwelling and construction of new 379 Eleven Mile Drive EGLINTON dwellina 10 2022 243 \$729,245 Emergency Services Facility (NSW Rural Fire Shed) Porters Lane YETHOLME 2022 12 Sunbright Road KELSO 18 99 \$36,000 inground swimming pool with safety barrier 2022 246 3 Poplar Place KELSO 10 \$0 22 lot subdivision and 1 residual lot, roads and infrastructure 2022 248 \$10,000 Construction of Shed 3453 Limekilns Road WATTLE FLAT 10 18 2022 100 \$53,239 inground swimming pool with safety barrier 24 Cheviot Drive KELSO 10 2022 251 \$0 2 Lot subdivision 50 Busby Street SOUTH BATHURST 2022 252 10 \$150,000 Subdivision of land from existing council land, purchased Toronto Street KELSO from 1/270A Havannah Street SOUTH BATHURST 10 2022 253 \$0 Alterations & additions to existing dwelling, front fence and 254 10 2022 \$400,000 proposel to sub-divide and dual occupancy 55 Hamilton Street FGI INTON 10 2022 255 \$650,000 Construction of a drawing & writing studio 52 Bowen Street HILL END 2022 256 10 \$180,200 secondary dwelling 95 Blue Ridge Drive WHITE ROCK 10 2022 259 Laffing Waters Lane KELSO \$850,000 Stables complex (farm building), tree removal & associated earthworks 10 2022 260 \$825,000 Construction of four industrial sheds 39 Vale Road SOUTH BATHURST 262 13 Cain Drive KELSO 10 2022 \$14,500 1. Inground swimming pool and safety barrier2. Retaining 10 2022 264 \$526,000 Single storey dwelling and detached garage/shed 168 Saint Anthonys Creek Road GLANMIRE 2022 265 26 Locke Street RAGLAN 10 \$450,000 Demolition of sheds, dual occupancy (2nd dwelling) & 2 lot subdivision 2022 266 6 Toronto Street KELSO 10 \$75,000 2 x shipping containers converted into office space 2022 268 19A Alexander Street FGI INTON 10 \$35,892 Carport 2012 547 \$0 MOD - 3 x 2 bedroom units and 4 lot residential subdivision 38 Vittoria Street WEST BATHURST 10 10 2022 270 \$68,000 Change of use to a tyre business, fitting, sales and vehicle 65 George Street BATHURST repairs 10 2022 272 \$70,000 Second storey addition to commercial premises 15 Bradwardine Road ROBIN HILL 2022 105 18 \$2,462,070 10 x light industrial units 53 Hampden Park Road KELSO 2022 274 10 \$99,000 detached habitable space, office premises 165 Bentinck Street BATHURST 10 2022 275 \$0 Demolition of Stony Creek Bridge & Eusdale Creek Bridge 22 Gemalla Scout Camp Road GEMALLA 2022 70 George Thomas Close THE LAGOON 18 106 \$634,000 Construction of a single storey dwelling with attached garage and shed 10 2021 136 \$145,365 MOD - alterations and additions to hotel 234 Gilmour Street KELSO 276 2022 \$510,000 Single storey dwelling with attached garage 6 Appledore Drive KELSO 10 10 2022 277 \$19,000 shed with toilet facility 5 Newlands Crescent KELSO 241 26 Sunbright Road KELSO 10 2021 \$0 MOD - retaining wall 2022 278 \$200,000 additions and alterations to exisitng dwelling 28 Rose Street SOUTH BATHURST 10 10 2022 280 \$0 Secondary dwelling, associated earthworks and retaining 56 Halfpenny Drive KELSO 10 2022 281 \$0 12 lot strata subdivision 41 Hampden Park Road KELSO 10 2022 283 \$269,800 pickled olive and olive oil production facility 661 White Rock Road WHITE ROCK 2022 284 117 Samuel Way THE LAGOON 10 \$95,000 additions & alterations to dwelling, retaining wall, deck & lap 2022 285 1583 Mid Western Highway EVANS PLAINS 10 \$150,000 Two bedroom short stay tourist accomodation

Authority Page 2 of 3

### DA's Pending



LIVE

Printed: 7/07/2022 2:42:43PM Type Year Value Description Address No 311 Eleven Mile Drive EGLINTON 2022 286 \$1,210,000 Demolition of existing dwelling, construction of two dwellings 2022 10 287 \$0 2 lot subdivision Adrienne Street RAGLAN 2022 11 Coates Drive KELSO 18 118 \$66,700 Installation of an inground swimming pool with safety barrier 2022 120 \$340,000 single storey dwelling with attached garage 5 Lyon Close KELSO 18 10 2021 560 1673 Freemantle Road WATTON \$15,135,863 MOD - Intensive plant agriculture (medicinal cannabis), inclusive of 2021 433 \$929,500 MOD - sex services premises 8 Kirkcaldy Street SOUTH BATHURST 10 10 2022 288 \$10,000 additions & alterations to commercial premises -110 William Street BATHURST re-cladding, painting 10 2022 289 \$25,000 Garage 9 Lord Street BATHURST 10 2022 290 \$21,800 patio cover 14 Wellington Street EGLINTON 12 Arthur Street TRUNKEY CREEK 2022 291 \$30,000 Satellite Dish and infrastructure 10 2021 2 Budden Street ROCKLEY 544 \$675,000 MOD - alterations and additions to the Rockley Hotel 10 10 2022 293 \$750,000 single storey dwelling with attached garage 1552 Freemantle Road WATTON 10 2022 294 \$40,000 Alterations and additions to exisitng dwelling 25 Colville Street WINDRADYNE 10 2022 295 \$28,000 demolition of existing structures 3 Poplar Place KELSO 2022 24 Gestingthorpe Road PERTHVILLE 10 296 \$550,000 secondary dwelling 2022 297 \$150,000 Alteration and additions to existing dwelling 51 Logan Street EGLINTON 10 10 2022 298 \$47.221 Installation of a colorbond shed 42 Sunbright Road KELSO 2022 50 Whyalla Circuit KELSO 10 299 \$209,000 Change of use to agricultural produce industry 10 2022 300 \$18,430 shed 8 Carrol Avenue EGLINTON 10 2022 301 \$714,000 Construct new dwelling and secondary dwelling 67 Commonwealth Street WEST BATHURST 2022 302 10 \$10,000 Construction of a carport 21 Freeman Circuit LLANARTH 10 2022 303 107 Blue Ridge Drive WHITE ROCK \$120,000 Habitable room, temporary dwelling, shed, water tanks\_shipping containe 18 2022 123 \$400,000 Construction of a single storey dwelling with attached 25 Basalt Way KELSO 10 2022 304 70 George Thomas Close THE LAGOON \$0 Single dwelling with attached garage\_new detached colourbond 8 Wolery Close KELSO 10 2022 305 \$15,000 Construction of a greenhouse 2022 \$0 Two lot rural subdivision 29 Whalans Lane EGLINTON 10 306 10 2022 307 \$20,000 Construction of a shed and alterations to a fence 49 Marsden Lane KELSO 2022 308 12 Carrol Avenue EGLINTON 10 \$628,990 Dual occupancy and subdivision 2021 501 \$500,000 MOD Partial demolition, additions and alterations to existing 170 Havannah Street BATHURST 10 dwelling 2022 124 15 Links Place ROBIN HILL 18 \$65,300 Installation of an inground swimming pool and safety barrier 2022 309 48 Durham Street BATHURST 10 \$10,000 There is be a 8 metre by 8 metre community sign located on the front 10 2022 310 185 Havannah Street BATHURST \$576,000 CONSTRUCT TWO x 2-BEDROOM / DOUBLE STOREY

Authority Page 3 of 3

RESIDENCES AT REAR OF



Printed: 4/07/2022 1:56	6:07PM								
Officer	App Type	Year	No	Description	Address	Application Date	Days Open		Reason
/Irs F Coles	10	2019	399	MOD - 16 Lot Commercial Subdivision (Including 1 Open	Sydney Road KELSO	3/05/2022	63		Awaiting comments from NRAR
Ir D A Nelson	10	2020	272	MOD - Construction of garage	5 Delaware Crescent ROBIN HILL	22/02/2022	133	131	Waiting on additional information
//s C L Fulthorpe	10	2020	314	Change of use from garage to habitable rooms	1336 Limekilns Road CLEAR CREEK	8/09/2020	665	658	Waiting for additional information
Иr D J Dwyer	10	2021	75	Intensification of existing mining facility	Trunkey Road CALOOLA	24/02/2021	496	470	TfNSW request for additional information
1r D J Dwyer	10	2021	293	Demolition of existing dwelling and construction of 3 units	124 Bentinck Street BATHURST	24/06/2021	376	335	Amended plans requested
1r L J Wilde	10	2021	302	Commercial development - Retail	278 Lambert Street WEST BATHURST	29/06/2021	371		Under assessment
/Irs F Coles	10	2021	312	Proposed Function Centre, Primitive Camping Ground etc	1932 The Bridle Track BRUINBUN	30/06/2021	370	329	Awaiting further information
Irs F Coles	10	2021	338	Eleven lot subdivision and associated works	Corporation Avenue ROBIN HILL	14/07/2021	356	317	Awaiting further information
ls T McIntosh	10	2021	429	Six two bedroom units & six lot community title subdivision	38A Stanley Street BATHURST	24/08/2021	315		Waiting for NRAR comments
Is C L Fulthorpe	10	2021	497	Replace retaining wall and install new 7x3m swimming	30 Jarrah Court KELSO	8/11/2021	239	227	Last additional information request sent
Irs F Coles	10	2021	577	Demolish existing house, construct Multi dwellings	169 Stewart Street BATHURST	24/11/2021	223	193	Awaiting further information
Irs F Coles	10	2021	587	Construction of a deck	359 Howick Street BATHURST	29/11/2021	218		Under assessment
Is T McIntosh	10	2021	619	Use of existing shed	Turondale Road TURONDALE	9/02/2022	146		Awaiting amended plans
Irs F Coles	10	2022	11	Two storey dwelling and retaining walls	87 Bant Street SOUTH BATHURST	4/02/2022	151	72	Awaiting further information
Irs F Coles	10	2022	29	Demolish dwelling and structures and construct new	163 Sydney Road KELSO	7/02/2022	148	118	Awaiting further information
1r L J Wilde	10	2022	62	Demolish existing & construct new single storey dwelling	19 River Road KELSO	14/02/2022	141		Under assessment
Irs F Coles	10	2022	74	Silos and associated infrastructure at existing	95 Lee Street KELSO	16/02/2022	139	104	Awaiting comments from TfNSW
Is T McIntosh	10	2022	89	Single storey dwelling with attached garage	343 Wells Access Road WATTLE FLAT	24/02/2022	131		Awaiting additional info
Irs F Coles	10	2022	93	Three lot subdivision	21 Samuel Way THE LAGOON	23/02/2022	132	103	Awaiting further information
1r L J Wilde	10	2022	115	New single dwelling with two lot subdivision	266 Havannah Street SOUTH BATHURST	9/03/2022	118		Awaiting additional info
Irs F Coles	10	2022	123	26 lot industrial subdivision (incl one open space lot)	4040 O'Connell Road KELSO	23/03/2022	104		Awaiting further information
Irs L M Griffiths	10	2022	124	Demolition, two storey additions and detached carport	54 Seymour Street BATHURST	17/03/2022	110		Waiting on additional owners consent
ls T McIntosh	10	2022	125	Second rural dwelling	1729 The Bridle Track BRUINBUN	17/03/2022	110		Waiting for RFS comments
Irs F Coles	10	2022	131	Three lot residential subdivision (2 existing lots)	98 Piper Street BATHURST	17/03/2022	110		Awaiting comments from Essential Energy
Irs F Coles	10	2022	141	Warehouse and service station	57 Hampden Park Road KELSO	29/04/2022	67		Awaiting further information
Irs L M Griffiths	10	2022	149	Partial demolition and 2 storey additions to dwelling	162 Piper Street BATHURST	29/03/2022	98		Under assessment
Ir L J Wilde	10	2022	153	Demolition of dwelling and new single storey dwelling	227 Peel Street BATHURST	1/04/2022	95		Report to 20 July Council meeting
/Ir D J Dwyer	10	2022	166	Two lot subdivision, demolition, tree removal and fence	42 Lloyds Road SOUTH BATHURST	6/04/2022	90	49	Amended plans and information requested
Ir G R Press	10	2022	168	Use of existing retaining walls	63 Amber Close KELSO	6/05/2022	60		Awaiting additional information
Ir L J Wilde	10	2022	176	Second dwelling (Dual Occupancy)	110 Peel Street BATHURST	12/04/2022	84	49	Awaiting additional information
r L J Wilde	10	2022	178	Construction of a shed	292 Keppel Street WEST BATHURST	21/04/2022	75		Under assessment
Ir G R Press	10	2022	183	Demolish shed, alterations & additions to dwelling	96 Evernden Road LLANARTH	20/04/2022	76		Awaiting additional information
1r L J Wilde	10	2022	186	Demolition, dual occupancy and two lot subdivision	38 Stewart Street BATHURST	28/04/2022	68		Under assessment
⁄lr L J Wilde	10	2022	191	Satellite Dish with associated infrastructure	Brocks Skyline MOUNT PANORAMA	12/05/2022	54		Notification to close 16 July 2022
/Ir L J Wilde	10	2022	192	Construction of a shed	300 Mount Haven Way MEADOW FLAT	23/05/2022	43		Awaiting additional information

Authority Page 1 of 2

### Attachment 8.2.2.4

Ms T McIntosh	10	2022	193	Subdivision (boundary adjustment)	491 Gormans Hill Road GORMANS HILL	2/05/2022	64	43	Under assessment
Mr L J Wilde	10	2022	194	Demolition of existing dwelling	305 Durham Street WEST BATHURST	2/05/2022	64		Under assessment
Mr L J Wilde	10	2022	197	Single storey dwelling, water tanks and septic	Sofala Road WATTLE FLAT	10/05/2022	56		Awaiting additional information
Mr D J Dwyer	10	2022	199	Two lot boundary adjustment	345 Yetholme Drive YETHOLME	9/05/2022	57	2	Waiting on comments from RFS
Mrs L M Griffiths	10	2022	202	Carport	9 Bathurst Street PERTHVILLE	17/05/2022	49		Under assessment
Ms T McIntosh	10	2022	204	Alterations and additions of existing dwelling	180 Piper Street BATHURST	10/05/2022	56	38	Waiting for amended plans
Mrs F Coles	10	2022	205	Construct single storey dwelling and detached shed	299 Mount Haven Way MEADOW FLAT	11/05/2022	55	24	Awaiting comments from NSW DPIE
Ms T McIntosh	10	2022	207	Two storey dwelling, carport & 2 lot subdivision	263 Lambert Street BATHURST	12/05/2022	54	25	Report to 20 July Council meeting
Mr D J Dwyer	10	2022	208	Specialised retail premises & signage	Sydney Road KELSO	11/05/2022	55	41	Waiting on comments from NRAR
Mr D J Dwyer	10	2022	209	Seven lot residential subdivision, earthworks	2 Prince Street PERTHVILLE	12/05/2022	54		Under assessment
Ms T McIntosh	10	2022	216	Secondary dwelling	164 Howards Drive MOUNT RANKIN	17/05/2022	49	45	Awaiting amended plans
Mr L J Wilde	10	2022	219	Single storey dwelling	1118 Rockley Road FOSTERS VALLEY	17/05/2022	49		Awaiting RFS CNR
Mrs F Coles	10	2022	220	Extension of shed with awning and construct wash bay	9 Michigan Road KELSO	17/05/2022	49		Awaiting further information

Authority Page 2 of 2

### DA's Approved Under Clause 4.6

Attachment 8.2.2.5 2.2.5

BATHURST REGIONAL COUNCIL

1/06/2022 - 30/06/2022

LIVE

Printed: 7/07/2022 2	2:43:17PN	M							D 1 101 1 1 T		E		5.
Council DA <sub>Lot</sub> DP		No	Street Name	Suburb	Postcode	Category	Environmental Plannina Instrument		Development Standard To Be Varied	Justification Of Variation	Extent Of Variation	Concurring Authority	Date Determined
2022/0227 12 128	32547	18	Appledore Dr	KELSO	2795	Residential	Bathurst Regional Local Environmental Plan	R5 Large Lot Residentia	I Clause 4.3 Height of Buildings	Due to the size of the lot with a wide frontage, the house is in proportion to the size of the land. The roof pitch on the dwelling is a standard 22.5 degree which is considered an appropriate roof pitch. Council has previously approved variation similar	8%	COUNCIL	23/06/2022





Bathurst Regional Council
PMB 17
158 Russell Street
BATHURST NSW 2795
Telephone: 02 6333 6111
Fax: 02 6331 7211
Email: council@bathurst.nsw.gov.au

### Important Notice!

Important Notice!

This map is not a precise survey document. Accurate locations can only be determined by a survey on the ground. 
This information has been prepared for Councis internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose (whether the purpose has been notified to Council or not). While every care is taken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warranties about its accuracy, retability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation, liability in neigligence) for all expenses, losses, damages (including indirect or consequential damage), and costs which you might incur as a result of the damage (including indirect or consequential damage), and costs which you might incur as a result of the damage (including indirect or consequential damage), and costs which you might incur as a result of the damage (including indirect or consequential damage), and costs which you might incur as a result of the damage (including indirect or consequential damage), and costs which you might incur as a result of the damage (including indirect or consequential damage), and costs which you might incur as a result of the damage (including indirect or consequential damage), and cost which you might incur as a result of the damage (including indirect or consequential damage), and cost which you might incur as a result of the damage (including indirect or consequential damage), and cost which you might incur as a result of the damage (including indirect or consequential damage), and cost which you might incur as a result of the damage (including indirect or consequential damage), and cost which you might incur as a result of the damage (including including incl



Lewis Wilde Drawn By:

> Date: 29/06/2022

Projection: GDA94 / MGA zone 55

Map Scale: 1:1500 @ A4

### Contents

DACC 08

Cover Page DACC 01

DACC 02 Existing Site/Roof Plan

DACC 03 Proposed Site/Roof Plan

Sections AA & BB

DACC 04 Existing Floor Plan

DACC 05 Proposed Floor Plan

DACC 06 Elevations 1 & 2

DACC 07 Elevations 3 & 4

DACC 09 Specification



M 0424 156 450 BRETT@BMDD.COM.AU







26/03/22 08/03/22 03/03/22 01/02/22 26/10/21 15/10/21 11/08/21 Date

ISSUED FOR APPROVAL Amended door Issued for final comment Issued for comment Client requested amendment Client requested amendment ISSUED FOR APPROVAL Amendment



P 02 6332 5885 M 0424 156 450

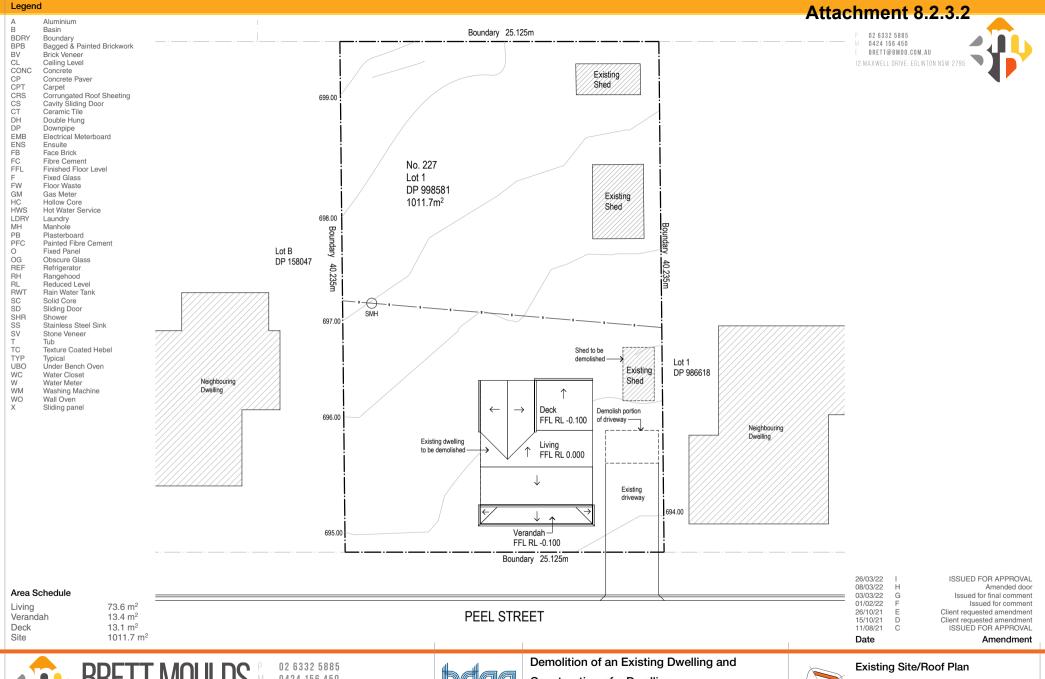


Demolition of an Existing Dwelling and Construction of a Dwelling Michael & Tina Roberts 227 Peel Street BATHURST NSW



Cover Page DACC 01

Date: 26/03/22 Project: BMD202165





0424 156 450

NU 12 MAXWELL DRIVE. EGLINTON NSW 2795



Construction of a Dwelling

Michael & Tina Roberts 227 Peel Street BATHURST NSW

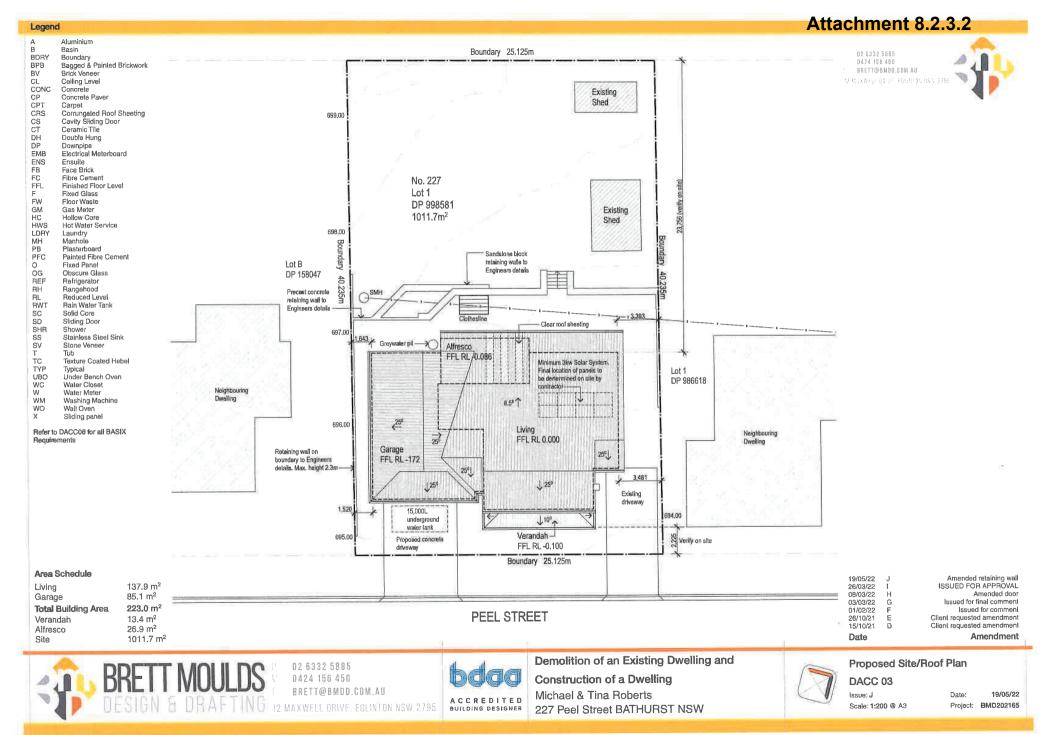


# DACC 02

Issue: I

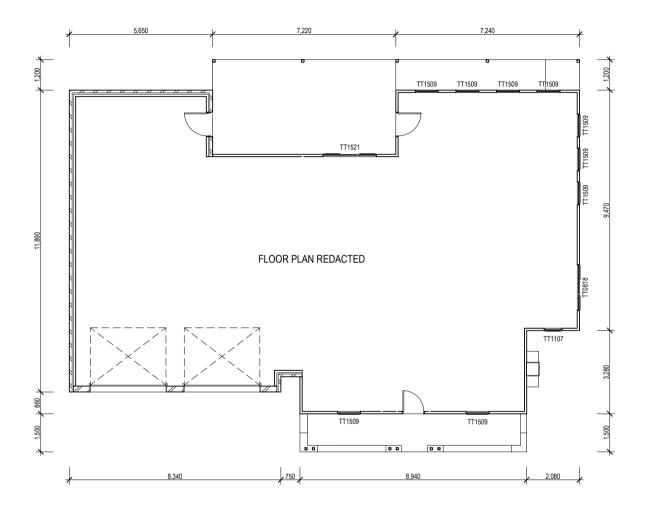
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Date: 26/03/22 BMD202165 Project:



### Attachment 8.2.3.2

P 02 6332 5885 M 0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795



26/03/22	- 1	ISSUED FOR APPROVAL
08/03/22	Н	Amended door
03/03/22	G	Issued for final comment
01/02/22	F	Issued for comment
26/10/21	Ε	Client requested amendment
15/10/21	D	Client requested amendment
11/08/21	С	ISSUED FOR APPROVAL
Date		Amendment





Demolition of an Existing Dwelling and Construction of a Dwelling

Michael & Tina Roberts 227 Peel Street BATHURST NSW



Proposed Floor Plan

DACC 04

Issue: I Scale: 1:100 @ A3 Project: BMD202165

26/03/22

Attachment 8.2.3.2 Legend

> 02 6332 5885 0424 156 450 DRETT@BWDD.COM.AU

Aluminium Basin BDRY Boundary Bagged & Painted Brickwork BPB

BV Brick Veneer CL Ceiling Level

Concrete CP Concrete Paver

EMB

CPT Carpet Corrungated Roof Sheeting

Electrical Meterboard

CRS CS CT DH DP Cavity Sliding Door Ceramic Tile Double Hung Downpipe

ENS FB FC FFL Ensuite Face Brick Fibre Cement Finished Floor Level

Fixed Glass FW Floor Waste GM Gas Meter

HC Hollow Core HWS Hot Water Service LDRY Laundry МН Manhole

PB Plasterboard PFC Painted Fibre Cement 0 Fixed Panet OG Obscure Glass

REF Refrigerator RH Rangehood RL Reduced Level RWT Rain Water Tank SC Solid Core SD Sliding Door

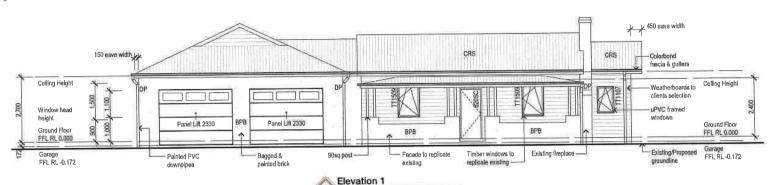
SHR Shower SS Stainless Steel Sink sv Stone Veneer

TC Texture Coated Hebel

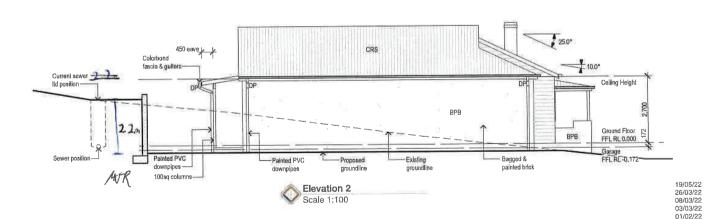
TYP Typical UBO Under Bench Oven WC Water Closet

Water Meter WM Washing Machine WO Wall Oven Stiding panel

Refer to DACC08 for all BASIX Requirements



Scale 1:100



Amended door Issued for final comment Issued for comment Client requested amendment Client requested amendment Amendment

Amended retaining wall

ISSUED FOR APPROVAL

02 6332 5885 0424 156 450



Demolition of an Existing Dwelling and Construction of a Dwelling Michael & Tina Roberts 227 Peel Street BATHURST NSW

Elevations 1 & 2

26/10/21

15/10/21

Date

DACC 05

Issue: J Scale: 1:100 @ A3

19/05/22 Date: Project: BMD202165

Legend

Attachment 8.2.3.2

0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795

R Basin **BDRY** Boundary

BPB Bagged & Painted Brickwork

BV Brick Veneer CL Ceiling Level CONC Concrete CP Concrete Paver CPT Carpet

Aluminium

CRS Corrungated Roof Sheeting Cavity Sliding Door

CS CT Ceramic Tile DH Double Hung DP Downpipe EMB Electrical Meterboard

ENS Ensuite FB Face Brick FC Fibre Cement

FFL Finished Floor Level Fixed Glass FW Floor Waste GM Gas Meter

HC Hollow Core HWS Hot Water Service LDRY Laundry MH Manhole PB Plasterboard PFC Painted Fibre Cement

Ω Fixed Panel OG Obscure Glass REF Refrigerator

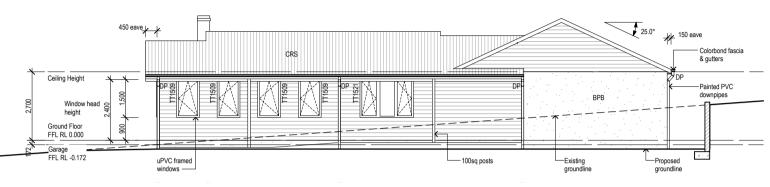
RH Rangehood Reduced Level RWT Rain Water Tank SC Solid Core SD Sliding Door SHR Shower

SS Stainless Steel Sink SV Stone Veneer Tub TC Texture Coated Hebel TYP Typical

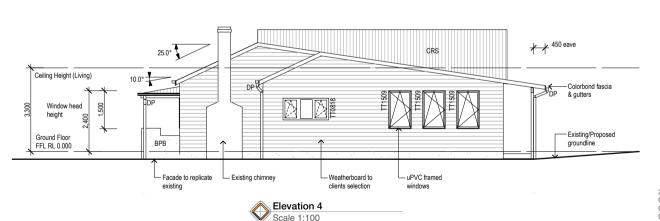
UBO Under Bench Oven WC Water Closet W Water Meter WM Washing Machine WO Wall Oven

Sliding panel Refer to DACC08 for all BASIX

Requirements











ISSUED FOR APPROVAL 26/03/22 08/03/22 Amended door 03/03/22 Issued for final comment G 01/02/22 Issued for comment 26/10/21 Client requested amendment 15/10/21 Client requested amendment 11/08/21 ISSUED FOR APPROVAL Date Amendment



02 6332 5885 0424 156 450

ACCREDITED BUILDING DESIGNER

#### Demolition of an Existing Dwelling and Construction of a Dwelling

Michael & Tina Roberts 227 Peel Street BATHURST NSW



## Elevations 3 & 4

DACC 06 Issue: I

Date: Scale: 1:100 @ A3 BMD202165 Project:

26/03/22

Legend

**BDRY** 

Attachment 8.2.3.2

0424 156 450 BRETT@BMDD.COM.AU



BPB Bagged & Painted Brickwork BV Brick Veneer CL Ceiling Level CONC Concrete

Aluminium Basin

Boundary

CP Concrete Paver CPT Carpet

CRS Corrungated Roof Sheeting

CS CT Cavity Sliding Door Ceramic Tile DH Double Hung DP Downpipe

EMB Electrical Meterboard ENS Ensuite

FB Face Brick FC Fibre Cement FFL Finished Floor Level Fixed Glass

FW Floor Waste GM Gas Meter HC Hollow Core HWS Hot Water Service

LDRY Laundry MH Manhole PB Plasterboard PFC Painted Fibre Cement Ω

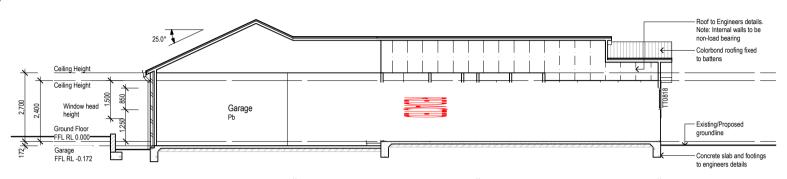
Fixed Panel OG Obscure Glass REF Refrigerator RH Rangehood Reduced Level RWT Rain Water Tank SC Solid Core SD Sliding Door

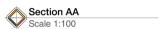
SHR Shower SS Stainless Steel Sink Stone Veneer Tub

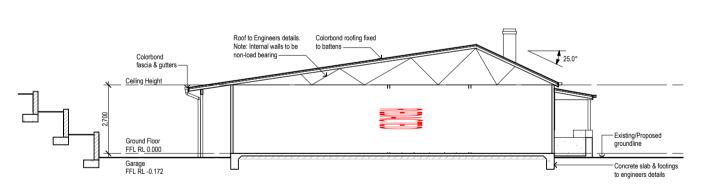
TC Texture Coated Hebel TYP Typical

UBO Under Bench Oven WC Water Closet W Water Meter WM Washing Machine WO Wall Oven Sliding panel

Refer to DACC08 for all BASIX Requirements













∆mendment		Date
ISSUED FOR APPROVAL	С	11/08/21
Client requested amendment	D	15/10/21
Client requested amendment	Ε	26/10/21
Issued for comment	F	01/02/22
Issued for final comment	G	03/03/22
Amended door	Н	08/03/22
ISSUED FOR APPROVAL	- 1	26/03/22



P 02 6332 5885 M 0424 156 450



Demolition of an Existing Dwelling and Construction of a Dwelling

Michael & Tina Roberts 227 Peel Street BATHURST NSW



Sections AA & BB

DACC 07

Issue: I Scale: 1:100 @ A3

Date: 26/03/22 BMD202165 Project:

#### General

- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code Volume 2, Building Code of Australia Class 1 and Class 10 Buildings

#### Statutory Requirements

- All work to be carried out in accordance with the NCC, conditions imposed by the local authority and the commitments outlined in the relevant BASIX Certificate or NCC Part J Assessment. - The builder is to comply with the requirements of all legally constituted authorities having
- jurisdiction over the building works and the provisions of the Home Building ACT.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner. On completion the builder shall remove the amenity.

#### **BCA Requirements**

and Part 3.2.2 of the NCC.

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of the NCC. - All excavations and underfloor fill shall be in accordance with the engineer's details
- Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.4 of the NCC
- Provide adequate cross ventilation to space under suspended ground floors in
- accordance with Part 3.4.1 of the NCC. Sub Floor access to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.3 of the NCC.
- All timber framework shall comply with Part 3.4.3 of the NCC.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection. Steel framing shall be in accordance with manufacturer's recommendation and Part 3.4.2 of the NCC.
- · All roof cladding shall comply with Part 3.5 of the NCC and be installed in accordance with manufacturer's recommendations
- Gutters and downpipes shall be in accordance with Part 3.5.3 of the NCC.
- Sarking shall comply with Part 3.3.4 of the NCC.
- Flashings shall comply with Part 3.3.4 of the NCC.
- · Clay brickwork shall comply with Part 3.3 of the NCC.
- Concrete blockwork shall be constructed in accordance with Part 3.3 of the NCC.
- · Autoclaved aerated concrete products shall be installed in accordance with manufacturer's product specification.
- Damp proof courses shall comply with Part 3.3.4 of the NCC.
- Cavity ventilation must be provided in accordance with Part 3.3.4 of the NCC.
- Mortar shall comply with Part 3.3.1 of the NCC.
- Masonry accessories shall comply with Part 3.3.3 of the NCC. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of the NCC and protected from corrosion in accordance Part 3.4.4 of the NCC.
- Engaged piers in single leaf masonry walls shall be constructed in accordance with Table 9.2 Pier spacings for one way spanning walls, of Australian Standard AS4773.1-2010 Masonry in small buildings. Refer to the table extract below for details.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of the NCC. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in schedule of works.
- Windows and doors shall be manufactured and installed in accordance with AS2047.
- All glazing shall comply with Part 3.6 of the NCC.
- Fire hazard properties of used materials shall comply with Part 3.7.1.2 of the NCC.
- Sanitary compartments shall be constructed in accordance with Part 3.8.3 of the NCC.
- All pliable building membranes in external walls shall comply with 3.8.7.2 of the NCC Exhaust systems and roof ventilation shall comply with Part 3.8.7.3 of the NCC.
- Stair and ramp construction shall be in accordance with Part 3.9.1 of the NCC.
- Balustrades shall be in accordance with Part 3.9.2 of the NCC
- Fireplace construction shall comply with Part 3.10.7 of the NCC.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed plumber.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with Part 3.7.5 of the NCC.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.

- Building is to be sealed to the requirements of Part 3.12.3 of the NCC, including chimneys, flues. roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of the NCC, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.
- Mechanical ventilation is to be installed in accordance with Part 3.8.5 of the NCC.
- Inward swinging WC doors are to be fitted with lift off hinges to comply with Part 3.8.3.3 of the NCC if indicated on plans.

	Table 9.2 (Extract)									
Pier Spacings for one-way spanning walls  Wall Pier Pier Spacings for wind class (mm)										
Thickness (mm)	Thickness (mm)	Width (mm)	N1	N2	N2 with tie down (see note 1)	N3 with tie down (see note 1)				
Wall Height 2400mm										
110 110 110 110	230 230 350 350	230 350 230 350	1320 2040 3240 4920	840 1320 2160 3360	4200 6360 23640 36000	1200 1920 8400 9600				
Wall Heigh	t 2700mm									
110 110 110 110	230 230 350 350	230 350 230 350	960 1440 2520 3840	600 960 1680 2520	2160 3360 13440 20640	720 1080 5400 8160				
Wall Heigh	t 3000mm									
110 110 110 110	230 230 350 350	230 350 230 350	720 1080 1920 3000	480 720 1320 2040	1320 2040 8760 13320	3600 5520				

#### **BASIX/NatHERS Requirements**

#### Water Commitments

- A minimum 7.000L water tank to be installed
- All roof area to be connected to the water tank
- All showerheads to have a minimum of a 3 star (>7.5 but <=9 L/min) rating
- All toilets to have a minimum of a 3 star rating
- Kitchen and Basin taps to have a minimum of a 3 star rating
- A greywater system to be installed
- At least one garden tap to be connected to the greywater system
- At least one outside tap, all toilets and cold water washing machine tap to be connected to

#### Thermal Commitments

- Medium colour roof and R1.3 anticon
- R6.0 ceiling insulation (including garage)
- R2.7 and vapour permeable sarking to external walls (except garage)
- R2.7 to internal walls shared with garage and bathroom / laundry
- Raft slab with R1.1 Kingspan under slab insulation
- Double glazed UPVC windows throughout ( Uval 2.00 SHGC 0.31 )
- Sealed downlights with continuous insulation coverage
- Sealed exhaust fans to bathrooms, ducted rangehood

#### **Energy Commitments**

- Cooling in living room to be single phase air-conditioning with a minimum rating EER<2.5
- Heating in living room to be single phase air-conditioning with a minimum rating EER<2.5
- Bathroom to have an individual fan, not ducted with a manual switch
- Kitchen to have an individual fan, ducted to facade or roof with a manual switch - An electric cooktop and electric oven to be installed

ACCREDITED

BUILDING DESIGNER

- A minimum 3kW solar system to be installed
- An electric coocktop and electric oven to be installed
- An external clothesline to be installed





#### ISSUED FOR APPROVAL 26/03/22 08/03/22 Amended door 03/03/22 Issued for final comment 01/02/22 Issued for comment

Attachment 8.2.3.2

BRETT@BMDD.COM.AU

12 MAXWELL DRIVE, EGLINTON NSW 2795

M 0424 156 450

26/10/21 Client requested amendment 15/10/21 Client requested amendment 11/08/21 ISSUED FOR APPROVAL

Date Amendment



Specification DACC 08

Issue: I Scale: NTS @ A3 Date 26/03/22 Proiect: BMD202165

AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments

DESIGN & DRAFTING 12 MAXWELL DRIVE. EGLINTON NSW 2795



Piers with tie-downs shall include one full height N10. N12 or M10 reinforcing bar tied to the footing and positively attached to the top plate (in accordance with Clause 6.7.2)

2. Thi stable applies to walls with no openings. For plers at the edge of mojor openings, such as paragraph of the plate of 7.2.



## Statement of Heritage Impact

Issue B

8thth March 2022

Proposed Dwelling 227 Peel Street, Bathurst NSW 2795

For

Michael and Tina Roberts

Authored by

**Brett Moulds Design & Drafting Pty Ltd** 



P 02 6332 5885 M 0424 156 450 E BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795

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#### 1. Introduction

Brett Moulds Design & Drafting Pty Ltd has been engaged by Michael and Tina Roberts to prepare the following Heritage Impact Statement. The proposal is for the demolition of an existing dwelling and the construction of a new dwelling. The subject site is located within the local Heritage Conservation Area.

#### 2. Site Location

The subject land is known as Lot 1 in DP 998581, No.227 Peel Street, Bathurst and has a site area of 1011.7 square metres. The site is located on the north-west side of Peel Street between Piper Street and Lambert Street.



Figure 1. Site Locality



#### 3. Description and Context

The existing dwelling is a weatherboard clad structure with a gabled corrugated metal roof. The front verandah features a low height cement rendered and painted brick wall with painted timber posts. A centrally located entry door is flanked by double hung windows on the Peel Street façade. A brick chimney is located on the right-hand side of the dwelling when viewed from Peel Street. The dwelling sits forward on the site close to the Peel Street boundary line.

The house, known as 227 Peel Street, was built for Thomas Charles Beale in 1878. Mr Beale is listed in the Bathurst and Western Directory for 1886-87 as a commission agent. The assessment books indicate that Mr Beale occupied the house until 1884 and owned it until 1891.

In 1892 the owner is recorded as William Pascoe. It is considered unlikely that Mr Pascoe was living in the house, and that he rented it for income. William Pascoe was the curator of the Bathurst Museum from its date of opening in the 1890's until his death in 1903. Following his death the house passed to his widow, Mary Ann Pascoe.

In June 1929 Mrs Pascoe sold the house to Victor Edwards Strachan, a painter for £325. Mr Strachan had been a tenant in the house. The Bathurst City Council Transfer Register is available at the Historical Society only up to 1970. A search through the register has failed to find an entry indicating another sale of the house. Evidence from the electoral rolls and death notices suggest that the house was owned by the Strachan family until 1995. The 1981 electoral roll lists Spencer Strachan residing in the property.

The records show that Nicholas Read was the first owner of the subject site, having purchased that land in 1854. Nicholas Read was born in 1797 in Dublin, Ireland and is recorded as being a horse shoer and blacksmith. He was sentenced to seven years transportation to Australia.

Nicholas Read went on to become a publican, running the Good Woman Inn from 1843 to 1850, which became known as the Royal Hotel in 1851. In 1849 Nicholas Read built a two



P 02 6332 5885 M 0424 156 450 E BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795

storey Inn in George Street known as the Elephant and Castle. The name changed to the Courthouse Hotel and changed again to the Metropolitan Hotel.

His son, Richard Read, was the publican of the Post Office Hotel from 1900 – 1908 following the death of his wife, Eliza Read, died in 1900. Eliza Read had been the licensee of the Post Office Hotel from 1894. Richard Read was an alderman of Bathurst Council from 1874 – 1883 and was involved in Hunting and Coursing. He sat on the committee of the Bathurst Hunt Club in 1876 and the Bathurst Coursing Club in 1978.

Subdivision of the land occurred around 1878 resulting the sale of the land to Mr Beale in the same year. The house at 227 Peel Street is listed in 1879 as a 'Wooden House with 4 rooms.' Various tenants are listed between 1885 and 1891 during the time of Charles Beale's ownership. In 1887 the property is listed as being a 'House with 5 rooms.'

Various tenants are listed between 1892 and 1910 during the time of William Pascoe's ownership, and between 1910 and 1929 under the ownership of his widow Mary Ann Pascoe. In 1928 the house is listed as being a 'Weatherboard house with 4 rooms and a kitchen, bathroom and laundry'.

Two dwellings listed as Heritage items pursuant to Bathurst Regional Council LEP 2014 near the subject site are 218 Keppel Street and 266 Piper Street. Refer to Figures 8 and 9.





Figure 2. 227 Peel Street



Figure 3. 225 Peel Street





Figure 4. 229 Peel Street

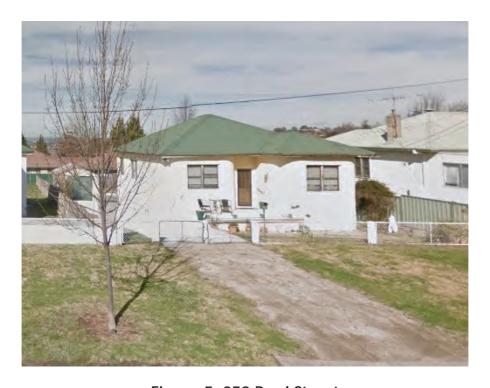


Figure 5. 258 Peel Street



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Figure 6. 260 Peel Street



Figure 7. 252 & 254 Peel Street



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Figure 8. 218 Keppel Street



Figure 9. 266 Piper Street





Figure 10. Rear elevation of 227 Peel Street,



Figure 11. Front corner of 227 Peel Street



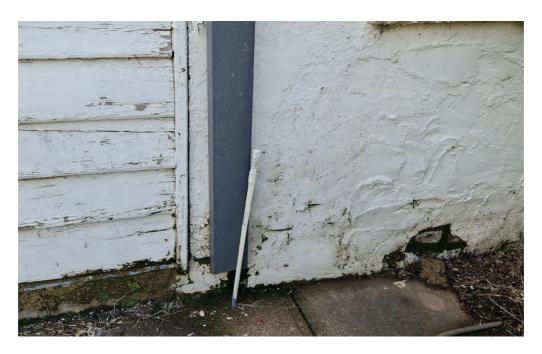


Figure 12. Wall junction of 227 Peel Street



Figure 13. Roof space of 227 Peel Street





Figure 14. Roof of 227 Peel Street



Figure 15. Subfloor of 227 Peel Street



P 02 6332 5885 M 0424 156 450 E Brett@BMDD.COM.AU 12 Maxwell drive, eglinton NSW 2795

### 4. The proposal

The proposal is for alterations and additions to the existing dwelling:

- Demolition of the existing dwelling
- An existing chimney to be retained

The proposed new dwelling replicates the existing front two rooms, verandah and ridgeline of the existing dwelling. When completed the proposed dwelling will have an appearance similar to the existing dwelling, with the remainder of the house extending behind it and a double garage extending towards the side boundary.

Refer to Appendix 1 – DACC Documentation for detailed information of the proposal. The development complies with all relevant requirements as set out in the Bathurst Regional Local Environmental Plan 2014 and the Bathurst Regional Development Control Plan 2014



#### 5. Assessment of Significance

The following assessment of significance has been prepared in accordance with the 'Assessing Heritage Significance' guidelines from the NSW Heritage Manual.

a. An item is important in the course, or pattern, of the local area's cultural or natural history.

The subject dwelling was constructed in 1878 for Thomas Beale. The building is not known to have any specific historical association with the Bathurst community.

b. An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.

The subject dwelling was built for Thomas Beale, the first curator of the Bathurst Museum. The land on which the dwelling sits was once owned by Bathurst hotelier Nicholas Read.

c. An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.

The existing building in not considered to have any significant architectural characteristics.

d. An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.

The building is not known to have an association with any community or cultural group.

e. An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.

The building is not considered to have archaeological potential. However, with reference to Appendix 5 – DCP Map No. 35 Archaeological Sensitive Lands, should items be uncovered during construction phase, the appropriate approved course of action will be followed. Refer to Appendix 2, '7.0 Development of Conservations Policies and '8.0 Conservation Policy'.



f. An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.

It is considered that the subject site is unlikely to possess uncommon, rare or endangered aspects of the local area's culture or natural history. Also refer to 'e' above.

- g. An item is important in demonstrating the principal characteristics of a class of the local area's
  - Cultural or natural places; or
  - Cultural or natural environments

The subject land is not considered to have cultural of natural environment significance.

#### 6. Statement of Significance

The dwelling located at 227 Peel Street was constructed in 1878 for Thomas Beale, the first curator of the Bathurst Museum, on land once owned by Bathurst hotelier Nicholas Read. The dwelling is a weatherboard clad structure with a gabled corrugated metal roof and is not considered to have any significant architectural characteristics.



#### 7. Conclusion

With the above report in mind, we believe that the proposed development will provide a positive outcome for all involved.

We look forward to receiving feedback from Council on any of the issues identified in this report. Should conditions be required to be adopted throughout the planning process, we hope to be able to incorporate them and provide the best possible outcome.

**Yours Sincerely** 

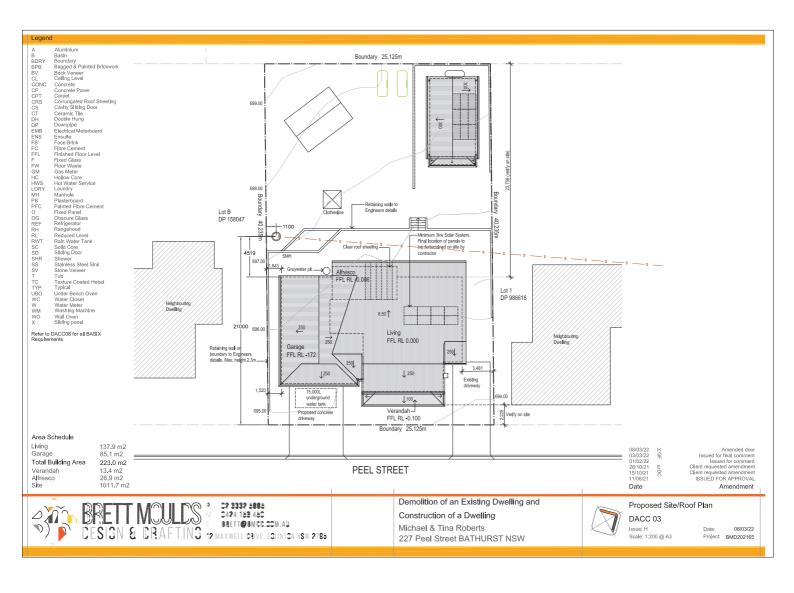
B Mouleh Brett Moulds



## Appendix 1 - DA Documentation



## Appendix 2 - Bathurst Historical Society Report



#### AIRSURV PTY LTD

## Surveyors 54 Nelson Street RAGLAN NSW 2795

Telephone/Fax No: 02 6337 3260 ACN: 130 640 621

Reference: CG09102

Your Reference: DBP:KMC:20090302

12th June, 2009

Ms. M. J. Smith c/- Kenny Spring Solicitors PO Box 149 BATHURST NSW 2795

Dear Sir,

#### RE: SMITH FROM ASPDEN

This survey report has been undertaken as per your instructions and is to be used solely in the matter of Smith from Aspden for Identification purposes only. The report relates to the parcel of land known as Lot 1 in DP 998581 Parish of Bathurst County of Bathurst, being the land comprised in Folio Identifier 1/998581, a copy of which was supplied by Kenny Spring Solicitors, of Bathurst.

Located on Lot 1 in DP 998581 and within its boundaries stands a cement rendered and weatherboard residence with a metal roof in the position as shown on the attached sketch plan.

Also located on Lot 1 in DP 998581 stands an aviary, metal shed and a metal shed with attached brick WC in the positions as shown on the attached sketch plan.

Offsets to walls, eaves and gutters are as shown on the attached sketch plan.

Lot 1 in DP 998581 is Qualified Limited Title, for the purposes of conveyancing the boundaries should be treated as Old Systems.

The shed and carport located on the neighbouring Lot B in DP 158047 stands up to 0.75 metres onto Lot 1 in DP 998581 as shown on the attached sketch plan.

The location of boundaries is an opinion based on available information and no responsibility can be taken for changes in the boundary locations which occur due to subsequent surveys of adjacent lands. It is suggested that a full plan of survey be carried out and registered with the Department of Lands.

Building and fencing offsets are as shown on the attached sketch plan. Other than those shown in the accompanying sketch plan I am of the opinion that there are no further encroachments by or upon the subject property.

#### PARTICULARS OF PROPERTY

LGA:

Bathurst Regional

Parish:

Bathurst

County:

Bathurst

Frontage:

25.145 metres to Peel Street, Bathurst

Description: Lot 1 in DP 998581

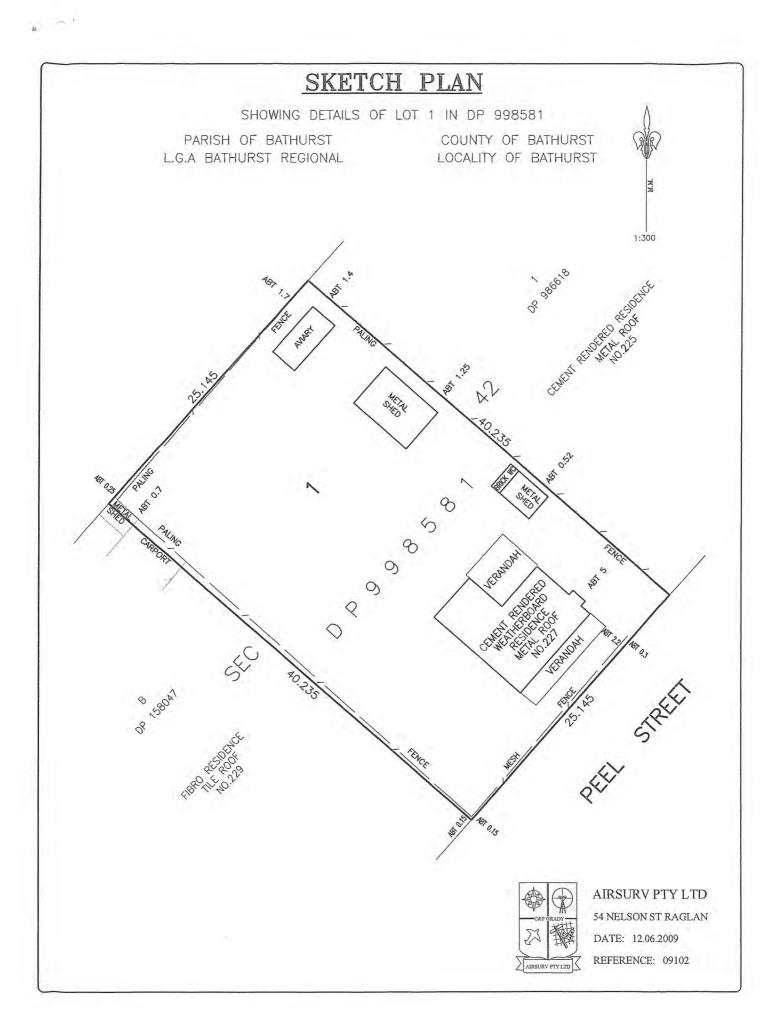
Address:

No: 227 Peel Street, Bathurst

Yours faithfully

R. L. Streeter

REGISTERED SURVEYOR NSW



m: 08369

THE COUNCIL OF THE MUNICIPALITY OF BATHURST.

Sewer Available.

#### PLAN OF DRAINAGE.

For Mas V Strachen

Situation of Property 227 Peel Street

Drainage Plan No. 1557 Detail Plan No. 45 Sub-Section No. 40

#### REFERENCE. S.P.D. Stone Pipe Drain

I.T. Interceptor Trap D.T. Disconnector Trap

S.T. Silt Trap

G.T. Grease Trap

Y.S. Yard Sink

C.I.P. Cast Iron Pipe

I.C. Inspection Chamber J.B. Inspection Bend

I.P. Inspection Pipe

I.J. Inspection Junction R.T. Reflux Trap

Scale, 40 ft. to 1 inch.

E.V. Educt Vent

I,V. Induct Vent

S.P.V. Soil Pipe Vent

M.F. Mica Flap Induct Vent

Red Lines. Sewers

Blue Lines. House Drains

This diagram is the property of the Proprietor, and is to be returned to him on the completion of the work.

Where vent pipes are attached to chimneys, the outlet of vent must be at least 6 feet above flue opening. Certificates for drainage and sanitary plumbing may be obtained on application at this office. Existing pipes to be opened up for inspection and relaid with cement joints where directed.

Drains to be trapped and ventilated, and inspection fittings provided at each change of direction, or where directed. directed.

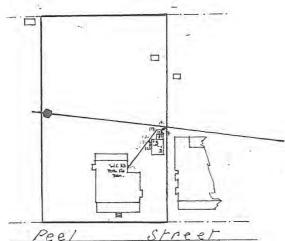
In all cases where fittings are connected direct with drains, cleaning eyes must be provided. Junction about 87 feet from downstream Manhole. Approx. depth

A.—All plumbing and drainage work shown on diagram, and covered by By-laws and Regulations, must be done to the satisfaction of the Council, and no responsibility will be taken for same unless official certificates are obtained by licensed plumbers and drainers.

B .- RAIN OR SURFACE WATER MUST NOT BE CONNECTED WITH COUNCIL'S SEWER. EXISTING SURFACE WATER PIPES MUST BE DISCONNECTED FROM SEWER.

Batherst City Chundi explanely disclains all patrons to by chance explaining are debility for errors or dinissions of any kind what-see are, or for any low, damage or other con-sequence which may asse from any person relying on information comprised in this plan...

1. W. Proposed. . Janstes to be Trapped. 3. Tubs.



# NOT TO SCALE

K/Sink gully removed by M. Tutton 4-4-2003

Sewerage Engineer.

# Heritage Building Report

227 Peel Street, Bathurst NSW 2795

Data obtained from Council rates & valuation books, cemetery records, newspapers & electoral rolls held at the Bathurst Archives Office.

Dated: 25/11/2021

p

Researched By: Howard Sinclair and Dianne Hanrahan.

Disclaimer: This report is provided using information held by the Bathurst District Historical Society which may not be complete, and is compiled by volunteers who may not be professional archivists.

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					Herita	ge Building	Report				
Building Address 227 Peel Street, Bathurst							Ward, Section 42, Part 12 Frontage 82' 6", Depth 132'				
/ear	Owner	Address	Occupation	Occupier	Address	Occupation	Description of Building	Comments	Page Number	Valuation	
								The first owner of Part 12 of Section 42 is shown on the Town Plan as Richard. Read however the Lands Grants shows that his father, Nicholas Read, purchased Part 12 in 1854.			
								Nicholas Read was a publican, running the Good Woman Inn from 1843 - 50 and developer of the Metropolitan Hotel in George Street where Sweet Caramel exists today. Richard Read was the publican of the Post Office Hotel from 1900 - 408 after his wife Sitza Read died in 1900 and she had been the licencee from 1894.			
								Nicholas Read bought a number of blocks as grants by purchase especially the 7 acres in Charlotte Town being parts 97, 98 and 99 that were cut by the construction of the railway in 1875.			
378	Richard Read			Unoccupied			Land	Parts 12 and 13. A subdisivion must have occurred and the house was built during 1878. Richard Read was a alderman of Bathurst Council from 1874 to 1883. Richard was involved in Hunting and Coursing and sat on the first committee of the Bathurst Hunt Club in 1876 and the Bathurst Coursing Club in 1978		£7	
79	Charles T. Beale			Owner			Wooden House with 4 rooms	The spelling of Thomas Charles Beale's name varied so much over the 13 years his name appears in the rates books that this is the spelling we have settled on. There does not appear to be a house name associated with 227 Peel Street.		£11/10	
081	Charles Beale			- 6				Could not find any information about Beale and variations and the occupiers of 227 Peel Street.	-	£11/10	

					Heritag	ge Building	Report			
Buildir	ng Address		227 Peel	Street, Bathurs	Ward, Section 42, Part 12 Frontage 82° 6", Depth 132°					
/ear	Owner	Address	Occupation	Occupier	Address	Occupation	Description of Building	Comments	Page Number	Valuation
881	Charles T. Brail			71						£11/10
882	Charles T. Beel									£11/10
883							- 0			£18/10
	Thomas Charles	777						The house valuation was reduced on	-	£18/10 -
884	Beale			3.0			4	appeal,		£18
885	n n			A. J. Adlam			10	[аррепі,		£24/10
886	-0			Mrs Adlam			-4			£23/10
887				Empty	1		House with 5 rooms		p. 128	£23/10
888				A. O'Donnell			House with 3 Toolis			£23/10
889				P. O DOMEST					p. 285	
890	т.								p. 147	£21
891	Thomas Beal	_							p. 311	£19
031	Triomas Bear	1	-	Henry Smith			-			£19
892	William Pascoe			Mrs Sarah Edgerton	1		1			E16/10
222				Henry Thomas						
893		_		Rowan	-		-			E15
894		_		Thomas Gravett					p. 77	£15
895	A CONTRACTOR OF THE PARTY OF TH						House		p. 59	£15
896				9			0.		p. 55	£15
897	- 45			Unlet			House with 5 rooms		p. 65	£15
898	-0		174	Thomas Malonne			6		p. 59	£11/10
899			1 1	Unlet					p. 59	E11/10
900	8-						n	Eliza Read died 19/4/1900 according to the Cemetery Records.	p. 60	£11/10
901	100			Joseph Tilley					p. 56	£16
902	0.			"			House		p.51	£16
903				Augustus Reynalds			- 10	William Pascoe was the Secretary of the Kincora Lodge according to the National Advocate dated the 28/4/1903. He nominated L. Edgely for election to the East Ward of Council on the 12/5/1903. William Pascoe died on the 24/7/1903. William Pascoe had been the Curator of the Technological Museum associated with the Technological College since it opened in 1891. This museum was the precusor to the Bathurst District Historical Museum.	p. 55	£15
904	Estate of William Pascoe		-	A. J. Reynalds			House with 5 rooms	Sometime after William Pascoe's death stained glass windows were installed in the Uniting Church "To his memory".	p.55	£16

ge 2 227 Peel Stree

					Heritage	<b>Building</b>	Report			
Building	Address		227 Peel	Street, Bathur	st		Ward, Section 42, Part 12	Frontage 82' 6", Depth 132'		
Year	Owner	Address	Occupation	Occupier	Address	Occupation	Description of Building	Comments	Page Number	Valuation
1905									p. 57	£16
1906	,			Arthur J. Renald					p. 53	£16
1907			-	James Curtin					p. 52	£16
1908 - 10		C/o Mary Pascoe Keppel Street	111	George Roberts	227 Peel Street	Labourer	House		p. 81	£16
1911 - 13	Mary Ann Pascoe	Keppel Street	Domestic Duties						- 50	£16
1914 - 16	n,	nepper street	Ducies "	Druitt		-	b.	-	p. 66	£14
1917 - 19		ů.	House Duties					Somebody placed a "Wanted" advertisement in the National Advocate of the 19/1/1917 seeking a light general or middle aged woman, applying to 227 Peel Street.	p. 55	I£14
1920	F - K	in-	" "	-		+	-0.		p. 55	£14
921 - 22	'h		- n-			-	A.		p. 55	£16
1923 - 25		Bethurst	Domestic Duties	Victor Edward Strachan	227 Peel Street		Weatherboard house with 4 rooms	Victor E. Straachan payed the rates as a lessee.	p. 55	£31
1926 - 28	Mary Ann Pascoe					Railway	Weatherboard house with 4 rooms and and a kitchen, bathroom and laundry	Victor E. Straachan payed the rates as a lessee.	p. 57	€40
1929	Mary Ann Passae → Victor Edward Strachan	William Street → 227 Peel Street		· A.		Painter	6	The sale/transfer of the house was dated 13/6/1929 from Mary Ann Pascoe to Victor Edward Strachan.	p. 59	£30
1930 - 31	Victor Edward Strachan	227 Peel Street	Painter				4		p. 59	£30
1932	0		II.			- 4	9		p. 59	£26
1940	Victor Edward Strachan								p. 61	£35
				Ellen Susan		Home duties,				
947				Strachan, Vincent Strachan, Spencer Strachan and Victor Edward Strachan		Cannery hand, Linotype operator and Painter		The 1947 Electoral Roll shows that Ellen Susan Strachan, Vincent Strachan, Spencer Strachan and Victor Edward Strachan were living at 227 Peeel Street.		
950	Victor Edward Strachan			Ellen Susan Strachan and Victor Edward Strachan		Home duties		The 1950 Electoral Roll shows that Ellen Susan Strachan and Victor Edward Strachan were living at 227 Peeel Street.		

age 3 227 Peel Street

					Herita	ge Building	g Report			
Buildi	ng Address		227 Peel	Street, Bathur	Ward, Section 42, Part 12 Frontage 82' 6", Depth 132"					
Year	Owner	Address	Occupation	Occupier	Address	Occupation	Description of Building	Comments	Page Number	Valuation
1969				Spencer Strachan		Linotype operator		The 1969 Electoral Roll shows that Spencer Strachan was living at 227 Pecel Street.		
1972								According to the Western Advocate dated the 3/7/1972 Ellen Strachan died sometime before this date while living at 227 Peel Street.		
1978				Spencer Strachan		Operator		The 1978 Electoral Roll shows that Spencer Strachan was living at 227 Peeel Street.		
1981				Spencer Strachan		Operator		The 1981 Electoral Roll shows that Spencer Strachan was living at 227 Peeel Street.		
1995				Spencer Strachan				The Western Advocate dated the 31/7/1995 has Spencer Strachan aged 75 death on the 25/7/1995 late of Peel Street.		
2013								The Western Advocate dated the 11/4/2013 has Vincent Strathan aged 87 death on the 9/4/2013. Vincent was born while his parents lived at 227 Peel Street. He had worked on the railway as a fitter associate and then at Edgells as a cannery hand		

Compiled by Dianne Hanarahan and Howard Sinclair from the Bathurst Council Rates and Valuations books from 1875 to 1932 and 1940 and other material held in the Bathurst District Historical Museum.

Attachments

Town Map of Bathurst
House Report prepared by Bill Tighe in 2012
Street Files, 227 Peel Street
Extract from Bathurst Regional Council Heritage Pilot Study 2001, 227 Peel Street
1947 Electoral Roll p. 129
1950 Electoral Roll p. 198
1969 Electoral Roll p. 139

Page 4

227 Peel Street

					Herita	ge Building	g Report			
Buildir	ng Address		227 Peel	Street, Bath	nurst		Ward, Section 42, Part 12	Frontage 82' 6", Depth 132'		
/ear	Owner	Address	Occupation	Occupier	Address	Occupation	Description of Building	Comments	Page Number	Valuation

1961 Jectura Roll p. 48
Cemetery Records p. 4, Mary Ann Pascoe and William Pascoe
Cemetery Records p. 4, Eliza Mary Read, Nocholas Read and Richard Read
Cemetery Records p. 27 and 28, Ellan Susan Strachan and Victor Edward Strachan
Land Grants - Leases and Porchases 1820 - 1856 Jean McNaught p. 392
Bathurst Ploneers BFHG p. 272, Nicholas Read

Balluling Bathurst Grahm Lupp Vol 1 and 2 p.338, 339, 384, 385, 514 and 599, Nicholas and Richard Read Inns and Hotels of Old Bathurst Town W. H. Tighe p. 33, 34,41, 42 ans 49

A History of Bathurst Vol. 1 Theo Barker p. 175, Nicholas Read

A History of Bathurst Vol. 2 Theo Barker p. 183, Nicholas Read

A History of Bathurst Vol. 2 Theo Barker p. 183, Nicholas Read

A History of Bathurst Charles W. Sloman p. 175, Nicholas Read

A History of Bathurst Charles W. Sloman p. 14, 35, 79, 272,273 and 275, Richard Read

A History of saturist Charles W. Stoman p. 14, 35, 79, 273,273 and 275, recent read Railway West Denis J. Chamberlain p. 404, Vincent Strachian Monuments and Memorials Beryl Henderson p. 21, William Pascoe
Transfer Certificate 1149, From Mary Ann Pascoe to Victor Edward Strachan
Copy of RAHS NSW Monuments and Memorials No. 165, Stained Glass Windows in Uniting Church
Bathurst and Western Districts Oirectory 1886-87 p. 35, William Pascoe

National Advocate 18/4/1900 p. 2, Illness of Mrs Read National Advocate 20/4/1900 p. 3, Funeral of Mrs R. Read

National Advocate 28/4/1903 p. 3, Funeral of Arthur Neil National Advocate 15/5/1903 p. 3, East Ward Election National Advocate 25/7/1903 p. 2, Death of W. Pascoe National Advocate 27/7/1903 p. 2, Late Mr W. Pascoe

National Advocate 8/8/1903 p. 2, Late Mr W. Pascoe
National Advocate 8/8/1903 p. 2, Late Mr W. Pascoe
National Advocate 19/1/1917 p. 3, Wanted
Western Advocate 3/7/1972 p. 8 c. 1, Funeral Notice, Ellen Susan Strachan
Western Advocate 31/7/1995 p. 22, Death Notice, Spencer Strachan
Western Advocate 11/4/2013 p. 31 c. 1, Death Notice, Vincent Strachan
Western Advocate 17/5/2013 p. 35 c. 1, Return Thanks, Vincent Strachan

Page 5

227 Peel Street

## Bathurst District Historical Society Inc.



POSTAL ADDRESS: P.O. Box 237 BATHURST NSW 2795 Phone: (02) 6330 8455 www.bathursthistory.org.au info@bathursthistory.org.au MUSEUM and ARCHIVES: East Wing Bathurst Court House Russell Street BATHURST NSW 2795

25/11/2021

Tina Roberts 227 Peel Street Bathurst 2795

Dear Tina,

Please find enclosed the heritage house report I have done for you on 227 Peel Street, Bathurst.

This is all the information I can find for your house within the museum archives

The Bathurst Family History Group may be able to help, at info@ bathurstfhg.asn.au, with the families that occupied the house.

Howard Sinclair

Researcher for the Research Team

For the Bathurst District Historical Society

## Bathurst Conservation Area Managerhene & 23 Pilot Study 2001

Address of Building: 227 Peel Street

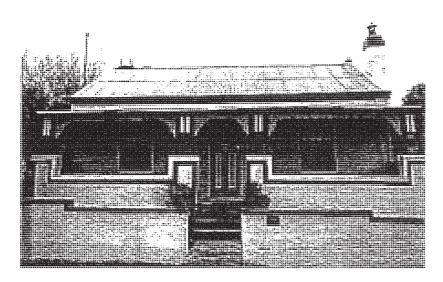
Item No. 258

Real Property Description: Lot 1 DP 998581

Rating Summary: BAA

Type of Building/Current Use: Dwelling

Zoning: 2a - 1997 LEP



Period of Construction	
_	
O Coloniol 1820-1840	O 1950's
O Early Victorian 1840-1860	O 1960's
O Mid Victorian 1860-1880	O 1970's
O Late Victorian 1880-1900	O 1980's
<ul><li>Federation 1900-1920</li></ul>	○ 1990's :
○ 1920's	O 2000 \$
○ 1930's	
○ 1940′s	
presentation and the second se	
	1 l

Rare 🗀 Representative  $\Box$ 

Heritage Listings

Brief History:

Street Scape Rating: A Significant in a regional context

Item Rating: A Contributory

Integrity: B Altered Sympathetic

Physical Description: Single storey weatherboard clad cottage with a corrugated iron roof and straight separately roofed verandah. The front of the house is symmetrical with a front central door, flanked by two double hung windows, and each of those windows have teo sashes divided into six lights. The front verandah is supported on a rough cast rendered masonry wall with piers with timber posts above the piers and some decorative lacework in brackets and frieze between. These may not be original to the cottage. The front fence is a wall, rendered and painted with an enlarged capping, similar to the front verandah and matching. The house has two chimneys at one end in brickwork that is painted.

Condition Description: Fair condition.

Special Vegetation:

Comments:

@ Bathurst City Council 2001

# Raine&Horne

26 Jun 2015

Mr M & Mrs T Roberts 2/60a Morrisset Street BATHURST NSW 2795

Dear Michael & Tina

Re: Roberts from Smith

Property: 227 Peel Street, Bathurst 2795

I'm delighted to confirm that your offer of \$347,500 to purchase the above property has been accepted. In preparation for Exchange details of the sale have been forwarded to your solicitor and we ask that you organise the following:

- Advise your solicitor of your intent to purchase and make an appointment to look through the contract. If there are any requests for amendments, please ask your solicitor to fax us a copy.
- Valuation, building and pest inspections are to be coordinated through our office or your solicitor. (You may have your own contact or we can recommend one).
- Deposit prior to Exchange, (direct transfer to our Trust account, cheque or deposit bond), made payable to Raine & Horne Bathurst.

It has been a pleasure assisting you and I will keep you informed as the sale progresses. Please be aware that under the Vendors instructions, the property will remain on the market for sale until Exchange.

Should you have any queries or require any further information, please do not hesitate to contact me or our Customer Service Manager, Marie Doheny – we are only too happy to assist!

Yours sincerely,

Chris Hagney
Property Consultant

# Bathurst Conservation Area ManAttecherent 8:213 3y Pilot Study 2001

Address of Building: 227 Peel Street

Item No. 258

Real Property Description: Lot 1 DP 998581

Rating Summary: BAA

Type of Building/Current Use: Dwelling

Zoning: 2a - 1997 LEP



O Colonial 1820-1840	O 1950's
O Early Victorian 1840-1860	O 1960's
O Mid Victorian 1860-1880	O 1970's
O Late Victorian 1880-1900	O 1980's
● Federation 1900-1920	O 1990's
O 1920's	O 2000's
O 1930's	
O 1940's	

Heritage Listings

Street Scape Rating: A Significant in a regional context

Brief History:

Item Rating: A Contributory

Integrity: B Altered Sympathetic

Representative

Physical Description: Single storey weatherboard clad cottage with a corrugated iron roof and straight separately roofed verandah. The front of the house is symmetrical with a front central door, flanked by two double hung windows, and each of those windows have teo sashes divided into six lights. The front verandah is supported on a rough cast rendered masonry wall with piers with timber posts above the piers and some decorative lacework in brackets and frieze between. These may not be original to the cottage. The front fence is a wall, rendered and painted with an enlarged capping, similar to the front verandah and matching. The house has two chimneys at one end in brickwork that is painted.

Condition Description: Fair condition.

Special Vegetation:

Comments:

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ABN: 33 537 019 GPO BOX 15 Sydney NSW 2001

DX 17 SYDNEY Telephone: 1300 052 637



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### PROPERTY REPORT

#### 227 PEEL ST, BATHURST NSW 2795



Selected Property Surrounding Properties Cadastral Boundaries House Number Parcel Identifier



Cadastre Imagery

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- © CNES 2015 / Astrium GEO Information Services
- © NSW Department of Finance and Services 2015
- © AUSIMAGE® © Sinclair Knight Merz 2015
- © AAM Pty Ltd 2015

#### CADASTRE OF PROPERTY

Note: The Digital Cadastral Data Base and the visual relationship with any imagery as shown in this report has no legal status and serves as a representation of the relative position of and relationship between the cadastral, topographic and imagery information in the area of interest. Users should always refer to a cadastral parcel's Deposited Plan to determine its legal position. For full terms and conditions as to the use of LPI supplied information, please see the Terms and Conditions on this site.

#### **ABOUT THE PROPERTY**

#### **TRANSACTION REFERENCE: 27677506**

Report generated at 13.04 on 20 Jun 2015

**PROPERTY DETAILS** 

Land area 1011.7 m<sup>2</sup> LGA BATHURST REGIONAL

Title reference(s) 1/998581 Zoning R1-General

Property Type House

ABN: 33 537 019 GPO BOX 15 Sydney NSW 2001

DX 17 SYDNEY Telephone: 1300 052 637



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#### 227 PEEL ST, BATHURST NSW 2795

#### **SALES INFORMATION**

#### **SALES HISTORY**

Sales information available for this report dates back to 1990

Land Area	Sale Date	Sale Price (AUD)
1011.7m <sup>2</sup>	16 Oct 2001	\$ 115,000
1011.7m <sup>2</sup>	1 Sep 2005	\$ 235,000
1011.7m <sup>2</sup>	3 Jul 2009	\$ 249,000

The information contained in this report has been acquired from various sources and is recorded and stored at different levels of reliability. LPI does not warrant that the information is accurate or complete. To the extent permitted by law LPI excludes liability for any loss or damage caused by reliance upon this information, and LPI limits its liability to the cost of the search from LPI. Information contained herein is of a general nature and is not intended to be specific for the circumstances of any particular individual or entity. Advice from a solicitor, or appropriate adviser, should be sought as to using this information and your individual circumstances. Unless otherwise agreed in writing by LPI, you may only use the Information for your personal use and you are prohibited from on-selling, or on-supplying, or sub-licensing this information in any form to any other person or entity. For full terms and conditions as to the use of LPI supplied information please see the Terms and Conditions on this site.

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#### **TITLE SEARCH**

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - TITLE SEARCH

FOLTO: 1/998581

FOLIO: 1/998

LAND

LOT 1 IN DEPOSITED PLAN 998581

AT BATHURST

LOCAL GOVERNMENT AREA BATHURST REGIONAL PARISH OF BATHURST COUNTY OF BATHURST TITLE DIAGRAM DP998581

FIRST SCHEDULE

-----

MELANIE JANE SMITH

(T AE913469)

SECOND SCHEDULE (3 NOTIFICATIONS)

\_\_\_\_\_

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.
- 3 AE913470 MORTGAGE TO ST. GEORGE BANK LIMITED

NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*

PRINTED ON 20/6/2015

ABN: 33 537 019 GPO BOX 15 Sydney NSW 2001

PROPERTY NO:

DX 17 SYDNEY Telephone: 1300 052 637



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#### LAND VALUE SEARCH

LAND AND PROPERTY INFORMATION NEW SOUTH WALES - LAND VALUE SEARCH

1207842 LGA: BATHURST REGIONAL

ADDRESS OF PROPERTY: 227 PEEL ST,

BATHURST NSW 2795

DESCRIPTION OF LAND: 1/998581

PROPERTY AREA: 1011.7 SQUARE METRES

PROPERTY DIMENSIONS: 25.15 / 25.15 X 40.23 / 40.23

01/07/2014 DATE VALUATION WAS MADE: 27/01/2015 VALUING YEAR:

ZONING USED FOR VALUATION: GENERAL RESIDENTIAL

LAND VALUE AUTHORITY: 60A(1)(A) - NEW VALUATION ON COUNCIL REQUEST

FOLLOWING CHANGE OF ZONE

GROSS LAND VALUE: \$210,000

DIVISION 3 AND 4 ALLOWANCES: NOT APPLICABLE

NET LAND VALUE: \$210,000

6A(1) - THE LAND VALUE IS THE FREEHOLD VALUE OF LAND VALUE BASIS:

THE LAND EXCLUDING ANY STRUCTURAL IMPROVEMENTS

OTHER ALLOWANCES/CONCESSIONS: NOT APPLICABLE

AS THE DATE VALUATION WAS MADE IS AFTER THE VALUING YEAR THE LAND VALUE SHOWN

ABOVE MAY NOT BE THE LAND VALUE USED FOR LAND TAX PURPOSES.

THE CURRENT VALUING YEAR FOR RATING PURPOSES IN THE LOCAL GOVERNMENT AREA

OF BATHURST REGIONAL IS 1 JULY 2014.

PRODUCED: 20 JUNE 2015 13:04:23 PROPERTY STATUS AT THIS DATE: CURRENT

THIS LAND VALUE SEARCH DOES NOT CONVEY A RIGHT OF OBJECTION TO THE LAND VALUE.

THE VALUES SHOWN ARE CURRENT FOR THE VALUING YEAR AS AT TODAY'S DATE.

THE VALUER GENERAL CONDUCTS ONGOING REVIEWS OF LAND VALUES

AND THEREFORE THE VALUES SHOWN MAY CHANGE.

THE LAND VALUE RECORDED ON THIS LAND VALUE SEARCH HAS BEEN DETERMINED UNDER THE VALUATION OF LAND ACT 1916 (AND THE HERITAGE ACT 1977, WHERE APPLICABLE) FOR RATING AND TAXING PURPOSES. LAND VALUES HAVE REGARD TO THE REQUIREMENTS OF RATING AND TAXING LEGISLATION AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE SPECIFIC AGREEMENT OF THE VALUER GENERAL.

\*\*\* END OF SEARCH \*\*\*

CLIENT REFERENCE:

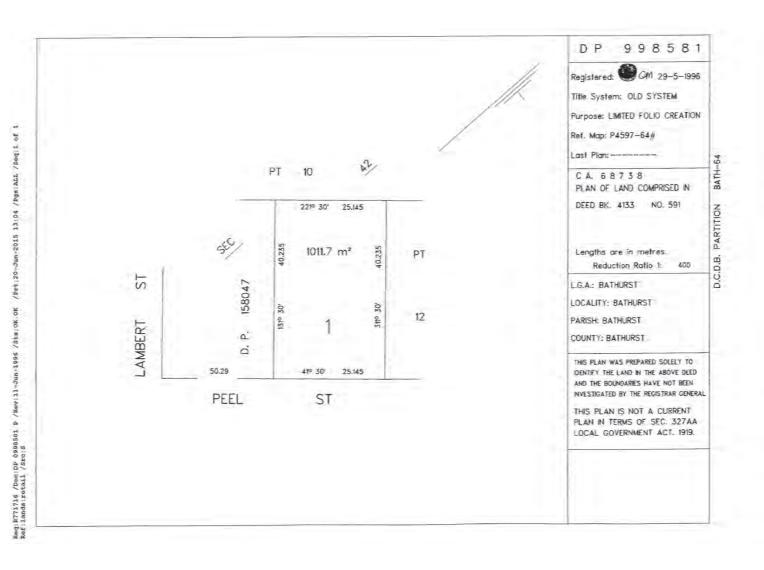
ABN: 33 537 019 GPO BOX 15 Sydney NSW 2001

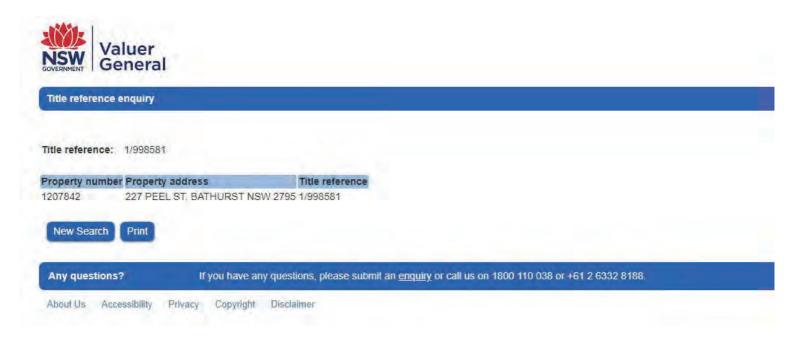




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PLAN IMAGE
The following pages detail the Plan Image for your search property

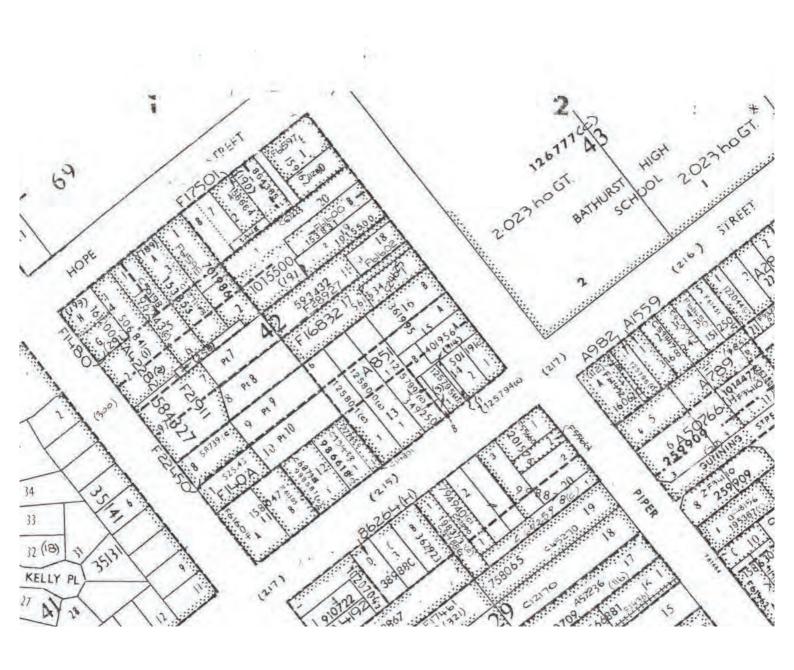




# CROWN GRANTS

SMALL NUMBER 824 UNLESS OTHERWISE SHOWN

SEC	ALLOT	GRANTEE / VOL. FOL.	PLAN
42		J. L. DARNEY	B106
	2 3 4 5 6 7	J. S. HOME	B106
	3	JOHN McKAY	B106
	4	JAMES STIRLING HOME 14-5-1855	B106
	5	HENRY OWEN 1-6-1855	B106
	0	HENRY OWEN 1-6-1855	B106
		J. S. HOME	B106
	8	J. S. HOME	B106
	9	J. S. HOME	3106
	10	W. R. TREES	8106
	11	J. S. TREES	B106
	12	NICHOLAS READ	B106
	13	W. R. TREES	B106
	14	NICHOLAS READ	B106
	15	W. R. TREES	B106
	16	W. R. TREES	B106
	17	ELIZABETH GOLSBY	8106
	18	SARAH MACKIE	B106
	19	J. L. DARNEY	B106
	20	JOHN MINEHAN	B106



1978	ELECT	ORAL	rocc

44	Standen—Stubbs	SUBDIVISION	OF BAT	HURST		C 0701	S 0901	
9891 9892	Standen, Gregory James	11 Pacific Way, Bthrst 2795, asst F	10006 10007	Stevens,	Hellan Miller Garvoo James Alexander	k 6 Hamilt	on St, Bthrst 2795, h	nd F
9893	Standen, Joanne	4/149 Rocket St, Bthrst 2795, asst F	10008	Stevens,	Kathleen Ethel	34 Fishs	Pde, Bthrst 2795, h	d F
9895	Standen, Maureen Lillian	161 Durham St, Bthrst 2795, welder M Inverlochy, Wmbldn 2742, cashier F	10009	Stevens,	Louis Ernest George Margaret Joan	6 Hamilton St.	Bthrst 2795, colouri	st F
9896			10011	Stevens, Stevens.	Terrence David Theresa Bridget Daw	34 Fishs Pde, E	Sthrst 2795, bricklay	er M
9898	Stanford, Ashton Arthur		10013 10014	Stevenso	in, Helen Margaret	143 Ho	pe St, Bthrst 2795, I	nd F
9900	Stanford, Brian John	1 Larson St, Bthrst 2795, fitter M	10015	Stevenso	, James Michael Bruce III, Jane Maxwell Kin	g 268 Kept	pel St. Bthrst 2795, h	nd F
9902	Stanford, Dennis Allan		10016 10017	Stewart,	Aileen Dawn Annie Florence	13 Lo	ord St, Bthrst 2795, -	- F
9903	Stanford, Karen Leah	89 Bentinck St, Bthrst 2795, machinist F Mitchell Clge, Bthrst 2795, tchr F	10018	Stewart, Stewart,	David Rex9	Commonwealth St	t, Bthrst 2795, teache	er M
9905	Stanmore, Jennifer	129 Russell St, Bthrst 2795, hd F 129 Russell St, Bthrst 2795, labr M	10020 10021	Stewart,	Douglas John	34 Osborne /	Ave. Bthrst 2795, lec	tr M
9907	Stanton, Beryl Fay	1/110 George St, Bthrst 2795, hd F 204 Keppel St, Bthrst 2795, plmbr M	10022	Stewart,	Frederick Ernest George Nixon Gler	idon-Brae, newbridge I	Rd, Gras Pins 2795, elect	tn M
9909	Stanton, Robert William	1/261 Howick St, Bthrst 2795, steward M	10023	Stewart,	Glenda AnneGlen Gregory Charles	idon-Brae,newbridge F 272 Havannah	d, Grgs Pins 2795, rece St, Bthrst 2795, stdi	pt F
9910		1/297 Lambert St, Bthrst 2795, tchr M 3 Harris St, Bthrst 2795, stdnt F	10025 10026	stewart,	Heather Mary Ian William		e Ave. Bthrst 2795 h	nd F
9912	Staples, Lynden1/29	7 Lambert St, Bthrst 2795, comput opr M 29 George St, Bthrst 2795, hd F	10027 10028	Stewart,	Joyce Caroline Jean	7 Prcspe	ct St. Bthrst 2795. h	nd F
9914	Stapleton, Anne Elizabeth Stapleton, Anne Therese		10029	Stewart.	Kathryn Ann Leslie Allan	30 Torch St	Ribert 2705 carnonte	A 5.5
9916	Stapteroll, Clive Joseph	12 White St. Dinrst 2/95, salesman M	10030 10031	Stewart,	Mary Therese Pamela Therese	9 Commonwealt	ng St, Bthrst 2795, h th St, Bthrst 2795, h	d F
9917	Stapleton, Daniel Gerard Stapleton, Florence Mary	63 Bentinck St, Bthrst 2795, clerk M 31 Seymour St, Bthrst 2795, hd F	10032	Stewart, Stewart.	i nomas Brian	54 Currawong	St, Bthrst 2795, med ch St, Bthrst 2795, h	th M
9919	Stapleton, Frances Irene		10034 10035	Stewart,	William James	. 27 Brilliant St, Bi	thrst 2795, pastrycoo	ok M
9921	Stapleton, John Owen		10036	Stielow, Stielow,	Patricia Anne Lee Richard Henry	92 Brilliant	St, Bthrst 2795, accr	nt M
9923	Stapleton, Josephine May	26 Kelly Cres, Bthrst 2795, shearer M 303 Russell St, Bthrst 2795, hd F	10037 10038	Stirling,	Sam Wilson Evelyn Fannie	209 Willia	m St. Bthrst 2795 h	id F
9924	Stapleton, Katherine Mary Stapleton, Kaye Lesley	194 Peel St, Bthrst 2795, hd F	10039	Stitt, Hi	lary Alison	143 Brillia	int St, Bthrst 2795, h	nd F
9926	Stapleton, Kevin Patrick	29 Morrissett St, Bthrst 2795, labr M 28 White St, Bthrst 2795, railway emp M	10041	Stockley	hn Hugh Trevor John	95 Havannah	St. Bthrst 2795, stdr	nt M
9928	Stapleton, Mary Gemma	. St Marys Cloe william St. Bthrst 2795, tchr. F	10042	Stocks,	Allen Douglas Audrey Mary	Esrom St, B	thrst 2795, farm han	d M
9929	Stapleton, Maureen Frances Stapleton, Mavis Anne		10044 10045	Stocks,	Austin John Barry Thomas		Dokld 2795, gardene	M ve
9931	Stapleton, Peter Anthony	42 Piper St, Bthrst 2795, clnr M 194 Peel St, Bthrst 2795, inspector M	10046	Stocks,	Cheryl Anne	Ophir	Rd. Bthrst 2795, sect	V F
9933	Stapleton, Robert James		10047	Stocks, (	Clarence Raymond Claris Ena Martha	Devonglen	., Esrom 2795, farme	r M
9934	Stapley, Constance Vera	2 Stanley St, Bthrst 2795, typist F	10049 10050					
9936	Stapley, Debra Ann	241 Keppel St, Bthrst 2795, typist F 157 William St, Bthrst 2795, clerk F	10051	Stocks,	Stelle Carmel	152 Durham	St, Bthrst 2795, —	- M
9938	Stapley, Donald George	157 William St. Bthrst 2795, electr M	10052	Stocks, I	Graeme David Helen Mary	Esrom S	t, Bthrst 2795, crpnt iew. Pthylle 2795, h	r M
9939	Stapley, Gayle Ruth	2 Havannah St, Bthrst 2795, machinist F	10054	Stocks, Stocks, H	Helen MaryRmb John Warren Rmb Kathryn Frances	273, Esrom Rd, B	thrst 2795, dairyhan	d M
9941	Stapley, Ian John	241 Keppel St, Bthrst 2795, stdnt M 241 Keppel St, Bthrst 2795, salesman M	10056	Stocks, 1	Margaret Frances	Dinta,	Fitzglds VIv 2795, h	d F
9943	Stapley lanet lea	241 Kannal St Bithert 2705 stanca E	10057 10058	Stocks, 1	Maurice John	227 Howick S	it. Bthrst 2795, cier	K F
9945	Stapley, Ivita vyillitred	131 Mitre St, Bthrst 2795, driver M	10059	Stocks, I	Morton Joseph Roderick John	Dinta, Fitzglds	Vly 2795, dairy frm	r M
9946	Stapley, Raiph Wayne	2 Stanley St, Bthrst 2795, plant opr M 17 High St, Bthrst 2795, cabnt mkr M	10061 10062	Stocks, 7	helma Joyce	380 Howice	k St. Bthrst 2795, he	d F
9948	Stapley, Rexwell Clive Snr	52 Havannah St, Bthrst 2795, process wkr M	10063	Stocks, V	Vallace Bruce Vendy Rosemary	Esroi	m St. Bthrst 2795, hr	d F
9950	Stead, Doreen Joyce	. 28 Casey Crct, Bthrst 2795, manager M 4 Violet St, Bthrst 2795, waitress F	10064 10065	Stocks, V	Villiam Maxwell inda Carleen	380 Howick S	t. Bthrst 2795, drive	r M
9951 9952	Stead, Laura Minnie Stead, Lorna Grace		10066	Stokes, N	loel Francis	18 Suttor 5	St. Bthrst 2795, proti	r: M
9953 9954	Stead, Mary Phoebe		10068	Stokes, \	hirley Muriel /alerie Gertrude	275 Georg	je St, Bthrst 2795, ho	J. F
9955	Stedman, William John	328a Piper St. Bthrst 2795 clerk M	10069	Stone, Le	arry Robert 10 M	Moresby Way, Bthr.	st 2795, meter reader	r M
9956 9957	Steel, Robert Frederick	Arjay, Pthvlle 2795, hd FArjay, Pthvlle 2795, hdr M	10071	Stolle, IV	argaret Mary ary Teresa	14/ Bentino	k St, Bthrst 2795, ho	d F
9958	Steele, Charlotte Steele, Leslie Boyd	77 Bentinck St, Bthrst 2795, hd F 78 Durham St, Bthrst 2795, sismn M	10073 10074	Stone, Pl	nilip John	40 Bilmann	Pl. Bthrst 2795 ass	t M
9960 9961	Steele, Leslie Guilford	77 Bentinck St. Bthrst 2795, crontr M	10075	Stone, W	isan1	47 Bentinck St, Bt	thrst 2795, signalmar	n M
9962	Steele, Mary Ruby Alma	78 Durham St, Bthrst 2795, mach F368 Howick St, Bthrst 2795, hd F	10076	Stoneman	, Allan Robert	Conrod Straight, M Light Car Club. Mt	t Pnrma 2795, farmi	r M
9963 9964	Stein, Virginnia Anne Steinke, Nicole		10078	Stoneman	Lesiey Rae	onrod Straight, Mi	Prirma 2795, stenoc	7 -
9965	Steinmann, Gertrud		10080	Stoneman	Netta Cecelia Mary , Peter Robert	Conrod Straight, N	It Porma 2795, techr	n M
9967	Steman, Helena	255 George St, Bthrst 2795, dntl thost F	10081	Stonestre	et, Bernadette	Light Car Club, M Lot/8 Boundary Ro	t Prima 2795, Ibrian	n F
9968 9969	Stennouse, Ruth	12 Spencer St, Bthrst 2795, print asst M	10083	Stonestre	et, Gertrude Ellen Ma	aria1/6 Forres	st PI, Bthrst 2795, ho Rd, Bthrst 2795, dryr	1 F
9970 9971	Stephan, Graname Kim	138 Lambert St, Bthrst 2795, stdnt M	10085 10086	Stonestre	et, Patricia May , William Augustus	Lot/8 Boundary	Rd, Bthrst 2795, h	F
9972	Stephen, Donald Wayne	175 Durham St. Rthret 2705 Jahr M. I	10087	Storey, A	lan David2	8 Rankin S	ld, Bthrst 2795, railways t, Bthrst 2795, entetr	M
9974	Stephen, Jeffrey Ewen25	31 Stack St, Bthrst 2795, cartgrphr M 5a Bentinck St, Bthrst 2795, fcty hnd M	10088	Storey, G Storey, L	race Goodwin2 indsay John	/101 Rankin St, B	thrst 2795, srdt spysr	F
9975 9976			10090 10091	Storey, N	aureen Anne	2/101 Rankin	St. Bthrst 2795 h d	F
9977	Stephen, Robert Leil	212 Rocket St, Bthrst 2795, hd F	10092	Storm, A	an George	1 McGrath	St, Bthrst 2795, insp	M
9979	Stephens, Allan James 52/	9 Owen Way, Bthrst 2795, labr M 44 Morrissett St, Bthrst 2795, mangr M	10093	Storm, El	sie	1 McGrath S	ot, Bthrst 2795, stdnt	F
9980 9981	Stephens, Brian Keith John	7 Edgell St, Bthrst 2795, manager M 8/171 Stewart St, Bthrst 2795, asst F	10095	Swrm, Ia	n Gordon	1 McGrati	h St. Bthrst 2795	NA.
9982 9983	Stephens, Judith Ann1	68 Lambert St, Bthrst 2795, clkl asst F 9 Owen Way, Bthrst 2795, stenog F	10097	Strachan,	omas Norman Estelle May	298 Rocke	t St Rthret 2705 hd	
9984	Stephens, Kathleen Clare	251 Russell St, Bthrst 2795, hd F	10099	Strachan.	Gloria Joan	210 Hon	o St. Behret 2705 bd	M
9985 9986	Stephens, Margaret Elizabeth	329 Russell St. Bithrst 2795 h d F			Leila Jean Ruby Kathleen			
9987 9988	Stephens, Mary Magdalene							
9989	Stephens, Patricia	168 Lambert St. Bithret 2795 hd. F.	10103	Stratnan, Strahonija	. Katica	181 Rentinck	t, Bthrst 2795, fitter	1.0
9990	Stephens, Robert Vincent	71 Stewart St, Bthrst 2795, mechanic M 115 Rocket St, Bthrst 2795, labr M						
9992 9993	Stephens, Ruth Catherine 19	a Commonwealth St Rthret 2705 hd E	10107	Strickland	Anthony James Charles Rex Gertrude Rose	158 Stewart St,	Bthrst 2795, grazier	M
9994 9995	Stephens, Wayne David	329 Russell St, Bthrst 2795, dryr M	10108 10109	Strickland,	Corraine Annette	. macquarie Homes,ru 16 George	ssell St, Bthrst 2795, hd St, Bthrst 2795, hd	F
9996	Stephens, William Macquarie Stephens, Yvonne Clare	Homes,russell St, Bthrst 2795, — M Edgell St, Bthrst 2795, hd F Page 18 Priper St, Bthrst 2795, med pract M	10111	Strong, A	llan John		t St, Bthrst 2795, hd	F
9997 9998	Stephenson, Martin Douglas Hunter	255 Piner St. Rthret 2795 attendet M. I						
9999	Stephenson, Mary Alexandra		10114	Strong, W	rances Josephine Illiam Andrew	B Keppel St, Bthr	st, Bthrst 2795, hd st 2795, railway emp	M
.0001	Stephenson, Wilma Louisa Hazel	307 Kennel St. Rthrst 2795 hkkor. F	10115	Stuart, Da	arbara Joan	13 Suttor St, B	thrst 2795, shop asst	F
.0002	Stevens, Daisy		10117	Stuart, VV	Illiam Alfred	13 Suttor St. F	Sthrst 2795 self amn	8.6
.0004	Stevens, Douglas McCullock	5 Owen Way, Bthrst 2795, fitter M 194 William St, Bthrst 2795, hd F	10119	Studds, Jo	y Evelyn	5 Mackenzie	PI Rthrst 2705 hd	E
	and the state of t	274 William St, Binrst 2795, no F	10120	ocupos, K	m Anthony	5 Mackenzie P	I, Bthrst 2795, stdnt	M

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# 1981 ECECTORAL ROLL SUBDIVISION OF BATHURST

Stone-Taylor

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10466 D 10467 K 10468 C 10469 J 10470 E 10471 L 10472 D 10473 K 10474 C 10475 J 10476 B 10477 B 10477 10478 10479 10480 10481 10482 B 10483 A 10483 A 10485 10534 C 10536 B 10537 H 10536 B 10537 H 10538 A 10539 G 10542 B 10544 A 10545 B 10544 A 10551 G 10546 N 10551 G 10555 F 10555 F 10555 E 10555 10437 C 10438 J 10439 B 10440 L 10441 D 10442 K 10443 C 10444 J 10445 B 10446 H 10447 A 10448 G 10449 N 10450 J 10556 L 10557 D 10558 K 10559 C 10560 M 10561 E 10562 L 10563 D 10564 K 10565 C 10566 D 10566 H 10569 A 10571 C

# BATHURST + WESTERN DISTRICT DIRECTORY 1886-87

ANTHONY HORDERN & SONS, PALACE EMPORIUM, HAYMARKET ONLY, SYDNEY.

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BATHURST ALPHABETICAL DIRECTORY.

Nichols, Henry H., Howick street
Nisbet, James, Howick street
Nixon, William, Hope street
Nolan, Martin, Bentwick street
Norman, John, Piper street
Northey, John Pearec, Kepple street
Norwood, William J., William street
NAYLOR, Walter, Rocket street
Neary, Charles, Havannah street
Neary, Charles, Havannah street
Neill, Mrs., Lambert street
Newman, Nicholas, Piper street
Nicholls, John, Kepple street
Nicholls, John, Kepple street
Norris, Richard, Seymour street
O'Brien, Thomas, Hope street
O'Brien, Eugene, Bent street
O'Brien, Patric, George street
O'Brien, William J., Stewart street
O'Donnoll, Miss, Durham street
O'Donnell, Hu. h, Durham street
O'Donnell, Patrick, Peel street
O'Farrell, John, St. Stanislaus' College
O'Hara, Richard, Piper street
O'Keefe, William, Lambert street
O'Malley, James, George street
O'Malley, James, George street
O'Malley, James, George street
O'Malley, James, George street
O'Neil, Patric., Evans' Plains
O'Neil, Bernard, George street
O'Neil, James, Durham street
O'Reilly, George, Railway
O'Shannassy, Michael, Ranten street
Oakes, F. M., William street
Oakes, James, Howick street
Oldfield, George, Bentwick street
Oldfield, Richard, Stewart street
Oldfield, Richard, Stewart street
Osborn, George, Junior, Ranken street
Osborn, George, Junior, Ranken street
Overton, William H., Keppel street
Overton, William street
Owen, David J., William street
Owen, David J., William street
Owen, Percival, Morrisett street
Owen, Richard, Gaol
Oxenham, Henry
O'CONNOR, Richard, Piper street
O'Dowd, Rev. John, St. Stanislaus Col. Owen, Richard, Gaol
Oxenham, Henry
O'CONNOR, Richard, Piper street
O'Dowd, Rev. John, St. Stanislaus Col.
O'Malley, Francis, George street
O'Malley, Daniel, Stewart street
O'Neil, Patrick, Stewart street
Ogden, Thomas, Piper street
Older, Edward, Howick street
Osborne, John W., Ranken street
Owen, John, Lort street

Owen, Richard, Bent street
Owen, Henry J., William street
Page, Alexander, Lambert street
Page, Peter D., Piper street
Page, John, Piper street
Page, John, Piper street
Palmer, William, Kepple street
Palmer, George, Vale Road
Palmer, James, Russell street
Parker, Eugene H., Piper street
Parker, Patrick J., Patna street
Parker, Josiah, William street
Parker, Josiah, William street
Parker, Josiah, William street
Parker, Henry, Russell street
Parker, Henry, Russell street
Paterson, Walter, Bentwick street
Paterson, Walter, Bentwick street
Paterson, George Henry, Lambert street
Pattenson, George Henry, Lambert street
Patterson, John F., Renken street
Patterson, John F., Renken street
Paul, William, Henry, George street
Paul, William Henry, George street
Payne, John, Havannah street
Payne, John, Howick street
Payne, Joseph, Russell street
Payne, Edward, Howick street
Payne, Edward, Howick street
Pearce, William, Peel street
Pearce, William, Ranken street
Pearce, William, Rocket street
Pearce, William, Rocket street
Pearce, Henry, Rocket street
Pearce, Jesse, Peel street Pearce, Mrs, Rocket street Pearce, Henry, Rocket street Pearce, Jesse, Peel street Pearce, Thomas, Ranken street Pearce, Michael, Ranken street Pearce, Michael, Ranken street Pearce, Laurence, George street Pedenout, Joseph Durham street Pedrotti, Bartolemen, gunsmith machinist, William street Peer, Thomas, Stewart street Petrie, Thomas, Morrisett street Petres Frank, Bentwick street Petres Frank, Bentwick street Petrendrigh, Alexander, Bentwick st Peters Frank, Bentwick street
Petrendrigh, Alexander, Bentwick street
Pettendrigh, Samuel, Lambert street
Pettendrigh, William, Bentwick street
Pettendrigh, George, Ranhen street
Pettit, Mrs., Piper street
Pettit, George, Howick street
Pettit, George, Howick street
Petson, Mrs., William street
Phelan, Michael J., Piper street
Phelan, Michael J., Piper street
Phillips, Archibald, Kepple street
Phillips, Mrs., George street
Phillips, C. J., Russell street

For Ribbons, Laces Embroideries and Muslin.

REPRESENTATION ...

AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachment

	NAME	SECTION	TEXT	STONEMASON
	PARNELL MARY JANE	Rí	SACRED TO THE MEMORY OF MARY JANE THE BELOVED WIFE OF CHARLES PARNELL WHO DIED FEB 4 1901 AGED 42 YEARSALSO MY DEAR SON HARRY WHO DIED MAY 29 1898 AGED 42 YEARSJESUS WEPT	
	PARSONS CHARLES	C4	IN LOVING MEMORY OF OUR DEAR FATHE R CHARLES PARSONS PASSED AWAY 12 APRIL 1951 AGED 63 YEARSM.G.H.M.O.H.S.	
	PARSONS JOHN	D9	IN LOVING MEMORY OF JOHN PARSONS D IED JUNE 7 1928 AGED 66 YEARS ALSO DUR DEAR MOTHER MARIA PROSSER SISTE R OF THE ABOVE , FELL ASLEEP 19 SEPT 1937 AGED 65 YEARS	
			"AT REST"	
*	PASCOE MARY ANN	P9	SEE PASCOE NEIDRA MABEL	+
	PASCOE NEIDRA MABEL PASCOE	P9	IN MEMORY OF NEIDRA MAREL PASCOE B ELOVED DAUGHTER OF W & A.M. PASCOE., ALSO IN LOVING MEMORY OF WILLIAM PASCOE WHO D JED JULY 24 1903 AGED 62 YEARS. "HE WAS A FAITHFUL MAN AND FEARED GOD ABOVE MANY" NEHEMIAH 7 CHAP. 2 VERSE	
	PASCOE SYDNEY JAMES	D4	IN LOVING MEMORY OF SYDNEY JAMES B ELOVED SON OF F. & J. PASCOE DIED 7 APRIL 1909 AGED 12 YEARS & 11 MON THS	
*	PASCOE WILLIAM PATERSON CAROLINE PATERSON ELSIE PATERSON F H	79	SEE PASCOE NEIDRA MABEL SEE PATERSON GEORGE HENRY SEE PATERSON GEORGE HARLEY SEE PATERSON GEORGE HARLEY	- - - -
	PATERSON GEORGE HARLEY	Т9	IN LOVING MEMORY OF MY DEAR FATHER GEORGE HARLEY PATERSON DIED 17 OCT 1972 AGED 77 YEARSMY DEAR MOTHER ELSIE PA TERSON DIED 21 OCT 1972 AGED 76 YEARS "AT REST"A TRIBUTE OF LOVE TO OUR DE AR SON AND BROTHER SGT F.H.PATERSON (RAAF) MISSING ON ACTIVE SERVICE 11 FEB 1943 AGED 20 YEARS	
	PATERSON GEORGE HENRY	P11	IN LOVING MEMORY OF MY DEAR HUSBAN  D GEORGE HENRY PATERSON DIED 6 DEC 1929  AGED 73 YEARSALSO CAROLINE PATERSON  DIED 18 APRIL 1948 AGED 85 YRS  "AT REST"AT FOOT "MOTHER""FAT  HER"	
	PATERSON SELINA JANE	P11	IN LOVING MEMORY OF SELINA JANE PA	2 <del>2</del>

## Attachment 8.2.3.3

NAME	SECTION	TEXT	STONEMASON
READ "OUR DEAR MOTHER"	В	SEE READ RICHARD	
READ CELIA SOPHIA	<b>C</b> 5	IN LOVING MEMORY OF CELIA SOPHIA R EAD, WIFE OF H.READ, DIED 24-10-1951	
READ CYRIL H	B	PTE CYRIL READ, KILLED IN ACTION F RANCE, 1 FEB 1917 "TO KNOW HIM WAS TO LOVE HIM" AUSTRALIAN IMPERIAL FORCE EMBLEM AT TOP OF STONE IN SAME PLOT AS "READ RICHARD" BUT ON SE PERATE STONE	
READ ELIZA MARY	B	SEE READ RICHARD	
READ GEORGE FREDERICK	В	SEE READ RICHARD	
READ HERBERT	В	SEE READ RICHARD	
READ MARIA READ MATILDA	6. 6	SEE READ NICHOLAS SEE READ NICHOLAS	
neno marteon	D.	SEE NEHV WILHDERS	
READ NICHOLAS	6	SACRED TO THE MEMORY OF MICHOLAS R EAD DIED THE 5 SEP 1863 AGED 66 YEARS ALSO MARIA READ WHO DIED NOV 25 1860 AGE D 12 YEARS 5 MONTHSALSO MATILDA READ DIED OCT 23 1844 AGED 8 MONTHS	
READ RICHARD	В	SACRED TO THE MEMORY OF RICHARD RE AD WHO DEPARTED THIS LIFE APRIL 14 1883 AGED 42 YEARS	1.0
		GEORGE FREDERICK READ DIED 21 DAY OF MAY 1878 AGED 23 YEARSALSO DUR DEAR MOTHER DIED 7 MARCH 1893 AGED 73 (OR 78) YEARS "AT REST"ALSO ELIZA MARY READ, BELOVED WIFE OF THE LAT E RICHARD READ DIED 19 APRIL 1900 AGED 57 YEARS, "AT REST"ALSO. HERBERT READ,DIED 11 JAN 1949 AGED BO YEARSSEE ALSO READ CYRI H	
REDDAN JOHN	N1	I.H.S. ERETED BY JOHN REDDAN IN AF FECTIONATE REMEMBRANCE OF HIS BELOVED SON JOHN DIED 10 JULY 1876 AGED 35 YEARS 11 MONTHS & 14 DAYS"THE DAYS OF MAN ARE AS BRASS, AS THE FLOWERS OF THE FIEL D, SO SHALL HE FLOWRISH" REQUIESCAT IN P ACE	
REDDING EDNA ALICE	F13	SEE REDDING WALTER HENRY	Carl
REDDING WALTER HENRY	F13	IN LOVING MEMORY OF MY DEAR HUSBAN D AND OUR DEAR FATHER WALTER HENRY REDDING DIED 8 MARCH 1969 AGED 60 YEARS ALSO OUR DEAR MOTHER EDNA ALICE REDDING DIED 10-7-82 AGED 68IN GODS CARE"WA L" AT FOOT	
REDFERN CATHERINE	H7	IN MEMORY OF CATHERINE REDFERN WHO DEPARTED THIS LIFE DECEMBER 13 1895	

# Attachment 8.2.3.3

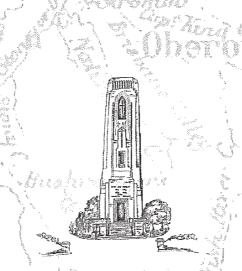
NAME	SECTION	TEXT	STONEMASON
	37315 - 2777005	OUR DEAR MOTHER ESTHER ANN STOREY DIED 25 NOV 1964 AGED B2 YEARS'AT REST' AT FOOT'GEORGE'.'MOTHER'	
STOW ANNE	E9	SEE STOW SAMUEL	ANDREWS BROS SYDNEY
STOW SAMUEL	E9	IN LOVING MEMORY OF SAMUEL STOW WH O DIED 12 FEB 1905 AGED 68 YEARSALSO ANNE BELOVED WIFE OF THE ABOVE WHO DIED 20 JAN 1906 AGED 50 YEARS "THY WILL BE DONE" ERECTED BY BROTHERS R & W MILLIGAN	ANDREWS BROS SYDNEY
STRACHAN CHARLOTTE	A A	SEE STRACHAN ELIZABETH SEE STRACHAN ELIZABETH	
STRACHAN ELIZABETH	A	SACRED TO THE MEMORY OF ELIZABETH WIFE OF FREDERICK STRACHAN OF BATHURST WHO DEPARTED THIS LIFE JUNE 7 1855 AGED 51 YEARS, ALSO OF CHARLOTTE WIFE OF JAMES BROOM DIED 2 DEC EMBER 1853 AGED 34 YEARS, ALSO FLORENCE MAUDE DIED JANUARY 19 1862 AGED 1 YEAR, AND CHARLOTTE DIED APRIL 21 1865 AGED 19 YEA RS, DAUGHTERS OF FREDERICK STRACHAN ALSO FREDERICK STRACHAN DIED APRIL 26 1862 AG ED 53 YEARS	
STRACHAN ELLEN SUSAN STRACHAN EMILY F STRACHAN FLORENCE MAUDE STRACHAN FREDERICK	F5 D8 A' A	SEE STRACHAN VICTOR EDWARD SEE STRACHAN JOHN SEE STRACHAN ELIZABETH SEE STRACHAN ELIZABETH	~
STRACHAN HAROLD JOHN	K50	IN LOVING MEMORY OF OUR LOVING SON AND BROTHER HAROLD JOHN STRACHAN DIED 12 AUG 1943 AGED 23 YEARS "ALWAYS SO GOD D UNSELFISH AND KIND / FEW IN THIS WORLD HIS EQUAL TO FIND.	
STRACHAN HAROLD WALTER	<b>K7</b>	IN LOVING MEMORY OF MY DARLING HUS BAND & OUR DEAR FATHER HAROLD WALTER STRACHAN DIED 13 JULY 1959 AGED 63 R.I.P FOOTSTONE "DAD"	*
STRACHAN JOHN	D6	IN LOVING MEMORY OF JOHN STRACHAN DIED 25 FEB 1942 AGED 85 YEARS EMILY F STRACHAN DIED 10 SEPT 1946 AGED 79 YEARS "AT REST"	
STRACHAN LEILA J STRACHAN LEILA J.	D Dii	SEE STRACHAN MARGARET SEE STRACHAN MARGARET	•
STRACHAN MARGARET	D11	IN MEMORY OF OUR BELOVED DAUGHTER MARBARET STRACHAM DIED 15 SEPTEMBER 1940 AGED 13 MONTHSMY D EAR HUSBAND AND OUR DEAR FATHER	T .

NAME	SECTION	TEXT	STONEMASON
		MAXWELL H. STRACHAN DIED 29 MAY 1974 AGE D 56 YEARSLEILA J. STRACHAN 25-10-1982 AGED 63	
STRACHAN MARY ISABELLA STRACHAN MAXWELL H STRACHAN MAXWELL H.	B D D11	SEE MCKELL EDITH MARY SEE STRACHAN MARGARET SEE STRACHAN MARGARET	
STRACHAN VICTOR EDWARD	F5	IN LOVING MEMORY OF MY DEAR HUSBAND & DUR DEAR FATHER VICTOR EDWARD STRACHAN DIED 13 AUG 1955 AGED 67 YEARS OUR DEAR MOTHER ELLLEN SUSAN STRACHAN DIED 30 JUNE 72 AGED 83 YEARS AT REST	
		IN LOVING MEMORY OF MY DEAR HUSBAN D & DUR DEAR FATHER VICTOR EDWARD STRACH AN DIED 13TH AUGUST 1955 AGED 67 YEARS OUR DEAR MOTHER ELLEN SUSAN STRACHAN DIE D 30TH JUNE 72 AGED 83 YEARS AT REST	
GTRATHEN FLORENCE	F15	IN LOVING MEMORY OF OUR DEAR MOTHE R FLORENCE STRATHEN DIED 10 NOV 1970 AGED 79 YEARSOUR DEAR FATHER HERSCHEL WILLIAM STRATHEN DIED 22 JULY 1979 AGED BB YEARS "AT REST"	11 5.
STRATHEN HERSCHEL WILLIAM	F15	SEE STRATHEN FLORENCE	4
STREET CHARLES LEE	P4	IN LOVING MEMORY OF CHARLES LEE ST REET DIED 16 SEPT 1887 AGED 43 YEARS	J BURNS
STRICKLAND JAMES HENRY	C4	IN LOVING MEMORY OF MY DEAR HUSBAN D AND DUR DEAR FATHER JAMES HENRY STRICKLAND PASSED AWAY 18 OCT 1950 AGED 64 YEARS PHOEBE STRICKLAND DIED 28 MAY 1968 AGED 83 YEARS*AT REST*	**
STRICKLAND PHOEBE STRINER ROSALA		SEE STRICKLAND JAMES HENRY SEE MYERS MARY	
STRONG BILL	F11	20-1-89 BILL STRONG AT REST (WOODEN CROSS NEXT TO GRAVE OF NORMAN RICHARD SMITH)	( <del>-</del>
TUART ELLA MARY	52	IN LOVING MEMORY OF OUR DEAR MOTHE R ELLA MARY STUART DIED 31 MAY 1944 AGED 55 YEARSOUR DEAR FATHER HARRY STUART DIED 11 JULY 1978 AGED 87 YEARS. "IN GODS CARE"	
TUART HARRY		SEE STUART ELLA MARY	
TUDDEN FRANCESS A TUDDEN GERTRUDE MAY		SEE STUDDEN WILLIAM T	*
TUDDEN JOHN HETHERINGTON	P14	SEE STUDDEN SARAH JANE SEE STUDDEN SARAH JANE	2
TUDDEN SARAH JANE	P14	SARAH JANE, JOHN HETHERINGTON, SAR AH JANE ROSS (SADIE), GERTRUDE MAY BELOVED CHILDREN OF N & F STUDDEN	à.

A Register of Pioneer Families of Bathurst NSW and District before 1900

ROCKE

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Family History Group of Bathurst Inc.

2007

Peel Post Office, 1842-1872. ArrAus. 10 Jan 1842 (bounty) per "Duke of Roxburgh". ArrBx. 1842 from Trowbridge WIL ENG. Res. Brucedale and Peel.

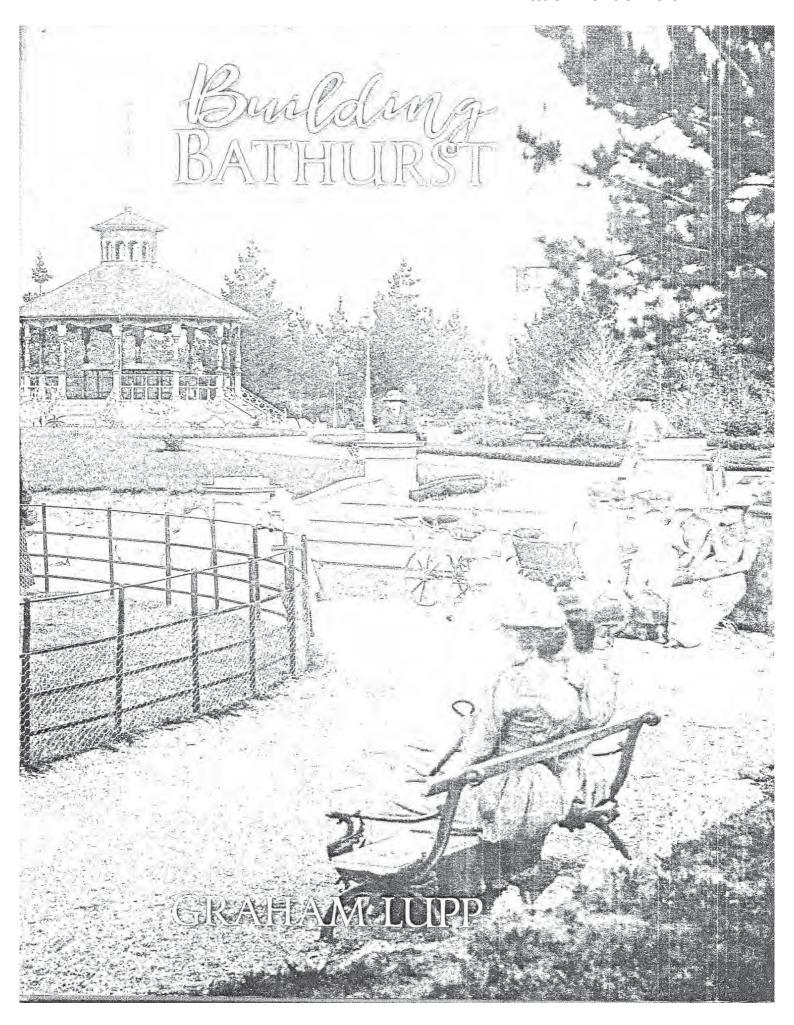
The family was sponsored by Thomas Gore and Co and James was contracted to work for John Bligh Suttor for £8/-/- for one year and rations. James' wife Mary died on the voyage following childbirth and James married another passenger from the same voyage later that year.

He was the first postmaster at Peel when the post office was established there on 1 Aug 1856. His allowance was £12 per annum. Following his death, his daughter Catherine took charge on 1st Oct 1872. Another daughter, Mary Jane Hughes served as the postmistress from 1 Jan 1875 till 1 Apr 1889. Further information supplied. [92]

- 3918 **READ, Martha** b. 27 Dec 1835 ENG bp. 3 Jun 1888 CE Kelso fa. James<sup>3917</sup> mo. Mary Porter d. 4 Sep 1919 Double Bay bu. Rookwood. Sp. John STANFORD<sup>4544</sup> m. 20 Dec 1852 Presb. Bathurst. ArrAus. 1842. [92]
- 3919 **READ, Mary Jane** & 1829 Trowbridge WIL ENG fa. James<sup>3917</sup> mo. Mary Porter d. 1894 Sydney. Sp. Bernard Francis HUGHES<sup>2377</sup> m. 1846 Bathurst. Occ. Postmistress at Peel, 1875-1889. ArrAus. 10 Jan 1842 (bounty) per "Duke of Roxburgh". ArrBx. 1842 from Trowbridge WIL ENG. Res. Brucedale and Peel.

  Mary Jane assisted her father, and then her sister at Peel post office before being appointed postmistress in 1872.
- 3920 READ, Melissa b. 1822 ENG fa. James<sup>3917</sup> mo. Mary Porter d. 16 Aug 1893 bu. Bathurst. Sp. John HOWARD<sup>2361</sup> m. 25 Oct 1842 CE Kelso. [92]
- 3921 **READ, Nicholas** (Reid, Reed) & c1797 Dublin IRL fa. Patrick mo. Mary Pansley d. 5 Sep1863 Bathurst bu. RC Bathurst. Sp. Elizabeth Mary BLUNDEN<sup>419</sup> m. 16 May 1840 RC Bathurst. Iss: Mary Elizabeth & 1840; Richard & 1841; Matilda & 1844 Sydney; Emily Jane & 1845 Bathurst; Maria & 1848 Bathurst; Nicholas Augustus & 1852 Bathurst; George Fredrick & 1855 Bathurst; William Charles & 1858 Bathurst. Occ. Farmer, landholder at Bathurst. ArrAus. 1819 (convict) per "Tyne". ArrBx. c1840 from Cockfighters Creek nr Singleton. Res. George Street. Nicholas was was a horse shoer and blacksmith in Dublin before he was sentenced 7 years' transportation. [740]
- 3922 **READ, William** fa. Ebenezer mo. Julia Kemshall d. 1944 Wyong. Sp. Mary DAWES m. 30 Dec 1878 Bathurst. [92]
- 3923 **REDDAN, John** fa. John mo. Margaret d. 1876 Bathurst. Sp. Ellen COSTELLO<sup>987</sup> m. 1873 Bathurst. Iss: Elizabeth Mary b. 1874 Bathurst. [380]
- 3924 **REDDING, William** & c1842 LND ENG fa. John mo. Frances Putman d. 10 Jan 1922 Peel bu. CE Peel. Sp. Fanny PYMONT<sup>3862</sup> m. 12 Dec 1867 CE Peel. Iss. Alfred George & 7 Sep 1869 Bathurst; Herbert William & 13 May 1872 Bathurst; Arthur John & 31 Mar 1875 Bathurst; Bertie Pymont & 30 Aug 1877 Bathurst; Norman Frank & 26 Jan 1881 Bathurst; Nena Mabel & 15 Jan 1883 Bathurst; William Harold & 5 Feb 1885 Bathurst; Emilie Olive & 22 Oct 1887 Bathurst; Ivy Caroline & 22 Oct 1887 Bathurst; Jessie Eliza & 5 Jan 1890 Bathurst; Walter Charles & 12 Jul 1892 Bathurst (all & Bathurst). ArrAus. c1856. [602]
- 3925 **REDFERN, Robert** & c1769 America or UK & 3 Sep 1853 Campbells River & Bathurst. Sp. 1 Mary WILLIAMS Iss: William<sup>3926</sup> & c1809 Philadelphia PA USA. Sp.2 Julia m. 1840 RC St Marys, Sydney. Occ: Farmer at Campbells River. ArrAus. 1825 (free) per "Phoenix". ArrBx. 1825. Res. Campbells River.

  Robert arrived in Australia with his teenage son in 1825, bringing with him a letter of introduction from Lord Bathurst which resulted in him being granted 2000 acres fronting the Campbells River as soon as he arrived. His death certificate and headstone indicate that he was a M.D. but it appears that this was never stated in his lifetime though the will of Dr William Redfern, the colonial surgeon, suggests that the two may have been brothers. The reason for Robert apparently being in America at the time of the birth of his son is unknown. [92]
- 3926 **REDFERN, William** b. c1809 Philadelphia PA USA fa. Robert mo. Mary Williams d. 10 Jun 1895 Sandy Creek, Blayney bu. Bathurst. Sp. Julia RYAN m. 21 Feb 1860 RC Bathurst. Iss: William b. 13 May 1861 Campbells River; Edward W b. 1864 Bathurst; Mary A b. 1865 Bathurst; Edward b. 1868 Bathurst; Joseph b. 1871 Bathurst; Thomas b. 1879 Bathurst. Occ. Farmer at Campbells River. ArrAus. 1825 (free) per "Phoenix". ArrBx. 1825. Res. Campbells River. William came out as a teenager on the "Phoenix" with his father. [92]
- 3927 **REDFERN, William Robert** & 13 May 1861 Campbells River fa. William<sup>3926</sup> mo. Julia Ryan d. 13 Jan 1938 "Corona" Forbes bu. RC Forbes. Sp.1 Catherine GLAZEBROOK m. c1887 Bathurst. Iss: Susan & 30 Sep 1893 Bathurst. Sp.2 Mary BESTWICK<sup>357</sup> m. 1 Sep 1897 Bathurst. Iss: William John (Billy) & 9 Oct 1897 Blayney; Catherine Mary & 28 May 1899 Wellington; Ivy May & 19 Jan 1901 Wellington; Herbert Roy & 31 Jan 1903 "Suntop" Wellington; Daniel Thomas & 13 Sep 1904 Wellington; Eric Milward & 11 Oct 1905 Wellington; Norman Robert & 9 Jul 1907 Wellington; Henry Edward & 21 Apr 1909 Wellington; Lucy Agnes & 16 Oct 1910 Wellington; Thomas Joseph; John Bestwick; Bede Darcy; Mary Silvia; Maurice Dudley; Bryan Douglas. Occ: Farmer. [5,92]
- 3928 REED see READ
- 3929 **REEDY, Edmund** & 1834 Thomastown KIK IRL fa. Edmund mo. Ann (Nancy) Mard d. 12 Jul 1888 O'Connell. Sp. Bridget DOYLE m. 16 Jan 1862 Bathurst. Iss: Thomas Edmund b. 1861 O'Connell; Michael & 1864 Macquarie Plains; Agnes b. 1865; Daniel Joseph b. 1866; Patrick b. 1868; Mary b. 1871. Occ. Farmer at O'Connell, 34 years. ArrAus. 1854 per "Lady Elgin". ArrBx. 1854 from Thomas Town KIK IRL. Res. O'Connell Plains. When Edmund had no luck on the goldfields he quickly turned to what he knew best, farming and his horsemanship, to make a living. He became well known in the Bathurst district, driving a team of Clydesdale draught horses, calling to each of them by name in his Irish brogue and by the sounds of his rich tenor voice as he worked in the fields. He helped clear the land and undertook share farming activities in the area.



- 34 On the 21 July 1858, Geil put an advertisement in the Bathurst Free Press calling for tenders for the new Catholic Presbytery, now demolished, in Orange. 1his was his first building in Australia.
- 35 Haselden was also spelt Hezelden or Haseldon, but it is written Haselden by Elizabeth and both her parents on the Geil's marriage certificate.
- 36 Gell's marriage certificate 11 April 1861, Catholic Chancery, Bathurst
- 37 Gell's notebook p. 89, has a note 'Fowlers White bricks' for use on Logan Brae.
- 38 Lloyd, Nathaniel, A History of E11glish Brickwork, Blom, N.Y. 1972, First pub. London, 1925
- 39 'fle Yorkshire Estates, Museum of Burton Constable, Yorks
- 40 Thomson, Paul, William Butterfield, Routledge and Kegan Paul, 1972, p 249
- 41 Thomson, William Butterfield, p. 250
- 42 Gell owned a copy of Calvert Vaux's Villas alld Cottages, first pub.1857. His 1864 edition, in the collection of Historic Houses Trust of NSW, is overdrawn with his own design modifications on pp. 160 and 224
- 43 In 1983 I was fortunate enough to secure funding from the Mitchell Library to carry out a measured drawing of the convent with photographic documentation both before and during demolition. In this I was assisted by my late friend and colleague, Brian Costello,
- 44 Lloyd, A History of English Brickwork, p. 68
- 45 Some of the single brick work must have remained, because in 1901 WJ. Stanley complained to Bathurst Council that his sister had been seriously injured when her horse fell. Tlis was the result of a hole in the drain at the same spot where Gell bad uncovered the faulty work. It became apparent that Council had allowed the drain to remain, and had used it for years. Stanley informed Council of his intention Io claim compensation.
- 46 Theo Barker, A History of Bathurst, Vol. II, p 87. Theo's wording tends to suggest that Council brought the charges against Holland, which seems odd considering he stayed in Bathurst, immediately setting up in private practice as an architect.
- 47 Letter to Mrs J.E.L. Rutherford, Bathurst District Historical Society, 1956
- 48 The book belongs to Gell's great-great-granddaughter, Mrs Susan Gore of Cornwall. I am grateful to have had this book in my possession for a number of years, during which time it was thoroughly scanned and studied.
- 49 TIIis name may have been O'Mara who built Gell's 1877 St Raphael's Church in Cowra.
- 50 O'Connell Village Conservation Group, Historical Significance of O'Connell Village, 1997
- 51 O'Connell Village Conservation Group, Historical Significa11ce 0JO'Co1111ell Village, 1997
- 52 O'Connell Village Conservation Group, Historical Sig 1ificance of O'Co11nell Village, 1997
- To assist with this I carried out a complete measured drawing of the church, and documentation of new belfry.
- White Rock Progress Association, President Max Wilson, White Rock, The Gateway to Bathurst, 2015. p 97-99, states that Wallaroi was probably built by William Lee in the 1860s.
- fin 18-12 Nichofas Rclad (1797-1863) bought the property at 108 William Street and built a two-storey hotel on land once owned by George Kable, who was bankrupted in 1844. Kable had many debts, including £343 owing to Read. The new hotel was called Tile Good Woman Inn, a nanle Read transferred from his inn in lower William Street. In the SMH 14 July 1843, Read informed the public that he had 'removed to his new premises'. The building comprised what we now know as the Royal Hotel and the two shops at 104-106 William Street. Tilis accounts for an unusual step in the party wall between the two premises. Tile main walls of both floors are 13.5 inches thick (1.5 bricks), confirming that the bujlding was always two-storied, and could easily support the third floor which was added in early 1873. At the rear, a wall of original external brickwork contains a rounded buttress built to strengthen the walls above.
- 56 Meagher, Advent of the Sisters of Mercy, p. 33
- 57 Turner, Brian, Australias I on Lace, Allen and Unwin, 1985, p. 116

#### Attachment 8.2.3.3

- Blind arcading is thought to have derived from machicolation, where similar corbelled projections with openings between allowed defensive missiles and liquids to be discharged upon an enemy below.
- 59 Notes of photo taken by Mrs J.E.L. Rutherford, BOHS collection. Living just around the corner I would have walked past this cottage hundreds of times. Why didn't I have a camera and why didn't I do a measured drawing? Perhaps because I was ten years old when it was demolished.
- 60 A detailed description of Lee/rol111e can be found in the Natio11al Advocate, 1890, 1 September p. 2
- 61 The completion date of Read's hotel is unclear. In February 1851 it was advertised as a new building to let, after the first licensee, Dominique Popilarie (Pololari), vacated. Yet in 1856 The Bathurst Free Press reported that Read was 'considerably advanced in the erection of a...substantial building...destined for an hotel of superior class: This work may have been for the Bank of NSW which established a branch in December that year, and occupied the building until its new bank was completed on the corner of George and Russell Streets in 1859.
- 62 Retallack, Sandra, Glengowan Angus, Moorilda. Leap of Fait/1, The Pioneers of Teapot Sivarnp and Moorildn. 2015
- 63 Notes on back of photo of Bier Wood taken by the late Mrs J.E.L. Rutherford.
- 64 There is some doubt over the name *Bier Wood*. The name, or something like it, was indistinctly written by the late Mrs J.E.L. Rutherford on a photo of the home. *Bier Wood* like *Tnl-y-Gam* is a location in Wales and may have had special meaning for Dr Bassett.
- 65 Grant, Monsignor Leo, Salt of the Earth, undated, p. 250
- Returning from Queensland on 27 October 2003, about 6 p.m., l knocked on the door of the Tamworth Presbytery. Although it was right on dinner time, I was graciously invited in by the pastor, Revd Richard Gleeson, who, responding to my enquiry, found two sets of old drawings. One set was Marchand's originals, now framed and banging in the church. The second set, offour sheets (plan, long elevation, both end elevations and a cross section), carried the familiar embossed stamp 'Edward Gell, Architect, Bathurst' a set of-d uments I didn't know existed. Although a complete stranger, I obtained permission to borrow the Gell drawings for a few months, during which time l photographed and framed them, then sent them back to Revd Gleeson. It is miraculous that these drawings have survived 130 years in various dark cupboards. Gell's tlelicate watercolour renderings, on Whatman paper watermarked 1868 and 1872, show his trademark polychrome patherns over the windows and the porch. They also clearly show a series of four beautiful semicircular tinlber trusses that span the nave. Although Gell did not win the competition, his trusses found their way into the church. Marchand obviously 'borrowed' from Gell's design, to replace his own standard and unimaginative scissor trusses.
- 67 In 1955, to escape the flooding in lower Havannah Street, my father bought 54 Piper, nvo doors up. The wrought iron gate at far right in the photo is our driveway. As a schoolboy I wondered about this old house and have for years photographed it in all kinds of light.
- 68 Pratten, C., ed., Summer Hill, Ashfield and District Historical Society, 1999, pp. 140-142
- 69 Afdille Celltennial History of N.S. W, Appendix, p. 257
- This drawing, which dates from, the second half of 1876, was given to me by colleague and friend, the late Mr Bill Tighe.

  During the tendering period, one-off drawings like this would have been displayed in the architect's office for builders to study when preparing their quotes.
- 71 In 1968 the Sisters of Mercy in Bathurst generously gave me access to three of Gell's original drawings, then the most extensive set found. TI,ey were rolled up and patched with yellowing sticky tape. I obtained permission to photograph the drawings and remove the tape. For 'posterity; and with my customary zeal, I then stuck them to cheap acidic cardboard using non-archival glue. In 2006, in preparation for the Edward Gell exhibition, I was able to undo the damage and reframe the drawings archivally, having, by then, framed my own art work for many years. The 33 page specification has been invaluable in deciphering Gell's handwriting which, while generally legible, has personal idiosyncrasies that take some getting used to.
- 72 Wilson, Tire Jubilee of Bathurst. p. 45
- 73 A few years ago, one of the Sisters of Mercy, Sister Mary Ryan, ventured to the kitchen during the night, only to discover the early stages of an electrical fire which, Mercy-fully, was brought under control. Told by Sr Ryan to G.Lupp.
- 74 Steele, Lee, 100 Heritage Homes, pub 2015, p. 77



6.46 Carcoar Convent and Church. Gell's watercolour of the Church and Convent complex. The date of this sketch is uncertain. It may have been done prior to building the convent in 1872 to indicate the relationship between the buildings, or done afterwards simply as a personal record. Collit 1gridge Family Collection

to give the appearance of being dressed, are unique among his smaller churches. The dedicated Revd Father Phillip Xavier Ryan (1835-1908), described as a big, bluff, good-humoured man, was one of five priests to come to Australia with Bishop Quinn in 1866. During his 14 years at Carcoar he built a church, convent and presbytery at Carcoar, a convent at Cowra, a church at Canowindra and a church, £1,500, and convent, £1,000, at Blayney. In 1880 Fr Ryan 'returned to the Old Country, became a Cistercian monk in the Trappist Monastery at Mt Melleray, where he died in 1908.' (CP 1940 12 Dec), (Ref: Grant, L. Salt of the Earth). 1873 Additions of Chancel, sacristy and nun's chapel. (DNB). Tenders called for Chancel, Sacristy and Nun's Chapel. Apply Revd Dr Quinn, Bishop of Bathurst or Revd P. Ryan (BT 5 Feb). In his original design Gell had allowed blind arches and gables for these additions, but they were not built. (See measured drawing at the start of this chapter).

#### 1867 BATHURST Imperial Warehouse for William Mears

Approx. 50 William Street. (DEM). **1867** Gell called tenders for the demolition of old buildings and removal of rubbish (BT 23 Mar). Gell called tenders for a 'First Class Building' in William Street (BT 27 Apr). **1868** Gas lighting installed (BT 25 Mar). At the time Mears was the only maker and consumer of gas in Bathurst. **1870** Mears' business, founded in 1865, 'Has two departments - grocery, ironmongery, wines and spirits on left, and the drapery on the right' (EMP 14 July).

Mears' warehouse was located to the left of the old Presbyterian Kirk in William Street, and had '1867' painted on the triangular pediment. The building, which was 110 x 45 feet, was single-storey, except for a section twenty feet off the street frontage, which housed furniture and Staffordshire ware. The verandah and balcony were an unusual stepped design, both with striped bullnosed verandahs. The internal space was divided into two. The central wall was not apparent from the street, as it split into a wedge shape behind the shopficint plate glass. To the left were the grocery, ironmongery, crockery, and wine and spirit departments. To the right were the drapery and tailoring sections. The tailor's workshop and cutting rooms were upstair. The whole building, as was the fashion, had a lofty coved ceiling with skylights, similar to Thomas Rowe's design of The Show Room of 1874, Webb Buildings in 167 George Street. 'Mr Mear's office is unique, and consists of a large central octagon frame, all panelled in glass and planted in the centre of the store, commanding a fine panoramic view of everything.' (EMP 14 July). One of Mears' employees was John Meagher, later M.L.C., who became one of the most successful and influential businessmen in Bathurst's history. 1877 The property was bought by George Albert Wray (BT 12 May). 1881 Bought by Louis Edgley and his partner, James T. Hendley, who had worked for Wray (BT 13 July).

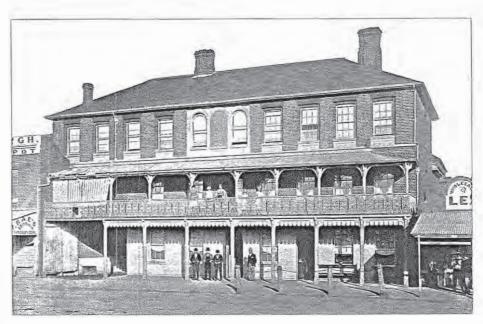
#### 1867 BATHURST Royal Hotel, miscellaneous alterations and additions

108 William Street. (DEM). 1867 20 Apr: Gell called tenders for twelve-stall stables at the Royal Hotel for Joseph Lewis (BT 10 Dec). 1868 9 Oct: When finished the stables were described as 'the most complete and commodious we have seen in the Western District.' Twelve stalls and 'two loose boxes large enough for coach horses when not required for training purposes..interiors replete with every convenience; they are roomy, lofty and well ventilated' (BT 10 Oct). 1873 Third storey to the Royal Hotel. Strongly attributed to Edward Gell. In 1920 an article written as one in a series called 'After 40 Years', the unknown author, 'An Old Bathurstian', related that in 1866 John McDonnell added a third storey to his Shepherd's Inn Hotel at 96 William Street. According to the article, the owner of the Royal Hotel, Richard Read, decided to do the same. Richard's father, Nicholas, had built the Royal in 1842-43.55 Jhe hotel and the shops at 104-106 William Street are part of the same building. When Read died in 1863 the property went to his sons; Nicholas Augustus got the shops and Richard got the hotel.

As 1866 was a year of a severe drought, it was considered safe to remove the roof and start on the third storey. As the writer explained, however, an unexpected storm hit before the work could be completed and a tarpaulin, which had been stretched to protect the exposed building, quickly filled with rain. The extra weight brought down most of the new brickwork, with water going all the way to the cellars (BT 1920 23 Jan). Nothing more was heard of the third storey, but a photo taken in late 1868 or early 1869 shows the roof on the original two-storey building had been put back and the project abandoned. When Joseph Lewis, the licensee, died on 4 November 1872, the hotel was advertised 'To Let', with the building described as two-storied (BT 1872 26 Nov, also BFP and SMH).



6.47 Imperial Warehouse, 1867, 50 William St., Bathurst. This view of lower William St., near the present arcade, shows the Imperial Warehouse designed for William Mears. The year, 1867, is on the pediment. Because of their strong similarity, the other buildings, all long demolished, may also be Gell's. Far end, the Prince Alfred Hotel, to which Gell added a balcony ill 1879. Two shops next door, at number 36, are possibly those designed by Gell in 1870. Photo 1873, SL NSW, Holterman a2824889 crop



6.48 The Royal Holel taken in April 1873 after the third floor was added. Attributed to Gell. Photo SL NSH, Holtennann 228749010/j

In March and April 1873 Beaufoy Merlin and Charles Bayliss were in Bathurst to photograph the city as part of B.O. Holtermann's photographic record of the colony (BFP 1873 29 Mar., EMP 5 Apr). 11le Royal Hotel appears in a number of the photographs, one of which was taken from the top of St Michael and St John's Cathedral, and another from directly in front of the hotel. 11lese photos show the building with a newly completed third storey. Obviously the new licensee: William Reid, had decided to go ahead with the 1866 addition. It seems remarkable that the storey could have been built between December 1872, the time of the 'To Let' ad, and April 1873, when Merlin took the photos, although once the bricks were made, the work had to be done quickly for obvious reasons. Even with the old roof removed and construction going on, business at the ho'el continued, with its popular Royal Assembly Room concert hall, located on the Russell Street side, in constant use. Close inspection of Holtermann photo a2824900h shows the third storey to be no more than a few weeks old, with new shingles on the roof, the paintwork on the central arched windows left unfinished, the brickwork not completely cleaned off in places, and a can of oil left on a string ledge.

To date no architect for the third storey has been identified, but it is logical to attribute the work to Gell. He was the only local architect during these years, and in 1868 had completed the extensive stables at the rear of the building. As iscussed next, his work was ongoing. 1873 Alterations to the rear of the Royal Hotel. (DEM). 14 Jund: Gell's notebook p 45. Notes and dimensions for additional stables, 120 feet dish drain, repairs to gutter, downpipes, sinking of well, kitchen 51 x 17 feet and work on the verandah floor. 1874 23 Sep: A number of small rooms were demolished, with new apartments and bathroom between Hotel and the large room... this addition to be raised on pillars so as to keep the passage clear... cost £600, contractors Messrs J.J. Atkins and T. Nixon' (BT 23 Sep). 1889 and 1890-94 Architect James Hine designed the present facade, including the addition of the third storey to the balcony, and carried out extensive internal alterations for new owner Patrick Hurley. Other architects to work on the Royal Hotel were J.J. Copeman and William Dryden. (See Chapters 9, 10 and 11).

#### 1868 SOFALA St Patrick and St Joseph's Catholic School

Hargraves Street. 1868 28 Mar, Attributed. Described as a 'very pretty building in Gothic style and so admirably situated that it is the first object seen by the traveller *en route* to the Turon' (FJ 28 Mar). 17 Apr: Opened by Bishop Quinn (SMH 22 Apr). Bazaar held to liquidate debt (BT 27 May). 1870 An article reported that the 'school has an admirable exterior, but an incommodious plan; Mrs Doyle is the teacher' (EMP 2 Aug). 111is building is attributed to Gell, because of its obvious architectural character and the twin-flued chimneys as found on his other buildings, such as the shops for William Lee in 1866. Gell had not long designed the Catholic Denominational School and St Mary's Convent, and the first stage of St Stanislaus' College was being planned. Virtually all new Catholic buildings in the district at this time were commissions to Gell from Bishop Quinn.

6 EDWARD GELL 339

end of the year in time to catch the wheat season. By March 1902 the whole of the main building, e cept the main front wall, had been rebuilt, and the chimney rebuilt to a height of seventy-two feet. Electricity was connected and the latest machinery, much of it brought from England, was installed. Ennis was contractor under the direction of John Tremain and the firm's miller, EH. Cox.

#### 1902 BATHURST Residence, Tena Korua, for builder Albert E. Ennis

182 George Street. In 1902 the Rates book shows this site as 'land' owned by the AJS Bank. In 1903 it as a seven-roomed house owned and occupied by Ennis. This beautiful home, which Ennis built for his falfily, is thought to have been designed by John Copeman with whom Ennis worked on numerous projects. hile the detailing on the rest of the house is different, the prominent cast iron decoration on the gable enrs is identical to 159 Stewart Street, designed by Copeman for John R. Jones in 1903. Attribution: Mr Bill Trghe.

#### 1902 BATHURST Butte, Facto, y fo, Bathunt Co-opmtive Dairying Co. Ltd

Corner of Bentinck and Howick Streets. (AOD in SL, dated 15-3.02. DEM 2014). 1901 The newly formed Bathurst Co-operative Dairying Company proposed building a butter factory in Bathurst on th] old hospital site at the corner of Howick and Bentinck Streets. The site had been vacant since the hospital burnt down on 12 December 1878. The land was acquired on a five-year lease with an option to buy (BT 9 Oct). 1902 A competition wa! held, with John Copeman's design being selected over five other submissions. The plan provided a manuflcturing room, two cool rooms, cream room, general and managerial offices and testing room (BFP 22 Mr,r). Copeman called tenders (BT 22 May). Ennis was the contractor. Cost £967 (NA 13 Oct). (See Copeman,,Chapter 10).

#### 1902 COWRA New Sartuary, St aphael's Catholic Church

Corner of Kendal and Lachlan Streets. (DEM). Bishop Dunne blessed the new sanctuary. Copeman was the architect and the controctor was Ennis. Cost £225 (FJ 20 Sep). The sanctuary was donated by Mrs Johanna Brown in memmy of ht husband 'Sam' Brnwn and he, son John, who died in 1902 (CP 192414 Aug).

#### 1903 BATHURST Metodist Parsonage, Milltown

Eastern corner of Lami Jet and Havannah Streets, next to the Wesleyan Burial Ground in the same block as the old Presbyterian planse. (DEM, AOD in SL). John Copeman called tenders (BT 23 Jan). Copeman's beautiful drawing sholls the parsonage was oriented to face east, so the balcony gained a 'magnificent view of the plains and the parsonage was oriented to face east, so the balcony gained a 'magnificent view of the plains and the spare ground ploughed and laid out with taste.' The garden was designed by Albert Patterson, the head gardener for Bathurst Council (BFP 16 July). The contractor was Ennis, the total cost was £853, the architect's fee £41. The two-acre site had been granted by he Government for Church use, but the lack of development and threat of resumption prompted the Church to raise the money to build. On 15 July the parsonage was opened (BFP 16 July). This handsome two-storey residence, with its semicircular top-floor window, was one of Copeman's best. The garden included a tennis court which was still used by the Church Tennis Club after the home was bought by Bathurst historian Bernard Greaves in 1950.

#### 1904 BATHURST Balcony to shops for Charles McPhillamy Snr

104-106 William Street. (AOD in SL, DEM). Copeman was the architect (BDA 25 Aug). Nicholas Read owned the shops and the Royal Hotel next door. When he died in 1863 he left the hotel to one son, Richard, and the shops to the other, Nicholas Augustus. They were the offices of Clements and McCarthyuntil they moved into the Grand Hotel in 1891. They sold the shops to Charles McPhillamy in 1904. In 1904 when the balconies were added, 104 was the second store of Hunter and Co. and 106 was H. Chessman's Branch Pharmacy (NA 1904 3 Sep). The contractor was Ennis and the balconies cost £151. Copeman's fee was £11 20s.

#### 1904 WOODSTOCK St Matthew's Church of England

The new Church of England at Wo<;>dstock, NSW, was opened free of debt in August. Copeman was given as the architect and A.E. Ennis the contractor (NA 1904 22 Aug).

#### 1905 NEWBRIDGE New Post and Telegraph Office

Ennis was the contractor for a new Post and Telegraph Office. Opened on 30 June 1905 (NA 1 July). Tenders for a suitable site were first called by the Government on 9 November 1900 (BT 17 Nov).



9.57 Considered to be the grandest of Hine's villas, Blnir Mhol, 281 Keppel Street, sits in period gardens whiith have been extensively restored and extended over recent years by the previous owners, Mr and Mrs Bruce Bolam. Ploto, Gl.

The symmetrkal facade has double hung windows trimmed with stucco, and a front door with fine side lights. The hexagonal tiles on the verandah are original. A convex curve verandah is supported on cast iron columns and griffin, or bird, brackets which are dated 1884. The same creature appears in pattern 162, registered in September 1884 by W. Stephens and J. Bromwich. Similar brackets are found on Fil1tcma al 163 Russell Street.

#### 1892 BATHURST Villa Residence, Blair Atl10l, for John McPhillamy

281 Keppel Street. 1845 The land was originally purchased by N1chola Read (1797-1863) for £19. Read purchased five half-acre blocks in Keppel Street from Mitre to Hope Streets. In 1875 these blocks were owned by Read's son Richard (1841-83), an J until 1887 were listed in the Rates books as 'Richard Read Estate', after which the owner was listed as 'Unknown.' In the early 1890s the land was bought by John McPhillamy (1850-1935). 1892 Jan: McPhillamy sought permission from Council to extend the water main f'om Hope Street up Keppel Street as he was about to build there.' The cost was to be £34 for the largest main, three inch diameter, and £16 for the smallest. 'Ihe largest was decided upon, on the advice of the Acting Ivlayor, Alderman Pruen (BT 14 Jan). 'Ihe 1892 Rates book, assessment number 1633, states that a house of 16 rooms was being built, thus confirming the year of construction. When the house was for sale in 1935, it was advertised as having '10 main rooms, Staff Quarters, garages, glasshouses, poultry house, tennis court, garden and a four-room Gardener's Cottage.' 'This cottage was built before Blair Atltol and still exists at 96 Mitre Street.

1894 The 1892 application for a water main extension must have been postponed or rejected, because in November 1894 builder and plumber Arnold Rigby applied again to have a water main of LS inch galvanised pipe extended 400 foet from the town's main to J. McPhiHamy's residence. This was rejected by Council, which would not allow such a long extension of the main to only one house (BFP 15 Nov). As no contractor for *Blair Athol* has been discovered to date, and as Rigby was an established builder by this time, it is possible he was the builder. 1903 *Blair Athol* was the first house recorded in Bathurst lo have a septic: tank, installed by Rigby in October 1903. As Rigby was returning from a trip Io England to see his parents, the work was done in conjunction with Hobday and Walder, Sanitary Engineers of 292 Pitt Street, Sydney. It was reported that while in England, Rigby had inspected 'the latest sanitary appliances and systems for the disposal of sewerage, etc.' (NA 1903 6 Oct).

Although no tender notices have been found for Blair Atha/, it is generally accepted that Hine w,ls the architect, as the Victorian Filigree style of *Blair Al/10/*, with its use of cast i.ron and faceted bay windows, is so similar to his other Bathurst work. As this catalogue shows, Hine had also been engaged by the McPhillarny family on numerous other buildings, including additions to ,Weremlnn for John McPhillamy the year before. Without doubt the grandest of Hine's villas, *Blair Atlwl* has been returned to its original

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# DIVISION OF BATHURST

alene, 168 Keppel street, home duties, F Owen Way, home duties, F Lewins street, home duties, F ent, 8 Lewins street, cannery assistant, M ine, 62 Keppel street, home duties, F ttoria street, Georges Plains, home duties, are, 4/104 Bentinck street, home duties, nter, 255 Piper street, medcial practitioner, Noelene, 5/137 George street, clerk, F exandra, 255 Piper street, home duties, P Isley street, home duties, F wen way, home duties, F Jullock, 5 Owen way, fitter, M r, 194 William street, home duties, F , 11 Parnham street, shop assistant, F r Garvock, 6 Hamilton street, home duties, nder, 194 William street, manager, M 171 Rankin street, home duties, F George, 11 Parnham street, carpenter, M an, 6 Hamilton street, colourist, F juarie Homes, home duties, F an, 70 Russell street, railway employee, M get Dawn, 11 Parnham street, home duties, vard, 171 Rankin street, salesman, M imphries, 143 Hope street, Bathurst, solicitor, irgaret, 143 Hope street, Bathurst, home dutie ichael Bruce, 268 Keppel street, solicitor, M well King, 268 Keppel street, home duties, F ctor Farley, 5 Morrissett street, labourer, M ence, 13 Lord street, home duties, F Ernest, 7 Prospect street, labourer, M 2 William street, home duties, F zabeth, 24 White street, home duties, F 3, 214 Hope street, bank officer, M eton, 24 White street, forester, M line Jean, 7 Prospect street, home duties, F n, 30 Torch street, carpenter. M ese, 242 Rocket street, home duties, F Havannah street, librarian, F rian, 242 Rocket street, driver, M idys, 30 Torch street, home duties, F s, 285 Lambert street, constable of police, M inley street, home duties, F Stanley street, labourer, M is, 270 Durham street, teacher, M in, 270 Durham street, teacher, F zabeth, 315 Stewart street, Bathurst, milliner, son, 315 Stewart street, student, M Alicia, 313 Stewart street, home duties, F hanna Wilson, 315 Stewart street, W.R.A.N., F son, 315 Stewart street, Bathurst, carrier, M annie, 209 William street, home duties, F iglas, Esrom road, farm hand, M William, 1 Alamein walk, carrier, M Iary, Dunkeld, home duties, F Raymond, Devonglen, Esroin, farmer, M 1a Martha, Devonglen, Esrom, home duties, F Helen, Perthville, home duties, F

## 1969 ELECTORAL ROLL SUBDIVISION CF BATHURST

stocks, Estelle Carmel, Esrom road, home duties, F cks, Gladys May, 227 Howick street, Bathurst, home duties, F Socks, Gordon Francis, 153 Durham st., Bathurst, shopkeeper, M Specks, John Oliver, 289 Durham street, dairy farmer, M socks, Kathleen Margaret, 289 Durham street, home duties, F socks, Margaret Frances, cnr. Commonwealth and Durham sts., h.d., F. socks, Margaret Lorraine, RMB 273, Esrom road, bank officer, F Seeks, Margaret May, Penrose, Dunkeld, home duties, F socks, Morton Joseph, Penrose, Dunkeld, dairy farmer, M Socks, Maurice John, Perthville, carrier, M Rocks, Sandra Vera, 1 Alamein walk, home duties, F Stocks, Thelma Joyce, 380 Howick street, home duties, F Socks, Wallace Bruce, Esrom road, dairy farm hand, M Necks, Wendy Rosemary, Esrom road, home duties, F Locks, William Maxwell, 380 Howick street, truck driver, M Sokes, Helen Margaret, 273 George street, nurse, F Sokes, Margaret Christine, 42 Rose street, home duties, F \* stokes, Valerie Gertrude, 275 George street, home duties, F Stone, Charles Herbert, 71 Durham street, labourer, M Some, Leslie Maurice, 53 Piper street, retort operator, M Sone, Joan Ann, Agricultural Research Station, home duties, F Sone, John Gordon, Agricultural Research Station, manager, M Stone, Margaret Mary, 147 Bentinek street, home duties, F one, Mary, 71 Durham street, home duties, F one, Mary Teresa, 53 Piper street, home duties, F one, Rita Elizabeth, 2/141 Keppel street, home duties, F Sone, Wilfred Leo, 147 Bentinck street, signalman, M Monestreet, Gertrude Ellen Maria, 3 Vittoria street, home duties, sonstreet, Jan Lorraine, 3 Vittoria street, nurse, F Stonestreet, Lionel Augustus, 13 Pioneer street, driver, M Stonestreet, Patricia May, 13 Pioneer street, home duties. F Sonestreet, William Tressler, 3 Vittoria street, salesman, M Sorm, Alan George, 139 Hope street, staff inspector, M Sorm, Elizabeth Joy, 139 Hope street, teacher, F Sorm, Iris Una, 139 Hope street, home duties, F Brachan, Estelle May, 298 Rocket street, home duties, F Trachan, Francis Leo, 298 Rocket street, truck driver, M Strachan, Gloria Toan, 210 Hope street, home duties. F Trachan, Leila Iean, 165 Keppel street, home duties, F Strachan, Maxwell Hatherton, 165 Keppel street, painter, M Strachan, Ruby Kathleen, 179 Stewart street, Bathurst, home duties, I Strachan, Spencer, 227 Peel street, linetype operator, M Strachan, Vincent, 210 Hope street, fitter, M Strand, Judith Margaret, 303 Keppel street, shop manageress, F Strand, Richard David, 303 Keppel street, police constable, M Srickland, Charles Rex, 158 Stewart street, grazier, M Srickland, Marie Teresa, 158 Stewart street, home duties, F Strong, Frances Josephine, 37 Havannah street, home duties, F Strong, William Andrew, 37 Havannah street, railway employee, M Stuart, Athol Edwin, 14 Lambert street, railway employee, M. Suart, Barbara Joan, 31 Hill street, home duties, F Smart, Cyril John, 297 Lambert street, signalman, M Stuart, Janet Margaret, 14 Lambert street, home duties, F Suart, Maxwell James, 14 Lambert street, technician in training, M Smart, William Alfred, 31 Hill street, service station proprietor, M Stubbin, Gwenyth May, Caravan Park, receptionist, F mas, cnr. Commonwealth and Durham sts., prim. Stubbs, Joy Evelyn, 5 Mackenzie place, home duties, F Subby, Ronald James Albert, 5 Mackenzie place, representative, M Smebe, Deirdre, 185 Browning street, home duties, F Smebe, Walter, 185 Browning street, builder, M.

# 1950 ELECTORAL ROLL. CITY OF BATHURST

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STOKES, Valerie Gertrude, Domestic Duties, 275 George St., Occ.
                            STONE, Alfred Edward, Labourer, 117 Havannah St., Occ. STONE, Charles Herbert, Labourer, 71 Durham St., Occ. STONE, Keith Pattison, Factory Manager, 246 Lambert St., Occ. STONE, Leslie Maurice, Machinist, 185 Bentinck St., Own/Rpr. STONE, Margaret Mary, Home Duties, 20 Piper St., Occ. STONE, Margaret Mary Clare, Home Duties, 106 Keppel St., Occ. STONE, Marjorie Elaine, Home Duties, 155 Rocket St., Occ. STONE, Mary, Home Duties, 71 Durham St., Own/Rpr. STONE, Mary Teresa, Home Duties, 185 Bentinck St., Occ. STONE, Mollie Jean, Home Duties, 246 Lambert St., Occ. STONE, Robert, Stoker, 117 Havannah St., Occ. STONE, Robert, Stoker, 117 Havannah St., Occ. STONE, Thomas Henry, Railway Employee, 106 Keppel St., Occ. STONE, Wilfred Leo, Signalman, 20 Piper St., Occ. STONESTREET, Augustus Considine, Labourer, 255 Stewart St.,
  6593.
                              STONE, Alfred Edward, Labourer, 117 Havannah St.,
  6594
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6598.
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6604.
                             STONE, Wilfred Leo, Signalman, 20 Piper St., Occ.
STONESTREET, Augustus Considine, Labourer, 255 Stewart St., Own/Rpr.
STONESTREET, Gertrude Ellen Maria, Home Duties, 255 Stewart St., Occ.
STONESTREET, Lionel Augustus, Car Driver, 255 Stewart St. (Sec. 123, Pt. 8,
Lot 15), Own/Rpr.
6605.
6606.
6607.
6608.
6609.
                            STOREY, Alice Emily May, Fruiterer, 123 George St. (Sec. 17, Lot 12), Own/
                         STOREY. Noble Frederick, Fruiterer, 123 George St., Occ. STOW. Arthur Harold Bernard, Storeman, 8 Hansard Place, Occ. STOW, Doris Irene-Ellen, Home Duties, 8 Hansard Place, Occ. STOW, William Alan Samuel, Accountant, "Braemar," Keppel St., Occ. STRACHAN, Ellen Susan, Home Duties, 227 Peel St., Occ. STRACHAN, Estelle May, Home Duties, 128 Piper St., Occ. STRACHAN, Francis Leo, Shop Assistant, 128 Piper St., Occ. STRACHAN, Gloria Joan, Canner, 326 Stewart St., Occ. STRACHAN, Harold Walter, Labourer, 179 Stewart St., Occ. STRACHAN, Leila Jean, Home Duties, 86 Russell St., Occ. STRACHAN, Maxwell Hatherton, Painter, Russell St., Occ. STRACHAN, Ruby Kathleen, Domestic Duties, 179 Stewart St., Occ. STRACHAN, Victor Edward, Painter, 227 Peel St., Own/Rpr. STRACHAN, Vincent, Fitter's Assistant, 166 Rocket St., Own/Rpr.
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                             STRACHAN, Vincent, Fitter's Assistant, 166 Rocket St., Own/Rpr. STRETTLES, Norman Thomas, Cafe Proprietor, 69 William St., Occ.
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                            STUART, Athol Edwin, Photographer, 14 Lambert St., Own/Rpr. STUART, Harry, Railway Employee, 29 Rocket St., Own/Rpr. STUART, Janet Margaret, Home Duties, 14 Lambert St., Occ. STUART, Jean Frances, Home Duties, 29 Rocket St., Occ. STUBBS, Kathleen, Home Duties, 172 Stewart St., Occ. STUBBS, Sidney George, Baker, 172 Stewart St., Occ. STUBBS, Albert St., Occ. STUBBS, Property Home Duties, 12 Honry St., Occ.
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                              STURCH, Alma Florence, Home Duties, 12 Henry St., Occ. STURCH, Francis Jack, Labourer, 12 Henry St., Occ. STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ.
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                            STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ.
STURT, Lillian Mavis, Home Duties, 61 Lucas Rd., Burwood, Own/Rpr.,
STUVE, Laura, Home Duties, 9 Prospect St., Occ.
STUVE, Stanley Augustus, Baker, 9 Prospect St. (Sec. 123, Pt. 4Å), Own/Rpr.
SUITOR, Mervyn Alfred, Labourer, 23 Oak St., Occ.
SUITOR, Ronald James, Labourer, 23 Oak St., Occ.
SULLIVAN, Athol Augustus, Wool Classer, 31 Brilliant St., Occ.
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                              SULLIVAN, Bernard William James, Postal Employee, Oxford Hotel, William St.,
6640.
                           SULLIVAN, Bernadette Maureen, Home Duties, 31 Brilliant St., Own/Rpr. SULLIVAN, Christopher Clarence, Priest, Bishop's House, Occ. SULLIVAN, Ellen Marian, Home Duties, 150 Seymour St., Occ. SULLIVAN, Evonne Rita, Shop Assistant, 210 Russell St., Occ. SULLIVAN, Francis James, Railway Employee, 17 Vittoria St., Occ. SULLIVAN, Gerald, Wool Classer, 365 Howick St., Occ. SULLIVAN, Harry Norman, Railway Employee, 150 Seymour St., Own/Rpr. SULLIVAN, Ivy Theresa, Home Duties, 259 Howick St., Occ. SULLIVAN, John Michael, Broadcast Technician, 166 Lambert St., Occ. SULLIVAN, Laura Gertrude, Home Duties, 17 Vittoria St., Occ. SULLIVAN, Lillian Clarrisa, Home Duties, 365 Howick St., Occ. SULLIVAN, Margaret Mary, Clerk, 166 Piper St., Occ. SULLIVAN, Mary Mark, Home Duties, St., Joseph's Orphanage, Occ. SULLIVAN, Monica Agnes, Dental Nurse, 142 Rankin St., Occ. SULLIVAN, Norah, Home Duties, 166 Piper St., Occ. SULLIVAN, Patrick James, Public Servant, 210 Russell St., Occ. SULLIVAN, Patrick James, Labourer, 28 Henry St., Occ.
                              SULLIVAN, Bernadette Maureen, Home Duties, 31 Brilliant St., Own/Rpr.
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                             SULLIVAN, Patrick James, Labourer. 28 Henry St., Occ. SULLIVAN, Sarah, Home Duties, 28 Henry St., Occ. SUMMERFIELD, Beryl Isabel, Machinist, 42 Lambert St., Occ. SUMMERFIELD, David Joseph, Railway Employee, 19 Rocket St., Own/Rpr. SUMMERFIELD, Emma Mavis, Home Duties, 19 Rocket St., Occ.
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Own/Rpr. = Owner, Ratepayer Occ. = Occupier.

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#### STATE-BATHURST.

7. Volsley street, butcher, M street, storekeeper, M t, Bathurst, home duties, F ymour street, Bathurst, home duties, F enry street, home duties, F d, Kelso, munition worker, M eet, Bathurst, home duties F 33 Durham street, home duties, T et, lino. operator, M r street, Bathurst, shop assistant, M er road, Lower Kelso, trainee, M d, Kelso, home duties, F street, Bathurst, home duties, T eet, home duties, T rgineer, M street, labourer, M et, machinist, home duties, T kin street, home duties, F iver road 'Kelso, home duties, F Hope street, Bathurst, solicitor, M me street, Bathurst, home duties, F reet, butcher, M eppel street, home duties, T vick street, home duties, F et, home duties, F outh Bathurst, home duties, F in street, home duties, F wick street, labourer, M ration Homes; home duties, F it street, Sth. Batahurst, labourer, M al street, labourer, MM m street, carrier, M lla, home duties, F iarson, Bundilla, manager, M ikin street, labourer, M am street, home duties, F et, farmer, M wart street, Bathurst, milliner, F rt street, carrier, M art street; home duties, F street, Bathurst, carrier, Mi illiam:street, Bathurst, accountant, M street, Bathurst, home duties, F bert street, Bathurst, home duties, F ert-street, Bathurst, carpenter, M ambert street, B'hurst, appr. carpenter, ?" uglen, Esrom, farmer, M onglen, Esrom, home duties, F street, Bathurst, home duties, F am street, Bathurst, shopkeeper, M street, Bathurst, farmer, M eppel-street, Bathurst, home duties, F street, Bathurst, home duties, F hurst, home duties, F k street, carrier, M reet, clerk, F im street, home duties, F ick street, Bathurst, fuel merchant, M rham street, fuel merchant, 'M home duties, F

#### 1967 ELECTORAL ROLL

SUBDIVISION OF BATHURST. 1947.

7661 Stone, Alfred Edward, 117 Havannah street, Bathurst, labourer, M 7662 Stone, Catherine, T17 Havannah street, Bathurst, home duties, F

7663 Stone, Charles Herbert, 71 Durham street, labourer, M 7664 Stone, Keith Pattison, 246 Lambert street, factory manager, M 7665 Stone, Leslie Maurice, 185 Bentinck street, machinist, 'M

7666 Stone, Margaret Mary, 20 Piper street, home duties, F 7667 Stone, Margaret Mary Clare, 106 Keppel street, Bathurst, home duties,

7668 Stone, Mary, 71 Durham street, home duties, F

7669 Stone, Mary Teresa, 185 Bentinck street, home duties, F 7670 Stone, Mollie Jean, 246 Lambert street, home duties, F 7671 Stone, Robert, 117 Havannah street, Bathurst, stoker, M

7672 Stone, Thomas Henry, 106 Keppel street, Bathurst, railway employee, 7673 Stone, Wilfred Leo, 20 Piper street, signalman, M

7674 Stonestreet, Augustus Conserdine, 255 Stewart street, Bathurst, labourer, I

7675 Stonestreet, Gertrude Ellen Maria, 255 Stewart st., Bathurst, home dut.,

7676 Stonestreet, Lionel Augustus, 255 Stewart street, driver, M 7677 Storey, Alice Emily May, 123 George street, storekeeper, F 7678 Storey, Noble Frederick, 123 George street, fruiterer, M 7579 Storrier, Leila, Carillon Court, Russell street, cannery employee, F

7680 Strachan, Ellen Susan, 227 Peel street, Bathurst, home duties, F 7681 Strachan, Francis Leo, 179 Stewart street, shop assistant, M

7.682 Strachan, Harold Walter, 179 Stewart street, Bathurst, labourer, M 7.683 Strachan, Leila Jean, 147 Peel street, home duties, F 7.684 Strachan, Maxwell Hatherton, 147 Peel street, painter, M

7685 Strachan, Ruby Kathleen, 179 Stewart street, Bathurst, home duties, F

7686 Strachan, Vincent, 227 Peel street, cannery hand, M 7687 Strachan, Spencer, 227 Peel street, linetype operator, M 7688 Strachan, Victor Edward, 227 Peel street, Bathurst, painter, M

7689 Stuart, Athol Edwin, 29 Rocket street, photographer, M

7690 Stuart, Harry, 29 Rocket street, Bathurst, engine-driver, M 7691 Stuart, Janet Margaret, 29 Rocket street, home duies, F 7692 Stubbs, Kathleen, 172 Stewart street, home duties, F

7693 Stubbs, Sidney George, 172 Stewart street, baker, M 7694 Sullivan, Amy Nina, 217 George street, home duties, F

7695 Sullivan, Athol Augustus, Rock Forest, wool classer, M

7696 Sullivan, Bernadete Maureen, 28 George street, home duties, F 7697 Sullivan, Bertha Marion, Annesley, Esrom, home duties, F 7698 Sullivan, Christopher Clarence, Bishop's House, Catholic priest, M

7699 Sullivan, Edith Emily, Avoca, Esrom, home duties, F

7700 Sullivan, Ella Mary, Esrom, home duties, F

7701 Sullivan, Ellen Marian, 150 Seymour street, Bathurst, home duties, F. 7702 Sullivan, Ernest Patrick, Avoca via Esrom, grazier, M

7703 Sullivan, Evonne Rita, 210 Russell street, shop assistant, F 7704 Sullivan, Frances Hannah, Avoca, via Esrom, home duties, F

7.05 Sullivan, Gevald, 365 Howick street, wool classer, M 7706 Sullivan, Harry Norman, 150 Seymour street, Bathurst, railway empl., M

7707 Sullivan, Ivy Theresa, 259 Howick street, home duties, F 7708 Sullivan, James Joseph, Rock Forest, grazier, M 7709 Sullivan, John, Rock Forest, Bathurst, labourer, M

7710 Sullivan, Kevin James, Rock Forest, grazier, M 7711 Sullivan, Lilkan Clarrisa, 365 Howick street, home duties, F

7712 Sullivan, Margaret Mary, 166 Piper street, clerk, F

7713 Sullivan, Mary Josephine, 129 William street, home duties, F 7714 Sullivan, Merval Isabel, 156 William street, home duties, F 7715 Sullivan, Millie, Rock Forest, home duties, F

7716 Sullivan, Norah, 166 Piper street, home duties, F 7717 Sullivan, Patrick Esrom, Annesley, Esrom, labourer, M

7718 Sullivan, Patrick James, 28 Henry street, Bathurst, labourer, M 7719 Sullivan, Sarah, 28 Henry street, Bathurst, home duties, F 7720 Sullivan, William Sylvester, 156 William street, painter, M

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# DIVISION OF BATHURST

alene, 168 Keppel street, home duties, F Owen Way, home duties, F Lewins street, home duties, F ent, 8 Lewins street, cannery assistant, M ine, 62 Keppel street, home duties, F ttoria street, Georges Plains, home duties, are, 4/104 Bentinck street, home duties, nter, 255 Piper street, medcial practitioner, Noelene, 5/137 George street, clerk, F exandra, 255 Piper street, home duties, P Isley street, home duties, F wen way, home duties, F Jullock, 5 Owen way, fitter, M r, 194 William street, home duties, F , 11 Parnham street, shop assistant, F r Garvock, 6 Hamilton street, home duties, nder, 194 William street, manager, M 171 Rankin street, home duties, F George, 11 Parnham street, carpenter, M an, 6 Hamilton street, colourist, F juarie Homes, home duties, F nn, 70 Russell street, railway employee, M get Dawn, 11 Parnham street, home duties, vard, 171 Rankin street, salesman, M imphries, 143 Hope street, Bathurst, solicitor, irgaret, 143 Hope street, Bathurst, home dutie ichael Bruce, 268 Keppel street, solicitor, M well King, 268 Keppel street, home duties, F ctor Farley, 5 Morrissett street, labourer, M ence, 13 Lord street, home duties, F Ernest, 7 Prospect street, labourer, M 2 William street, home duties, F zabeth, 24 White street, home duties, F s, 214 Hope street, bank officer, M eton, 24 White street, forester, M line Jean, 7 Prospect street, home duties, F n, 30 Torch street, carpenter. M ese, 242 Rocket street, home duties, F Havannah street, librarian, F rian, 242 Rocket street, driver, M idys, 30 Torch street, home duties, F s, 285 Lambert street, constable of police, M inley street, home duties, F Stanley street, labourer, M is, 270 Durham street, teacher, M in, 270 Durham street, teacher, F zabeth, 315 Stewart street, Bathurst, milliner, son, 315 Stewart street, student, M Alicia, 313 Stewart street, home duties, F hanna Wilson, 315 Stewart street, W.R.A.N., F son, 315 Stewart street, Bathurst, carrier, M annie, 209 William street, home duties, F iglas, Esrom road, farm hand, M William, 1 Alamein walk, carrier, M fary, Dunkeld, home duties, F Raymond, Devonglen, Esroin, farmer, M 1a Martha, Devonglen, Esrom, home duties, F Helen, Perthville, home duties, F

## 1969 ELECTORAL ROLL SUBDIVISION CF BATHURST

stocks, Estelle Carmel, Esrom road, home duties, F cks, Gladys May, 227 Howick street, Bathurst, home duties, F Socks, Gordon Francis, 153 Durham st., Bathurst, shopkeeper, M Specks, John Oliver, 289 Durham street, dairy farmer, M socks, Kathleen Margaret, 289 Durham street, home duties, F socks, Margaret Frances, cnr. Commonwealth and Durham sts., h.d., F. socks, Margaret Lorraine, RMB 273, Esrom road, bank officer, F Seeks, Margaret May, Penrose, Dunkeld, home duties, F socks, Morton Joseph, Penrose, Dunkeld, dairy farmer, M Socks, Maurice John, Perthville, carrier, M Socks, Sandra Vera, 1 Alamein walk, home duties, F Stocks, Thelma Joyce, 380 Howick street, home duties, F Socks, Wallace Bruce, Esrom road, dairy farm hand, M Necks, Wendy Rosemary, Esrom road, home duties, F Locks, William Maxwell, 380 Howick street, truck driver, M Sokes, Helen Margaret, 273 George street, nurse, F Sokes, Margaret Christine, 42 Rose street, home duties, F \* stokes, Valerie Gertrude, 275 George street, home duties, F Stone, Charles Herbert, 71 Durham street, labourer, M Some, Leslie Maurice, 53 Piper street, retort operator, M Sone, Joan Ann, Agricultural Research Station, home duties, F Sone, John Gordon, Agricultural Research Station, manager, M Stone, Margaret Mary, 147 Bentinek street, home duties, F one, Mary, 71 Durham street, home duties, F one, Mary Teresa, 53 Piper street, home duties, F one, Rita Elizabeth, 2/141 Keppel street, home duties, F Sone, Wilfred Leo, 147 Bentinck street, signalman, M Monestreet, Gertrude Ellen Maria, 3 Vittoria street, home duties, sonstreet, Jan Lorraine, 3 Vittoria street, nurse, F Stonestreet, Lionel Augustus, 13 Pioneer street, driver, M Stonestreet, Patricia May, 13 Pioneer street, home duties. F Sonestreet, William Tressler, 3 Vittoria street, salesman, M Sorm, Alan George, 139 Hope street, staff inspector, M Sorm, Elizabeth Joy, 139 Hope street, teacher, F Sorm, Iris Una, 139 Hope street, home duties, F Brachan, Estelle May, 298 Rocket street, home duties, F Trachan, Francis Leo, 298 Rocket street, truck driver, M Strachan, Gloria Toan, 210 Hope street, home duties. F Trachan, Leila Iean, 165 Keppel street, home duties, F Strachan, Maxwell Hatherton, 165 Keppel street, painter, M Strachan, Ruby Kathleen, 179 Stewart street, Bathurst, home duties, I Strachan, Spencer, 227 Peel street, linetype operator, M Strachan, Vincent, 210 Hope street, fitter, M Strand, Judith Margaret, 303 Keppel street, shop manageress, F Strand, Richard David, 303 Keppel street, police constable, M Srickland, Charles Rex, 158 Stewart street, grazier, M Srickland, Marie Teresa, 158 Stewart street, home duties, F Strong, Frances Josephine, 37 Havannah street, home duties, F Strong, William Andrew, 37 Havannah street, railway employee, M Stuart, Athol Edwin, 14 Lambert street, railway employee, M. Suart, Barbara Joan, 31 Hill street, home duties, F Smart, Cyril John, 297 Lambert street, signalman, M Stuart, Janet Margaret, 14 Lambert street, home duties, F Suart, Maxwell James, 14 Lambert street, technician in training, M Smart, William Alfred, 31 Hill street, service station proprietor, M Stubbin, Gwenyth May, Caravan Park, receptionist, F mas, cnr. Commonwealth and Durham sts., prim. Stubbs, Joy Evelyn, 5 Mackenzie place, home duties, F Subby, Ronald James Albert, 5 Mackenzie place, representative, M Smebe, Deirdre, 185 Browning street, home duties, F

Smebe, Walter, 185 Browning street, builder, M

# 1950 ELECTORAL ROLL. CITY OF BATHURST

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STOKES, Valerie Gertrude, Domestic Duties, 275 George St., Occ.
                            STONE, Alfred Edward, Labourer, 117 Havannah St., Occ. STONE, Charles Herbert, Labourer, 71 Durham St., Occ. STONE, Keith Pattison, Factory Manager, 246 Lambert St., Occ. STONE, Leslie Maurice, Machinist, 185 Bentinck St., Own/Rpr. STONE, Margaret Mary, Home Duties, 20 Piper St., Occ. STONE, Margaret Mary Clare, Home Duties, 106 Keppel St., Occ. STONE, Marjorie Elaine, Home Duties, 155 Rocket St., Occ. STONE, Mary, Home Duties, 71 Durham St., Own/Rpr. STONE, Mary Teresa, Home Duties, 185 Bentinck St., Occ. STONE, Mollie Jean, Home Duties, 246 Lambert St., Occ. STONE, Robert, Stoker, 117 Havannah St., Occ. STONE, Robert, Stoker, 117 Havannah St., Occ. STONE, Thomas Henry, Railway Employee, 106 Keppel St., Occ. STONE, Wilfred Leo, Signalman, 20 Piper St., Occ. STONESTREET, Augustus Considine, Labourer, 255 Stewart St.,
  6593.
                              STONE, Alfred Edward, Labourer, 117 Havannah St.,
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                             STONE, Wilfred Leo, Signalman, 20 Piper St., Occ.
STONESTREET, Augustus Considine, Labourer, 255 Stewart St., Own/Rpr.
STONESTREET, Gertrude Ellen Maria, Home Duties, 255 Stewart St., Occ.
STONESTREET, Lionel Augustus, Car Driver, 255 Stewart St. (Sec. 123, Pt. 8,
Lot 15), Own/Rpr.
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                            STOREY, Alice Emily May, Fruiterer, 123 George St. (Sec. 17, Lot 12), Own/
                         STOREY. Noble Frederick, Fruiterer, 123 George St., Occ. STOW, Arthur Harold Bernard, Storeman, 8 Hansard Place, Occ. STOW, Doris Irene-Ellen, Home Duties, 8 Hansard Place, Occ. STOW, William Alan Samuel, Accountant, "Braemar," Keppel St., Occ. STRACHAN, Ellen Susan, Home Duties, 227 Peel St., Occ. STRACHAN, Estelle May, Home Duties, 128 Piper St., Occ. STRACHAN, Francis Leo, Shop Assistant, 128 Piper St., Occ. STRACHAN, Gloria Joan, Canner, 326 Stewart St., Occ. STRACHAN, Harold Walter, Labourer, 179 Stewart St., Occ. STRACHAN, Leila Jean, Home Duties, 86 Russell St., Occ. STRACHAN, Maxwell Hatherton, Painter, Russell St., Occ. STRACHAN, Ruby Kathleen, Domestic Duties, 179 Stewart St., Occ. STRACHAN, Victor Edward, Painter, 227 Peel St., Own/Rpr. STRACHAN, Vincent, Fitter's Assistant, 166 Rocket St., Own/Rpr.
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                             STRACHAN, Vincent, Fitter's Assistant, 166 Rocket St., Own/Rpr. STRETTLES, Norman Thomas, Cafe Proprietor, 69 William St., Occ.
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                            STUART, Athol Edwin, Photographer, 14 Lambert St., Own/Rpr. STUART, Harry, Railway Employee, 29 Rocket St., Own/Rpr. STUART, Janet Margaret, Home Duties, 14 Lambert St., Occ. STUART, Jean Frances, Home Duties, 29 Rocket St., Occ. STUBBS, Kathleen, Home Duties, 172 Stewart St., Occ. STUBBS, Sidney George, Baker, 172 Stewart St., Occ. STUBBS, Albert St., Occ. STUBBS, Property Home Duties, 12 Honry St., Occ.
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                             STURCH, Alma Florence, Home Duties, 12 Henry St., Occ. STURCH, Francis Jack, Labourer, 12 Henry St., Occ. STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ.
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                            STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ.
STURT, Lillian Mavis, Home Duties, 61 Lucas Rd., Burwood, Own/Rpr.,
STUVE, Laura, Home Duties, 9 Prospect St., Occ.
STUVE, Stanley Augustus, Baker, 9 Prospect St. (Sec. 123, Pt. 4Å), Own/Rpr.
SUITOR, Mervyn Alfred, Labourer, 23 Oak St., Occ.
SUITOR, Ronald James, Labourer, 23 Oak St., Occ.
SULLIVAN, Athol Augustus, Wool Classer, 31 Brilliant St., Occ.
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                              SULLIVAN, Bernard William James, Postal Employee, Oxford Hotel, William St.,
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                           SULLIVAN, Bernadette Maureen, Home Duties, 31 Brilliant St., Own/Rpr. SULLIVAN, Christopher Clarence, Priest, Bishop's House, Occ. SULLIVAN, Ellen Marian, Home Duties, 150 Seymour St., Occ. SULLIVAN, Evonne Rita, Shop Assistant, 210 Russell St., Occ. SULLIVAN, Francis James, Railway Employee, 17 Vittoria St., Occ. SULLIVAN, Gerald, Wool Classer, 365 Howick St., Occ. SULLIVAN, Harry Norman, Railway Employee, 150 Seymour St., Own/Rpr. SULLIVAN, Ivy Theresa, Home Duties, 259 Howick St., Occ. SULLIVAN, John Michael, Broadcast Technician, 166 Lambert St., Occ. SULLIVAN, Laura Gertrude, Home Duties, 17 Vittoria St., Occ. SULLIVAN, Lillian Clarrisa, Home Duties, 365 Howick St., Occ. SULLIVAN, Margaret Mary, Clerk, 166 Piper St., Occ. SULLIVAN, Mary Mark, Home Duties, St., Joseph's Orphanage, Occ. SULLIVAN, Monica Agnes, Dental Nurse, 142 Rankin St., Occ. SULLIVAN, Norah, Home Duties, 166 Piper St., Occ. SULLIVAN, Patrick James, Public Servant, 210 Russell St., Occ. SULLIVAN, Patrick James, Labourer, 28 Henry St., Occ.
                              SULLIVAN, Bernadette Maureen, Home Duties, 31 Brilliant St., Own/Rpr.
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                             SULLIVAN, Patrick James, Labourer. 28 Henry St., Occ. SULLIVAN, Sarah, Home Duties, 28 Henry St., Occ. SUMMERFIELD, Beryl Isabel, Machinist, 42 Lambert St., Occ. SUMMERFIELD, David Joseph, Railway Employee, 19 Rocket St., Own/Rpr. SUMMERFIELD, Emma Mavis, Home Duties, 19 Rocket St., Occ.
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Own/Rpr. = Owner, Ratepayer Occ. = Occupier.

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#### STATE-BATHURST.

7. Volsley street, butcher, M street, storekeeper, M t, Bathurst, home duties, F ymour street, Bathurst, home duties, F enry street, home duties, F d, Kelso, munition worker, M eet, Bathurst, home duties F 33 Durham street, home duties, T et, lino. operator, M r street, Bathurst, shop assistant, M er road, Lower Welso, trainee, M d, Kelso, home duties, F street, Bathurst, home duties, T eet, home duties, T rgineer, M street, labourer, M et, machinist, home duties, T kin street, home duties, F iver road 'Kelso, home duties, F Hope street, Bathurst, solicitor, M me street, Bathurst, home duties, F reet, butcher, M eppel street, home duties, T vick street, home duties, F et, home duties, F outh Bathurst, home duties, F in street, home duties, F wick street, labourer, M ration Homes; home duties, F it street, Sth. Batahurst, labourer, M al street, labourer, MM m street, carrier, M lla, home duties, F iarson, Bundilla, manager, M ikin street, labourer, M am street, home duties, F et, farmer, M wart street, Bathurst, milliner, F rt street, carrier, M art street; home duties, F street, Bathurst, carrier, Mi illiam:street, Bathurst, accountant, M street, Bathurst, home duties, F bert street, Bathurst, home duties, F ert-street, Bathurst, carpenter, M ambert street, B'hurst, appr. carpenter, ?" uglen, Esrom, farmer, M onglen, Esrom, home duties, F street, Bathurst, home duties, F am street, Bathurst, shopkeeper, M street, Bathurst, farmer, M eppel-street, Bathurst, home duties, F street, Bathurst, home duties, F hurst, home duties, F k street, carrier, M reet, clerk, F im street, home duties, F ick street, Bathurst, fuel merchant, M rham street, fuel merchant, 'M home duties, F

#### 1967 ELECTORAL ROLL

SUBDIVISION OF BATHURST. 1947.

7661 Stone, Alfred Edward, 117 Havannah street, Bathurst, labourer, M 7662 Stone, Catherine, T17 Havannah street, Bathurst, home duties, F

7663 Stone, Charles Herbert, 71 Durham street, labourer, M 7664 Stone, Keith Pattison, 246 Lambert street, factory manager, M 7665 Stone, Leslie Maurice, 185 Bentinck street, machinist, 'M

7666 Stone, Margaret Mary, 20 Piper street, home duties, F 7667 Stone, Margaret Mary Clare, 106 Keppel street, Bathurst, home duties,

7668 Stone, Mary, 71 Durham street, home duties, F 7669 Stone, Mary Teresa, 185 Bentinck street, home duties, F 7670 Stone, Mollie Jean, 246 Lambert street, home duties, F

7671 Stone, Robert, 117 Havannah street, Bathurst, stoker, M

7672 Stone, Thomas Henry, 106 Keppel street, Bathurst, railway employee, 7673 Stone, Wilfred Leo, 20 Piper street, signalman, M

7674 Stonestreet, Augustus Conserdine, 255 Stewart street, Bathurst, labourer, I

7675 Stonestreet, Gertrude Ellen Maria, 255 Stewart st., Bathurst, home dut., 7676 Stonestreet, Lionel Augustus, 255 Stewart street, driver, M

7677 Storey, Alice Emily May, 123 George street, storekeeper, F 7678 Storey, Noble Frederick, 123 George street, fruiterer, M 7579 Storrier, Leila, Carillon Court, Russell street, cannery employee, F

7680 Strachan, Ellen Susan, 227 Peel street, Bathurst, home duties, F 7681 Strachan, Francis Leo, 179 Stewart street, shop assistant, M

7.682 Strachan, Harold Walter, 179 Stewart street, Bathurst, labourer, M 7.683 Strachan, Leila Jean, 147 Peel street, home duties, F 7.684 Strachan, Maxwell Hatherton, 147 Peel street, painter, M

7685 Strachan, Ruby Kathleen, 179 Stewart street, Bathurst, home duties, F

7686 Strachan, Vincent, 227 Peel street, cannery hand, M 7687 Strachan, Spencer, 227 Peel street, linetype operator, M 7688 Strachan, Victor Edward, 227 Peel street, Bathurst, painter, M

7689 Stuart, Athol Edwin, 29 Rocket street, photographer, M

7690 Stuart, Harry, 29 Rocket street, Bathurst, engine-driver, M

7691 Stuart, Janet Margaret, 29 Rocket street, home duies, F 7692 Stubbs, Kathleen, 172 Stewart street, home duties, F

7693 Stubbs, Sidney George, 172 Stewart street, baker, M 7694 Sullivan, Amy Nina, 217 George street, home duties, F

7695 Sullivan, Athol Augustus, Rock Forest, wool classer, M

7696 Sullivan, Bernadete Maureen, 28 George street, home duties, F 7697 Sullivan, Bertha Marion, Annesley, Esrom, home duties, F 7698 Sullivan, Christopher Clarence, Bishop's House, Catholic priest, M

7699 Sullivan, Edith Emily, Avoca, Esrom, home duties, F

7700 Sullivan, Ella Mary, Esrom, home duties, F 7701 Sullivan, Ellen Marian, 150 Seymour street, Bathurst, home duties, F.

7702 Sullivan, Ernest Patrick, Avoca via Esrom, grazier, M 7703 Sullivan, Evonne Rita, 210 Russell street, shop assistant, F

7704 Sullivan, Frances Hannah, Avoca, via Esrom, home duties, F

7.05 Sullivan, Gevald, 365 Howick street, wool classer, M 7706 Sullivan, Harry Norman, 150 Seymour street, Bathurst, railway empl., M

7707 Sullivan, Ivy Theresa, 259 Howick street, home duties, F

7708 Sullivan, James Joseph, Rock Forest, grazier, M

7709 Sullivan, John, Rock Forest, Bathurst, labourer, M

7710 Sullivan, Kevin James, Rock Forest, grazier, M 7711 Sullivan, Lilkan Clarrisa, 365 Howick street, home duties, F

7712 Sullivan, Margaret Mary, 166 Piper street, clerk, F 7713 Sullivan, Mary Josephine, 129 William street, home duties, F 7714 Sullivan, Merval Isabel, 156 William street, home duties, F 7715 Sullivan, Millie, Rock Forest, home duties, F

7716 Sullivan, Norah, 166 Piper street, home duties, F 7717 Sullivan, Patrick Esrom, Annesley, Esrom, labourer, M

7718 Sullivan, Patrick James, 28 Henry street, Bathurst, labourer, M 7719 Sullivan, Sarah, 28 Henry street, Bathurst, home duties, F

7720 Sullivan, William Sylvester, 156 William street, painter, M

1

Mated the 11th December 1929

The Maydin Pascoc

Yo.

Victor Edward Strachan

Whice of Sacr & Purchase

of 227 Peel Sheet Bathurt

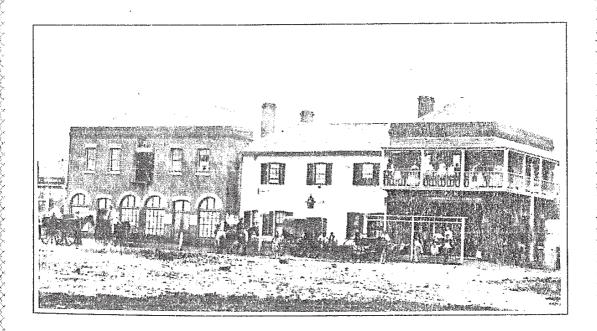
Whillamy Hacmer Bachusak

FORM 6, ORD. 5

New South Wales Local Government Act, 1919

NOTICE OF TRANSFER OF LAND	2
To the Storte of the Le Town black	
a Bachust	
we here BY GIVE NOTICE of the Transfer on the 13th day of June	1929
2 10	
OWNER GIVING NOTICE	
Name of Transferor Mary Ann Pascoe	
Occupation Donester Duties	The second second
Occupation Domestic Trices	nice minimum.
Address 175 william Othert, Bachurch	
Assessment No. on last Rate Notice	************
Purchase Money, £3.2.5 — 0 — 0	
PARTICULARS OF LAND	
county Bashurah - Brath L	
County Bathursh Parish Bathurst Shire or Municipality Bathurst	
Conditional Purchase No. Date	
Homestead Selection or Crown Lease No. Date Date	
227 Peel - Street	Estate
Portion No. Section 42 part of Allot 12,	
Deposited Plan	
REFERENCE TO TITLE	
Book Seference, TO TITLE	
Book No. You Folio	
Area Rood Perches	-
DIMENSIONS-Frontage 82 July 6 inches Depth 132 fee	/
Date from which Sale takes effect 13th day of June 1929	
the state of the s	
PURCHASER	
Name in Full Wictor Edward Stracken.	
rade or Occupation Painter	
Full Postal Address 2127 Pal Stych Bacher &	
This half small Ne	Lung
lata edmi HIV	
Signature of Transferer	
NOTE.—If land transferred is part only of the land comprised in a Certificate of Tille Deed of Comprises sketch, in space hereunder or on back hereof, with measurements of the land transferred plan of subdivision, or relerence to plan of subdivision (if any) lodged with transferred.	give rach thograph or
N.B.—There is a penalty for wilfully incorrect statements in these notices.	0
E. Smith, Ltd., Sydney.	~

# OCES OCCIONAL OCCIONA



W.H. TIGHE

This photograph, in a series of old Bathurst scenes, is thought to have been taken in the 1860's. This scene shows the Royal Hotel when it was two-storied. Also M<sup>c</sup>Donnell's Hotel, the Excelsior Hotel and the Carrier's Arms can be seen.

(National Advocate, November 19, 1913)



4. e.

When the ROYAL HOTEL ceased to trade on the first of May 1965 it was described as 'three-storey, 100-bedroom... for many years regarded as the leading hotel in Bathurst'. However it was not originally built as such, but it evolved over many years from an inn known as the GOOD WOMAN. Nicholas Read, who opened the premises at this site in July 1843, had been the licensee of a Bathurst inn, also called the GOOD WOMAN, since 1839. Mrs. Busby, writing in 1901/02, remembered this first GOOD WOMAN as being in William Street between Howick and Durham Streets. Mary Black changed the inn's sign to the ROYAL HOTEL when she became the licensee in 1851.

A photograph circa 1860s shows the hotel as double-storied but when pictured by Beaufoy Merlin, in 1873, a third storey had been added. The cast-iron columns and panels to the balconied facade were not added until circa 1890s. The panels, specially cast, have the initial "R" at their centre.

Decorated in 1899 under the supervision of J.J. Copeman, a local architect, the exterior colour used was 'cream - relieved with warm shades of brown, picked out with gold'<sup>3</sup>. When, in 1926, the owner and licensee, Edmund Barry, made extensive alterations to the hotel he chose to have the facade painted white.

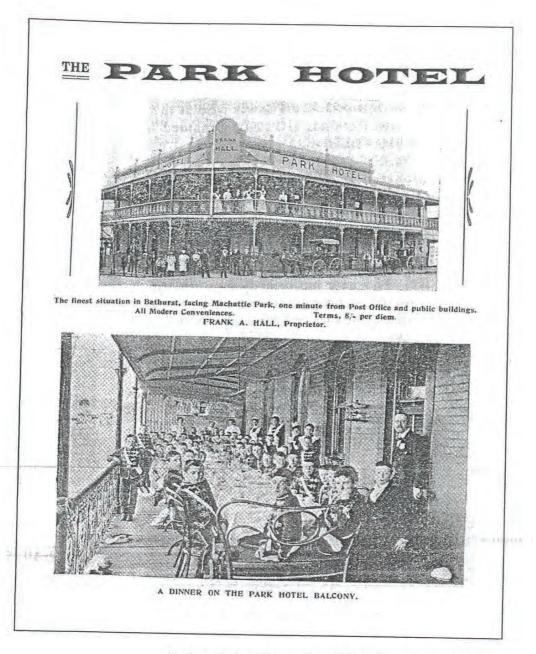
<sup>1.</sup> Western Advocate. May 3, 1965

<sup>2.</sup> Bathurs: in the Thirties.

<sup>3.</sup> National Advocate. July 19, 1899.

After the closure in 1965 various proposals for the renovation and use of the hotel were made but none were proceeded with. The building was unused and it deteriorated and was vandalised. At sometime the ancillary buildings and additions were removed, leaving only the primary building and the balconied facade. Now the building is being restored, under Heritage Council guidelines, for a commercial use other than as an hotel.

	COOD WOLLN INN		Television and Philadelphia			
	GOOD WOMAN INN.	W	George Norman	1925-26 1926-28		
	Licensee	Year	Edinana Darry			
	Nicholas Read	1843-50	L.J. Benness	1928-29		
			Alan Bath	1929-30		
	ROYAL HOTEL.		Marion Benness	1930-31		
	Mary Black	1851-52	Jane Gunther	1931-33		
	(died 16/1/1853,		H.V. Ellens	1933-35		
	Walter Black	1853	Marg. Jane Gunther	1936-38		
	Joseph Matthews	1854-56	Frank E Golsby	1938		
	James Caulfield	1857-59	Henry Davey	1938-40		
	(died 20/4/1859)	)	Ernest W. Broadhurst	1940-41		
	M.A. Caulfield	1860-61	Margaret J. Gunther	1941		
	Joseph Lewis	1861-72	Balda Nicholas	1941-47		
	(died 4/11/1872	)	Margaret J. Gunther	1947		
1	William Reid	1873	Ben Bernard	1948-49		
	George Denny	1874-81	George Williams	1949-51		
	Charles Turner	1882-88	Frederick Fiddick	1951-52		
	Patrick Hurley	1889-95	Ben Bernard	1952-55		
	Daniel Hogarth	1896-1900	Charles Wright	1955-58		
	Thomas Byrne	1901	Aubrey Oakes	1958-59		
	Frederick Gilder	1902	Ernest Slater	1960-61		
	Henry Page	1903	Frederick Adams	1961		
	Patrick Hurley	1904	William Argyle	1961-63		
	Joseph Cockbaine	1905-08	Isabella Learmonth	1963-64		
	Samuel Bazeley	1909-20	Steven O'Keefe	1964-65		
	Patrick Hurley	1920	William Parsons			
	Agnes M. Clifford	1920-22		to 1.5.1965		
	Arthur Rogers	1922-24	00.5.1705	4 9 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		
	Roy Tonkin	1924-25	Hotel ceased trading			
	noj roman	****		y 1st, 1965		
			101 0	, 151, 1200		



(Bathurst Federal Directory and Illustrated Gazetteer for 1900)

7. C.

During 1849 a two-storied inn was built for Nicholas Read in George Street. In 1850, the first publican there was Dominique Popilarie who called the inn by his favorite name - the ELEPHANT AND CASTLE. James Budge, who followed Popilarie, was the licensee until 1852.

For a period during the 1850s the premises were used by the Bank of New South Wales. A new building, designed by Edmund Blacket, was being built at that time for the Bank at the corner of George and Russell Streets.

When Read's building was re-opened as an hotel it was called the COURT HOUSE HOTEL. In 1875 Henry Hughes, who was the licensee in that year, moved to an hotel which he had purchased at Wellington. Hughes' lease and goodwill of the COURT HOUSE were purchased by Sarah Lewis. Mrs. Lewis (the widow of Joseph Lewis who at the time of his death had been proprietor of the ROYAL HOTEL) renamed her new premises the METROPOLITAN HOTEL.

The freehold was purchased in 1928 by Mr. J.J.G. (Greg) M'Girr who remodelled the building. It was altered again in 1954 when Tooheys Limited were the owners.

On the night of January 11th 1982, the hotel was gutted by fire. Later that year it was rebuilt and commenced trading on December 18th as the BATHURST TAVERN. The new building is modernistic in style and the hotel features rock and roll and jazz entertainment. It does not offer accommodation but it still trades on the time-honored site of Read's inn at 185 George Street.

Licensee	ASTLE INN. Year	Richard Bimrose	1925-27
Dominique Popilarie	1850	Vera Guthrie	1927-29
	1050	Frederick Wright	1929-30
James Budge	1852	George Wilkins	1930
	1052	Norman Taggert	1930-37
COURT HOUSE HO	TEL.	Mrs. N. J. Taggert	1938
Henry Hughes	1872-75	Arthur E. Lawry	1939
3.25	10/2-75	Henry W. Juergens	1939-40
METROPOLITAN H	OTEL	John A. Gricks	1939-40
Sarah Lewis	1876-77	Arthur E. Lawry	1941
John Stapleton	1878-91	Robert Farmer	
Catherine Stapleton	1892-94	Harry A. Lett	1942
John Stapleton Jnr.	1894	George H. Hayward	1942-43 1943-45
John Minehan	1895-1901	Raymond E. Cobby	
Michael Brown	1902	Mrs. M. Cobby	1946
George Minns	1902	Henry G. White	1946-47
Michael Meany	1904-13	Leslie W. Fulton	1947
Morris Smith	1914-19	Doris I. Fielder	1948-49
William Thompson	1920-22	Dorothy M. Mains	1949-51
James Saunders	1920-22	James Sweeney	1951
Michael Ryan		Jack C. Moore	1951
Lily Jones	1922-23	Mabel M. Wise	1951-54
John Potter	1923-24	Robert J. Gordon	1954-55
Henry Kelly	1924 1924-25	Donald F. MacKenzie	1955-58 1958-

EXCELSIOR HOTEL.		EMPIRE HOTEL.	
Licensee	Year	William H. Duff	1888-1900
John Minehan	1866-71	Kate Glazier	1901-02
Catherine Minehan	1872-74	George Kelly	1902
John Stapleton	1875-77	James Minehan	1903-05
Henry Mulrowan	1877-78	James Kelly	1906-08
Martin Flynn	1878-79	Thomas Hennessey	1909
Edward T. Lloyd	1880	John H. Kelly	1910
Henry Lucre	1881-83	Frederick W. Kaiser	1911-15
John Coughlin	1884-88	Francis S. Harrower	1916-17
		Samuel G. Pettersson	1918
		Vivian O. Bayliss	1919-22

Closed 30th June 1922

#### 4. d.

In 1850, Charles Carman was the publican at the SHEPHERD'S INN in William Street. Carman died sometime in 1851 and his widow, Mary, then held the licence. In 1854, Mrs. Carman married John McDonnell and the next year the licence was transferred to him.

The inn's name was changed, in 1866, to M°DONNELL'S HOTEL. By the 1870s the hotel had been enlarged to a three-storey building, said to have been the first one erected in Bathurst.

With a name change to the POST OFFICE HOTEL in 1876 and another in 1909 to the COURT HOUSE, the hotel traded until June 1922. It was one of eight Bathurst hotels closed that year under the licenses reduction scheme.

After that the building was used as an accommodation house. Wooden balconies with cast iron panels and an elaborate parapet, which had been built in 1894, were removed circa 1940s or early 1950s. The building then looked somewhat derelict until it was demolished to make way for two single-storied shops. The shops are numbered 96 and 98 William Street.

SHEPHERD'S INN.		Parameter and a second	
Licensee	Year	William Richardson	1881-82
Charles Carman	1850-51	Catherine Richardson	1883-88
Mary Carman	1852-54	James Shanahan	1889
John McDonnell	1855-65	John Peers	1890-93
	1000	William Mackie	1894
MEDONNELL'S HOTEL.		Eliza M. Read	1894-99
John M'Donnell	1866-68	Richard H. Read	1900-08
Mary M°Donnell	1869-75	COURT HOUSE HOTE	L.
POST OFFICE HOTEL.		Walter Howden	1909-12
John Barber	1876	Frederick T. Hartland	1913-21
Michael Treanor	1876-80	Closed 12th	June 1922

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INDEX AND REGISTERS OF

# LAND GRANTS - LEASES & PURCHASES 1820 - 1856

New South Wales Archives

AO Reel Number

2562

Indexed by

Jean McNaught

1997

SURNAME	GIVEN	LOCATION	A.O. Loc.	Lot.	Sec.	Acre	age	Pchs	Vol.		Year	TENUR
READ	Nicholas	P. 4		1.101	1110.	AUIS	Nus	rens	No.	No.		
DEAD	Richard	Bathurst	7/502	1 -	66		2		169	473	54.56	Purchase
DEAD	Patrick	Maitland	7/501	9	5		2		44	11	20.53	Purchase
READ		Bingara	7/502	1	30		2		162	427	54-56	Purchase
DEAD	Nicholas	Bathurst	7/502	12	42		2		170	371	54 56	Purchase
	George Frederick	Bathurst	7/501	1	32		2	_	98	165	20 53	Purchase
READ	Nicholas	Melbourne	7/501	20	14			36.00	44	209	20-53	Purchase
READ		Bathurst	7/500	_	-	30	_		168	497	54.56	Purchase
READ	222229	Bathurst	7/502	5	66		2	_	169	477	54 50	Purchase
DEAD	Patrick	Peel	7/502	1	4	1		1	152		54 50	Purchase
READ		Bingara	7/502	15	30	1			162	429	54 50	Purchase Purchase
DEADER	ames	Bathurst	7/502	14	42	-	2		170	373	54.56	Purchase Purchase
DEADEODE	homas	Mullengullengong	7/499	-	_	30			133	273	26 52	Purchase Purchase
READEORD	Villiam	Cunninghams Creek	7/499		_	790			49	35	26-55	Purchase
READFORDJo		Keans Swamp	7/500			30 .			149	139	20-03	Purchase
READEORD		Emu Plains	7/500			2	11	The second second second	171	67	54-50	Purchase
		Rylstone	7/502	15	16		2		177	111	54-501	Purchase
DEADEART		near Tabraboucha Creek	7/500			37 -	-			139	54-501	Purchase
DEADERS		Emu	7/502	1	3		2			1	34-501	Purchase
DEADEODE		Rylstone	7/502	14	16		2			145 5	04-591	Purchase
DEADEADE	illiam	near Tabraboucha Creek	7/500			31			200	137 5	1-501	ourchase
DEADEORE	,	Emu	7/502	9	3		2	225		10/ 0	196-4	urchase
DEADEATE	hn	Emu	7/502	16	3		2		200	161   5	4-56 P	urchase
	iomas	Emu	7/502	15	3	1	2		100 A 100 A	175 5	4-56 P	urchase
DEADEON		Emu	7/502	14	3		2 .					urchase
DEADEADO	11	Emu	7/502	13	3							urchase
DEADEORE		šmu	7/502	2	2		2 -					urchase
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12/3/21, 8:42 PM Land value search



Land value search

#### NEW SOUTH WALES VALUER GENERAL - LAND VALUE SEARCH

PROPERTY NO: 1207842

LGA: BATHURST REGIONAL

ADDRESS OF PROPERTY: 227 PEEL ST,

BATHURST NSW 2795

DESCRIPTION OF LAND: 1/998581

PROPERTY AREA: 1011.7 SQUARE METRES

PROPERTY DIMENSIONS: 25.15 / 25.15 X 40.23 / 40.23

VALUING YEAR: 01/07/2020 DATE VALUATION WAS MADE: 11/09/2020

ZONING USED FOR VALUATION: GENERAL RESIDENTIAL

LAND VALUE AUTHORITY: 14A(1) - ANNUAL REVALUATION

GROSS LAND VALUE: \$212,000

DIVISION 3 AND 4 ALLOWANCES: NOT APPLICABLE

NET LAND VALUE: \$212,000

LAND VALUE BASIS: 6A(1) - THE LAND VALUE IS THE FREEHOLD VALUE OF

THE LAND EXCLUDING ANY STRUCTURAL IMPROVEMENTS

OTHER ALLOWANCES/CONCESSIONS: NOT APPLICABLE

THE CURRENT LAND VALUE FOR RATING PURPOSES IN THE LOCAL GOVERNMENT AREA OF BATHURST REGIONAL IS THE VALUE AT 1 JULY 2019.

PRODUCED: 3 DECEMBER 2021 20:42:08 PROPERTY STATUS AT THIS DATE: CURRENT

THIS LAND VALUE SEARCH DOES NOT CONVEY A RIGHT OF OBJECTION TO THE LAND VALUE.

THE VALUES SHOWN ARE CURRENT FOR THE VALUING YEAR AS AT TODAY'S DATE. THE VALUER GENERAL CONDUCTS ONGOING REVIEWS OF LAND VALUES

AND THEREFORE THE VALUES SHOWN MAY CHANGE.

THE LAND VALUE RECORDED ON THIS LAND VALUE SEARCH HAS BEEN DETERMINED UNDER THE VALUATION OF LAND ACT 1916 (AND THE HERITAGE ACT 1977, WHERE APPLICABLE) FOR RATING AND TAXING PURPOSES. LAND VALUES HAVE REGARD TO

https://www.valuergeneral.nsw.gov.au/services/lvs.htm?execution=e3s2

12/3/21, 8:42 PM Land value search

THE REQUIREMENTS OF RATING AND TAXING LEGISLATION AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE SPECIFIC AGREEMENT OF THE VALUER GENERAL.

\*\*\* END OF SEARCH \*\*\*

Councils use the Valuer General's land values in setting their rates. Land values are issued to councils for rating at least every three years.

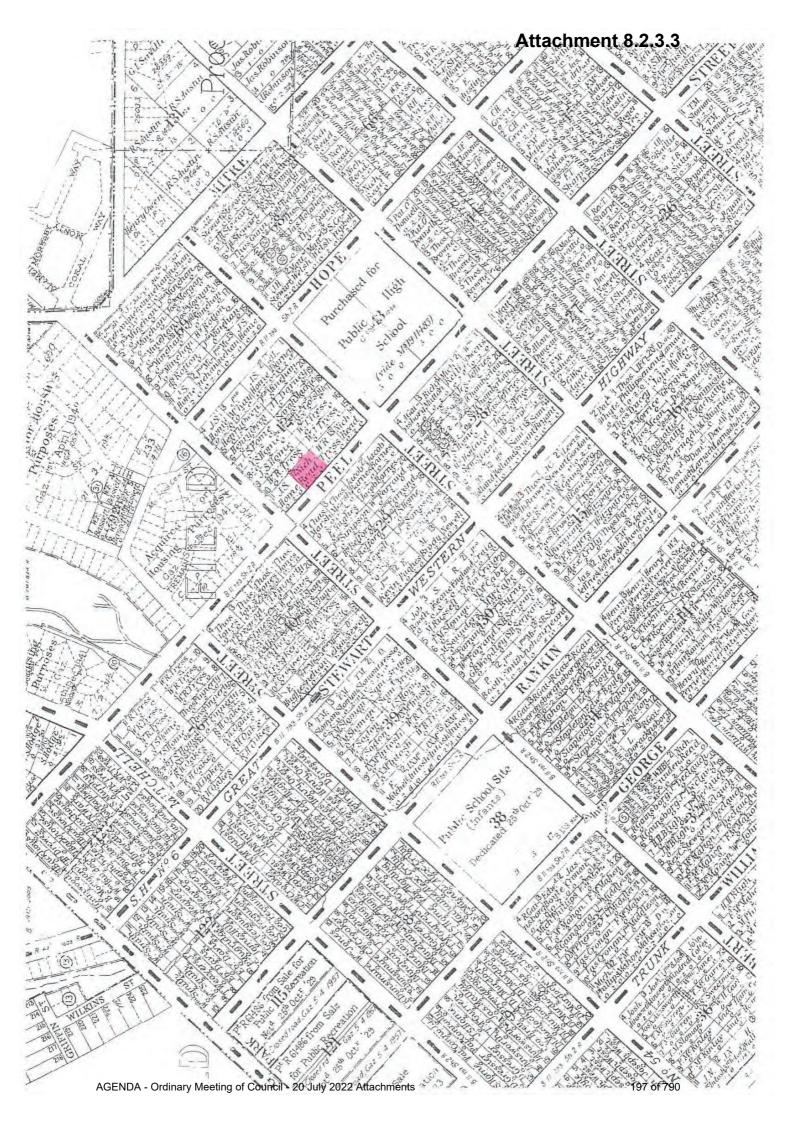
Properties that are subject to Land Tax are generally taxed based on the average of the last three years' land valuation.



**Any questions?** If you have any questions, please submit an enquiry or call us on 1800 110 038

or +61 2 6332 8188.

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Attachment 8.2.3.3

# MONUMENTS AND MENORIALS

Edited by BERYL HENDERSON







AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments

198 of 790

John the Baptist, seen in his childhood, kneels at her knee in adoration, flanked by a lamb, his attribute; and in the right hand light in its upper segment two angels with musical instruments and beneath St. John holding a chalice, his attribute. The inscription is on a separate ceramic plaque of cream and brown with an inner double ruled border and an outer decorative scroll work border. A676; P.



Uniting Church, William Street, Bathurst: (Formerly Methodist Church)
Frank Blomfield. 1870-1939. Brass plaque, incised letters and double ruled border with indented corners forming squares, mounted on a wood base. 25 x 37.5 cm. A 21; P.

Glyndwr and Susannah Ada Whalan. Local preacher 1865-1915, class leader and circuit steward, died 2.8.1922; wife died 18.8.1942. Brass plaque incised letters and double ruled border with corner scrolling, mounted on a wood base. 20 x 30cm.

**Arthur Buller James.** 22.9.1850-19.9.1931. Bron plaque, raised letters and border. 30 x 53 cm. A72

Mrs. Edward Williams. Ladies Church Aid Society member; died 5.9.1927 aged 64. Brass plaque with incised letters and ruled border detailed variously in black and red, and with large projecting fleur de lis corners, mounted on a wood base. 35 x 60 cm. A721;

**John N. Makepeace.** Died 23.12.1911 aged 53. White marble tablet, incised letters detailed in black, mounted on a rose marble base. 53 x 67 cm. A 721; P.

**William Morcom.** Choir member, died 6.2.1930 aged 69. White marble tablet, incised letters detailed in black, mounted on a rose marble base. 35 x 55 cm. A721: P.

Margaret Stead. Wife of Rev. Charles Stead; 30.1.1838-14.4.1892. White marble tablet, incised

letters detailed in black, with a frame in the form of a foothic niche, that is a central pointed arch flanked by pilasters embellished y;th trefoil arches entablatures and pointed capping devices, moulded base with footings, mounted on a black marble base with a central pointed arch. 90 x 120 cm. A 722; P.

with a central pointed arch. 90 x 120 cm. A722; P. Eleanor Bourne. Daughter of Rev. Joseph Orton; died 27.8.1859 aged 42. White marble tablet of rudimentary Classical design, that is stepped plasters with foliate caps flanking incised letters detailed in black and a relief laurel wreath, and with a relief pediment beneath, rather than above, this pediment having a shield shaped niche, unfilled, mounted on a black marble stylised pedimented base. 100 x 75 cm. A722; P.

John C. and Myrah White. Local preacher, Bathurst circuit 1834-1904. Born London 1813, died Bathurst 1904; wife died 1866. White marble tablet in the form of an unrolled scroll, incised letters detailed in black, mounted on a black marble stylised pedimented base. 100 x 90 cm. A722; P

synsete peaimented base. 100 x 90 cm. A 722; P Francis Hallday. Sunday School Superintendent 30 years. Born Ireland 6.12.1822, died Sydney 23.7.1918. White marble tablet, incised letters detailed in black, mounted within a relief moulded frame, all mounted on a black marble base. 75 x 105 cm. A722; P

George and Elizabeth Ann Palmer. Left hand window of a pair, depicting Abraham holding aloft a knife in his left hand, (his attribute), about to slay the bound partially clade figure of Isaac, but with an archangel staying his hand, with the inscription thereunder. 172 x 60 cm. A723; P.

W.A. Neave. 55th Batt, Killed in France, Right hand w.A. Neave. 53th Batt, Rifet in France, Night Hadid window of a pair, depicting Moses holding aloft a tablet in his left hand inscribed with the Commandments, his attribute, with the inscription thereunder. 172 x 60 cm. A723; P.

Trevlen Family. Erected by Miss Trevlen in memory of her father, mother and brother. Left hand window of a pair, depicting Ruth embracing Naomi, inscription at base. 172 x 60 cm. A723; P.

Mrs. A.B. James. Right hand window of a pair, depicting David and Jonathon, inscription at base 172 x 60cm. A723; P.

Susan Simmons. Left hand window of a pair depicting St. Mary Magdalene wiping the feet of Christ with her hair, her attribute, inscription at base.  $170 \times 60 \text{ cm}$ . A724; P.

Mary Brandon and Alfred Henlen. Right hand window of a pair depicting Christ as the Sower, with the inscription thereunder. 170  $_{\rm X}$  60 cm. A724; P

Christopher and Elizabeth Ann Armstrong. Left hand window of a pair depicting Elijah as a hea bearded man with a rough robe, and surrounder flames consuming water, his attributes, with inscription thereunder. 170 x 60 cm. A724; P.

Robert, Annie and Edith Williams. Single pointed arch Gothic window depicting the aged bearded Eliconversing with the, child Samuel, with the inscription thereunder. 170 x 60 cm. A724; P.

Sarh- Ann Clifton. Left hand window of a pair depicting Clmst standing at a door and knocking, with the text "Behold, I stand at the door and knock", beneath, inscription at base. 170 x 60 cm.

WUliam and Russell Pascoe. Husband and son of W.A. Pascoe. Left hand window of a pair depicting Chnst preaching on the Mount to a multitude, with the inscription thereunder. 170 x 60 cm. A 725; P.

the inscription interieuties. 170 x of this 1725; P.
Horace Walker. Erected by Ann Walker in memory of her son, killed in action Gallipoli 1915. Right hand window of a pair depicting the partially clad Christ standing in a river and being baptised by St. John the Baptist, with the inscription thereunder. 170 x 60 cm. A725; P.

cm. A/25; P.

Edmund Webb. Died 1899. Triple light pointed arch
Gothic window depicting in the central light an
archangel in helmet and holding aloft a palm
branch, possibly Principalities, surmounted by a
medallion depicting Christ flanked by two kneeling
angels. In the medallion beneath is Moses with
flowif = beard supported by Aaron and Hur,
inscription at base. 525 cm. x. 75 cm. A. 725; P.

Mrs. James and Ernest James. Erected in memory of Mother and brother Ernest by the James family. Single pointed arch Gothic Window, the right hand window of a pair, depicting the bearded Elijah wrapping Elisha, who holds the handles of a plough, in his cloak, with the inscription beneath. 182 x 60 cm. A726, P

William and Elizabeth Ann Tremain, Single pointed arch Gothic window, the left hand light of a pair, depicting Christ as the Good Shepherd, with the inscription thereunder. 182 x 60 cm. A726; P.

Bodward Allan Dash. Erected 1922. Single pointed arch Gothic window, the left hand light of a pair, depicting St. Peter having left his boat and walking on the water towards Christ standing on the water towards Christ standing on the waves with the inscription beneath. 182 x 60 cm. **A**726; P.\*

Hrold M Morcom. Single pointed arch 60thic window, the right hand light of a pair, depicting Christ conversing with the woman of Samaria, holding a water pitcher, her attribute, with the inscription beneath. 182 x 60 cm. A726; p.

mscription beneath. Loc x ou cm. Azzo, 1.

Mary Elizabeth and William JohnstoneStevens. Single pointed arch Gothic window the left
hand light of a pair, depicting the Virgi Mary
holding the Infant Christ flanked by St. Joseph
"vaikm on a road, fleeing from Egypt, with the
mscription beneath. 182 x 60 cm. A 7766; P.

Thomas and Elizabeth Oates. Died 1906; wife died 1915. Single pointed arch Gothic window, the night had window of a pair, depicting the Adoration of the Kmgs, with the inscription beneath. 182 x 60 cm. A726; P.

Uniting Church, Rocket Street, Bathurst: Charlotte E.P. James. Died 15.5.1951. White marble tablet, incised letters detailed in black ounted on a white marble base. 30 x 55 cm. A 727;

St. Joseph's Mount, Busby Street, Bathurst Rev. Mother Gertrude Sheehy. Erecte

commemorate the first Mother General's Religious Profession Golden Jubilee, 1863-1913. White marble figure of St. Joseph, flanked by a child and bearing in his right hand a spear topped rod, mounted atop a sandstone Doric column, itself mounted atop a plinth, to the vertical face of which is attached a metal plaque bearing the inscription, the whole mounted atop a quadruple stepped hexagonal base. A643; P.

Mother M. Gertrude Sheehy. Left hand light of a set of three pointed arch Gothic windows depicting St. Gertrude as an Abbess holding a crucifix and white lilies, with the inscription thereunder. 150x 20

John, Mary and Dorothy Symms. White marble tablet, incised letters detailed in black. 30 x 45 cm.

Mrs. John Meagher. Single pointed arch Gothic window depicting the Virgin Mary displaying the Sacred Heart, with her insignia beneath, with the inscription thereunder. 150 x 30 cm. A728; P.

Lawrence Mockler. Single pointed arch Gothic window depicting Christ displaying the Sacred Heart, with his Greek monogram IRS beneath, with the inscription thereunder. 150 x 30 cm. A728; P.

Mary Meagher. Religious of the Sacred Heart, died 1911. Donated 1918 by her father John Meagher. Single pointed arch Gothic window depicting the Nativity. with the inscription beneath. 150 x 30 cm. 4738. P

A728; P
St. Michael and St. John Roman Catholic Cathedral, William and Keppel Streets, Bathurst:
Lavelle Family. Window donated by John and Mary Murphy in memory of the Lavelle family. Window depicting an uniquentified female saint as a nun, with a monogram beneath probably related to the Virgin Mary, it being an M surrounded by a nimbus of stars, her attribute, but otherwise unknown. Inscription contained on a metal plaque, incised letters, mounted on a wood base beneath the window. 5x 10 cm. Window 150 x 53 cm. A729; P.

#### BAULKHAM HILLS

St. Luke's Anglican Church, Thomas Street, Northmead: William and Lucinda McLeod, Margaret Power and Kim McLeod. Window formerly in St. Matthews North Rocks, inscription on a separate brass plaque, A742; R.D.

BEGA

SS Lyeemoon. Centenary. Green Cape. The lyeemoon, bound from Melbourne to Sydney, was wrecked at Green Cape on 30.5.1886. With the aid of the light keepers S persons of the 56 on board were saved. The following persons survived: Rev. W. Poole, D.C. Harris. Captain Webber, J. Hutchison, J. Fotherinton, W. Thompson, G. Thorpe, Henry Adams aged 12, H. Lumsdaine, A. Smith. E McNally, M. Tyrell, A. Beigland, A. Jamieson and D. Robinson. Cairn erected 1986 constructed of granite boulders, to the vertical face of which is mounted a brass plaque. A773; R.D.

227 Peul St

1950-72 Mrs Ellen Strachan 178-81 Strachan, Spencer (opt)

#### MRS. ELLEN STRACHAN

The death occurred recently in hospital of Ellen Susan Strachan, of 227 Peel St. Bathurst.

Although in ill-health for some time her death came as a shock to her family and friends.

Of quiet disposition, Mrs Strachan was well-known and respected in Bathurst, where she was born 83

years ago, Predeceased by her husband, she is survived by her daughter Clarice (Mrs Hitchcock, Tamworth) and sons Ronald (Parramatta). Maxwell, Spencer, and Vincent, all of Bathurst.

A brother, Mr Alf Naylor (Bathurst), also survives.

Her funeral took place to the Church of England portion of Bathurst ceme-tery, on Monday, after a service at St. Paul's Church, Stewart St.

Dean Barker officiated at the church and graveside, and pallbearers were the deceased's four sons.

74th July 1972

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#### STATE-BATHURST.

Volsley street, butcher, M street, storekeeper, M t, Bathurst, home duties, F ymour street, Bathurst, home duties, F enry street, home duties, F d, Kelso, munition worker, M eet, Bathurst, home duties F 53 Durham street, home duties, T et, lino. operator, M r street, Bathurst, shop assistant, M er road, Lower Kelso, trainee, M id, Kelso, home duties, F street, Bathwest, home duties, F eet, home duties, F igineer. M street, labourer, M et, machinist, home duties, F kin street, home duties, F iver road, Kelso, home duties, F Hope street, Bathurst, solicitor, M. pe street, Bathurst, home duties, F reet, butcher, M eppel street, home duties, F vick street, home duties, F et, home duties, F. bouth Bathurst, home duties, F in street, home duties, F wick street, labourer, M ration Homes; home duties, F street, Sth. Batahurst, labourer, M el street, Llabourer, TM m street, carrier, M lla, home duties, F iarson, Bundilla, manager, M ikin street, labourer, M am street, home duties, F et, farmer, M wart street, Bathurst, milliner, F rt street, carrier, M art street; home duties, F street, Bathurst, carrier, M. illiam street, Bathurst, accountant, M street, Bathurst, home duties, F bert street, Bathurst, home duties, F ert-street, Bathurst, carpenter, M ambert street, B'hurst, appr. carpenter, ?" nglen, Esrom, farmer, M onglen, Esrom, home duties, F street, Bathurst, home duties, F iam street, Bathurst, shopkeeper, M street, Bathurst, farmer, M leppel-street, Bathurst, home duties, F street, Bathurst, home duties, F hurst, home duties, F k street, carrier, M reet, clerk, F ım street, home duties, F ick street, Bathurst, fuel merchant, M trham street, fuel merchant, M home duties, F

#### 1967 ELECTORAL ROLL

SUBDIVISION OF BATHURST. 1947.

7661 Stone, Alfred Edward, 117 Havannah street, Bathurst, labourer, M 7662 Stone, Catherine, 117 Havannah street, Bathurst, home duties, F 7663 Stone, Charles Herbert, 71 Durham street, labourer, M 7664 Stone, Keith Pattison, 246 Lambert street, factory manager, M

7665 Stone, Leslie Maurice, 185 Bentinck street, machinist, M 7666 Stone, Margaret Mary, 20 Piper street, home duties, F

7667 Stone, Margaret Mary Clare, 106 Keppel street, Bathurst, home duties,

7668 Stone, Mary 71 Durham street, home duties, F 7669 Stone, Mary Teresa, 185 Bentinck street, home duties, F 7670 Stone, Mollie Jean, 246 Lambert street, home duties, F

7671 Stone, Robert, 117 Havannah street, Bathurst, stoker, M

7672 Stone, Thomas Henry, 106 Keppel street, Bathurst, railway employee, 7673 Stone, Wilfred Leo, 20 Piper street, signal pan, M

7674 Stonestreet, Augustus Conserdine, 255 Stewart street, Bathurst, labourer, T 7675 Stonestreet, Gertrude Ellen Maria, 255 Stewart st., Bathurst, home dut., **P** 7676 Stonestreet, Lionel Augustus, 255 Stewart street, driver, M

7677 Storey, Alice Emily May, 123 George street, storekeeper, F 7678 Storey, Noble Frederick, 123 George street, fruiterer, M 7679 Storrier, Léila, Carillon Court, Russell street, cannery employee, F

7680 Strachan, Ellen Susan, 227 Peel street, Bathurst, home duties, F

7681 Strachan, Francis Leo, 179 Stewart street, shop assistant, M 7.682 Strachan, Harold Walter, 179 Stewart street, Bathurst, labourer, M 7683 Strachan, Leila Jean, 147 Peel street, home duties, F

7684 Strachan, Maxwell Hatherton, 147 Peel street, painter, M

7685 Strachan, Ruby Kathleen, 179 Stewart-street, Bathurst, home duties, F

7686 Strachan, Vincent, 227 Peel street, cannery hand, M 7687 Strachan, Spencer, 227 Peel street, linotype operator, M 7688 Strachan, Victor Edward, 227 Peel street, Bathurst, painter, M

7689 Stuart, Athol Edwin, 29 Rocket street, photographer, M

7690 Stuart, Harry, 29 Rocket street, Bathurst, engine-driver, M 7691 Stuart, Janet Margaret, 29 Rocket street, home duies, F 7692 Stubbs, Kathleen, 172 Stewart street, home duties, F

7693 Stubbs, Sidney George, 172 Stewart street, baker, M 7694 Sullivan, Amy Nina, 217 George street, home duties, F

7695 Sullivan, Athol Augustus, Rock Forest, wool classer, M 7696 Sullivan, Bernadete Maureen, 28 George street, home duties, F 7697 Sullivan, Bertha Marion, Annesley, Esrom, home duties, F

7698 Sullivan, Christopher Clarence, Bishop's House, Catholic priest, M

7699 Sullivan, Edith Emily, Avoca, Esrom, home duties, F 7700 Sullivan, Ella Mary, Esrom, home duties, F

7701 Sullivan, Ellen Marian, 150 Seymour street, Bathurst, home duties, F,

7702 Sullivan, Ernest Patrick, Avoca via Esrom, grazier, M 7703 Sullivan, Evonne Rita, 210 Russell street, shop assistant, F

7704 Sullivan, Frances Hannah, Avoca, via Esrom, home duties, F 7:05 Sullivan, Gerald, 265 Howick street, wool classer, M

7706 Sullivan, Harry Norman, 150 Seymour street, Bathurst, railway empl., M

7707 Sullivan, Ivy Theresa, 259 Howick street, home duties, F 7708 Sullivan, James Joseph, Rock Forest, grazier, M

7709 Sullivan, John, Rock Forest, Bathurst, labourer, M 7710 Sullivan, Kevin James, Rock Forest, grazier, M

7711 Sullivan, Lillian Clarrisa, 365 Howiek-street, home duties, F

7712 Sullivan, Margaret Mary, 166 Piper street, clerk, F 7713 Sullivan, Mary Josephine, 129 William street, home duties, F

7714 Sullivan, Merval Isabel, 156 William street, home duties, F 7715 Sullivan, Millie, Rock Forest, home duties, F

1716 Sullivan, Norah, 166 Piper street, home duties, F 7717 Sullivan, Patrick Esrom, Annesley, Esrom, labourer, M 7718 Sullivan, Patrick James, 28 Henry street, Bathurst, labourer, M

7719 Sullivan, Sarah, 28 Henry street, Bathurst, home duties, F 7720 Sullivan, William Sylvester, 156 William street, painter, M

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#### 1950 ELECTORAL ROLL.

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STOKES, Valerie Gertrude, Domestic Duties, 275 George St., Occ.
                               STONE, Alfred Edward, Labourer, 117 Havannah St., C
STONE, Charles Herbert, Labourer, 71 Durham St., Occ.
6593.
                             STONE, Charles Herbert, Labourer. 71 Durham St., Occ. STONE, Keith Pattison, Factory Manager, 246 Lambert St., Occ. STONE, Leslie Maurice, Machinist, 185 Bentinck St., Own/Rpr. STONE, Margaret Mary, Home Duties, 20 Piper St., Occ. STONE, Margaret Mary Clare, Home Duties, 106 Keppel St., Occ. STONE, Marjorie Elaine, Home Duties, 155 Rocket St., Occ. STONE, Mary, Home Duties, 71 Durham St., Own/Rpr. STONE, Mary Teresa, Home Duties, 185 Bentinck St., Occ. STONE, Mollie Jean, Home Duties, 246 Lambert St., Occ. STONE, Robert, Stoker, 117 Havannah St., Occ. STONE, Thomas Henry, Railway Employee, 106 Keppel St., Occ.
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                             STONE, Robert, Stoker, 117 Havannah St., Occ.
STONE, Robert, Stoker, 117 Havannah St., Occ.
STONE, Thomas Henry, Railway Employee, 106 Keppel St., Occ.
STONE, Wilfred Leo, Signalman, 20 Piper St., Occ.
STONESTREET, Augustus Considine, Labourer, 255 Stewart St., Own/Rpr.
STONESTREET, Gertrude Ellen Maria, Home Duties, 255 Stewart St., Occ.
STONESTREET, Lionel Augustus, Car Driver, 255 Stewart St., Own/Rpr.
Lot 123, Pt. 8,
Lot 15), Own/Rpr.
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                             STOREY, Alice Emily May, Fruiterer, 123 George St. (Sec. 17, Lot 12), Own/
6609.
                         STOREY. Noble Frederick, Fruiterer, 123 George St., Occ. STOW, Arthur Harold Bernard, Storeman, 8 Hansard Place, Occ. STOW, Doris Irene-Ellen, Home Duties, 8 Hansard Place, Occ. STOW, William Alan Samuel, Accountant, "Braemar," Keppel St., Occ. STRACHAN, Ellen Susan. Home Duties, 227 Peel St., Occ. STRACHAN, Estelle May, Home Duties, 128 Piper St., Occ. STRACHAN, Francis Leo, Shop Assistant, 128 Piper St., Occ. STRACHAN, Gloria Joan. Canner, 326 Stewart St., Occ. STRACHAN, Harold Walter, Labourer, 179 Stewart St., Occ. STRACHAN, Leila Jean, Home Duties, 86 Russell St., Occ. STRACHAN, Maxwell Hatherton, Painter, Russell St., Occ. STRACHAN, Ruby Kathleen, Domestic Duties, 179 Stewart St., Occ. STRACHAN, Victor Edward, Painter, 227 Peel St., Own/Rpt. STRACHAN, Vincent, Fitter's Assistant, 166 Rocket St., Own/Rpr. STRACHAN, Norman Thomas, Cafe Proprietor, 69 William St., Occ.
6610.
                              STOREY, Noble Frederick, Fruiterer, 123 George St.,
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                               STRETTLES, Norman Thomas, Cafe Proprietor, 69 William St., Occ.
                            STRETTLES, Norman Thomas, Cafe Proprietor, 69 William St., CSTUART, Athol Edwin, Photographer, 14 Lambert St., Own/Rpr. STUART, Harry, Railway Employee, 29 Rocket St., Own/Rpr. STUART, Janet Margaret, Home Duties, 14 Lambert St., Occ. STUART, Jean Frances, Home Duties, 29 Rocket St., Occ. STUBBS, Kathleen, Home Duties, 172 Stewart St., Occ. STUBBS, Sidney George, Baker, 172 Stewart St., Occ. STURCH, Alma Florence, Home Duties, 12 Henry St., Occ. STURCH, Francis Jack, Labourer, 12 Henry St., Occ. STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ. STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ. STURCH, Jack Christopher, Railway Employee, 12 Henry St., Occ. STURCH, Jillian Mayis Home Duties, 61 Lucas Rd., Burwood, Occ.
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                             STURCH, Jack Christopher, Rahway Employee, 12 Henry St., Occ.

STURT, Lillian Mavis, Home Duties, 61 Lucas Rd., Burwood, Own/Rpr.

STUVE, Laura, Home Duties, 9 Prospect St., Occ.

STUVE, Stanley Augustus, Baker, 9 Prospect St. (Sec. 123, Pt. 4A), Own/Rpr.

SUITOR, Mervyn Alfred, Labourer, 23 Oak St., Occ.

SUITOR, Ronald James, Labourer, 23 Oak St., Occ.

SULLIVAN, Athol Augustus, Wool Classer, 31 Brilliant St., Occ.
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                              SULLIVAN, Bernard William James, Postal Employee, Oxford Hotel, William St.,
6640.
                            SULLIVAN, Bernadette Maureen, Home Duties, 31 Brilliant St., Own/Rpr. SULLIVAN, Christopher Clarence, Priest, Bishop's House, Occ. SULLIVAN, Ellen Marian, Home Duties, 150 Seymour St., Occ. SULLIVAN, Evonne Rita, Shop Assistant, 210 Russell St., Occ. SULLIVAN, Francis James, Railway Employee, 17 Vittoria St., Occ. SULLIVAN, Gerald, Wool Classer, 365 Howick St., Occ. SULLIVAN, Harry Norman, Railway Employee, 150 Seymour St., Own/Rpr. SULLIVAN, Ivy Theresa, Home Duties, 259 Howick St., Occ. SULLIVAN, John Michael, Broadcast Technician, 166 Lambert St., Occ. SULLIVAN, Laura Gertrude, Home Duties, 17 Vittoria St., Occ. SULLIVAN, Lillian Clarrisa, Home Duties, 365 Howick St., Occ. SULLIVAN, Margaret Mary, Clerk, 166 Piper St., Occ. SULLIVAN, Mary Mark, Home Duties, St. Joseph's Orphanage, Occ. SULLIVAN, Monica Agnes, Dental Nurse, 142 Rankin St., Occ. SULLIVAN, Norah, Home Duties, 166 Piper St., Occ. SULLIVAN, Patrick James, Public Servant, 210 Russell St., Occ. SULLIVAN, Patrick James, Labourer, 28 Henry St., Occ.
                               SULLIVAN, Bernadette Maureen, Home Duties, 31 Brilliant St., Own/Rpr.
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                             SULLIVAN, Patrick James, Labourer, 28 Henry St., Occ. SULLIVAN, Sarah, Home Duries, 28 Henry St., Occ. SUMMERFIELD, Beryl Isabel, Machinist, 42 Lambert St., Occ. SUMMERFIELD, David Joseph, Railway Employee, 19 Rocket St., Own/Rpr. SUMMERFIELD, Emma Mavis, Home Duries, 19 Rocket St., Occ.
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Own/Rpr. = Owner, Ratepayer Occ. = Occupier.

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#### DIVISION OF BATHURST

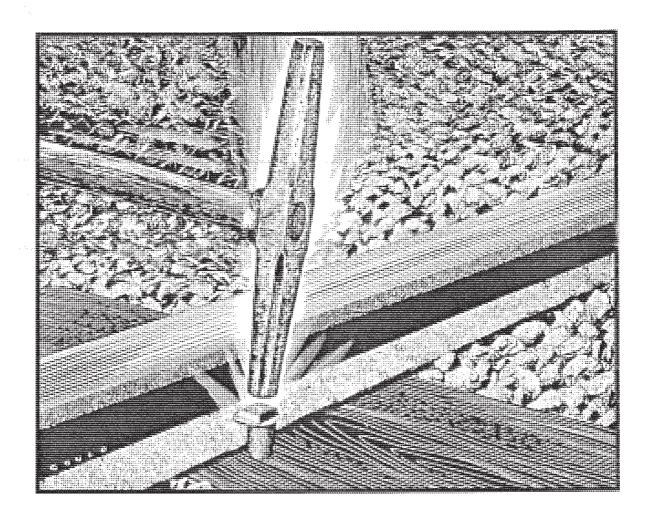
alene, 168 Keppel street, home duties, F Owen Way, home duties, F Lewins street, home duties, F ent, 8 Lewins street, cannery assistant, M ine, 62 Keppel street, home duties, F ttoria street, Georges Plains, home duties, lare, 4/104 Bentinck street, home duties, inter, 255 Piper street, medcial practitioner. t Noelene, 5/137 George street, clerk, F exandra, 255 Piper street, home duties, P olsley street, home duties, F wen way, home duties, F
Jullock, 5 Owen way, fitter, M
1, 194 William street, home duties, F , 11 Parnham street, shop assistant, F r Garvock, 6 Hamilton street, home duties, nder, 194 William street, manager, M 171 Rankin street, home duties, F George, 11 Parnham street, carpenter, M an, 6 Hamilton street, colourist, F juarie Homes, home duties, F imphries, 143 Hope street, Bathurst, solicitor, irgaret, 143 Hope street, Bathurst, home dutie ichael Bruce, 268 Keppel street, solicitor, M well King, 268 Keppel street, home duties, F ctor Farley, 5 Morrissett street, labourer, M ence, 13 Lord street, home duties, F Ernest, 7 Prospect street, labourer, M 2 William street, home duties, F zabeth, 24 White street, home duties, F s, 214 Hope street, bank officer, M eton, 24 White street, forester, M line Jean, 7 Prospect street, home duties, F n, 30 Torch street, carpenter. M ese, 242 Rocket street, home duties, F Havannah street, librarian, F rian, 242 Rocket street, driver, M idys, 30 Torch street, home duties, F 3, 285 Lambert street, constable of police, M inley street, home duties, F Stanley street, labourer, M is, 270 Durham street, teacher, M n, 270 Durham street, teacher, F zabeth, 315 Stewart street, Bathurst, milliner, son, 315 Stewart street, student, M Alicia, 313 Stewart street, home duties, F hanna Wilson, 315 Stewart street, W.R.A.N., F son, 315 Stewart street, Bathurst, carrier, M annie, 209 William street, home duties, F iglas, Esrom road, farm hand, M Villiam, 1 Alamein walk, carrier, M lary, Dunkeld, home duties, F in. Dunkeld, gardener. M Raymond, Devonglen, Esrom, farmer. M 12 Martha, Devonglen, Esrom, home duties, Helen, Perthville, home duties, F

#### 1969 ELECTORAL ROLL SUBDIVISION CF BATHURST

Socks, Estelle Carmel, Esrom road, home duties, F Socks, Gladys May, 227 Howick street, Bathurst, home duties, F Seeks, Gordon Francis, 153 Durham st., Bathurst, shopkeeper, M specks, John Oliver, 289 Durham street, dairy farmer, M Socks, Kathleen Margaret, 289 Durham street, home duties, F Socks, Margaret Frances, cnr. Commonwealth and Durham sts., h.d., bocks, Margaret Lorraine, RMB 273, Esrom road, bank officer, F Secks, Margaret May, Penrose, Dunkeld, home duties, F Speks, Morton Joseph, Penrose, Dunkeld, dairy farmer, M Socks, Maurice John, Perthville, carrier, M Socks, Sandra Vera, 1 Alamein walk, home duties, F sacks, Thelma Joyce, 380 Howick street, home duties, F Rocks, Wallace Bruce, Esrom road, dairy farm hand, M Stocks, Wendy Rosemary, Esrom road, home duties, F Stocks, William Maxwell, 380 Howick street, truck driver, M Sokes, Helen Margaret, 273 George street, nurse, F Sokes, Margaret Christine, 42 Rose street, home duties; F kokes, Valerie Gertrude, 275 George street, home duties, F Sone, Charles Herbert, 71 Durham street, labourer, M Some, Leslie Maurice, 53 Piper street, retort operator, M Sone, Joan Ann, Agricultural Research Station, home duties, F Sone, John Gordon, Agricultural Research Station, manager, M get Dawn, 11 Parnham street, home duties, Sone, Margaret Mary, 147 Bentinck street, home duties, F vard, 171 Rankin street, salesman, M one, Mary, 71 Durham street, home duties, F tone, Mary, 71 Durham street, home duties, Fone, Mary Teresa, 53 Piper street, home duties, Fone, Rita Elizabeth, 2/141 Keppel street, home duties, Fone, Wilfred Leo, 147 Bentinck street, signalman, M Ronestreet, Gertrude Ellen Maria, 3 Vittoria street, home duties, F Sonstreet, Jan Lorraine, 3 Vittoria street, nurse, F Monestreet, Lionel Augustus, 13 Pioneer street, driver, M Stonestreet, Patricia May, 13 Pioneer street, home cuttes. F Sonestreet, William Tressler, 3 Vittoria street, salesman, M Norm, Alan George, 139 Hope street, staff inspector, M. Sorm, Elizabeth Joy, 139 Hope street, teacher, F. Sorm, Iris Una, 139 Hope street, home duties, F strachan, Estelle May, 298 Rocket street, home duties, F Strachan, Francis Leo, 298 Rocket street, truck driver, M. Strachan, Gloria Joan, 210 Hope street, home duties, F. Strachan, Leila Jean, 165 Keppel street, home duties, F Strachan, Maxwell Hatherton, 165 Keppel street, painter, M Strachan, Ruby Kathleen, 179 Stewart street, Bathurst, home duties, I Strachan, Spencer, 227 Peel street, linotype operator, M Strachan, Vincent, 210 Hope street, fitter, M Strand, Judith Margaret, 303 Keppel street, shop manageress, F Strand, Richard David, 303 Keppel street, police constable, M Srickland, Charles Rex, 158 Stewart street, grazier, M Srickland, Marie Teresa, 158 Stewart street, home duties, F Frong, Frances Josephine, 37 Havannah street, home duties, F Frong, William Andrew, 37 Havannah street, railway employee, M Stuart, Athol Edwin, 14 Lambert street, railway employee, M Suart, Barbara Joan, 31 Hill street, home duties, F Smart, Cyril John, 297 Lambert street, signalman, M Stuart, Janet Margaret, 14 Lambert street, home duties, F Stuart, Maxwell James, 14 Lambert street, technician in training, M. Smart, William Alfred, 31 Hill street, service station proprietor, M. Smbbin, Gwenyth May, Caravan Park, receptionist, F na, Dunkeld, gardener. M
nas, cnr. Commonwealth and Durham sts., prim. Subbis, Joy Evelyn, 5 Mackenzie place, home duties, F Stubby, Ronald James Albert, 5 Mackenzie place, representative, M. Smebe, Deirdre, 185 Browning street, home duties, F. Smebe, Walter, 185 Browning street, builder, M.

# RAILWAY WEST CHRONICLES PENRITH TO ORANGE

4th Edition



Denis J. Chamberlain

#### RAILWAY WEST CHRONICLES-Penrith to Orange

SOLOMONS: Wilfred Claude (Bill) Solomons served as NX80748 Pte, 36th Battalion, New Guinea, AIF WW11. During his war service he toured New Guinea twice. Born on 3.6.1922 at Braemar near Mittagong he worked in per way on the railway most his life. Married his wife Cicily after the war and transferred to Bathurst in 1959. Their five daughters, June, Maurine, Linda, Katby and Vickie all grew up in Bathurst. He retired from the railway per way in 1976. Died on 13.3.1999 aged 76 years at Bathurst Nursing Home, Kelso. Bill's funeral service was held on 18.3.1999 at St. Barnabas Anglican Church, followed by interment in the Maranatha Lawn Cemetery, Bathurst.

**SPEARPOINT:** George Spearpoint and Beatrice, 2 Hansard Place, Bathurst. Electrician, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950. By the 1960's was working as railway electrician in the Bathurst yards. Their son worked as yard shunter. **SPEARPOINT:** (junior) worked as shunter in the Bathurst yards.

SPILLANE: Clement Leo Spillane and Elma, 59 Seymour Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

SPILLANE: Frederick Michael James Spillane and Nance, 150 William Street, Bathurst. Fitter, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

SPRATT: Harry Spratt and Eliza resided at 226 Rankin Street, Bathurst. Worked as locomotive driver at the Bathurst depot in 1950's. STAINES: Alex Staines worked in per way Bathurst before merger with new workshops in 1980.

STANDEN: Gregory Standen, commenced employment on 16.6.1971 as station assistant at Bathurst railway station. He then progressed as relief guard, relief assistant station master and relief coach Captain on SRA coaches. He left during the railway staff reduction years in 1990.

STANTON: Maxwell Stanton worked as carpenter at Bathurst depot.

STEAD: Theresa Margaret Stead, 100 Seymour Street, Bathurst. Barracks attendant, City of Bathurst Original Roll of Electors and Rate-payers in the year 1950.

STEVENS: Douglas McCullock Stevens, 202 Russell Street, Bathurst. Fitter, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

STEVENS: Stanley Arthur Stevens served as Lieutenant, 1st Australian Corps and 2/2nd Infantry Battalion AIF WW11. When he was discharged in early 1946 he returned back to his former position as Resident Engineer's Officer, Department of Railways, Bathurst. He was the son of Mrs Ruth Kathleen Stevens, 188 Rankin Street, Bathurst.

STONE: Thomas Henry Stone and Margaret, 106 Keppel Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

STONE: Wilfred Leo Stone and Margaret, 20 Piper Street, Bathurst. Signalman, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

STONESTREET: Bill Stonestreet, junior station assistant. Last appointment was at Bathurst Freight Centre.

STRACHAN: Francis Leo ("Frank") Strachan served as Leading Aircraftman, 138561. Group No. 740 Ultimo N.S.W., and Group No. 725. New Guinea, Pacific Islands, Port Moresby, Rabaul, Wewak and Finschhafen. RAAF WW11. Enlisted on 7.12.1943, he was discharged on 13.3.1946. Born in Bathurst on 14.8.1925 he was the son of Ruby and Harold Strachan. Frank married Essie and had family of three children: Carol (Mrs Dibley), Julie (Mrs McSpadden) and David. Frank worked on the railway and at Dawsons Transport until suffering a stroke which rendered him speechless for the remainder of his life. He died at a Coffs Harbour nursing home on 4.9.2004 aged 79 years. STRACHAN: Vincent Strachan, 166 Rocket Street, Bathurst. Fitter's assistant, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

STRONG: Bill Strong, station assistant, goods shed porter. Keppel Street, Bathurst.

STUART: Athol Edwin ("Ted") Stuart served as Corporal, NX162134 (N195697) 3rd Australian Division Provost Company AIF WW11. First enlist in C.M.F. and on 24.6.1943 enlisted in AIF at Darley, Victoria. Discharged on 30.1.1946. Born at Bathurst on 30.12.1922 the son of Harry Stuart, Married his wife Janet Margaret ("Jan") at Taree on 11.11.1944, returning to Bathurst in 1946. Jan was born in Wingham and served in the signal section of A.W.A.S. Two children born of the marriage being Max and Pam (Mrs Graham Pickup). In 1950 worked as photographer and was residing with his wife Jan at 14 Lambert Street, Bathurst. Later worked as locomotive engine driver with the N.S.W. Government Railways at Bathurst locomotive depot until November 1969 when he was promoted to sub-inspector moving to Figtree near Wollongong. Rétired from the railway in 1982. Moved back to Bathurst in early 2000. Died on 16.6.2006 aged 83 Bathurst Base Hospital. Funeral service commencing at 11.00 am on 20.6.2006 at Bathurst Uniting Church, William Street, Bathurst.

STUART: Harry ("Daddy") Stuart and Jean 29 Rocket Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950. Was a strict locomotive driver and father of Athol who often fired for him.

STURCH: Jack Christopher Sturch, 12 Henry Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

SULLIVAN: Francis James Sullivan and Laura, 17 Vittoria Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

SULLIVAN: Harry Norman Sullivan and Ellen, 150 Seymour Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

SUMMERFIELD: David Joseph Summerfield, 19 Rocket Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950.

**SUMMERFIELD:** Henry Summerfield and Lillieth, 63 Lambert Street, Bathurst. Boilermaker, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950. He worked as boilermaker at the Bathurst locomotive depot and was badly scalded whilst working on a boiler. Henry eventually retired from the railway and soon thereafter suffered from severe prostate cancer dying in 1960. In 2010 his daughter Rose Williams still resides in the family residence.

SUMMERFIELD: Joseph David ("Joe") Summerfield and Emma, 19 Rocket Street, Bathurst. Railway employee, City of Bathurst Original Roll of Electors and Ratepayers in the year 1950. He was the son of Henry and Lillieth Summerfield of 63 Lambert Street, Bathurst. Joe was born on 26.9.1913 and worked his way up from trainee engineman to driver. In the early 1960's he worked as Chargeman at the locomotive depot. He died in June 1990, his funeral being conducted in the Baptist Church, corner Eglinton and Ophir Roads followed by interment within the Bathurst Maranatha Lawn Cemetery. 1

1-WA 27.6.1990.

THE STATE OF THE S

#### **FUNERAL NOTICES**

STRACHAN: The relatives and friends of the late Mrs Ellen Susan Strachan, of 227 Peel St, Bathurst, are respectfully invited to are respectfully invited to leave St Paul's Church of England, Stewart St, Baticurst, after a service commencing at 12 noon today, Monday, July 3, for interment in the Church of England portion of the Bathurst Cemetery. Godfrey Smith AFDA, Funeral Director, 182 Piper St, Bathurst. Phone 31 4084.

Bathurst. Phone 31 4084.

WEAL: The relatives and friends of the late John Thomas Weal of 17 Lambert St, Bathurst, are respectfully invited to attend his funeral, to leave St Paul's Church of England, Stewart St, Bathurst, after a service commencing at 2 pm today, Monday, July 3, for interment in the Church of England portion of the Bathurst Cemetery, God-frey Smith, AFDA, Funeral Directors, 182 Piper St, Eathurst, Phone 31 4084.

31 4084.

CUPITT: The relatives and friends of Mrs Noma Cupit and family, of 290 Piper St, Bathurst, are respectfully invited to attend the funeral of her loved husband and their dear father, Lawson Ross Cupitt, to leave All Ross Cupitt, after a service commencing at 2 pm tomorrow, Tuesday, July 4, 1972, for interment in the Holy Trinity Lawn Cemetery, Kelso. Godfrey tery, Kelso. Godfrey Smith, AFDA, Funeral Directors, 182 Piper St, Bathurst. Phone 31 4084.

#### IN MEMORIAM

WELSH, Elizabeth: In lov-ing memory of our dear wife, mother and Nan, died July 3, 1968.
—Sadly missed by Ern, Betty, Anne, and families.

HINES, Herbert Bernard: In loving memory of our dear father, who passed away July 3 1965. Just a prayer from us who loved you, And a memory fond and true,

our hearts you will live

forever,
Because we thought the
world of you,
—Always remembered by
his family.

WANTED

#### WANTED RAPID READER KITS

NEW W and used, which were ught from Heron Books mail. Willing to pay

Lowest rates

in town

.Reliable sets

Phone 31 2822

.Prompt service

MALVERN STAR STORES

31 3378

82 WILLIAM ST

B. FIEDLER, mes Ave, Baulkham Hills, 2153. 15 Eam

#### IN MEMORIAM

PALMER, Graham Leslie: In loving memory of our dear son and brother, accidentally killed July 3, 1966,

1866, Sadly missed by mother, father and Jennifer.
ALSO—
HAM, Ada Arlene; In loving memory of our dear mother, called home June 30, 1868.
—Sadly missed

30, 1968.

—Sadly missed by her daughter, son in law, granddaughter, Jennifer. Close to our hearts they will always stay.

Loved and remembered every day.

#### **PUBLIC NOTICES**

#### PUBLIC NOTICE

ON WEDNESDAY, JULY
5, Mr J. A. Pettitt MP,
Member for Hume, will be
available for interview at
Tuena Post Office, 10 am;
Trunkey Creek Post Office, 2 pm; and Rockley
Post Office, 4 pm; and on
Thursday, July 6, Black
Springs Post Office, 9 am;
Burraga Post Office, 1
am; and Porter's Retreat,
2 pm.

#### Abercrombie Shire Council

#### SUPPLY OF **TYPEWRITER**

QUOTATIONS are invited up to 5 pm on Friday, July 21, 1972, for the supply of one new typewriter. Further information from the undersigned and trade in allowance (if any) on Council's old machine to be furnished with quotation.

J. EDWAPDES.

J. EDWARDES, Shire Clerk Council Chambers, PERTHVILLE, NSW, 2795. 3/7/1972.

SOCCER Meeting: Churches United Soccer meeting, Harold Weal's residence, 8 pm, tonight.

ANNUAL General meeting Bathurst Branch Central Acclimatisation Society, 8 pm. Friday, July 7, 1972, pm, Friday, July 7, 1972, at Bathurst City Bowling

ABERCROMBIE Ratepayers and Citizens' Association next meeting will be at the Rockley Community Hall at 8 pm on Wednesday, July 5.

WANTED: RSPCA urg-ently requires home for a fluffy kitten. Inspect at Flat 10, 101 Rankin St.

RSPCA hamper competition won by Mr R. Miller.

#### FOR SALE

FOR next few days only, sale of fabrics at Grat-tan's, 181 George St.

#### Attractive Weatherboard Home

IN GOOD AREA, three bedrooms, one with pre-fabricated wardrobes, lounge-dining room, welllounge-dining room, well-fitted kitchen, bathroom, laundry garage; storage under house; hot water service; blinds; light fit-lings and fly covers are in-cluded. This is a tidy home and is well-laid out area with shrubs. At \$17,000 this home is keenly priced, and your inspec-tion is strongly recom-mended. For further par-ticulars contact: room, well bathroom

#### R. F. (PADDY) AUBIN

Real Estate Agent, 98 William St, Bathurst. Phone 31 1888.

#### FOR SALE

APPLES FOR SALE: Granny Smith, Packham pears, Rome Beauty APPLES pears, Rome Beauty apples 70c carton, De-licious, \$1.20. J. Reedy's Sunbright Orchard, Lime-kilns Rd.

#### PUBLIC NOTICE

#### **HAMBURGERS** NOW AVAILABLE Monday To Friday **PRANCKUS**

SHOP Cnr Lambert And Havannah Sts.

SCRIBBLERS for sale, excellent value (6 x 4), 10c each; (8 x 5), 12c each. Call in to the "Western Advocate" today for these and all other stationery supplies.

#### ABERCROMBIE SHIRE COUNCIL Female Clerk/Typist

Applications are invited until 5 pm on Friday, July 21, 1872 for the position of Clerk/Typist on this Council's permanent staff. The salary payable will be in accordance with the Shire and Municipal Council (Administrative and Clerical Staff) Award, the range including a weekly rate of \$50.90 at 4th year scale and increasing to \$64.30 at 9th year scale. A higher rate will apply to a person who is also an experienced short-band writer.

Superannuation benefits will apply after twelve on this service and there will be opportunities for ancement in the service.

Applicants should state their age, educational qualifications, typing and shorthand speeds, date duties can be commenced, and full details of their experience Copies only of recent references are required.

EDWARDES J. EDWAR Shire Clerk

Council Chambers, Perthville. NSW. 2795. Jcly 3, 1972.



SHOWTIME-7.30 GATES AND CANTEEN OPEN 6.45 TONIGHT



They all had something to sell... courage...



THE HELL with HEROEL A UNIVERSAL PICTURE in TECHNICOLOR Not Suitable for Children

ROD

#### Station 2CR

- 6.00 News and Weather
  6.10 World Roundup
  6.20 Bible Readings
  6.24 Light Music
  6.30 Local News
  6.45 News and Weather
  7.00 The Breakfast Show
  7.15 Local Breakfast
  Session
  7.40 Aust vs Somerset
  Cricket
  7.45 News and Weather
  8.07 Local Program
  8.00 Local News
  8.30 The Hospital Hour
  9.30 Sounds Easy
  10.20 By The Way
  10.35 Kindergarten Of The
  Air

- Air 11.00 Prom Concert
- 11.20 For Schools 12.00 The Country Hour 12.30 News and Weather 12.43 Local News
- 12.50 National Farming
- News 1.00 Blue Hills

- News
  1.00 Blue Hills
  1.15 Stock Exchange
  1.23 Notes On The News
  1.25 Notes On The News
  1.35 News
  1.45 Local News
  1.45 Local News
  1.45 Codional Weather
  River Heights
  2.00 Gordon Watson, piano
  2.10 For Schools
  3.00 News In Brief
  3.02 Your Kind Of Music
  4.00 News
  4.05 Light Music
  4.15 Roundabout
  5.00 Young World
  5.30 Sasha Polinoff's Russian Gypsy Orchestra
  5.45 Stock Exchange
  6.00 News
  6.05 "PM"
  6.30 Sporting Highlights
  6.33 Local News
  7.15 Serial: "A House Is
  Built's
  1.30 Heritage: "The Ord"
  8.15 Singers Of Renown
  9.00 News
  9.15 Learn Indonesian
- 8.15 Singers Of Renown
  2.00 News
  9.15 Learn Indonesian
  9.35 The Golden Years of
  Ralph Rainer
  10.00 Doctor at Large
  16.30 Music to Midnight
  11.00 News
  13.10 Music to Midnight
  11.50 Evening Meditation

#### station 2BS

MES NEWS on the half-hour from 5 am to 9 am, then every hour on the hour LOCAL NEWS: From the "Western Advocate," 5.03, 6.10, 7.03, 8.03, 8.33 am; 1.05, 7.00 and 10.10 pm 5.00 Wake Easy Show Mike Roach 6.40 Music 2.00 Women's World — Ray Lambert

- Ray Lambert 10.45 Morning Serial: "The
- 10.45 Morning Serial: "The Far Country" 11.03 Gwen Plumb 12.00 MBS Half-hour News 12.30 Rural Report 12.45 2BS Farm Report —
- Barney Tyers 2.00 Afternoon Sound of
- Music 5.45 Stock Exchange 6.00 MBS Half-hour New
- 6.30 News 7.00 Pete's Cashbox 40
- with Peter Graham 10.00 Three In A Row Show Mark Con-don



Help your Adverts pack a wallop

Western Advocate' Phone 31 2611

### 2BS TOP 40

Week Commencing July 3, 197 CHART No. 66.

1. ALONE AGAIN Gilbert O'Sulli
MOTHER _ Dr Hook and The Medicine Si 3. IT'S FOUR IN THE MORNING _ Faron Yo
4. THE FIRST TIME EVER I SAW YOUR FACE Roberts F
FACE Roberta F
7. NICE TO BE WITH YOU Gal
8. AMAZING GRACE Dragoon Gua
9. THE WHALE Fielding and D 10. HURTING EACH OTHER Carpen
11. BEAUTIFUL SUNDAY Daniel Bo
112. MARSHALL'S POPTADIE MILIOTO
13. VINCENT / CASTLES IN THE
AIR Don 35 F
15. OPEN UP YOUR HEART G Wayne Thor 16. ROLL AWAY THE STONE Leon Rus
17. PRECIOUS AND FEW Clin
18. THE YOUNG NEW MEXICAN
18. THE YOUNG NEW MEXICAN PUPPETEER Tom Jo
19. SET ME FREE SOFF
20. SUMEDAY NEVED
COMES Creedence Clearwater Revi
SEAT Slim Nous
22. MOST PEOPLE THINK THAT IM CRAZY Azt
23. ME AND JULIO DOWN BY THE SCHOOL YARD Paul Sim
SCHOOL YARD Paul Sim
24. WILHOUT YOU Nilss
25. PUPPY LOVE Donny Osmo
26. COWBOY'S WORK IS NEVER DONE Sonny and Ch
27. CRAZY MAMMA J. J. J. C
28. SISTER JANE New Worl
29. DOCTOR MY EVES Toolsoon Days
30. WALK THE WORLD AWAY AT HO
31. BEG, STEAL OR BORROW New Spoles
32. SMOKE GETS IN YOUR EYES Blues How
33. KEEP YOUR HEAD UP HIGH Arose
34. BABY BLUE Positive
35. WALKING IN THE RAIN WITH THE ONE I LOVE Love Unlimit
36. ROCKET MAN Elton John
37. DADDY DON'T WALK SO
37. DADDY DON'T WALK SO FAST Wayne Newton
38. METAL GURU T. Re
39. CANDY MAN Sammy Davis J
40. TUMBLIN' DICE The Rolling Ston
MY TOP TEN RECORDS FOR THIS WEE
CASHBOX 40 ARE AS FOLLOWS:
1,
I.
2.
3.
4
5
6.
7.
7.
7
8

#### PETE'S TOP TEN PRIZE A COMPLETE SET OF 2BS TOP 40 RECORDS

ADDRESS

ADDRESS YOUR ENTRIES TO "PETE'S TOP TEN JACKPOT", RADIO 2BS, BATHURST, NSW, 2795

ALL ENTRIES MUST BE IN BY 5 PM 206 of 790

#### 227 Peel Street house history

#### Comments:

The house, known as 227 Peel Street, was built for Thomas Charles Beale sometimes in 1878. Mr. Beale is listed in the Bathurst and Western Directory for 1886-87 as a commission agent. Several mistaken variations of his name are recorded in the assessment (rates) books which are handwritten. The assessment books indicate that Mr. Beale occupied the house until circa 1884 and that he owned it until about 1891.

By 1982 the owner is recorded as William Pascoe. It is unlikely that Mr. Pascoe living in the house but that he rented it for income. William Pascoe was the curator of the Bathurst Museum from its date of opening in the 1890's until his death in 1903. After Mr. Pascoe's death the house passed to his widow, Mary Ann.

In June 1929 Mrs. Pascoe sold the house to Victor Edwards Strachan, a painter. Mr. Strachan had been a tenant in the house. The purchase price was £325. The Bathurst City Council's transfer Register is available to the Historical Society only up to 1970. A search through the register has failed to find an entry indication another sale of the house. Evidence from the electoral rolls and the death notices of spencer Strachan suggest that the house was owned by the Strachan family until 1995.

#### **Enclosures:**

- 1. Page Bathurst and Western Directory for 1886-87
- 2. Obituary William Pascoe National Ad. 25 July 1903
- 3. Notice of Transfer Pascoe to Strachan, 13 June 1929
- 4. Page 1947 Electoral Roll
- 5. Page 1969 Electoral Roll
- 6. Death Notice S, Strachan, Western Ad. 25 July 1995

#### AIRSURV PTY LTD

#### Surveyors 54 Nelson Street RAGLAN NSW 2795

Telephone/Fax No: 02 6337 3260 ACN: 130 640 621

Reference: CG09102

Your Reference: DBP:KMC:20090302

12th June, 2009

Ms. M. J. Smith c/- Kenny Spring Solicitors PO Box 149 BATHURST NSW 2795

Dear Sir,

#### RE: SMITH FROM ASPDEN

This survey report has been undertaken as per your instructions and is to be used solely in the matter of Smith from Aspden for Identification purposes only. The report relates to the parcel of land known as Lot 1 in DP 998581 Parish of Bathurst County of Bathurst, being the land comprised in Folio Identifier 1/998581, a copy of which was supplied by Kenny Spring Solicitors, of Bathurst.

Located on Lot 1 in DP 998581 and within its boundaries stands a cement rendered and weatherboard residence with a metal roof in the position as shown on the attached sketch plan.

Also located on Lot 1 in DP 998581 stands an aviary, metal shed and a metal shed with attached brick WC in the positions as shown on the attached sketch plan.

Offsets to walls, eaves and gutters are as shown on the attached sketch plan.

Lot 1 in DP 998581 is Qualified Limited Title, for the purposes of conveyancing the boundaries should be treated as Old Systems.

The shed and carport located on the neighbouring Lot B in DP 158047 stands up to 0.75 metres onto Lot 1 in DP 998581 as shown on the attached sketch plan.

The location of boundaries is an opinion based on available information and no responsibility can be taken for changes in the boundary locations which occur due to subsequent surveys of adjacent lands. It is suggested that a full plan of survey be carried out and registered with the Department of Lands.

Building and fencing offsets are as shown on the attached sketch plan. Other than those shown in the accompanying sketch plan I am of the opinion that there are no further encroachments by or upon the subject property.

#### PARTICULARS OF PROPERTY

LGA:

Bathurst Regional

Parish:

Bathurst

County:

Bathurst

Frontage:

25.145 metres to Peel Street, Bathurst

Description: Lot 1 in DP 998581

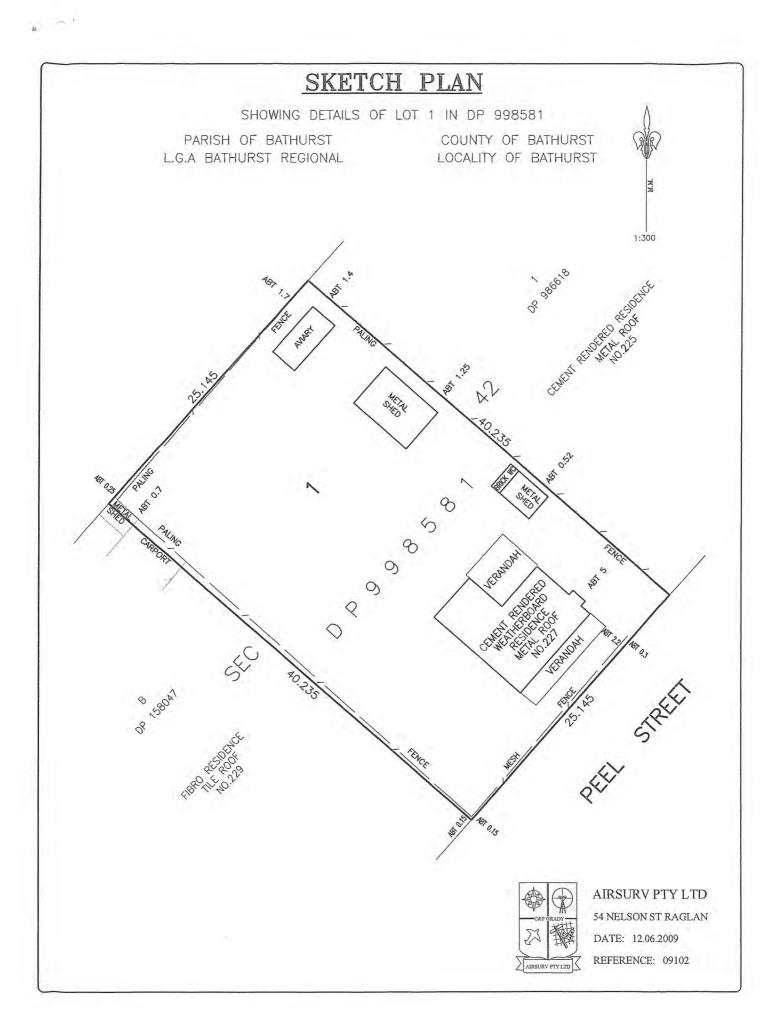
Address:

No: 227 Peel Street, Bathurst

Yours faithfully

R. L. Streeter

REGISTERED SURVEYOR NSW



m: 08369

THE COUNCIL OF THE MUNICIPALITY OF BATHURST.

Sewer Available.

#### PLAN OF DRAINAGE.

For Mas V Strachen

Situation of Property 227 Peel Street

Drainage Plan No. 1557 Detail Plan No. 45 Sub-Section No. 40

#### REFERENCE.

I.T. Interceptor Trap

D.T. Disconnector Trap S.T. Silt Trap

G.T. Grease Trap

Y.S. Yard Sink

C.I.P. Cast Iron Pipe

S.P.D. Stone Pipe Drain

I.C. Inspection Chamber

J.B. Inspection Bend

I.P. Inspection Pipe

I.J. Inspection Junction R.T. Reflux Trap

Scale, 40 ft. to 1 inch.

E.V. Educt Vent

I,V. Induct Vent

S.P.V. Soil Pipe Vent

M.F. Mica Flap Induct Vent

Red Lines. Sewers

Blue Lines. House Drains

This diagram is the property of the Proprietor, and is to be returned to him on the completion of the work.

Where vent pipes are attached to chimneys, the outlet of vent must be at least 6 feet above flue opening. Certificates for drainage and sanitary plumbing may be obtained on application at this office. Existing pipes to be opened up for inspection and relaid with cement joints where directed.

Drains to be trapped and ventilated, and inspection fittings provided at each change of direction, or where directed. directed.

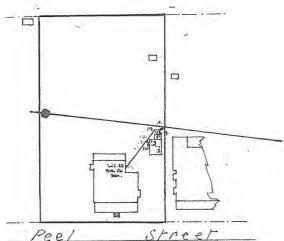
In all cases where fittings are connected direct with drains, cleaning eyes must be provided. Junction about 87 feet from downstream Manhole. Approx. depth

A.—All plumbing and drainage work shown on diagram, and covered by By-laws and Regulations, must be done to the satisfaction of the Council, and no responsibility will be taken for same unless official certificates are obtained by licensed plumbers and drainers.

B .- RAIN OR SURFACE WATER MUST NOT BE CONNECTED WITH COUNCIL'S SEWER. EXISTING SURFACE WATER PIPES MUST BE DISCONNECTED FROM SEWER.

Batherst City Chundi explanely disclains all patrons to by chance explaining are debility for errors or dinissions of any kind what-see are, or for any low, damage or other con-sequence which may asse from any person relying on information comprised in this plan...

1. W. Proposed. . Janstes to be Trapped. 3. Tubs.



#### NOT TO SCALE

K/Sink gully removed by M. Tutton 4-4-2003

Sewerage Engineer.

W. A 31 Tuly

#### DEATH NOTICES

STRACHAN: Spencer, July 25, 1995, late of Peel Street, Bathurst, dearly loved brother and brother-in-law of Vince and Gloria, loved uncle of William and Richard and their families. Aged 75 years. Privately interred.

GODFREY SMITH FUNERALS F.D.A. of N.S.W. 182 Piper Street, Bathurst Telephone 314084

#### RUNERAL NORMOES

FRY: The relatives and friends of the late Marjorie Gladys Fry, late of Rankin Street, Bathurst, are respectfully invited to attend her funeral to leave The Uniting Church, William Street, Bathurst, to-day Monday (July 31, 1995), after a service commencing at 2.00 p.m. for interment in the Holy Trinity Lawn Cemetery, Kelso. GODFREY SMITH FUNERALS

F.D.A. of N.S.W. 182 Piper Street, Bathurst Telephone 314084

bj31

bj31

#### IN MEMORIAMS

ASPROS: Peter 31.7.90

This month of July comes with regret, it brings back a day we'll never forget. Loved and remembered always. Your loving family. bj31

YOW: Charles William 31.7.85 He lived for those he loved, And those he loved remember. Loved and missed by his family.

#### BIRTHDAYS

HAPPY 80TH BIRTHDAY HAROLD MC FADDEN

To our Dad, Mate, Father-in-law and Pop. All our best wishes on your very special day.

From Anne, Stewart, Toni, Brett and Adrienne.

bj31

#### PERSONAL

ASSURED OF A RELAXING MASSAGE at The Oasis, easing Stress, Tension & muscle Stiffness. Six days 11am-9pm. Appointments 063-317430.

HOT CHAT. Live or Just Listen in 24 hours. Phone: 0011-592-589-212. we're waiting, Adults Only Chat. 25c/6.8 seconds IDD rates.

#### PUBLIC NOTICES Meeting of Council - 20 Jul

AGENDA - Ordinary

#### PUBLIC NOTICES

#### CRYSTAL'S REFLEXION BEAUTY THERAPY SPECIALS

SOLARIUM Treatments reduced to only \$40 for a course of ten. Offer includes free bottle T-Tree lotion to prevent moisture loss (valued at \$16).

#### **MANICURES**

With hand massage reduced to \$14. Offer includes free bottle of nail polish. 90 Bentinck Street Phone 063-315632

bj31.a1.2.

# SSIFIED DEA

#### TUESDAY - FRIDAY

4.30pm day prior. (Advertisements with photo and/or logo - Display Ads 2.00pm day prior).

#### SATURDAY - MONDAY

4.30pm on Friday. (Advertisements with photo and/or logo - Display Ads 12 noon Friday).



DON'7 MISS

Phone early . .

#### 1800 642 611 - FREE CALL

(have your credit card\* handy) or call in at 208 Browning Street.

#### RESPONSIBILIT

The company reserves the right to alter, omit or republish electronically any advertisements and while every care is exercised it is not responsible for errors, mis-classification or non-insertion. No allowances will be made for errors unless attention is drawn to them on the first day of publication. All settings and classifications must adhere to our rules. No allowances can be made for errors not materially affecting the effectiveness of the ad Position cannot affect the other than the effectiveness of the ad Position cannot be effectiveness. affecting the effectiveness of the ad. Position cannot be guaranteed. All claims for adjustment or credit must be made within seven days after the billing date.

NOTICE TO ADVERTISERS, LETTER WRITERS AND READERS 212 of 790

National Advocate (Bathurst, NSW: 1889 - 1954), Saturday 8 August 1903, page 2

Late Mr. W. Pascoe.

A memorial service for the late Mr. W. Pascoe will be held in the Methodist Church, William street, to-morrow night. The preacher will be Rev. J. H. Lewin, and appropriate music is announced. A special invitation is extended to all friends of the deceased gentleman to attend. tond.

National Library of Australia

http://nla.gov.au/nla.news-article156882782

National Advocate (Bathurst, NSW: 1889 - 1954), Monday 27 July 1903, page 2

#### The Late Mr. W. Pascoe.

The funeral of the late Mr. William Pascoe took pirce on Saturday afternoon A large number of residents attended to pay their last tri nte af ris, e t. The members of the Manchester Unity Ind-pendent Order of Oddfellows. which Society deceased long been a familiar figure, walked in front of the cortege, while the Druids, as a mark of their esteem, des u ed their District President (Bro. H. J. Shindleir) to attend The coffin was taken into the William Street Methodist Church, where a short service was conducted by the Revs. H. Wiles and J H. Lewin.

In the course of a brief address, the Rev. J. H. Lewin paid an appropriate tribute to the memory of the deceased. They had brought him he said, to the place where he loved to be. For some ten weeks he had longed to be there, His spirit was with them while they worshipped. They had been accustomed to see his face regularly from Sabbath to Sabbath, and to be helped, as many of them could testify, by his occasional ministrations in the pulpit as for 37 years their brother had been a preacher of the Gospel of the Lord Jesus Christ, Dari'g that long Ministry-a true Ministry in every sense-what good had been accomplished. How many had been helped by the testimony of his lips always backed up and supported by the public testimony of his life. He had occupied every position in the Church: t.om the lowest to the highest. He had gene to the higher service. He had done his Master's service here and had heard the call to go up higher, and he (Mr. Lewis) had no doubt that he was now engaged in the service of the King in a larger realm. They would miss bim exceeding y for Methodism had few more loyal sone. The Church of God in its broader sense, would miss him. And they would endorse his remark when he said the city would miss him, for in the important positions he occupied he filled them with credit to bimself and with honor to those whom he served. Their friends in the Oddfellows would miss their competent secretary. But in the bome circle he would be most missed. There were few who in their homes filled a larger place than their departed brother, few who were mo e devotedly and passionately laved by a big family of sons National Library of Australia

sionately laved by a big family of sons and daughters, and for husbards who were more passionately loved by a now sorrowing and broken beart d widow. He ventur d to express his and their sympathy, and also the sympathy of the Church to those who bad been so sorely bereaved by the home-going of their brother. But there was much to console them. It was not too much to say that he was conspicuously Christlike in character. It was a strengthening of faith to him to and the way the deceased endured his afflictions. He used to wonder whather it was possible to reach the idealistic state that St Paul depicted when he sp ke of glorifying in tribulati n. But he bad seen a poor frail human creature like himself g'o ilying Christ in his tribulation. And it had done good to him and the hearts of those that had seen it. Let them be determined to follow Christ more closely than ever in in the future.

The service concluded with the singing of the hymn "Rack of Ages", and as the offin was leaving the Church the "Dead March" in 'Sau," was played on the organ by Mr. Ross Thomas

The service at the graveside was brief. The Revs H. Wiles and J. H. Lewin read the burial service and then the service of the Oddfellows was read by Mr. T. C. Devison. The mombers of the Order such dropped a sprig or thyme on the coffin, as a mark of respect to the memory of their deceased brother.

Mr. W. G. Sawyer conducted the funeral arrangem nt.

http://nla.gov.au/nla.news-article156879940

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Australia for Australianso

BATURDAY, JULY 25, 1903.

#### MR. KINGSTON'S RESIGNATION ...

The most important event of the day, from a local point of view, is undoubtedly the retirement of Mr. " Kingston from the Federal Ministry. Mr. Kingston's health, in consequence of the ceaseless work he has performed in his vigilant administration of the Customs Department, has of late been somewhat impaired, but we are told that the reason of his retirement is a difference with his colleagues over a matter affecting the Arbitra-Bill. However regrettable retirement i-, both Kingston and the Ministry of which he was a member the disagreement as a maintenance of that high standard of public life which is so desirable. Put shortly Mr. Kings'or, who has made the question of conciliation and arbitration the alady of a lifetime, as he himself put it, desired to have the seamen eu gaged in the coastal trade included in the Arbitration Bill. The Cabinet desired that they should be included. within the scope of the Navigation Bill. Neither would give way, and consequently the only course left, consistent with the maintenaince of high ideals in our public life, was that Mr. Kingston and his colleagues should part company. With the meagre dotails before us it is perhaps un wise to express an opinion upon the merits of the dispute. Still, to an ordinary mind it would seem that dealing wi h maritime disputes and controlling the wages of scamen in the coastal trade was more a matter for inclusion in generally occupied by Florence Kirby, the Arbitration Bill than the Navi- a domestic, but last night she was gation Bill. However, there may be away at a social, and could not get the Lord, and who AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments

columns that the well known Tobleco and 13.3 Hairdressing establishment which has been under the successful propictorship of Mr. Ball has changed hands, Mr. E. H. Denniss la's of Wollongoog having purchased the business. The new proprietary is enterprising and up to date and patrons new and old can rely on the best of attention. The premises are being renovated throughout and will be re-st cked with the very best brands of tobaccos, rigars, eigarettes and other smokers' requisites at prices to suit the times

#### Death of Mr. W. Pascoe.

The death occurred early yesterday moraing of Mr William Pascoe, of Keppel-street, in his 62nd year. Mr Pascoe has been in ill health for some time past, and of late he has been in a very precarious condition, so that the end was not unexpected. At the opening of the Technological Museum in connection with the local Technical College, he was speciated Curator, a position he fulfilled till the time of his last illness. As scoretary of the Manchester Unity Order of Oddfellows he did excellent work, and the society has lost a valued member by his demise. As a lecal preacher of the Methodist Church he was always ready to advance the interests of the Church of which he was a devoted member. He leaves a widow and family of six—two daughters and four sons—all of whom are highly esteemed and respected, and sincere sympathy will be felt for them in their bereavement. The funeral will take place this afternoon.

#### Tragedy at Balmain,

#### SUICIDE.

SYDNEY, Friday. A sad tragedy was reported this morning from Balmain. A tailor named Edward Young, in a fit of temporary insanity into which he had been driven by business worries, killed his wife and attempted to take his own life afterwards.

Young was engaged in business under the title of Young Bros., tailors, 335 Darling-street, Balmain, close to the Post-office. Inside the building there is a spacious shop, and behind that the living rooms. Upstairs near the balcony is the workroom for the tailors, and behind that is the bedroom occupied by Young and his wife and two children, aged 21 years and sixmonths respectively. Within the lobby. of the stairway, is a bathroom and servant's room. This last room is

lation in which

Sir William the Opposition Minister for ha public so speedi manly action of eincerity in all

Mr. McDona Kingston on the The House ther

BAPTIS

DEDICATION

A service was Church last eveni organ was dedical bright and pleasi assisted by the f Miss Godfrey at first violins, Miss ty, second violine and Mr. L. Lu L. Williams presid the choir was und of Mr. E. J. Dann played by the offertory by A Lel second was an airi ssohns "If with a "Elijahr"

Church organ exis but very powerful: ranging from 2ft it suitable either heavy devotional the well known Es the model known Chapel organ.

During the set Steed made specia object of the specia Le thought it would priate to give the connected with t night. When he a they had the mis! few in numbers, they were far fre During the last nine gone through quite He was deeply gra sence in the church devoted men and we every step been true Jesus Christ, and w the Lord, and who

227 Peul St

1950-72 Mrs Ellen Strachan 178-81 Strachan, Spencer (opt)

#### OBITUARY

#### MRS. ELLEN **STRACHAN**

The death occurred recently in hospital of Ellen Susan Strachan, of 227 Peel St, Bathurst.

Although in ill-health for some time her death came as a shock to her family and friends.

Of quiet disposition, Mrs Strachan was well-known and respected in Bathurst, where she was born 83

years ago.
Predeceased by her husband, she is survived by her daughter Clarice (Mrs Hitchcock, Tamworth) and sons Ronald (Parramatta), Maxwell, Spencer, and Vincent, all of Bathurst.

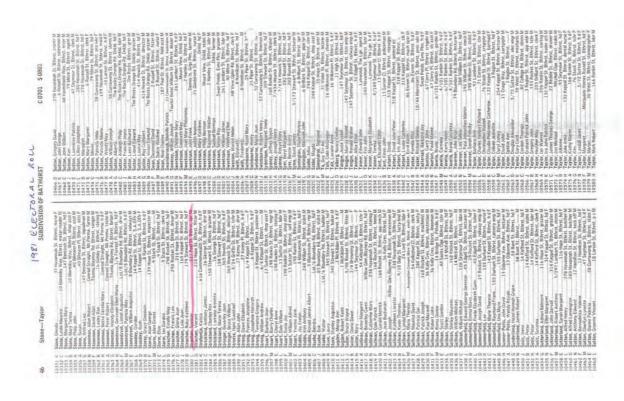
A brother, Mr Alf Naylor (Bathurst), also survives.

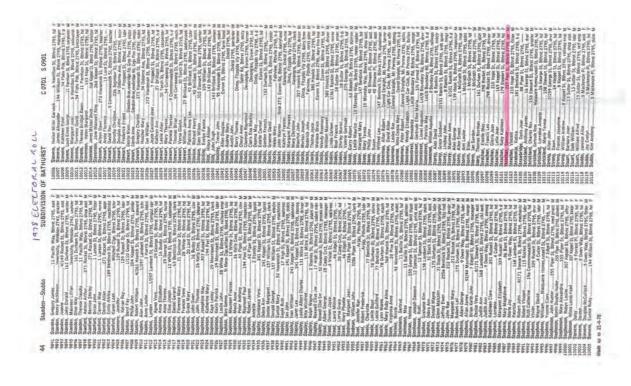
Her funeral took place to the Church of England portion of Bathurst ceme-tery, on Monday, after a service at St. Paul's Church, Stewart St.

Dean Barker officiated at the church and graveside, and pallbearers were the deceased's four sons.

74th July 1972

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# A HISTORY OF BATHURST

Volume 1 The Early Settlement to 1862

THEO BARKER



DEVELOPMENT OF BATHURST 1833-1862

T.M. Sloman became one of Bathurst's best-known and longest-lived businessmen. The early history of steam flour-milling in Bathurst is tenuous but it seems that John Ford's mill at Kelso was the first, although it was later operated by J.F. Clements. In 1844 Ranken's mill at Kelloshiet was converted to steam, Syer Brothers opened their mill in George Street in the same year, and Thomas Mockett started his in Howick Street about 1847.217 The mill at Blackdown was also converted to steam but the date when this happened is unknown.

The difficulty of dealing with financial institutions that were located in Sydney led to the formation of a Bathurst Bank which opened for business on January 1 1835. Its directors, all prominent local citizens, were D.M. Irving, A. Watt, John Liscombe, George Busby, Thomas Kite, George Ranken and A.K. Mackenzie, who was elected President. John Slade was appointed cashier. 218 Governor Sir Richard Bourke allowed the Bank to use the Commissariat building and within days the subscribers were given an encouraging report and told that £800 had already been deposited . 219 In fact, business was good but the Bank encountered some problems. It had no branch in Sydney and was forced to use the Bank of Australia as its agent, an arrangement that sometimes produced difficulties in transacting the Bathurst Bank's bills. 220 According to Dr. Busby, the directors decided on July 8 1838 that although the Bank was profitable they could not carry on unless they imported specie. This they were not prepared to do and so they decided to sell out on the best terms they could get. 221

There was, however, yet another setback. In July 1839 the Legislative Council passed a bill to enable the proprietors of the Bathurst Bank to sue and be sued, "and for other purposes". This was intended to be a public act as soon as it received the royal assent, and for that purpose it was sent to Britain by Governor Gipps. There, it was disallowed on the advice of C.E. Trevelyan, Under Secretary to the Treasury, who objected to the bill because it contained provisions that went beyond the objects stated in its preamble.<sup>222</sup>

The disposal of the Bathurst Bank took a long time and it is possible that this was partly because the decision from England about its legislation did not arrive in Australia for over a year after Gipps had sent it. However, by September 1840 the transfer was under way. The Bathurst correspondent of the Australian announced that the Union Bank was about to open in the town, making three in all, but it is probable that he misunderstood the function of the newcomer. 223 It had taken over the Bathurst Bank which transferred all its business on September 30 1840, and thereafter passed out of existence. The third bank referred to was a savings bank about which nothing is now known.

Evidence about brewing before 1850 is difficult to find but H. Heathorn's Kelloshiel Brewery was engaged in commercial production at least by 1849. The date when Neal's Albion brewery started is unknown. However, the number of hotels in Bathurst and the amount of drinking that occurred suggest that there were other sources of supply and, probably, that some publicans brewed their own

liquor. The consumption of alcohol was an outstanding feature of life at Bathurst and catering for the local thirst one of the biggest commercial activities.

Tracing the proprietors and the locations of early hotels is a researcher's nightmare. Publicans drifted in and out of innkeeping, were put out of business by the authorities, changed the name of their premises or moved to other houses, sometimes taking the name of the hotel with them and sometimes leaving it behind. Action against delinquent publicans might be taken at any time but all licences were considered for renewal or cancellation at an annual meeting conducted by the local magistrates, usually in March or April. From 1848 when the first Bathurst newspaper appeared the results of these meetings were published.

Bathurst licences in that year were granted to James Arthur, Joseph Lewis, Nicholas Read, Henry Rotton, John Armstrong, William Fowler, Dominique Popolari, 224 Patrick Sullivan, Lydia Yeo, Michael Armstrong, Mary Black, John Bede McGuigan, John De Clouet, George Mills and Jeremiah Donnally (the last for a wine and beer licence only). Other approved publicans were Bernard F. Hughes, Henry Hart and Lawrence Shorthill, all at Kelso; Reginald Francis Weston, O'Connell Plains; James Howard, Meadow Flat; Maria Jones, Green Swamp; and John Lister, Rocks. It is a measure of the Bathurst licensing district's size that one approved house was at Round Swamp on the Mudgee Road (Thomas Barnaby) and another at Woodstock (George Luck).

Popolari was a native of Calabria which was then in the Kingdom of Naples. In 1808 he was in British service as a soldier in the garrison at Malta where he committed some military offence for which he was sentenced to transportation for life. He arrived in New South Wales in 1810. In the 1828 Census he is shown with a conditional pardon and employed as a servant to Peter Howell in Castlereagh Street, Sydney. By 1846 he was in Bathurst where on May 21 he applied to the Colonial Secretary, Edward Deas Thomson, for naturalisation as a British subject. This was because he was permanently settled, having acquired a wife, family and landed property in the colony. Sir George Gipps sent Popolari's letter to England with a recommendation that the request be granted. 225

John McGuigan, who was active in politics and local affairs, was one of those people who are known today as "stirrers". So, too, was John De Clouet but he was also a sportsman and convivial personality widely known as "Dublin Jack". Mary Black was a former matron of the Female Factory and John Lister, sometime ship's captain, was the proprietor of the hotel at Guyong which later became famous as the place where Edward Hargraves started his expedition to search for gold.

The following description of the licensing meeting in 1851 conveys the sense of serious purpose mixed with gentle satire with which the press had come to regard these annual events.

The Magistrates assembled in Petty Sessions on Tuesday last to transact the usual business of the annual licensing day. As usual on such occasions there was an

#### A HISTORY OF

## BATHURST

Volume 2 1862–1914 From Settlement to City

THEO BARKER

Hee worker

community at large. The council's case was that the railway committee, despite the undoubted standing of its members, was in disarray and appeared to be failing to attain its objectives. The council, therefore, had a duty to intervene to protect the interests of the town.

The public meeting, which was held in front of the Royal Hotel on May 17th, was one of the rowdiest that Bathurst had known up to that time. It was chaired by the mayor, about 1000 people were present, and some of the speakers were loudly heckled. Two motions were passed and two amendments lost. The motions were that the railway terminus should be in Bathurst, and that the meeting supported the mayor and aldermen in their attempts to achieve this object. One of the amendments was that the meeting adjourn and reconsider the question after the railway committee had presented a report and the other, that the railway committee should be the community's representatives in railway matters.

The *Bathurst Times* took a critical view of these proceedings and in an editorial on May 25 compared the members of both groups. The editor was sympathetic to the committee, referred to the unquestioned talents of its members, and argued that it was being frustrated by council interference, but this had no effect on the outcome and the decision to bring the line into Bathurst remained.

To carry the line between Kelso and the Macquarie River an embankment was planned. This and other railway works in the vicinity required the resumption of land from Elizabeth Neavel, Mrs Charlton, Ann Mills, Thomas Kite, and the estate of a late unnamed member of the Lee family. The embankment, which was built with spoil taken from a cutting that the contractors opened through a hill adjacent to Kelso, became the second obstruction to the flow of water across the flood plain, the first being the road. However, the road was not built up very much except near the Denison Bridge and the viaduct was a greater obstacle.

The Kelso station was built by James Douglas in 1874 where some Chinamen's gardens were previously located<sup>8</sup> and the Bathurst station by David Jones in 1875.<sup>9</sup>

The contractor for the erection of the railway bridge was Mason, Elssington & Co. and the iron work for its superstructure was manufactured by Andrew Handyside & Co. of Derby, England. It is a single track bridge of wrought iron lattice girder construction, supported on cast iron cylinders nine feet in diameter, filled with concrete and sunk into rock sixteen feet below the ordinary level of the river. The cost was £31300.<sup>10</sup> On March 8 1876 it was tested by

THE RAILWAY

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John F. Whitton, Chief Engineer of the New South Wales Railways, and—Wade, District Railway Engineer. Their method was to suspend four pieces of timber at regular intervals and to measure the depression as locomotives were driven across. The final test consisted of four engines weighing 178 tons, or more than 100 tons more than the bridge would have to carry, crossing at maximum speed. It was found that the greatest depression was less than one inch, a result declared to be satisfactory. The two engineers then inspected a wooden bridge over Acheron Street and the Vale Creek, between the main bridge and the Bathurst station, which also passed its tests.

The laying of the track through South Bathurst caused a few changes in that area. On the Bathurst side of the river the line passed successively through sections 97, 98, 104, and 105. The last, at the foot of Keppel Street, was a reserve for railway purposes and it was there that the station was built. It then cut across one corner of the police paddock and proceeded through the Presbyterian glebe and nine adjacent lots, three of them owned by Nicholas Read, four by Francis Lord, and two by Thomas Pye. The exit from Bathurst was by a level crossing on the Vale Road before the track turned towards Perthville.

The bisecting of the glebe and neighbouring portions left the owners with decisions to make and there was public speculation about whether the trustees of the Presbyterian church would now sell their land. Even before the line was opened it had been offered for lease and several inquiries had been received. In the event, the church retained it but the government acquired a large part for railway purposes on July 2 1913. The land south of the railway owned by Lord and Pye was sold as a private subdivision and became the site of the new suburb of Charlotte Town<sup>1/2</sup>. Consisting of Alpha, Beta, Beresford, Carlingford, Lee, Nea, and Pye streets, it grew slowly at first but later had two sudden increases in population. One followed the sale of sixty-seven building lots in Beresford, Carlingford, Lee, and Nea streets by Clements & McCarthy on March 31 1883 and the other after a further nineteen were sold by Croaker & Co, on

Planning for the opening of the railway began on February 29 with a public meeting in the town hall presided over by the mayor, Edmund Webb. The crowd overflowed into the street and throughout the proceedings a spirit of unanimity prevailed. Motions were moved by F. B. Suttor, J. C. Stanger, W. Cummings, A. B. Rae, J. N. McIntosh, W. J. Jones, W. H. Suttor jnr, T. M. Sloman, and J. Yeo, The date proposed for the celebration was March 28, the day when

## THE HISTORY OF BATHURST 1815-1915

Compiled from available records and PERSONAL MEMORY (in 1938)

by

CHARLES WANSBROUGH SLOMAN, B.A. (Syd)

Edited (in 1993)

by

REX and CHRISTOPHER MORGAN



(all M.P.'s), George Lee, Kite, Forest, Clements, Rutherford, Boylson, the aldermen and others. Also W.C. Greville (Hon. Secretary of the Reception Committee).

The Mayor addressed the Governor who replied, declaring the line to Bathurst open and calling for three cheers for Her Majesty.

The streets were gaily decorated with flags and bunting, the Anglican

The streets were gaily decorated with flags and bunting, the Anglican Church bells were rung and Mr T.M. Sloman collected £5 in single shillings for the ringers. Many of the leading places of business were illuminated at night. At a public luncheon at 3 p.m. in the School of Arts Hall about 200 people were present including Mrs E. Webb, Sir G.W. Allen (Speaker of the Legislative Assembly), J.N. McIntosh, Lady and Miss Robinson, J. McPhillamy, John Whitten (Engineer in Chief), John Rae (Commissioner for Railways), W.B. Wade (District Railway Engineer), H. McLean (Inspector of Prisons), C. Moore (Director of Botanical Gardens), Vernon (Traffic Manager), B. Lee (Police Magistrate), C.J.P. Lydiard (Superintendent of Police), Huffer (Inspector of Schools), W. Burns (M.L.C.), G.A. Lloyd (M.P.), Revs Canon A. Smith, Geikie and Kelynack, Messrs T. Lee, George Suttor, W. & R.H. Oakes, C. Macphillamy, D. McNeil, Edward Lee, E. Thompson, H. Kemmis, E. Gell, J.H. Stewart, W.B. Ranken, V. Heaton, T.J. McCarthy, W. Butler, W.C. Kelk, Wark, Mugridge, R. Read, G.A. Wray, Mason, Elkinton (Rail Contractor), Tom Senr., Bruce, Dargin.

The Volunteer Band under McCarthy was present. The toasts to the Queen and Governor were proposed. The Governor in responding said,

"In 1815, Governor Macquarie set out on what he described as his last conquest and set the site for the future city. Though elated he stated in despatches that the difficulties in the journey from Sydney were so great that he looked forward to nothing more than the country supporting an isolated completion by pastered purposities.

he looked forward to nothing more than the country supporting an isolated population by pastoral pursuits.

"Wentworth in writing about the western district said that the country was admirably suited for pastoral purposes, but difficulties in the way of land carriage across the mountains would always prevent the vast tract from assuming an agricultural character. The cost of carriage was so great, sometimes £50 a ton, and as the journey to Sydney often took a week or more and was rarely undertaken except as a necessity, a surplus of produce could not be remuneratively disposed of."

In proposing 'Success to Bathurst', Hon. John Robertson said, "Wheat grown on Bathurst Plains was exhibited by J. Clements in 1862 at London Exhibition and took one of the highest places among the wheats of the world"

#### THE HISTORY OF BATHURST

Other toasts proposed were the Army, Navy and Volunteers, the Ministry, Parliament, Agricultural, Pastoral, Commercial and Mining interests, the Municipal Council and the Press.

On 5th April a public ball in the School of Arts Hall was attended by the Governor, Vice-Regal Party and about 100 others.

While the railway terminus was at Bathurst, Kelso or Raglan, Bathurst was the Western Centre and made rapid strides. The whole trade of the west came there to be transported to or from Sydney. Vans, bullock drays and other means of carriage came laden with wool, agricultural and mineral products etc. But about the beginning of the 1880s when the railway had reached Blayney and Orange and was being constructed still further west, the progress of Bathurst began to decline. Bathurst had then to rely on its own resources and those of the surrounding district and for the next quarter of a century it remained somewhat stationary.

On 5th October 1878 a crowded public meeting was held in the School of Arts to advocate the establishment of railway workshops at Bathurst. The Mayor presided and stated that in the 1877 an estimated £100,000 had been voted for the enlargement of machine shops and the erection of engine sheds at Bathurst, Goulburn and Penrith, but the member for Orange was endeavouring to have the sheds erected there. A petition was drawn up and adopted that permanent Government workshops be established at Bathurst. It was decided to hand this to F.B. Suttor, M.P. for presentation to the Minister for Works and that Messrs W.H. Suttor, E. Webb, C.E. Pilcher and A. Lynch (M.P.s.), the Mayor and others be requested to co-operate with Mr F.B. Suttor in the matter. G.H. MacDougal was appointed Secretary of the movement. On 10th September 1881, it is recorded that a carriage shed and several other buildings, notably an engine shed of great length and fitted with the latest appliances, had been erected at the railway.

On 11th January 1881 a gas works was started at the railway and continued to be used for about 40 years. By 10th May a shed for the reception, shelter and repair of carriages and a carpenter's shop and lamp room had been crected at the railway. In March 1883 the Saturday morning tourist train to Lithgow was extended to Bathurst. But in 1904 these excursion trains were discontinued on account of the trade in buying the return tickets and selling them to those who wished to visit Sydney. A deputation from Bathurst interviewed the Commissioner, but little hope of their continuance was given. In September 1887 the Mayor, speaking at a meeting of the City Council, said that formerly 400 men were employed at the railway but the number had then been reduced to 100, and it was rumoured that the whole of the works were to be removed to Sydney. The Minister for Justice Hon. William Clarke, then visiting Bathurst, said he had heard nothing about the removal of the works and did not know that

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aldermen elected to represent the Borough in Council" was ruled out of order, at which Mayne and Williamson left the Chambers, and there being then no quorum the Council adjourned.

At a Council meeting on 1st September 1877 the amendment was moved by Williamson and seconded by Mayne as a motion and lost. Under Local Government Act, 1907 the whole council sought re-election in 1808. Under this act the Mayor continued in office till 1st March, but the new Mayor was elected

between 1st and 14th February.

In August 1908 Council decided to abolish the ward system, and a referendum taken was in favour of the decision, which received the Governor's approval on 21st January 1909.

For election of Mayor it was necessary for a full Council to be present. For For election of Mayor it was necessary for a null Council to be present. For the election of a Mayor it was at first necessary for all the Aldermen to be present. On account of this regulation the elections were held up on two occasions. In 1867 Alderman Saville for a month or so refused to attend the meeting for election for some reason of his own but was finally prevailed upon to do so

In 1871 Alderman Butler absented himself from three meetings but later resigned and the election proceeded. In the Mayoral elections this occurred in the voting on 5 occasions. In 1871 Alderman R, Machattie and Boyd tied, but at a further meeting Alderman Ross was elected. In 1873 Aldermen R. Machattie and Thurston tied but the latter was persuaded to retire.

In 1879 Alderman Thompson and Butler tied as also Alderman Halliday and Hellyer did in 1882 and Cripps and Ryan in 1892. Lots were drawn and Alderman Butler, Halliday and Cripps respectively were elected.

Town Clerks:

1863 Wm T. Brown 1886-74 Prederick W. Holland D.C. Williamson (Tn Clerk and Treasurer) F.H. Machattie (Tn Clerk and Surveyor) 1874-75 1875-76 Catts (Tn Clerk and Surveyor)
J.R. Durham (Tn Clerk and Surveyor) 1876 (June-August) 1876-82 1882 Tidyman (acting Tn Clerk) 1882-90 D.C. Williamson 1890-1 S.M. Burrows 1891 D.F.W. Veness

Solicitors for Borough Council: W. Morgan 1884-1908 A.G. Thompson 1908-1911 H.W. Weigall 1991 - on A.G. Thompson Jr.

#### THE HISTORY OF BATHURST

The first Council was composed of R.Y. Cousins, E. Webb, John McKay, J.C. Stanger, J.W. Ashworth, R. Machattie, Alexander Crilly, Henry Dale and John De Clouet. Alderman McKay resigned before expiration of his full term, and was succeeded by S. Robinson. The following were members of one or

From 1864 to 1868 inclusive: J.C. Stanger, S. Robinson, De Clouet, S. Paul, H. Dale, R.Y. Cousins, E. Webb, R. Machattie, A. Crilly, C.W. Croaker, Arthur J. Connell, G. Saville, J.B. Stewart, J. Boyd, J. Rutherford, C. Turner, E. Gell, J.C. White, J.O. Phillips and C. Hughes.

J.C. White, J.O. Phillips and C. Hughes.

From 1869 to 1873 inclusive: A.B. Rae, De Clouet, E. Webb, C. Turner,
O'Donoghue, R. Machattie, J. Boyd, E. Gell, J.O. Phillips, J.B. Stewart, J.W.
Ashworth, Ross, W. Butler, J.C. Stanger, J. Ford, D. Mayne, D. Jones, J. Lee,
John Mutton, F. Halliday, D. Gordon, Thurston, C.W. Croaker, W.T. Atkins,

From 1874 to 1878 inclusive: W.J. Jones, M.M. McGirr, Hurst, F. Halliday, P. Stewart, Atkins, Mutton, D. Gordon, D. Mayne, D. Jones, G. Hulks, James Carpenter, M. Lamrock, E. Webb, D.C. Williamson, W.G. Thompson, John Yeo, Richard Read, W. Butler, A. Chapple and Robert McCleery, Robert William Waters and W.J. Stanger for the new ward (South Ward).

From 1879 to 1883 inclusive: J.R. Kelaher, M. Menser, J.E. Tonkin, W.J. Stanger, R. McCleery, R. Read, F. Halliday, R.W. Waters, W.G. Thompson, Chapple, D.C. Williamson, W. Butler, T.M. Sloman, G.A. Wray, T.H. Hellyer, J. Fitzpatrick, C.T. Mullens, J.B. Stewart, D. Jones, W. Tremain, E.T. Webb, J. Simmons, J.J. Atkins, D. Mayne, W.W. Spencer, J. Boyd, J.T. Slack.

From 1884 to 1883 inclusive: C.T. Mullens, F. Halliday, G.H. MacDougal, W.R. Cortis, W.W. Spencer, D. Mayne, J. Simmons, E.T. Webb, W. Tremain, J. Boyd, Jones, J. Knights, J.H. Mills, W.F. Jenkinson, T.A. Machattie, F. Crago, P.M.J. Fowler and P.V. Ryan.

From 1889 to 1893 inclusive: J. Boyd, P.V. Ryan, J.H. Mills, C.J. Pruen, J. From 1874 to 1878 inclusive: W.J. Jones, M.M. McGirr, Hurst, F. Halliday,

From 1889 to 1893 inclusive: J. Boyd, P.V. Ryan, J.H. Mills, C.J. Pruen, J. Simmons, E.T. Webb, E.A. Mullens, F. Halliday, W. Tremain, J. Knights, A. Crago, P. Fowler, D. Waddell, W.H. Rickard (Jr.), J. Cripps, E.H. Taylor, J. Walker, F.B. Kenny, A.B. James and W.P. Bassett.

Walker, F.B. Kenny, A.B. James and W.P. Bassett.
From 1894 to 1898 inclusive: J. Cripps, W. Tremain, E.H. Taylor, E.T.
Webb, J. Walker, F. Halliday, C.J. Mullens, A.B. James, P.V. Ryan, J.
Simmons, F. Crago, W.P. Bassett, E. Jones, T. Durack, A.E. Ennis, Dr Hurst,
F.P. Kenny, H.C. Matthews, J.P. Ryan (Jr.) and R.L. Gilmour.
From 1899 to 1903 inclusive: F.B. Kenny, J. Simmons, J.P. Ryan, A.B.
James, W.P. Bassett, A.E. Ennis, W.J. Scotford, H.O. Craig, W.J. McPhillamy,
E.T. Webb, R.C. Gilmour, T. Durack, J.G. Bray, W. Elliott, J.G. Bray, J.P. Ryan
(Jr.), G.S. White, T. Perry, E. Golsby, D. Thain, L. Edgley and F. Williams.

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Year by year improvements have been made to the Park. Amongst them are Memorial Gates to citizens, a fountain in memory of Mr & Mrs Monro, and a Begonia House. The trees and shrubs chosen and planted mainly by A. Patterson have now attained a large and stately appearance and the Park can, for its size, compare favourably with any in the State. The credit of laying it out belongs to Mr A. Patterson who improved upon the original design of Mr James Hine. Henry Lynch and the present curator Mr Kefford [1938] have done much to beautify it.

## MARKETS AND MARKET SQUARE

In March 1849 places for markets were set apart:
(1) For hay and corn, corner of William and Durham Streets

(2) Fruit, vegetable and poultry, George Street to William Street in a section called Church Square which, under the Bathurst Market Act of 1864, was transferred to the Council subject to the Municipal Act of 1868. It is uncertain how long these premises were used as such but they retained the names respectively of the Haymarket and Market Square up to January 1888. In April 1870 a resolution in the council, moved by J. De Clouet, was carried

which "Sought authority from the Government to borrow £4,000 for erection of markets" Permission was granted.

And on 17th August 1870 a resolution in Council was moved by Rossy and carried "Advertisements were to be inserted in local papers calling for 80 debentures at £50 each, bearing interest not more than 8 per cent for two years, interest payable half yearly, for erection of Markets". Plans being then ready for

In November 1870 the Mayor stated that half of the debentures for the Market buildings were taken up and he would not issue the other half until the money was required. In February 1871 a start was made with the buildings. James Douglas of Orange was the contractor and the contract price was £3,533. It was completed about September. In June 1871 the Council decided to issue debentures for the remainder of the loan authorised to be borrowed for Market Buildings. On 9th September 1871 the Town Surveyor was instructed to prepare plans for placing a clock in the Market Tower, showing proposed alterations and cost. In October 1871 it was decided to raise the tower 7 feet at a cost £100 to place the clock and to call tenders for fencing the Square. By-laws were passed and forwarded to Sydney for confirmation. A proposal was made to let the surplus ground of the Square on a building lease, but notification came from the Govornment that this could not be done. On 27th January 1872 the Council advertised for tenders to lease for 1 or 3 years the land and Market buildings

#### THE HISTORY OF BATHURST

together with the Haymarket and weighbridge. The tender of Messrs George Saville and Henry Hughes was accepted: £300 for the balance of the year 1872, £500 for 1873 and £600 for 1874, on condition that no produce brought to the markets should be charged dues a second time. On 13th April 1872 the lessees opened the Markets.

The lessees being unsuccessful in their venture with the lease of the Markets, the Council in February 1874 agreed to cancel it on payments of £50 by the

In May 1876 the question of leasing Market Square for building purposes was again raised, and a committee appointed to report on it. The Committee advised leasing frontages to William, George and Russell Streets for 21 years; no lease to be less than 25 feet frontage, buildings to be brick or stone, not less than two storeys high. In July 1876 this report was adopted and A.J. Peachey, Surveyor, was instructed to at once survey the square and divide the allotments accordingly. By 12th July he had completed the survey.

The allotments were marked out by Pechey and a resolution by Aldermen

Stewart and Carpenter "that the Council reserve the right to refuse any application unless the whole of the allotments were taken up" was defeated. In the same month the Council received a letter from A. West, Solicitor, stating that R. Read and a number of ratepayers objected to the leasing of these allotments as they considered the buildings would destroy the square. There was no deed vesting the land in the Council existing which authorised a reversion to private interests. If such intention to lease was carried out, his clients would be compelled to file a Bill in Equity praying for an injunction restraining the Council from dealing with the property otherwise than as the law allows. They gave notice that they as ratepayers would refuse to allow costs of such illegal action to come from the funds of the Corporation should it hereafter appear that they have acted illegally, and would hold the Mayor and aldermen personally responsible for any costs incurred.

On 5th August 1876 Council replied that no steps other than those calculated

to meet the wishes of the majority of the ratepayers would be taken.

On 19th August 1876 Council decided that Pechey's plan concerning frontages to George and William Streets be adopted, and that the frontages be leased by auction at rental of £1 per foot per annum, except the two corner allotments in Russell Street for which the price should be £2, and that the shops to be erected be two stories high and cost not less than £100 each. Nothing further was heard of this decision to lease and either the Council was restrained from selling or no bids were forthcoming.

The Markets were never used for the purpose for which they were erected and never paid interest on the outlay and in December 1876 a resolution was passed in the Council "That the Council resolve itself into a committee of the

In the early days the anglers were few but at the beginning of this century their numbers started to increase. Among early angling enthusiasts were Yeates, A. West, W.J.S. Croaker, J.H. Stewart, Dr Machattie, Jago-Smith and more recently A.E. Ivatt, R.M. Lindsay, R.W. Peacock, N.L. Suttor, Dr Busby and others. In the early days Hon. E. Combes placed eels from Botany in the Wimburndale Creek where they increased considerably. Some grew to size of 3-1/2 lbs but they were fished out.

#### COURSING

The NSW Coursing Club arranged a meeting at Leeholme on 8th and 9th May 1876 which created great local interest and was largely attended. Visitors mostly had their own horses, 4 in hands, buggies etc. and went to the grounds filled with hampers, champagne and liquids. At the luncheon the toasts of Edward and George Lee were proposed. It was advertised that no horseman would be admitted to the ground when coursing was in progress and dogs other than those entered would be destroyed. The stewards were J. McPhillamy Senr and Jun, Lydiard, G. & A.B. Suttor, W. Kite, J.T. and W. Lee, J.O. Phillips, C. McPhillamy, Dr Cortis, Mayne Matthews, G.A. Way, R. Read, C. Tindale. Dogs competed owned by Collier, Hill E. & W., Lee, McQuaids, Weir, Hall, Thompson, Cox, Gardiner, Langley, Carpenter, De Mestre, Gee, Doherty and others. The President's Cup was won by E. Lee's 'Snowstorm.' C.W. Lett was Secretary and the judge was Frank Gardiner of the Victoria Coursing Club Sydney. W. Bladen was Stimer, L. Cassidy Elao Steward C.C. Starratt Slin Steward

was Slipper, J. Cassidy Flag Steward, C.C. Skarratt Slip Steward.

At the 10th March 1877 meeting the Bathurst Cup, valued at 200 sovereigns, was donated by John Lee and J. McQuaide. This second meeting of NSW Coursing Club at Leeholm was successful and a large number of visitors were present. The general opinion was that the coursing could not be surpassed anywhere. Bathurst Cup was won by J. Wolstenholme's Windermere. Three entries were pun off in heats in two days.

entries were run off in heats in two days.

The third meeting of NSW Coursing Club took place at Leeholme on 19th September 1877. H.C. Suttor's 'Sportsman' won the Leeholm stakes. J.E. Tonkin's sporting calendar in 1884 stated "at close of the 1877 meeting Edward and George Lee were entertained at a complimentary dinner at the Royal Hotel by the visitors and it was proposed to entertain George and Mrs Lee at a ball in the School of Arts in recognition of their support of Coursing at Bathurst. W.H. Oakes was Hon. Secretary to the movement. Death in the Lee family prevented the honour." It was also stated that the first coursing in NSW was held at Bathurst where hares were first introduced into the Colony by George Lee, the plains making it one of the best places for such a sport. But it is doubtful if this claim can be substantiated as the NSW Coursing Club, which held the meeting at Bathurst, must have been formed previously and most likely would have held

#### THE HISTORY OF BATHURST

a meeting around Sydney. There also existed the Victoria Coursing Club of Sydney, a member of which was Judge at the Bathurst meeting.

The annual meeting in May 1878 of NSW Club at Leeholme lasted four days. It was a great success with a large attendance and number of nominations. Vehicles and horses of every description conveyed visitors to Leeholme. The Bathurst Cup was won by Peri. Tonkin's Sporting Calendar further stated that "this meeting was the best ever held by a NSW Club. Visitors outnumbered those of previous years. There was a carnival and 10 day Jubilee (Jockey Hunt and Coursing Club Meetings) Bathurst was on fete. Johnson was judge and Wilson slipper. There was a grand ball, 160 being present. W.C. Greville had everything up to date."

On 26th June 1878 Bathurst Coursing Club was formed. The President was George Lee, Vice-President W. Kite, Committee; R. Read, A. West, T.H. Hellyer, J. McPhillamy Jr, W. Lee Jnr, Wray, Rutherford, Rotton, Spencer, Tonkin, G.R. and F.B. Suttor, Cassidy, Matthews, J. Meagher, R. Kenna and E. Webb. The Hon. Secretary was G.H. MacDougal, Hon. Treasurer T.J. McCarthy, At the 1878 August meeting of the Bathurst Club at Leeholme the

attendance was not so good as in previous years. About 350 people were there. In 1879 a May Meeting of the NSW Club at Leeholme was held. Trains from Sydney were crowded with a host of visitors. The town was never before so full of visitors and scarcely a bed was to be obtained. The best coursing ever seen south of the equator was witnessed. Attendance on the first day was about 1,400 and on the second day 1,200. For the Bathurst Cup (£250) B. Hepburn's Juliet' and G. Hill Jnr's 'Honey Bee' divided. A fancy dress ball was held on the second night and the hall was crowded. In 1879 a Bathurst Club meeting was held at Mildura, Georges Plains. On the second day courses were run at Wallaroy, Littleburn and Westbourne. At the 1879 meeting of the NSW Club at Leeholme not many visitors from Sydney were present. The attendance was small and the weather very cold. At the August 1879 meeting of the Bathurst Club the coursing was un-interesting and the attendance small, only those especially interested in coursing were there. It was held on the first day at Mildura and on the second day at Claremont Campbell's River.

the second day at Claremont, Campbell's River.

The May 1880 meeting of NSW Club was held on the first day at Cochairne and was well attended. On the second day it took place at Leeholme and on the third, fourth and fifth days at Woodlands. L. Lord's 'Lettie' won the Bathurst Cup (£200). The June 1880 meeting of the Bathurst Club was held at Woodlands but attendance was small as was the case at the September meeting at Leeholme. At the June 1880 NSW Club meeting the attendance was about 400. The May meeting in 1881 at Leeholme was largely attended. It lasted 4 days and the coursing was first class. Bathurst Cup was won by R.L. Tooth's 'Terror'. At an amateur coursing meeting on 1st September 1881 held at Millbank and Wallaroy the attendance was poor and the hares scarce.

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The 1882 meeting of NSW Club was held in April at Leeholme. The coursing was good and a large number of visitors were present but the local attendance was poor. Bathurst Cup was won by A. Town's 'Lord Raglan'. It was stated that probably this meeting would be the last to be held by NSW Club at Bathurst on account of poor attendance. In June the Bathurst Club held a meeting at Woodlands but after this occasion the Club existed in name only. On 4th May it was reformed with G. Lee as President and W.P. Brock Hon. Secretary. Well attended coursing meetings were held at Leeholme on 28th September 1887, 1st August 1888 and 26th September of the same year.

Meetings of the reformed Club were held on 16th May 1889 at Leeholme, 2nd August 1890 at Woodlands (both well attended), on 9th August 1890 at Dochairne, and on 5th October 1891 at Hereford the latter only attended by a few interested parties. On 21st August 1891 a hare drive at Woodlands was arranged and attracted about 70 shooters. From 1894 to 1898 and again from 1902 to 1904 meetings were held at Hereford, Leeholme and Dochairne with varying attendance. Coursing generally was good. Owners of dogs competing were Honeyman, Carpenter, Shepherd, J. Ingersole, G. Hooper, J. Weal, J. Morgan, S. Frost, R. Gowland, W. Brook, E. Lakeman, M. Connors, T. Baxter and J. Yeomans. In July 1896 J. Carpenter's 'Confidence' was runner up in the Waterloo Cup. In May 1905 a syndicate secured 35 acres near the Waterworks Pumping Station for a coursing ground. Several meetings were held each year from 1906 to 1909 on the new grounds which were generally well attended. In July 1906 a dog belonging to R. Gowland won the Wallerawang Cup. From 1909 coursing continued at the plumpton with varying success from a financial and coursing point of view, but as a sport coursing had lost the grip which it had in former years on the general public.

## HUNT CLUB

"In 1825 there existed the Bathurst Hunt Club formed some years previously for coursing native dogs which were causing much destruction to sheep. The subscription was £5-5 per annum. Member's uniform was green jacket turned up with velvet ornamented with a native dog, gilt buttons with Bathurst Hunt Club stamped on them. Each member kept a certain number of dogs. Members were: Ranken, Fennell, G. & J. Cox, G. Innes, Hill, Maxwell, Brown, Perrier, J. Piper, Kinghorne, Dulhunty, O'Brien, Street, Palmer, R.T. Aspinall, Shannon, Walker, A.K. and J. Mackenzie, Icely, Hassall, Hawkins, Lowe and T. Raine." (Taken from paper read by Miss Hendy-Pooley before Royal Historical Society). How long this club lasted is not stated. In November 1848 at a meeting held at Tait's Black Bull Inn a Bathurst Hunt Club was formed which lasted some years. On 10th May 1876 the Sydney Hunt Club held a meeting on Bathurst Town Common. There were 200 to 300 horsemen hunting or Jooking on. Sydney

## THE HISTORY OF BATHURST

Hunt Club members were in costume with red coats and black and velvet caps. Hounds were moving about in crowds among the local men. Taking part were Dr Cortis, H.C. Suttor and John Lee. They first went along Orange Road to hunt a dingo then to J.B. Richard's at Kelso. On the next day Orton Park was visited to hunt a kangaroo and then to Evans' Plains after a dingo. For the second meeting on 21st June the Sydney Hunt Club assembled on Market Square and about 500 people were present including 200 horsemen. The Course taken was to Esrom, Alloway Bank, Blackdown, Mount Pleasant, and Evans Plains. Bathurst representatives were; J. McPhillamy Senr and Jun., C. McPhillamy, Tindale, R. Read, F.B. & G.R. Suttor, J. & W. Lee, A. West and Dr Cortis.

On 9th August 1876 the Bathurst Hunt Club was formed. F.B. Suttor was in the chair. The President was John Lee, Vice-President F.B. Suttor, Hon. Secretary J. McPhillamy Jnr, Hon. Treasurer F. Strachan, Committee; W. Kite, G. Lee, Dr Cortis, F. Hughes, A. West, N. & R. Read, A. Battye, J. Yeo, G. Denny, W. Freeman, W. Paul, J. Cassidy, Rendall and F. Oakes. A Subscription of £3-3 per annum was set. About 40 promised to join the club. Bathurst was the first inland town to establish a Hunt Club. On 5th August the Huntsmen met in the Market Square and about 40 started for a hunt, Further hunts took place on 19th and 26th August 1876 at which members appeared in costume.

In January 1877 the number of Club members had fallen to 23 and a debit balance was reported but after a canvass this was converted into a credit balance. On 17th February, over £200 being in hand it was decided to start the Club for the ensuring year. In April and May 1877 the Club held two hunt meetings and a race meeting. On the 15th May 1878 the Sydney Hunt Club held a two day meeting at Bathurst. This is the last mention of a Hunt Club in local records.

# ATHLETICS AND ASSOCIATED SPORTS

In the Times Newspaper of December 1861 it is recorded that two foot races each of 100 yards, for £100, were run between W. Freeman of Bathurst and J. Webster of Mudgee. Freeman won the first and Webster the second. Tattersall's Sports on New Year's day 1867 were also held and on 9th January 1867 a foot race for £10 between A. Battye and Brennan was won by Battye.

Sports on New Year's day 1867 were also held and on 9th January 1867 a foot race for £10 between A. Battye and Brennan was won by Battye.

Sports meetings were held in Bathurst on Anniversary Day, 1877 and for many years previously on that date. Sports on the Queen's Birthday in 1880 are recorded in which P.B. O'Connor, F. Yeomans, M. Burns, J. Hemsley and W.G. Piper took part. Sports meetings were, in the 1880's, generally held on Queens and Prince of Wales Birthdays, Boxing and Anniversary Days each year. In the early 1880's sports meetings were arranged by the Bathurst Cricket and

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# BATHURST + WESTERN DISTRICT DIRECTORY 1886-87

ANTHONY HORDERN & SONS, PALACE EMPORIUM, HAYMARKET ONLY, SYDNEY.

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BATHURST ALPHABETICAL DIRECTORY.

Nichols, Henry H., Howick street
Nisbet, James, Howick street
Nixon, William, Hope street
Nolan, Martin, Bentwick street
Norman, John, Piper street
Northey, John Pearec, Kepple street
Norwood, William J., William street
NAYLOR, Walter, Rocket street
Neary, Charles, Havannah street
Neary, Charles, Havannah street
Neill, Mrs., Lambert street
Newman, Nicholas, Piper street
Nicholls, John, Kepple street
Nicholls, John, Kepple street
Norris, Richard, Seymour street
O'Brien, Thomas, Hope street
O'Brien, Eugene, Bent street
O'Brien, Patric, George street
O'Brien, William J., Stewart street
O'Donnoll, Miss, Durham street
O'Donnell, Hu. h, Durham street
O'Donnell, Patrick, Peel street
O'Farrell, John, St. Stanislaus' College
O'Hara, Richard, Piper street
O'Keefe, William, Lambert street
O'Malley, James, George street
O'Malley, James, George street
O'Malley, James, George street
O'Malley, James, George street
O'Neil, Patric., Evans' Plains
O'Neil, Bernard, George street
O'Neil, James, Durham street
O'Reilly, George, Railway
O'Shannassy, Michael, Ranten street
Oakes, F. M., William street
Oakes, James, Howick street
Oldfield, George, Bentwick street
Oldfield, Richard, Stewart street
Oldfield, Richard, Stewart street
Osborn, George, Junior, Ranken street
Osborn, George, Junior, Ranken street
Overton, William H., Keppel street
Overton, William street
Owen, David J., William street
Owen, David J., William street
Owen, Percival, Morrisett street
Owen, Richard, Gaol
Oxenham, Henry
O'CONNOR, Richard, Piper street
O'Dowd, Rev. John, St. Stanislaus Col. Owen, Richard, Gaol
Oxenham, Henry
O'CONNOR, Richard, Piper street
O'Dowd, Rev. John, St. Stanislaus Col.
O'Malley, Francis, George street
O'Malley, Daniel, Stewart street
O'Neil, Patrick, Stewart street
Ogden, Thomas, Piper street
Older, Edward, Howick street
Osborne, John W., Ranken street
Owen, John, Lort street

Owen, Richard, Bent street
Owen, Henry J., William street
Page, Alexander, Lambert street
Page, Peter D., Piper street
Page, John, Piper street
Page, John, Piper street
Palmer, William, Kepple street
Palmer, George, Vale Road
Palmer, James, Russell street
Parker, Eugene H., Piper street
Parker, Patrick J., Patna street
Parker, Josiah, William street
Parker, Josiah, William street
Parker, Josiah, William street
Parker, Henry, Russell street
Parker, Henry, Russell street
Paterson, Walter, Bentwick street
Paterson, Walter, Bentwick street
Paterson, George Henry, Lambert street
Pattenson, George Henry, Lambert street
Patterson, John F., Renken street
Patterson, John F., Renken street
Paul, William, Henry, George street
Paul, William Henry, George street
Payne, John, Havannah street
Payne, John, Howick street
Payne, Joseph, Russell street
Payne, Edward, Howick street
Payne, Edward, Howick street
Pearce, William, Peel street
Pearce, William, Ranken street
Pearce, William, Rocket street
Pearce, William, Rocket street
Pearce, Henry, Rocket street
Pearce, Jesse, Peel street Pearce, Mrs, Rocket street Pearce, Henry, Rocket street Pearce, Henry, Rocket street Pearce, Thomas, Ranken street Pearce, Michael, Ranken street Pearce, Michael, Ranken street Pearce, Laurence, George street Pedenout, Joseph Durham street Pedrotti, Bartolemen, gunsmith machinist, William street Peer, Thomas, Stewart street Petrie, Thomas, Morrisett street Petres Frank, Bentwick street Petres Frank, Bentwick street Petrendrigh, Alexander, Bentwick st Peters Frank, Bentwick street
Petrendrigh, Alexander, Bentwick street
Pettendrigh, Samuel, Lambert street
Pettendrigh, William, Bentwick street
Pettendrigh, George, Ranhen street
Pettit, Mrs., Piper street
Pettit, George, Howick street
Pettit, George, Howick street
Petson, Mrs., William street
Phelan, Michael J., Piper street
Phelan, Michael J., Piper street
Phillips, Archibald, Kepple street
Phillips, Mrs., George street
Phillips, C. J., Russell street

For Ribbons, Laces Embroideries and Muslin.

RESERVED BELLEVILLE

AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments

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	NAME	SECTION	TEXT	STONEMASON
	PARNELL MARY JANE	Rí	SACRED TO THE MEMORY OF MARY JANE THE BELOVED WIFE OF CHARLES PARNELL WHO DIED FEB 4 1901 AGED 42 YEARSALSO MY DEAR SON HARRY WHO DIED MAY 29 1898 AGED 42 YEARSJESUS WEPT	-
	PARSONS CHARLES	C4	IN LOYING MEMORY OF OUR DEAR FATHE R CHARLES PARSONS PASSED AWAY 12 APRIL 1951 AGED 63 YEARSM.G.H.M.O.H.S.	
	PARSONS JOHN	D9	IN LOVING MEMORY OF JOHN PARSONS D IED JUNE 7 1928 AGED 66 YEARS ALSO OUR DEAR MOTHER MARIA PROSSER SISTE R OF THE ABOVE , FELL ASLEEP 19 SEPT 1937 AGED 65 YEARS	
			"AT REST"	
*	PASCOE MARY ANN	P9	SEE PASCOE NEIDRA MABEL	·
	PASCOE NEIDRA MABEL PASCOE	PŸ	IN MEMORY OF NEIDRA MABEL PASCOE B ELOVED DAUGHTER OF W & A.M. PASCOEALSO IN LOVING MEMORY OF WILLIAM PASCOE WHO D JED JULY 24 1903 AGED 62 YEARS."HE WAS A FAITHFUL MAN AND FEARED GOD ABOVE MANY" NEHEMIAH 7 CHAP. 2 VERSE ALSO MARY ANN BELOVED WIFE OF THE ABOVE DIED 4 NOV 1939 AGED 89 YEARS IN LOVING MEMORY OF MY DEAR WIFE ADELAID E MARION MARSDEN DIED 22 JUNE 1956 IN HER 74TH YEAR	
	PASCOE SYDNEY JAMES	D4	IN LOVING MEMORY OF SYDNEY JAMES B ELOVED SON OF F. & J. PASCOE DIED 7 APRIL 1909 AGED 12 YEARS & 11 MON THS	
*	PASCOE WILLIAM PATERSON CAROLINE PATERSON ELSIE PATERSON F H		SEE PASCOE NEIDRA MABEL SEE PATERSON GEORGE HENRY SEE PATERSON GEORGE HARLEY SEE PATERSON GEORGE HARLEY	- - -
	PATERSON GEORGE HARLEY	Т9	IN LOVING MEMORY OF MY DEAR FATHER GEORGE HARLEY PATERSON DIED 17 OCT 1972 AGED 77 YEARSMY DEAR MOTHER ELSIE PA TERSON DIED 21 OCT 1972 AGED 76 YEARS "AT REST"A TRIBUTE OF LOVE TO OUR DE AR SON AND BROTHER SGT F.H.PATERSON (RAAF) MISSING ON ACTIVE SERVICE 11 FEB 1943 AGED 20 YEARS	
	PATERSON GEORGE HENRY	Pli	IN LOVING MEMORY OF MY DEAR HUSBAN  D GEORGE HENRY PATERSON DIED 6 DEC 1929  AGED 73 YEARSALSO CAROLINE PATERSON  DIED 18 APRIL 1948 AGED 85 YRS  "AT REST"AT FOOT "MOTHER""FAT  HER"	P
	PATERSON SELINA JANE	P11	IN LOVING MEMORY OF SELINA JANE PA	r <del>ig</del> e.

NAME	SECTION	TEXT	STONEMASON
READ "OUR DEAR MOTHER"	В	SEE READ RICHARD	
READ CELIA SOPHIA	C5	IN LOVING MEMORY OF CELIA SOPHIA R EAD, WIFE OF H.READ, DIED 24-10-1951	
READ CYRIL H	+ B	PTE CYRIL READ, KILLED IN ACTION F RANCE, 1 FEB 1917" "TO KNOW HIM WAS TO LOVE HIM" AUSTRALIAN IMPERIAL FORCE EMBLEM AT TOP OF STONE IN SAME PLOT AS "READ RICHARD" BUT DN SE PERATE STONE	
READ ELIZA MARY READ GEORGE FREDERICK READ HERBERT READ MARIA READ MATILDA	B B B G	SEE READ RICHARD SEE READ RICHARD SEE READ RICHARD SEE READ NICHOLAS SEE READ NICHOLAS	
READ NICHOLAS	6	SACRED TO THE MEMORY OF NICHOLAS R EAD DIED THE 5 SEP 1863 AGED 66 YEARS ALSO MARIA READ WHO DIED NOV 25 1860 AGE D 12 YEARS 5 MONTHSALSO MATILDA READ DIED OCT 23 1844 AGED 8 MONTHS	
READ RICHARD	В	SACRED TO THE MEMORY OF RICHARD RE AD WHO DEPARTED THIS LIFE APRIL 14 1883 AGED 42 YEARS	
REDDAN JOHN	NI	I.H.S. ERETED BY JOHN REDDAN IN AF FECTIONATE REMEMBRANCE OF HIS BELOVED SON JOHN DIED 10 JULY 1876 AGED 35 YEARS 11 MONTHS & 14 DAYS"THE DAYS OF MAN ARE AS GRASS, AS THE FLOWERS OF THE FIEL D, SO SHALL HE FLOURISH" REDUIESCAT IN P ACE	
REDDING EDNA ALICE	F13	SEE REDDING WALTER HENRY	(A)
REDDING WALTER HENRY	F13	IN LOVING MEMORY OF MY DEAR HUSBAN D AND OUR DEAR FATHER WALTER HENRY REDDING DIED 8 MARCH 1969 AGED 60 YEARS ALSO OUR DEAR MOTHER EDNA ALICE REDDING DIED 10-7-82 AGED 68IN GODS CARE"WA L" AT FOOT	
REDFERN CATHERINE	H7	IN MEMORY OF CATHERINE REDFERN WHO DEPARTED THIS LIFE DECEMBER 13 1895	

NAME	SECTION	TEXT	STONEMASON
	37315 - 2777005	OUR DEAR MOTHER ESTHER ANN STOREY DIED 25 NOV 1964 AGED B2 YEARS'AT REST' AT FOOT'GEORGE'.'MOTHER'	
STOW ANNE	E9	SEE STOW SAMUEL	ANDREWS BROS SYDNEY
STOW SAMUEL	E9	IN LOVING MEMORY OF SAMUEL STOW WH O DIED 12 FEB 1905 AGED 68 YEARSALSO ANNE BELOVED WIFE OF THE ABOVE WHO DIED 20 JAN 1906 AGED 50 YEARS "THY WILL BE DONE" ERECTED BY BROTHERS R & W MILLIGAN	ANDREWS BROS SYDNEY
STRACHAN CHARLOTTE	A A	SEE STRACHAN ELIZABETH SEE STRACHAN ELIZABETH	
STRACHAN ELIZABETH	A	SACRED TO THE MEMORY OF ELIZABETH WIFE OF FREDERICK STRACHAN OF BATHURST WHO DEPARTED THIS LIFE JUNE 7 1855 AGED 51 YEARS, ALSO OF CHARLOTTE WIFE OF JAMES BROOM DIED 2 DEC EMBER 1853 AGED 34 YEARS, ALSO FLORENCE MAUDE DIED JANUARY 19 1862 AGED 1 YEAR, AND CHARLOTTE DIED APRIL 21 1865 AGED 19 YEA RS, DAUGHTERS OF FREDERICK STRACHAN ALSO FREDERICK STRACHAN DIED APRIL 26 1862 AG ED 53 YEARS	
STRACHAN ELLEN SUSAN STRACHAN EMILY F STRACHAN FLORENCE MAUDE STRACHAN FREDERICK	F5 D8 A' A	SEE STRACHAN VICTOR EDWARD SEE STRACHAN JOHN SEE STRACHAN ELIZABETH SEE STRACHAN ELIZABETH	~
STRACHAN HAROLD JOHN	K50	IN LOVING MEMORY OF OUR LOVING SON AND BROTHER HAROLD JOHN STRACHAN DIED 12 AUG 1943 AGED 23 YEARS "ALWAYS SO GOD D UNSELFISH AND KIND / FEW IN THIS WORLD HIS EQUAL TO FIND.	
STRACHAN HAROLD WALTER	<b>K7</b>	IN LOVING MEMORY OF MY DARLING HUS BAND & OUR DEAR FATHER HAROLD WALTER STRACHAN DIED 13 JULY 1959 AGED 63 R.I.P FOOTSTONE "DAD"	*
STRACHAN JOHN	D6	IN LOVING MEMORY OF JOHN STRACHAN DIED 25 FEB 1942 AGED 85 YEARS EMILY F STRACHAN DIED 10 SEPT 1946 AGED 79 YEARS "AT REST"	
STRACHAN LEILA J STRACHAN LEILA J.	D Dii	SEE STRACHAN MARGARET SEE STRACHAN MARGARET	•
STRACHAN MARGARET	D11	IN MEMORY OF OUR BELOVED DAUGHTER MARBARET STRACHAM DIED 15 SEPTEMBER 1940 AGED 13 MONTHSMY D EAR HUSBAND AND OUR DEAR FATHER	T .

NAME	SECTION	TEXT	STONEMASON
		MAXWELL H. STRACHAN DIED 29 MAY 1974 AGE D 56 YEARSLEILA J. STRACHAN 25-10-1982 AGED 63	
STRACHAN MARY ISABELLA STRACHAN MAXWELL H STRACHAN MAXWELL H.	B D D11	SEE MCKELL EDITH MARY SEE STRACHAN MARGARET SEE STRACHAN MARGARET	-
STRACHAN VICTOR EDWARD	F5	IN LOVING MEMORY OF MY DEAR HUSBAND & OUR DEAR FATHER VICTOR EDWARD STRACHAN DIED 13 AUG 1955 AGED 67 YEARS OUR DEAR MOTHER ELLLEN SUSAN STRACHAN DIED 30 JUNE 72 AGED 83 YEARS AT REST	É
		IN LOVING MEMORY OF MY DEAR HUSBAN D & DUR DEAR FATHER VICTOR EDWARD STRACH AN DIED 13TH AUGUST 1955 AGED 67 YEARS OUR DEAR MOTHER ELLEN SUSAN STRACHAN DIE D 30TH JUNE 72 AGED 83 YEARS AT REST	
STRATHEN FLORENCE	F15	IN LOVING MEMORY OF OUR DEAR MOTHE R FLORENCE STRATHEN DIED 10 NOV 1970 AGED 79 YEARSOUR DEAR FATHER HERSCHEL WILLIAM STRATHEN DIED 22 JULY 1979 AGED BB YEARS "AT REST"	15
STRATHEN HERSCHEL WILLIAM	F15	SEE STRATHEN FLORENCE	-
STREET CHARLES LEE	P4	IN LOVING MEMORY OF CHARLES LEE ST REET DIED 16 SEPT 1887 AGED 43 YEARS	J BURNS
STRICKLAND JAMES HENRY	C4	IN LOVING MEMORY OF MY DEAR HUSBAN D AND DUR DEAR FATHER JAMES HENRY STRICKLAND PASSED AWAY 18 DCT 1950 AGED 64 YEARS PHOEBE STRICKLAND DIED 28 MAY 1968 AGED 83 YEARS"AT REST"	
STRICKLAND PHOEBE STRINER ROSALA		SEE STRICKLAND JAMES HENRY SEE MYERS MARY	e
STRONG BILL	F11	20-1-89 BILL STRONG AT REST (WOODEN CROSS NEXT TO GRAVE OF NORMAN RICHARD SMITH)	( <del>+</del> ))
STUART ELLA MARY	52	IN LOVING MEMORY OF OUR DEAR MOTHE R ELLA MARY STUART DIED 31 MAY 1944 AGED 55 YEARSOUR DEAR FATHER HARRY STUART DIED 11 JULY 1978 AGED 87 YEARS. "IN GODS CARE"	
GTUART HARRY	\$2	SEE STUART ELLA MARY	
GTUDDEN FRANCESS A GTUDDEN GERTRUDE MAY	P14 P14	SEE STUDDEN WILLIAM T SEE STUDDEN SARAH JANE	\$
STUDDEN JOHN HETHERINGTON	P14	SEE STUDDEN SARAH JANE	1
STUDDEN SARAH JANE	P14	SARAH JANE, JOHN HETHERINGTON, SAR AH JANE ROSS (SADIE), GERTRUDE MAY, BELOVED CHILDREN OF W & F STUDDEN	â)

# Bathurst Conservation Area ManAttecherent 8:213 3y Pilot Study 2001

Address of Building: 227 Peel Street

Item No. 258

Real Property Description: Lot 1 DP 998581

Rating Summary: BAA

Type of Building/Current Use: Dwelling

Zoning: 2a - 1997 LEP



O Colonial 1820-1840	O 1950's
O Early Victorian 1840-1860	O 1960's
O Mid Victorian 1860-1880	O 1970's
O Late Victorian 1880-1900	O 1980's
Federation 1900-1920	O 1990's
O 1920's	O 2000's
O 1930's	
O 1940's	

Representative

Heritage Listings

Brief History:

Street Scape Rating: A Significant in a regional context

Item Rating: A Contributory

Integrity: B Altered Sympathetic

Physical Description: Single storey weatherboard clad cottage with a corrugated iron roof and straight separately roofed verandah. The front of the house is symmetrical with a front central door, flanked by two double hung windows, and each of those windows have teo sashes divided into six lights. The front verandah is supported on a rough cast rendered masonry wall with piers with timber posts above the piers and some decorative lacework in brackets and frieze between. These may not be original to the cottage. The front fence is a wall, rendered and painted with an enlarged capping, similar to the front verandah and matching. The house has two chimneys at one end in brickwork that is painted.

Condition Description: Fair condition.

Special Vegetation:

Comments:

© Bathurst City Council 2001



20210265 27 July, 2021

Michael Roberts 277 Peel St Bathurst NSW 2795

Dear Michael

# RE: Building Condition Survey - 277 Peel Street, Bathurst



## Calare Civil Pty Ltd

ABN 41 050 057 933 170 Rankin Street Bathurst NSW 2795

Tel: 02 6332 3343 Fax: 02 6331 8210

Email: bathurst@calare-civil.com.au

Web: www.calare-civil.com.au

# 1. Introduction

The purpose of this survey is to examine and document the existing condition of the buildings at the above address.

DATE OF INSPECTION:

INSPECTION CARRIED OUT BY:

Mr Arthur Sonter
227 Peel Street E

227 Peel Street Bathurst NSW 2795

**BUILDING CLASS: Dwelling** BUILDING OWNER/OCCUPANT: Michael Roberts

Prepared by: Calare Civil Pty. Ltd. 170 Rankin Street, Bathurst. N.S.W.

Note: All descriptions are given as viewed looking towards the detail. Inspections were not carried out behind fixed or heavy furnishings or other immovable objects.

# 2. General Description

The building is located on the northern side of Peel St West Bathurst.

The building is a single storey masonry and timber clad construction, as defined in AS 2870-"Residential Slabs and Footings" Code. The building has most likely been constructed on masonry footings with a suspended timber floor and an iron clad timber framed roof. It was constructed around 1890.

# 3. External Inspection

Roof iron was in poor condition at the time of the inspection with severely damaged/leaking roof guttering and downpipes.

External timber (structural and non-structural) and eaves displayed weather damage and rotted at the time of the inspection. There would be a strong likelihood of asbestos in the building and will need to be tested.

# 4. Internal Inspection

The internal inspection revealed major damage through every part of the building and evidence of old repairs.

There was evidence of long term movement patterns (e.g. doors out of alignment, old cracks etc.)

There is damage to the floors in most areas, mostly from water. Timber piers are showing signs of rot and mildew.

Broken and damaged roof members.

# 5. Remedial works and cost estimate of works

Our inspection revealed that the building has suffered major damage throughout due to reactive clay movement, unsuitable building techniques and general weathering/deterioration due to lack of maintenance over a long period of time.

# Remedial Works and cost estimate excluding GST

a) Repair external timber and eaves	\$25,000
b) Replace iron roof	\$20,000
c) Replace all gutters and downpipes and ensure connection to in ground system	\$8,000
d) Repair sub floor bearers and joists and replace floor throughout	\$40,000
e) Check for asbestos(likely) and remove	\$30,000
f) Repair cracked and damaged masonry	\$11,000
g) Replace all internal plumbing	\$10,000
h) Repair all stormwater drainage	\$4,000
i) Replace bathroom	\$15,000
j) Replace kitchen	\$15,000
k) Replace all electrical wiring	\$11,000
Cost estimate ex GST \$189,000	

We trust that this information meets your requirements. Please do not hesitate to contact the undersigned should you require any further information.

Yours faithfully,

CALARE CIVIL PTY LTD

Mr Arthur Sonter Structural Engineer

FIEAust, Adv. Dip Civil Structural Eng.

**Calare Civil Pty Ltd** 

170 Rankin Street Bathurst NSW 2795

Tel: 02 6332 3343 Fax: 02 6331 8210

Email: asonter@calare-civil.com.au

Web: www.calare-civil.com.au



# Appendix A: Photographs





























# **Building Report**

**Report Commissioned By:** 

Michael Roberts

**Property Address:** 

227 Peel Street Bathurst NSW. 2795



# **Report Table of Contents**

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# **Summary Page**

Items observed that require attention are listed under the appropriate subheadings within the body of this report. For ease of reading, some of these items have also been listed here. This list is in no way to be considered complete or comprehensive. **You must read the entire report and not rely solely on this Summary**. The order that the items may appear in this summary is not an indicator of their importance.

## **ROOF SYSTEM EXTERNAL**

# External Roof:

Roof Covering Condition in Detail:

The overall condition of the roof coverings is fair. Surface rust is present at various places on the roof covering. This should be treated and painted to prolong the life of the iron.

Roof sheets are loose in various places and should be screwed down.

# Gutters & Downpipes:

Gutters & Downpipes:

Areas of gutters are rusted and should be repaired or replaced as necessary.

The stop end is missing to the front gutter. This should be installed.

Some downpipes are not connected to a stormwater dispersal system. This should be rectified as excessive water discharging around the building can de-stabilise foundations and compromise pest management.

# **ROOF SYSTEM INTERNAL**

Insulation & Sarking:

Insulation Status:

Fibre glass insulation is present.

# **SUBFLOOR**

# Sub Floor - Other Defects or Issues:

Details:

No ant caps are installed. The purpose of antcapping is to prevent concealed termite entry by forcing the termites build mud tunnels around the visible sections of the antcapping enabling detection during a pest inspection. Antcapping will not prevent the entry of termites to a structure however, correctly fitted ant caps will assist in early detection. If it is not possible or practicable to fit antcapping, this area should be regularly inspected by a Licensed Pest Inspector.

Timber debris is present in the subfloor. This should be cleared away as it can attract termites.

Timber floor supports are located to the sub floor of the building. <u>These should be</u> replaced with brick piers or steel supports.

# SITE

# **Retaining Walls:**

Type & General Condition:

The timber retaining walls are in poor condition and should be replaced.

Page Number 3

The hardwood timber retaining walls/garden edging show normal deterioration and decay. These timbers should be replaced with durable materials.

# **Drainage - Surface Water:**

Description:

Storm and site water drainage appears to be inadequate around the building. All external surfaces should be below weep holes and slope away from the building. Surface water should be drained away from all areas. All roofs should have gutters and downpipes installed and downpipes should be connected to stormwater drains, all leaks should be repaired, blockages in drains should be cleared. Gutters, downpipes, valleys and roofed areas should be cleared of debris.

# **VISUAL BUILDING INSPECTION REPORT**

# **Client & Site Information:**

# **COMMISSIONED BY:**

Michael Roberts

## DATE OF INSPECTION:

23.06.2015

## **PURCHASER:**

Mr. and Mrs. Michael Roberts 2/60A Morrisset Street Bathurst NSW. 2795

## **PROPERTY ADDRESS:**

227 Peel Street Bathurst NSW, 2795

## Important Information Regarding the Scope and Limitations of the Inspection and this Report

This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings.

Part 1: Pre Purchase Inspections - Residential Buildings

If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.

If the property is part of a Strata or Company Title - Appendix B of the Standard applies.

Important Information: Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

**The Purpose of the Inspection:** The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

**The Scope of the Inspection:** The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

**Acceptance Criteria:** The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Special Requirements**: It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

**Changes to the Inspection Agreement**: It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

# Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access

Page Number 5

permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

## Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers." Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground.

# **Property Description:**

# **Building type:**

Single storey dwelling. Please note for identification purposes bedrooms are numbered from first left after entering the front door. (Bedroom one first left then clock wise around)

## **External walls constructed from:**

Double brick:

Timber frame with weatherboard cladding.

# **Roof Construction:**

The roof is of pitched and skillion construction.

# **Roof Covering:**

Corrugated steel:

# Internal walls covered with:

Plasterboard:

Fibre cement sheet.

# Internal ceilings covered with:

Plasterboard:

Lath & plaster:

# Windows are constructed from:

Timber:

# Footings:

The building is constructed on a combination of strip footings and concrete slab footings.

# **Extension:**

The building appears to have had an extension/addition. This may include pergolas, awnings, decks, additional living areas or the garage that has been converted to a living area etc. The purchaser should contact the local council to ensure that the extension/addition has been approved and inspected as required.

**Estimate Building Age:** 

Between 70 and 90 years old. This is only an estimate and must not be relied upon for the purpose of accurately determining the age of the building. Should an accurate age of the building be required, further independent investigations should be made.

# **Overall Condition of Property**

# Major Defects in this Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

Low: The frequency and/or magnitude of major defects are lower than the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained

# Minor Defects in this Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

**Typical**: The frequency and/or magnitude of minor defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

## **Overall Condition:**

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as average. There may be areas/elements requiring minor repairs or maintenance.

Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: This is only a general overview of the property and must not be relied upon on its own. You MUST read the report in its entirety.

The purpose of this inspection is to provide advice to the Client regarding the overall condition of the property at the time of the inspection. The inspection is a visual assessment only of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary MUST be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector BEFORE relying on this Report.

## **Summary of Areas Inspected:**

# **Details:**

Roof void: Internal area: Garage: External area: Outbuildings:

Note: The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted.

Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to a decision to purchase being made.

# **Summary of Areas Not Inspected:**

#### Interior:

PLEASE NOTE THIS INSPECTION IS A VISUAL INSPECTION ONLY. FURNITURE, STORED GOODS AND PERSONAL ITEMS ARE NOT MOVED BY THE INSPECTOR DURING THE INSPECTION.

# Subfloor:

The entire subfloor:

# **Summary of Areas where Inspection was Impaired:**

## Roof void:

Because of insulation. Because of heating units and ducting.

## Interior:

Because of furniture and stored goods

# Summary of High Risk areas where access should be gained:

#### Roof void:

All of the roof void:

#### Interior:

PLEASE NOTE THIS INSPECTION IS A VISUAL INSPECTION ONLY. FURNITURE, STORED GOODS AND PERSONAL ITEMS ARE NOT MOVED BY THE INSPECTOR DURING THE INSPECTION.

The entire interior must be accessible. A full and thorough inspection can only take place when all furniture and stored goods are removed.

## Subfloor:

The entire subfloor:

# **Furnished Properties:**

# Was the property furnished at the time of inspection?

Yes - Where a property was furnished (fully or partly) at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence defects (from minor defects to potentially significant defects). This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

# **Weather Conditions:**

# **Recent Weather Conditions:**

Dry & wet periods.

# Weather Conditions on the Day and at the Time of Inspection:

Dry.

# **ROOF SYSTEM EXTERNAL**

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase.

# **External Roof:**

## **Roof Style:**

The roof is of pitched and skillion construction.

# Roof Covering Condition in Detail: The overall condition of the roof

The overall condition of the roof coverings is fair. Surface rust is present at various places on the roof covering. This should be treated and painted to prolong the life of the iron.



Roof sheets are loose in various places and should be screwed down.



# Flashings:

# **Roof Flashing - Type and Condition:**

Flashings are made of sheet metal. Flashings appear to be in servicable condition.

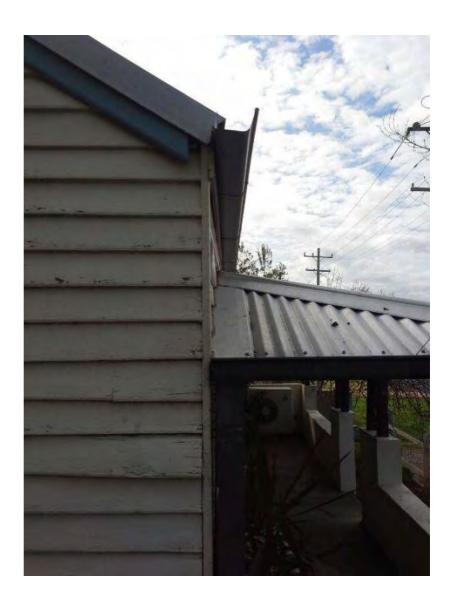
# **Gutters & Downpipes:**

Gutters & Downpipes:

Areas of gutters are rusted and should be repaired or replaced as necessary.



The stop end is missing to the front gutter. This should be installed.



Some downpipes are not connected to a stormwater dispersal system. This should be rectified as excessive water discharging around the building can de-stabilise foundations and compromise pest management.



# **Skillion Roof A:**

# Position/Location:

Rear elevation

# **Skillion Roof Covering Status:**

The overall condition of the skillion roof coverings is good.

# Valleys:

# **Condition:**

The overall condition of the valley metal is fair.

# **Eaves, Fascias & Barge Boards:**

# **Eaves Type & Condition:**

The eaves are lined with timber lining boards. The overall condition of the eaves lining is good.

Fascias & Bargeboards Type & Condition:

The over all condition of the barge boards fair. The barge boards are timber. Paint work is starting to deteriorate. Maintenance is required to prevent further deterioration.



# **ROOF SYSTEM INTERNAL**

# **Restrictions - Roof Interior:**

## **Access Restrictions:**

A section of the roof is of skillion type construction and there is no accessible cavity for inspection.

# **Inspection Restrictions:**

Insulation is present in the roof cavity. This restricted inspection to some roofing timbers. Removal of insulation is not within the scope of a standard visual inspection report. Ducting associated with air conditioning or heating restricted inspection. Where areas are restricted, removal of the restriction is required to enable a more complete report be be submitted.

# **Roof Framing:**

# **Roof Supports - Type and Condition:**

The cut and pitched roof timbers appear to provide adequate support.

# **Insulation & Sarking:**

# **Insulation Status:**

Fibre glass insulation is present.

# **Sarking Status:**

There is no sarking membrane present in the roof area.

# **INTERIOR CONDITION REPORT**

# **Ceilings:**

# **Ceiling Condition:**

The condition of the ceilings is generally good. Lath and plaster ceilings are showing evidence of cracks and some bulging which is typical for this type of material. Loose sections will have to be re-adhered to the lath slats.

# Walls:

# **Internal Walls Condition:**

The condition of the walls is generally good.

## Windows:

## **Windows Condition:**

The condition of the windows is generally good.

# Doors:

## **Doors Condition:**

The condition of the doors is generally good.

# Floors:

## Floors General Condition:

The condition of the floors is generally good, however floors are undulating and out level in places which is typical for a building of this age, construction and location. This can be caused by reactive foundation soils and may require periodic adjustment to subfloor piers.

Floors are showing a typical amount of moisture.

# Woodwork:

## Woodwork

The condition of the woodwork is generally good.

# **Built-In Wardrobes**

# Type and Condition

The condition of the built-in wardrobes is generally good.

# **KITCHEN**

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

# Kitchen:

# **Kitchen Fixtures:**

The condition of the fixtures is generally good.

## Tiles:

The condition of the wall tiles is generally good.

# Sink & Taps:

The sink and taps appear to be in a serviceable condition. The drain appears serviceable.

# **BATHROOMS**

**Important Notes:** Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

# **Main Bathroom:**

# **Shower/Bath Condition:**

The shower recess was tested and there was no visible water penetration to surrounding areas. IMPORTANT NOTE: This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.

## Tiles:

The condition of the wall tiles is generally good.

# **Basin & Taps:**

The basin & taps appear serviceable. The drain appears servicable.

## **Vanity Unit:**

The condition of the vanity unit is generally good.

## **Toilet Condition:**

The toilet appears to be in working order.

# Floor/Floor Waste:

A floor waste is present but was not tested. The floor is tiled concrete. The floor covering appears in good condition.

## Ventilation:

Ventilation is provided by a fan and an opening window.

# **LAUNDRY**

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

# **Laundry:**

# General condition of area:

This area is generally in fair condition.



# Tub & Taps:

A concrete tub is present and is showing typical deterioration/cracks.

# **Plumbing Points:**

There are washing machine taps in the laundry.

# Floor/Floor Waste:

The concrete floor is showing cracks.

# **EXTERIOR**

# **External Walls:**

# **General Condition:**

The condition of the walls is generally good. Paint deterioration was present to external surfaces. Maintenance and/or repairs will be required.



Minor fine cracks are visible. These appear to be caused by a little typical expansion and contraction.



# **Cracking to Masonry or Concrete Elements:**

Cracks are evident. Visible cracking has been categorized as an appearance defect. Cracking of a building element is an appearance defect where in the opinion of the inspector the appearance of the element is blemished however, the expected consequence of this cracking is unknown until further information is obtained.

Cracking can be expected in a building of this age and construction.

# **Weep Holes and Vents:**

## Vents

<u>There are not enough vents. More vents should be installed,</u> preferably bronze mesh type, to allow air to circulate through the subfloor which in turn helps to remove damaging, moist laden air.

# Lintels:

# **Type & Condition:**

Lintels appear to give adequate support.

# Windows:

# **Windows Condition:**

The condition of the exterior of the windows is generally good.

# **External Stairs:**

# Type & Condition:

concrete The overall condition of the stairs is fair. Repairs are required.



# **Damp Course:**

# **Type & Condition:**

A damp proof coursing material could not be identified. Where a damp proof coursing material is not visible or cannot be identified, rising damp may become a future problem.

# DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

# Verandah:

# Position/Location:

Front elevation

# **Construction & Condition:**

Constructed from timber, concrete or masonry. The general condition of this structure is fair.

# **Roof Construction:**

The roof is of skillion construction.

# Roof is covered with:

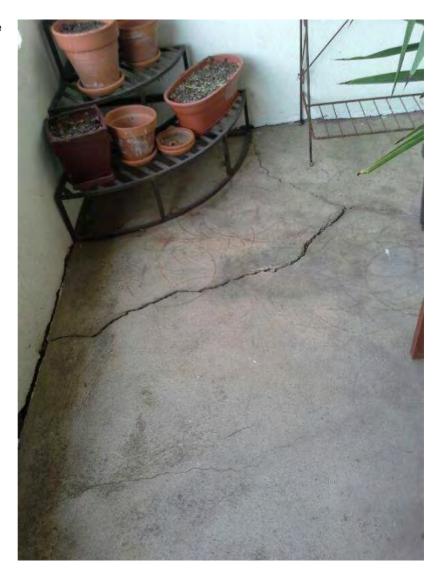
Corrugated steel:

# **Roof Covering Condition Detail:**

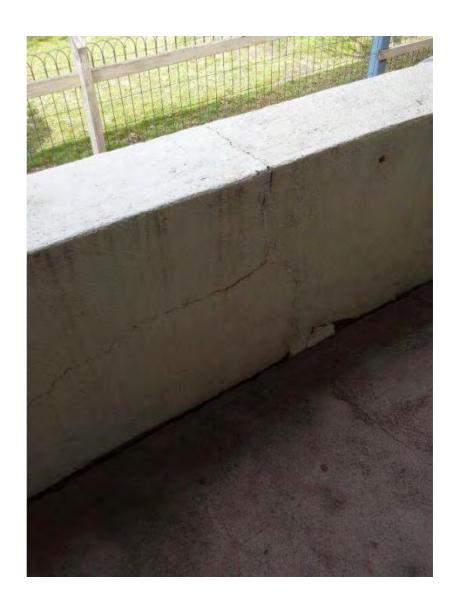
The overall condition of the roof coverings is good.

# **Defects or Maintenance Items:**

Cracking and settlement is noted to the floor area.



The mortar to the balustrading is cracked or deteriorating.



# Verandah # 2:

## Position/Location:

Rear elevation

## **Construction & Condition:**

Constructed from timber. The general condition of this structure is fair.

## **Roof Construction:**

The roof is of skillion construction.

## Roof is covered with:

Corrugated steel: Polycarbonate:

# **Roof Covering Condition Detail:**

The overall condition of the roof coverings is good.

#### **Defects or Maintenance Items:**

Paint work is deteriorating, preparation and repainting is required. Timbers are weathering and will start to deteriorate if they are not sealed, treated, painted or oiled.

No access was possible below the structure due to the method of construction.



# **SUBFLOOR**

## **Restrictions:**

## Restrictions/description:

Crawl space below the area(s) listed below was limited due to the method of construction resulting in a limited visual inspection from a distance being carried out. It is possible that building defects may be present below inaccessible areas however, no comment is made or opinion offered on any area where full access is not available. We STRONGLY recommend that access be gained to all inaccessible areas. Access should be gained to enable a further inspection to be carried out prior to purchase.

The subfloor was viewed from the entry.



# Wood decay damage:

## **Description:**

Moderate wood decay damage was noted. Repairs may be required.

#### Affected subfloor timbers

Various subfloor timbers:

#### Below the following location or area:

Various areas of the subfloor:

#### Ventilation:

#### **Description:**

The underfloor ventilation appeared to be limited. This may provide conditions that could encourage decay of timber components. Upgrading of the ventilation is recommended. If necessary, contact a Licensed Builder for advise and rectification.

#### **Sub Floor - Other Defects or Issues:**

#### Details:

No ant caps are installed. The purpose of antcapping is to prevent concealed termite entry by forcing the termites build mud tunnels around the visible sections of the antcapping enabling detection during a pest inspection. Antcapping will not prevent the entry of termites to a structure however, correctly fitted ant caps will assist in early detection. If it is not possible or practicable to fit antcapping, this area should be regularly inspected by a Licensed Pest Inspector.

Timber debris is present in the subfloor. This should be cleared away as it can attract termites.

Timber floor supports are located to the sub floor of the building. These should be replaced with brick piers or steel supports.



# **FOOTINGS**

## **Footings:**

#### **Type & General Condition:**

The building is constructed on a combination of strip footings and concrete slab footings. There has been some settlement in the building which has caused some cracking to the walls. This can also cause some doors to bind or be out of square. This settlement is usually due to ground movement and subsequent movement to building materials can be expected. Periodic maintenance will be required. Any cracks should be monitored and if cracks increase in size, further investigation should be carried out by a Structural Engineer.

## **GARAGING**

## Garage:

#### **Garage Location:**

To the rear of the main building.

### **Restrictions to inspection**

Stored items restricted inspection to the interior. Stored items should be removed to enable a more complete report to be submitted.

## **General Overall Condition:**

The overall condition of the garage is good.

#### **Roof Construction:**

The roof is of pitched style construction.

#### **Roof Covering:**

Corrugated steel:

Polycarbonate:

#### **Roof Covering Condition in Detail:**

The overall condition of the roof coverings is good.

#### **External walls constructed from:**

Metal frame and cladding.

#### **External Wall General Condition:**

The condition of the walls is generally good.

#### Front Doors - Type & Condition

The main garage door is a roller shutter style door and is in good condition.

#### **Rear Doors - Type & Condition**

The side access door is in good condition.

#### Floor - Type & General Condition

The concrete floor is generally in good condition.

#### **Gutters & Downpipes:**

Appear to be in serviceable condition.

#### **Lintels - Type & Condition:**

The lintels appear to give adequate support.

#### **External Windows Condition:**

The condition of the exterior of the windows is generally good.

# **OUTBUILDINGS**

## **Outbuilding A:**

## Type of Outbuilding:

Laundry:

#### Position/Location:

To the rear right hand side of the property.

#### **Restrictions:**

Inspection within some areas was restricted by stored items.

### **General Condition:**

The structure is generally in fair condition. The structure is a typical out building with various sized timbers, <u>some</u> <u>with excessive spans</u>, leaning, decay and borer to the outer timbers.

These structures do not comply with current standards, however they appear to have been in place for a considerable time. Some modifications should be made to rectify loose or unsafe areas.

### **Roof Construction:**

The roof is of skillion construction.

### **Roof Covering:**

Corrugated steel:

## **Roof Covering Condition in Detail:**

The overall condition of the roof coverings is poor. The roof is held down with bricks. Gutters and Downpipes should be installed and downpipes connected to stormwater drains. This will prevent excessive water accumulating around the building which can affect the stability of the footings.



#### External walls constructed from:

Single brick:

Timber frame with metal cladding.

# **External Wall General Condition:**

The condition of the walls is generally fair.

# <u>SITE</u>

## **Driveway:**

### Type & Condition:

The gravel driveway stands in fair condition.

## **Fences & Gates:**

#### **Fences Type & Condition:**

The fences are constructed of timber and metal.

Timber fences are showing typical decay, instability, leaning, weathering and splitting. Timbers should be durable and well sealed to prevent deterioration. Repairs will need to be made.



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# **Retaining Walls:**

## **Type & General Condition:**

The timber retaining walls are in poor condition and should be replaced.



The hardwood timber retaining walls/garden edging show normal deterioration and decay. These timbers should be replaced with durable materials.



## **Paths/Paved Areas:**

## **Type & Condition:**

The concrete paths/paved areas are in fair condition. The paved paths/paved areas are in good condition

# **Drainage - Surface Water:**

## **Description:**

Storm and site water drainage appears to be inadequate around the building. All external surfaces should be below weep holes and slope away from the building. Surface water should be drained away from all areas. All roofs should have gutters and downpipes installed and downpipes should be connected to stormwater drains, all leaks should be repaired, blockages in drains should be cleared. Gutters, downpipes, valleys and roofed areas should be cleared of debris.

The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

## **SERVICES**

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

## **Services:**

#### **Details:**

Gas is connected to the premises but has not been inspected.

The cold water was operational but the adequacy was not tested and is not commented on.

Heating is installed in the premises but heating appliances and fireplaces have not been inspected or operated. Smoke detectors are fitted however, the positioning, operation or adequacy was not tested and is not commented on.

Air-conditioning is installed in the premises but has not been inspected.

#### Water Lines & Pressure:

#### **Details:**

The visible water lines are in copper pipe. Water pressure appears to be normal, however, this is not an opinion of a licensed plumber.

#### **Hot Water Service:**

#### Hot water is provided by the following:

Gas hot water unit: Located externally: The hot water unit appears to be in working condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water unit in relation to capacity or otherwise.

## **Important Information**

#### **Important Information:**

The following forms an integral part of the report and MUST be read in conjunction with the entire report. We advise that all defects reported in this report may deteriorate or cause further defects or become a safety hazard if not attended to by a qualified licenced and insured person and We strongly recommend you the purchaser of this property obtain from the vendor a written statement indicating they have not hidden, covered or are not knowingly withholding information concerning defects, termite or borer attack past or present regarding this property.

## **General Definitions used in this report:**

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

**Good -** The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

**Fair -** The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

Page Number 27

**Poor -** The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

**Above Average -** The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

**Average -** The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average -** The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Appearance Defect -** Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect -** Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect -** Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Accessible Area** - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

#### **General and Important Information:**

*Note*: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

**Shower Recesses:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

**Glass Caution:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

**Stairs & Balustrades:** Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

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**Trees:** Where trees are to close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

**Swimming Pools:** Swimming Pools/Spars are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

**Surface Water Drainage:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainer.

#### Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- This report is <u>not</u> an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the property <u>fully accessible</u> and visible to the Inspector on the date of Inspection. The inspection <u>DID NOT</u> include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.
- 3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is <u>not a guarantee</u> that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. (**NB Such matters** <u>may</u> upon request be covered under the terms of a Special-Purpose Property Report.)

- **4) CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.
- 5) ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection

asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

- 6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided. If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.
- **7) Estimating Disclaimer:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.
- 8) Cracking of Building Elements: The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

**Appearance Defect:** Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect:** Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect:** Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

- 9) CONDITIONS: This standard property report is conditional upon or conditional in relation to -
- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.
- 10) If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:
- a) Obtain a statement from the owner as to
- i. any Timber Pest activity or damage;
- ii. timber repairs or other repairs

- iii. alterations or other problems to the property known to them
- iv. any other work carried out to the property including Timber Pest treatments
- v. obtain copies of any paperwork issued and the details of all work carried out
- b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.
- 11) The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007
- 12) You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects
- 13) Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.
- **14)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause.

However, We may sell the Report to any other Person although there is no obligation for Us to do so.

15) You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

#### **IMPORTANT DISCLAIMER**

**DISCLAIMER OF LIABILITY: -**No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

#### **CONTACT THE INSPECTOR**

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

# Inspected By Inspectors Detail

Authorisation Number: BC551 Builders License Number: 15380C

Dated this 23rd day of June 2015

Signed by Graeme Gillbanks

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PO Box 201 Bathurst NSW 2795 feebs4@bigpond.net.au www.nationaltrust.org.au

29 June 2022

Mr. Richard Denyer, Bathurst Regional Council

Dear Mr. Denyer

## Re: DA 153/160, 227 Peel Street

The local Branch of the Trust appreciates the opportunity to comment on the recommendation to demolish this building.

The dwelling located at 227 Peel Street was constructed in 1878 for Thomas Beale, the first curator of the Bathurst Museum, on land once owned by Bathurst hotelier Nicholas Read. The dwelling is a weatherboard clad structure with a gabled corrugated metal roof and verandah.

We believe that the information contained in the in the Heritage Impact Statement does not justify the demolition of the cottage. The photographs provided do not indicate any substantial failure of the structure. We disagree with the assessment of Draftsman Brett Moulds that the building has "no architectural merit". On the contrary, the age, style and materials used here represent an increasingly rare Bathurst building, that of the simple, single story wooden house built for the average family of the time period.

The lodgement of DA 160/2022 for the erection of a second dwelling suggests that the intent is to remove a perfectly restorable original heritage cottage to allow for the second dwelling access and a future resub- division of the lot.

#### Recommendation:

We would respectfully recommend the following:

- 1. The rear fibro extension could be demolished and additions added to the original 4 rooms of the cottage providing an update of the cottage for modern living.
- 2. The proposed attached double garage would adversely affect the heritage streetscape as it dominates the proposed facade of the new dwelling. There is room on the site for a double garage without it being attached to the front of the dwelling.
- 3. By retaining the four front rooms of the cottage and the verandah, the streetscape would be maintained as has been accomplished in the adjoining and adjacent heritage cottages.

Bathurst cannot afford to keep losing rare examples of these unpretentious but significant 'everyman cottages' from our past. We would strongly urge Council to refuse demolition and ask the developer to adopt the above considered recommendations.

Yours Faithfully,

Wayne Feebrey

Chair, Bathurst & District Branch National Trust of Australia (NSW)

The Bathurst & District Branch represents the local views of the Bathurst heritage community

The National Trust of Australia (New South Wales) ABN 82 491 958 802





The Bathurst & District Branch represents the local views of the Bathurst heritage community

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#### Contents

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DACC 04 Ground Floor Plan

DACC 05 Elevations 1 & 2

DACC 06 Elevations 3 & 4

DACC 07 Section AA

DACC 08 Specification



0424 156 450 BRETT@BMDD.COM.AU





**Development Application** 2022/160

**Development Approval** has been granted subject to conditions imposed by Council's Notices of Determination.

> NOTE: Read conditions of Approval before commencing work.

> > 6 June 2022 Per: SB

#### **COPY ONLY CHECK SCALE**



08/03/22 03/03/22 02/02/22 08/11/21 D 22/02/21 15/02/21

Issued for comment Client requested amendment ISSUED FOR APPROVAL Issued for final comment

Date

Amendment

Groundlines adjusted

Issue for final comment

02 6332 5885 M 0424 156 450 BRETT@BMDD.COM.AU DESIGN & DRAFTING 12 MAXWELL DRIVE. EGLINTON NSW 2795

BUILDING DESIGNER

**Proposed Secondary Dwelling** 

Michael Roberts

227 Peel Street, Bathurst



Cover Page DACC 01

G Date: 08/03/2022 Project: BMD202165

Aluminium Basin

**BDRY** Boundary BPB Bagged & Painted Brickwork

Brick Veneer CL Ceiling Level CONC Concrete CP Concrete Paver CPT

Carpet Corrungated Roof Sheeting

CRS Cavity Sliding Door CT Ceramic Tile DH Double Hung

DP Downpipe EMB Electrical Meterboard

ENS Ensuite FB Face Brick FC Fibre Cement FFL Finished Floor Level Fixed Glass E\// Floor Waste GM Gas Meter HC Hollow Core HWS Hot Water Service LDRY Laundry MH Manhole

PB Plasterboard PFC Painted Fibre Cement Ω Fixed Panel OG Obscure Glass REF Refrigerator

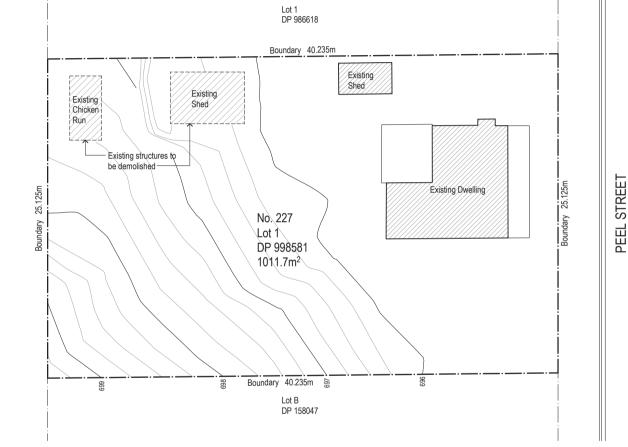
RH Rangehood RL Reduced Level RWT Rain Water Tank SC Solid Core SD Sliding Door SHR Shower

SS Stainless Steel Sink Stone Veneer Tub TC Texture Coated Hebel

TYP Typical UBO Under Bench Oven WC Water Closet W Washing Machine WM Water Meter Sliding panel

Refer to DACC08 for all BASIX

Requirements



Attachment 8.2.3.6

0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795

> BATHURST S REGIONAL COUNCIL

**Development Application** 2022/160

Development Approval has been granted subject to conditions imposed by Council's Notices of Determination.

NOTE: Read conditions of Approval before commencing work.

> 6 June 2022 Per: SB

**COPY ONLY CHECK SCALE** 

08/03/22 Groundlines adjusted 03/03/22 Issue for final comment 02/02/22 Issued for comment Client requested amendment 08/11/21 D 22/02/21 ISSUED FOR APPROVAL 15/02/21 Issued for final comment Date Amendment

Site/Roof Plan - Existing DACC 02

Issue: G Scale: 1:200 @ A3

Date: 08/03/2022 Project: BMD202165



M 0424 156 450

URAFIING 12 MAXWELL DRIVE. EGLINTON NSW 2795



**Proposed Secondary Dwelling** 

Michael Roberts 227 Peel Street, Bathurst

Attachment 8.2.3.6 Legend

> 02 6332 5885 0424 156 450 BRETT@BMDD.COM.AU



Concrete Paver CPT Carpet

Aluminium

Corrungated Roof Sheeting CRS CS CT Cavity Sliding Door DH Double Hung DP Downpipe

EMB Electrical Meterboard ENS Ensuite FB Face Brick FC Fibre Cement FFL Finished Floor Level Fixed Glass

FW Floor Waste GM Gas Meter HC Hollow Core HWS Hot Water Service

LDRY Laundry МН Manhole PB PFC Plasterboard Painted Fibre Cement

Fixed Panel ŌG Obscure Glass REF Refrigerator RH RL RWT Rangehood Reduced Level Rain Water Tank

SC SD Solid Core Sliding Door SHR SS SV T Shower Stainless Steel Sink

Stone Veneer Tub TC TYP Texture Coated Hebel

Typical UBO Under Bench Oven WC Water Closet W WM Washing Machine Water Meter Sliding panel

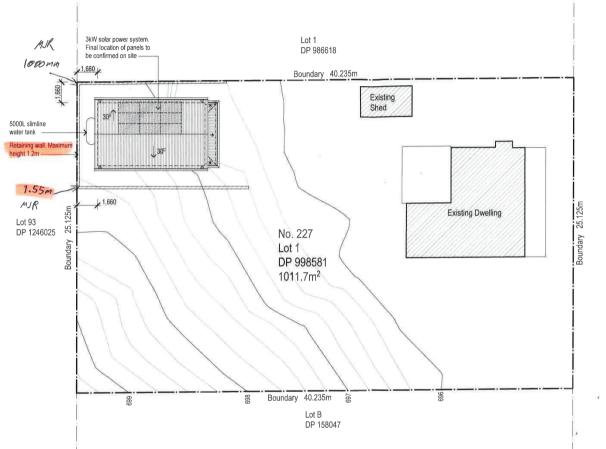
Area Schedule

Living

Porch

Site

Refer to DACC08 for all BASIX Requirements



BATHURST S REGIONAL COUNCIL

**Development Application** 2022/160

**Development Approval** has been granted subject to conditions imposed by Council's Notices of Determination.

NOTE: Read conditions of Approval before commencing work.

> 6 June 2022 Per: SB

#### **COPY ONLY CHECK SCALE**

08/03/22 03/03/22 02/02/22 08/11/21 D

22/02/21 15/02/21 Date

Issue for final comment Issued for comment Client requested amendment ISSUED FOR APPROVAL Issued for final comment

Groundlines adjusted

Amendment

44.1m<sup>2</sup>

 $5.0 \, m^2$ 

1011.7 m<sup>2</sup>

0424 156 450

ACCREDITED INU 12 MAXWELL DRIVE, EGLINTON NSW 2795 BUILDING DESIGNER

**Proposed Secondary Dwelling** Michael Roberts 227 Peel Street, Bathurst



STREET

PEEL

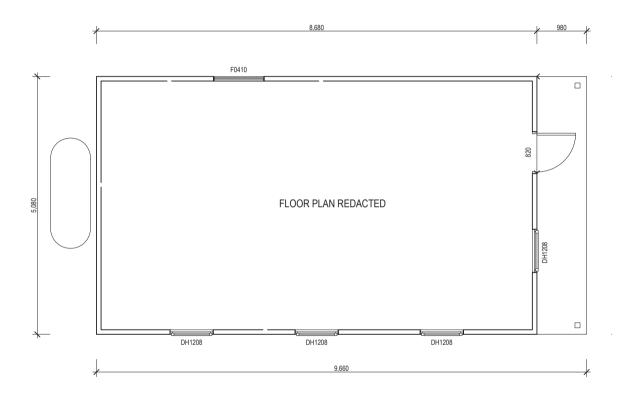
Site/Roof Plan - Proposed

DACC 03

Scale: 1:200 @ A3

Date: 08/03/2022 Project: BMD202165

P 02 6332 5885 M 0424 156 450 E BRETT@BMDD.COM.AU 12 MAXWELL DRIVE. EGLINTON NSW 2795



# BATHURST SEGIONAL COUNCIL

Development Application 2022/160

Development Approval has been granted subject to conditions imposed by Council's Notices of Determination.

NOTE: Read conditions of Approval before commencing work.

> 6 June 2022 Per: SB

#### **COPY ONLY CHECK SCALE**

Area Schedule

Living 44.1 Porch 5.0 Site 101

44.1m<sup>2</sup> 5.0 m<sup>2</sup> 1011.7 m<sup>2</sup> 08/03/22 G 03/03/22 F 02/02/22 E 08/11/21 D 22/02/21 C 15/02/21 B

Date

Groundlines adjusted Issue for final comment Issued for comment Client requested amendment ISSUED FOR APPROVAL Issued for final comment Amendment

and Floor Plan

Ground Floor Plan
DACC 04

Issue: G Scale: 1:50 @ A3 Date: 08/03/2022 Project: BMD202165



02 6332 5885 0424 156 450 Brett@BMDD.CO

TING 12 MAXWELL DRIVE. EGLINTON NSW 2795

A C C R E D I T E D BUILDING DESIGNER

Michael Roberts
227 Peel Street, Bathurst

**Proposed Secondary Dwelling** 

Aluminium Basin

**BDRY** Boundary BPB Bagged & Painted Brickwork

Brick Veneer Ceiling Level CONC Concrete CP Concrete Paver

CPT

Carpet Corrungated Roof Sheeting

CRS Cavity Sliding Door CT Ceramic Tile

DH Double Hung DP Downpipe EMB Electrical Meterboard

ENS Ensuite FB Face Brick

FC Fibre Cement FFL Finished Floor Level Fixed Glass E\// Floor Waste GM Gas Meter HC Hollow Core

HWS Hot Water Service LDRY Laundry MH Manhole

PB Plasterboard PFC Painted Fibre Cement

Ω Fixed Panel ŌG Obscure Glass REF Refrigerator RH Rangehood Reduced Level RWT Rain Water Tank SC Solid Core SD Sliding Door

SHR Shower SS Stainless Steel Sink Stone Veneer

Tub TC Texture Coated Hebel

TYP Typical

UBO Under Bench Oven WC Water Closet W Washing Machine WM Water Meter Sliding panel

Refer to DACC08 for all BASIX Requirements

عريل 250 eave width Colorbond gutters CRS and painted timber fascias Ceiling Level uPVC framed windows Window head

5000L slimline water tank

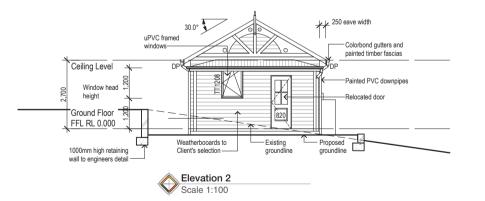


-Weatherboards to

Client's selection

Proposed Groundline

Existing Groundline



## Attachment 8.2.3.6

0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795



**Development Application** 2022/160

**Development Approval** has been granted subject to conditions imposed by Council's Notices of Determination.

NOTE: Read conditions of Approval before commencing work.

> 6 June 2022 Per: SB

#### **COPY ONLY CHECK SCALE**

Groundlines adjusted	G	08/03/22
Issue for final comment	F	03/03/22
Issued for comment	Ε	02/02/22
Client requested amendment	D	08/11/21
ISSUED FOR APPROVAL	C	22/02/21
Issued for final comment	В	15/02/21
Amendment		Date

02 6332 5885 0424 156 450

heiaht

Ground Floor

FFL RL 0.000

Retaining wall to

engineers detail

12 MAXWELL DRIVE, EGLINTON NSW 2795



**Proposed Secondary Dwelling** 

Painted PVC

downpipes

Michael Roberts 227 Peel Street, Bathurst



Elevations 1 & 2

DACC 05

Issue: G Scale: 1:100 @ A3 Date: 08/03/2022 BMD202165

Aluminium Basin **BDRY** Boundary

BPB Bagged & Painted Brickwork

Brick Veneer Ceiling Level CONC Concrete CP Concrete Paver CPT

Carpet

CRS Corrungated Roof Sheeting Cavity Sliding Door

CT Ceramic Tile DH Double Hung DP Downpipe

EMB Electrical Meterboard

ENS Ensuite FB Face Brick FC Fibre Cement FFL Finished Floor Level Fixed Glass E\// Floor Waste GM Gas Meter HC Hollow Core HWS Hot Water Service LDRY Laundry MH Manhole

PB Plasterboard PFC Painted Fibre Cement Ω Fixed Panel ŌG Obscure Glass REF Refrigerator RH Rangehood

Reduced Level RWT Rain Water Tank SC Solid Core SD Sliding Door SHR Shower

SS Stainless Steel Sink Stone Veneer Tub

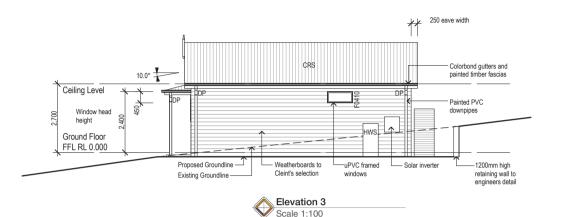
TC Texture Coated Hebel

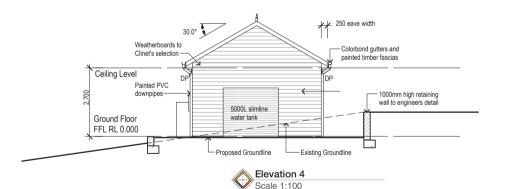
TYP Typical UBO Under Bench Oven WC Water Closet W Washing Machine WM Water Meter

Refer to DACC08 for all BASIX

Sliding panel

Requirements





## Attachment 8.2.3.6

0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795



**Development Application** 2022/160

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Date		Amendment
15/02/21	В	Issued for final comment
22/02/21	C	ISSUED FOR APPROVAL
08/11/21	D	Client requested amendment
02/02/22	E	Issued for comment
03/03/22	F	Issue for final comment
08/03/22	G	Groundlines adjusted

Elevations 3 & 4

DACC 06

Issue: G Scale: 1:100 @ A3 Date: 08/03/2022 BMD202165



02 6332 5885 0424 156 450 BRETT@BMDD.COM.AU

NU 12 MAXWELL DRIVE, EGLINTON NSW 2795



**Proposed Secondary Dwelling** 

227 Peel Street, Bathurst

Michael Roberts

#### A Aluminium Basin

BDRY Boundary
BPB Bagged & Painted Brickwork

BV Brick Veneer
CL Ceiling Level
CONC Concrete
CP Concrete Paver

CPT Carpet

CRS Corrungated Roof Sheeting
CS Cavity Sliding Door

CS Cavity Sliding Door
CT Ceramic Tile
DH Double Hung

DP Downpipe EMB Electrical Meterboard

**ENS** Ensuite FB Face Brick FC Fibre Cement FFL Finished Floor Level Fixed Glass E\// Floor Waste GM Gas Meter HC Hollow Core HWS Hot Water Service LDRY Laundry MH Manhole

PB Plasterboard PFC Painted Fibre Cement Ω Fixed Panel OG Obscure Glass REF Refrigerator RH Rangehood RL Reduced Level RWT Rain Water Tank

SC Solid Core
SD Sliding Door
SHR Shower
SS Stainless Steel Sink

SS Stainless Steel Sink SV Stone Veneer T Tub

TC Texture Coated Hebel TYP Typical

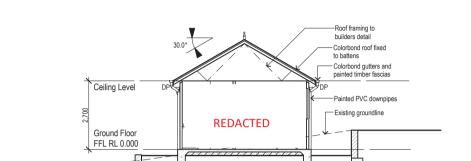
TYP Typical
UBO Under Bench Oven
WC Water Closet
W Washing Machine
WM Water Meter
X Sliding panel

Refer to DACC08 for all BASIX

Requirements



P 02 6332 5885 M 0424 166 450 E BRETT@BMDD.COM.AU 12 MAXWELL DRIVE. EGLINTON NSW 2795







Development Application 2022/160

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> 6 June 2022 Per: SB

#### **COPY ONLY CHECK SCALE**

08/03/22 G 03/03/22 F 02/02/22 E 08/11/21 D 22/02/21 C 15/02/21 B **Date**  Groundlines adjusted Issue for final comment Issued for comment Client requested amendment ISSUED FOR APPROVAL Issued for final comment

Amendment





Proposed Secondary Dwelling

Concrete footing and slab

to engineers details

Michael Roberts

227 Peel Street, Bathurst



Section AA DACC 07

Issue: G Scale: 1:100 @ A3

Date: 08/03/2022 Project: BMD202165

#### General

- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code Volume 2, Building Code of Australia Class 1 and Class 10 Buildings

#### Statutory Requirements

- All work to be carried out in accordance with the NCC, conditions imposed by the local authority and the commitments outlined in the relevant BASIX Certificate or NCC Part J Assessment. - The builder is to comply with the requirements of all legally constituted authorities having
- jurisdiction over the building works and the provisions of the Home Building ACT. Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner. On completion the builder shall remove the amenity.

#### **BCA** Requirements

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of the NCC. - All excavations and underfloor fill shall be in accordance with the engineer's details and Part 3.2.2 of the NCC.
- Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.4 of the NCC
- Provide adequate cross ventilation to space under suspended ground floors in
- accordance with Part 3.4.1 of the NCC. Sub Floor access to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.3 of the NCC.
- All timber framework shall comply with Part 3.4.3 of the NCC.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection.
- Steel framing shall be in accordance with manufacturer's recommendation and Part 3.4.2 of the NCC. All roof cladding shall comply with Part 3.5 of the NCC and be installed in accordance with
- manufacturer's recommendations. Gutters and downpipes shall be in accordance with Part 3.5.3 of the NCC.
- Sarking shall comply with Part 3.3.4 of the NCC.
- Flashings shall comply with Part 3.3.4 of the NCC.
- · Clay brickwork shall comply with Part 3.3 of the NCC.
- Concrete blockwork shall be constructed in accordance with Part 3.3 of the NCC.
- Autoclaved aerated concrete products shall be installed in accordance with manufacturer's product specification.
- Damp proof courses shall comply with Part 3.3.4 of the NCC.
- Cavity ventilation must be provided in accordance with Part 3.3.4 of the NCC.
- Mortar shall comply with Part 3.3.1 of the NCC.
- Masonry accessories shall comply with Part 3.3.3 of the NCC. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of the NCC and protected from corrosion in accordance Part 3.4.4 of the NCC.
- Engaged piers in single leaf masonry walls shall be constructed in accordance with Table 9.2 Pier spacings for one way spanning walls, of Australian Standard AS4773.1-2010 Masonry in small buildings. Refer to the table extract below for details.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of the NCC. Wet area wall lining is to be fixed in accordance with manufacturer's
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in schedule of works.
- Windows and doors shall be manufactured and installed in accordance with AS2047. All glazing shall comply with Part 3.6 of the NCC.
- Stair and ramp construction shall be in accordance with Part 3.9.1 of the NCC.
- Balustrades shall be in accordance with Part 3.9.2 of the NCC.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed plumber.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with Part 3.7.5 of the NCC.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Building is to be sealed to the requirements of Part 3.12.3 of the NCC, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of the NCC, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.
- Mechanical ventilation is to be installed in accordance with Part 3.8.5 of the NCC.
- Inward swinging WC doors are to be fitted with lift off hinges to comply with Part 3.8.3.3
- of of the NCC if indicated on plans

	Table 9.2 (Extract) Pier Spacings for one-way spanning walls					
Wall	Pier	Pier			ind class (mm)	
Thickness (mm)	Thickness (mm)	Width (mm)	N1	N2	N2 with tie down (see note 1)	N3 with tie down (see note 1)
Wall Heigh	t 2400mm					
110 110 110 110 Wall Heigh	230 230 350 350 350	230 350 230 350	1320 2040 3240 4920	840 1320 2160 3360	4200 6360 23640 36000	1200 1920 8400 9600
110 110 110 110	230 230 350 350	230 350 230 350	960 1440 2520 3840	600 960 1680 2520	2160 3360 13440 20640	720 1080 5400 8160
Wall Height 3000mm						
110 110 110 110	230 230 350 350	230 350 230 350	720 1080 1920 3000	480 720 1320 2040	1320 2040 8760 13320	3600 5520

 Piers with tie-downs shall include one full height N10, N12 or M10 reinforcing har tied to the footing 1. Firets with the cowns shall include one full height N10, N12 or M10 reinforcing bar tied to the fo and positively attached to the top plate (in accordance with Clause 6.7.2)
2. This table applies to walls with no openings. For piers at the edge of mojor openings, such as garage doors, see Clause 6.7.2

#### **BASIX Requirements**

#### Water Commitments

- A 5,000 litre rainwater tank to be installed
- All roof areas must be drained to the rainwater tank
- At least 1 outdoor tap must be connected to the rainwater tank
- All showerheads to have a minimum of a 3 star (>7.5 but <=9.0 L/min) rating
- Toilets to have a minimum of a 2 star rating
- Kitchen and Basin taps to have a minimum of a 3 star rating

#### **Thermal Commitments**

- Floor: concrete slab on ground
- External framed wall - Ceiling and Roof (flat ceiling/pitched roof)
- R2.40 (or 2.80 including construction) - Ceiling: R4.0 (up), Roof; foil/sarking - dark (solar absorptance >0.7)
- Roof color
- W6 to be Timber or uPVC framed with single clear glass
- (U-value:5.40, SHGC:0.63)
- All other glazing frames to be Timber or uPVC with single clear glass (U-value:5.40, SHGC:0.56)

#### **Energy Commitments**

- The applicant must install an electric storage hot water system
- Cooling in living room to be single phase air-conditioning with a minimum rating EER<2.5
- Heating in living room to be single phase air-conditioning with a minimum rating EER<2.5 - Bathroom to have an individual fan, not ducted with a manual switch
- Kitchen to have an individual fan, ducted to facade or roof with a manual switch
- An electric cooktop and electric oven to be installed
- A minimum 3kW solar system to be installed

# Attachment 8.2.3.6

0424 156 450 BRETT@BMDD.COM.AU





**Development Application** 2022/160

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> 6 June 2022 Per: SB

## COPY ONLY CHECK SCALE

Groundlines adjusted	G	08/03/22
Issue for final comment	F	03/03/22
Issued for comment	Ε	02/02/22
Client requested amendment	D	08/11/21
ISSUED FOR APPROVAL	C	22/02/21
Issued for final comment	В	15/02/21
Amendment		Date

Amendment





Proposed Secondary Dwelling

Michael Roberts

227 Peel Street, Bathurst



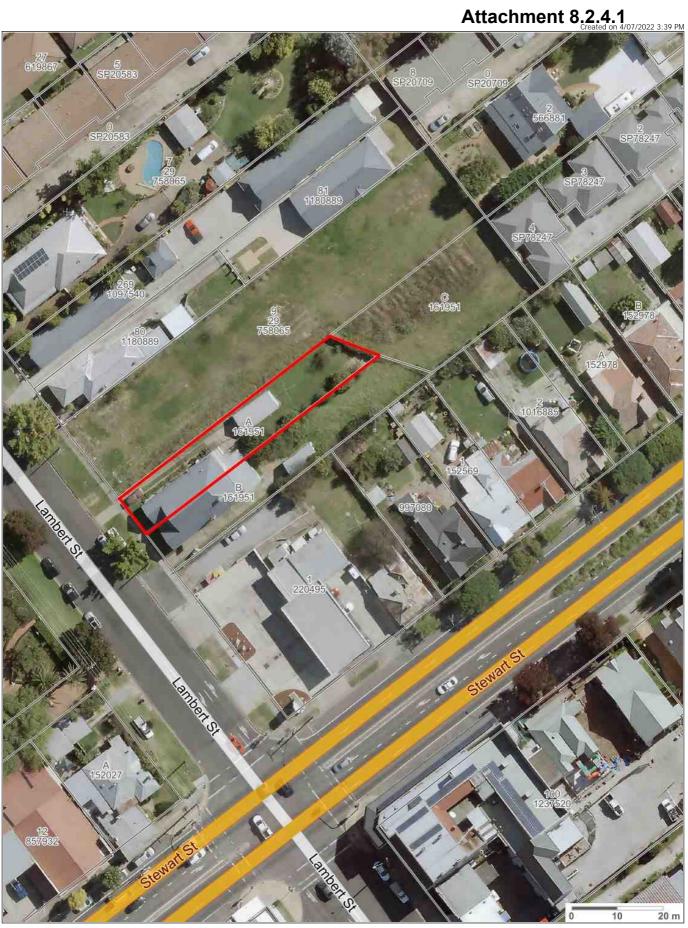
Specification

DACC 08 Issue: G

Date: Scale: NTS @ A3

08/03/2022

BMD202165





Bathurst Regional Council PMB 17 158 Russell Street BATHURST NSW 2795 Telephone: 02 6333 6111 Fax: 02 6331 7211 Email: council@bathurst.nsw

#### Important Notice!



4/07/2022

GDA94 / MGA zone 55

Map Scale: 1:787 @ A4

#### Contents

Cover Page DACC 01

DACC 02 Site Plan - Proposed

DACC 03 Proposed Ground Floor Plan

DACC 04 Proposed First Floor Plan

DACC 05 Elevations 1 & 2

DACC 06 Elevations 3 & 4

DACC 07 Sections AA & BB

DACC 08 Carport Details

DACC 09 Subdivision Plan

DACC 10 Shadow Diagrams

Shadow Diagrams DACC 11

DACC 12 Specification





27/06/22 17/06/22 15/06/22 D 02/05/22

14/04/22 07/04/22

Site details / Elevation 1 Amended layout Amended layout ISSUED FOR APPROVAL Issued for comment Issued for comment

Date

Amendment



P 02 6332 5885 M 0424 156 450

ACCREDITED BUILDING DESIGNER Proposed Dwelling & 2 Lot Subdivision

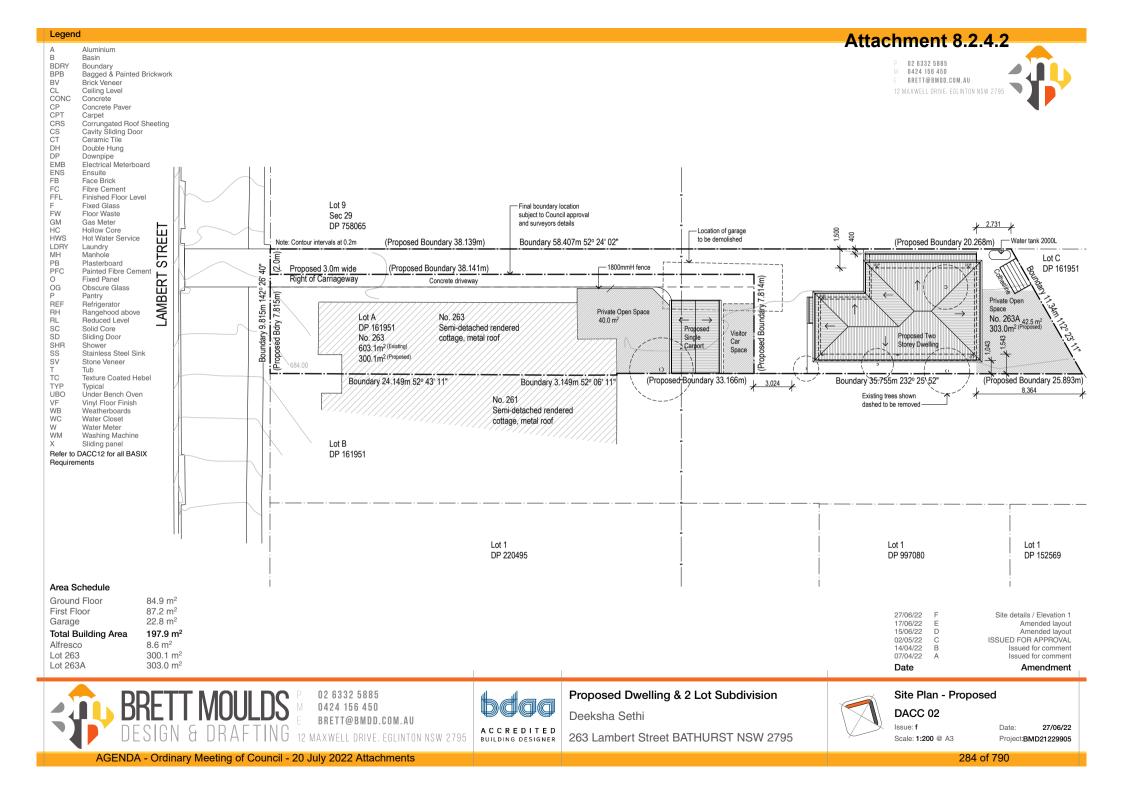
Deeksha Sethi

263 Lambert Street BATHURST NSW 2795

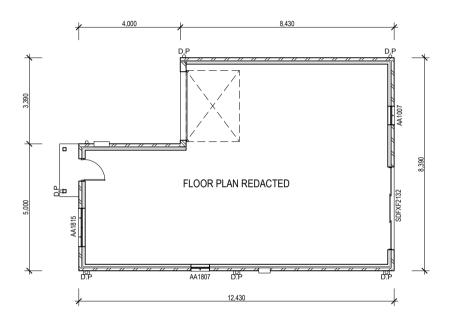


Cover Page DACC 01

Date: 27/06/22 Project:BMD21229905



P 02 6332 5885 M 0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795



Data		A
07/04/22	Α	Issued for comment
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17/06/22	Е	Amended layout
27/06/22	F	Site details / Elevation 1

Amendment

Date

27/06/22



Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795

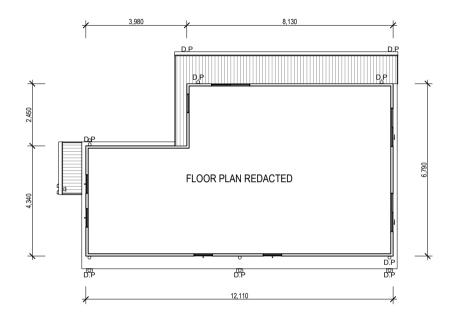


Proposed Ground Floor Plan DACC 03

Issue: f

Scale: 1:100 @ A3 Project:BMD21229905

P 02 6332 5885 M 0424 156 450 BRETT@BMDD.COM.AU 12 MAXWELL DRIVE, EGLINTON NSW 2795



07/04/22 <b>Date</b>	Α	Issued for comment  Amendment
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27/06/22	F	Site details / Elevation 1

Proposed First Floor Plan DACC 04

Issue: f Scale: 1:100 @ A3

27/06/22 Project:BMD21229905



263 Lambert Street BATHURST NSW 2795

0424 156 450 BRETT@BMDD.COM.AU



Aluminium Basin **BDRY** Boundary

BPB Bagged & Painted Brickwork BV Brick Veneer

CL Ceiling Level CONC Concrete CP Concrete Paver CPT Carpet

CRS Corrungated Roof Sheeting Cavity Sliding Door CS

CT Ceramic Tile DH Double Hung DP Downpipe EMB Electrical Meterboard

ENS Ensuite FB Face Brick Fibre Cement

FC FFL Finished Floor Level Fixed Glass FW Floor Waste GM Gas Meter Hollow Core HWS Hot Water Service LDRY Laundry MH Manhole

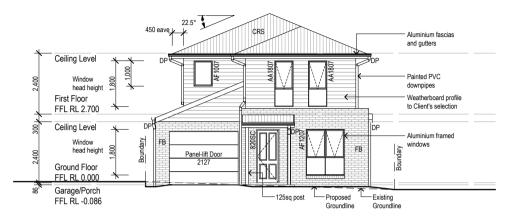
PB Plasterboard PFC Painted Fibre Cement Ω Fixed Panel OG Obscure Glass Pantry REF Refrigerator RH Rangehood above Reduced Level SC Solid Core SD Sliding Door SHR Shower

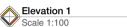
SS Stainless Steel Sink SV Stone Veneer Tub TC Texture Coated Hebel

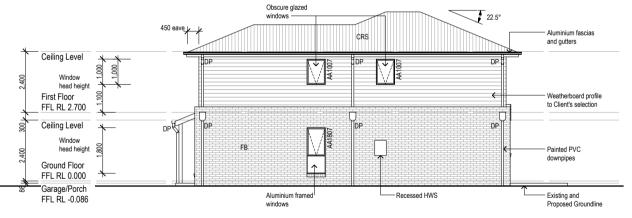
TYP Typical UBO Under Bench Oven VF Vinyl Floor Finish

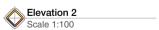
WB Weatherboards WC Water Closet W Water Meter WM Washing Machine Sliding panel

Refer to DACC12 for all BASIX Requirements









27/06/22 17/06/22 15/06/22 02/05/22	F E D C	Site details / Elevation 1 Amended layout Amended layout ISSUED FOR APPROVAL
14/04/22 07/04/22	В	Issued for comment
Date	^	Amendment



0424 156 450 BRETT@BMDD.COM.AU

12 MAXWELL DRIVE. EGLINTON NSW 2795

ACCREDITED BUILDING DESIGNER Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795



Elevations 1 & 2

DACC 05

Issue: f Scale: 1:100 @ A3 Date: 27/06/22 Project:BMD21229905

Attachment 8.2.4.2

P 02 6332 5885 M 0424 156 450 E Brett@BMDD.com.au 12 Maxwell Drive, Eglinton NSW 2795



B Basin
BDRY Boundary
BPB Bagged & Pain

Aluminium

BPB Bagged & Painted Brickwork
BV Brick Veneer

CL Ceiling Level
CONC Concrete
CP Concrete Paver
CPT Carpet

CRS Corrungated Roof Sheeting
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PB Plasterboard PFC Painted Fibre Cement Ω Fixed Panel OG Obscure Glass Pantry REF Refrigerator RH Rangehood above Reduced Level SC Solid Core

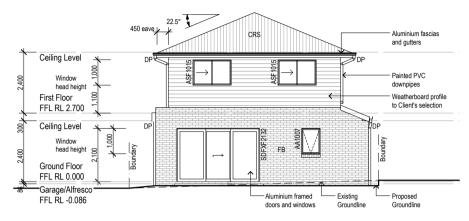
SD Sliding Door
SHR Shower
SS Stainless Steel Sink
SV Stone Veneer
T Tub

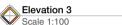
TC Texture Coated Hebel
TYP Typical
UBO Under Bench Oven

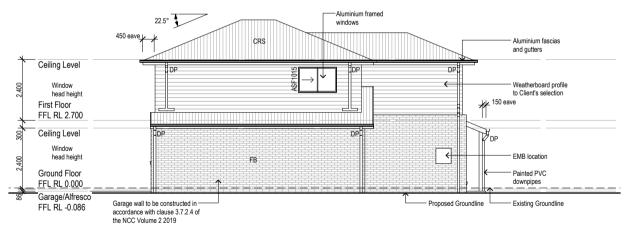
VF Vinyl Floor Finish
WB Weatherboards
WC Water Closet
W Water Meter
WM Washing Machine

Refer to DACC12 for all BASIX Requirements

X Sliding panel
Refer to DACC12 for all









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02 6332 5885 0424 156 450 Brett@bmdd.com.au

NG 12 MAXWELL DRIVE. EGLINTON NSW 2795

A C C R E D I T E D BUILDING DESIGNER Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795



Elevations 3 & 4

DACC 06

Issue: f Scale: 1:100 @ A3 Date: 27/06/22 Project:BMD21229905

Aluminium Basin

**BDRY** Boundary Bagged & Painted Brickwork

BV Brick Veneer CL Ceiling Level CONC Concrete CP Concrete Paver CPT

Carpet CRS Corrungated Roof Sheeting

CS Cavity Sliding Door CT Ceramic Tile DH Double Hung DP Downpipe

EMB Electrical Meterboard

ENS Ensuite FB Face Brick FC Fibre Cement FFL Finished Floor Level Fixed Glass FW Floor Waste GM Gas Meter Hollow Core HWS Hot Water Service LDRY Laundry

MH Manhole PB Plasterboard PFC Painted Fibre Cement Ω Fixed Panel

OG Obscure Glass Pantry REF Refrigerator RH Rangehood above Reduced Level SC Solid Core SD Sliding Door SHR

Shower

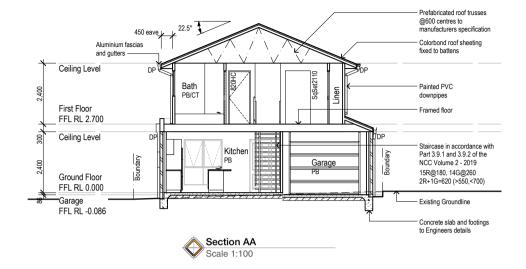
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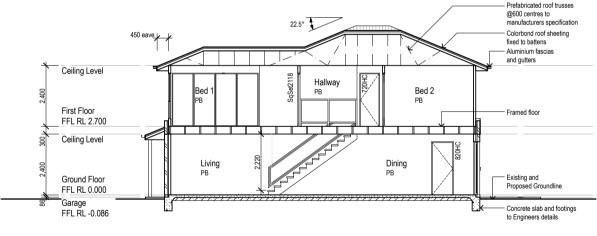
TC Texture Coated Hebel TYP Typical

UBO Under Bench Oven VF Vinyl Floor Finish WB Weatherboards WC Water Closet W Water Meter WM Washing Machine Sliding panel

Refer to DACC12 for all BASIX

Requirements







27/06/22 17/06/22 15/06/22 02/05/22	F E D	Site details / Elevation 1 Amended layout Amended layout ISSUED FOR APPROVAL
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M 0424 156 450

NU 12 MAXWELL DRIVE. EGLINTON NSW 2795



Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795



Sections AA & BB

DACC 07

Issue: f Scale: 1:100 @ A3

Attachment 8.2.4.2

0424 156 450

BRETT@BMDD.COM.AU

12 MAXWELL DRIVE, EGLINTON NSW 2795

Date: 27/06/22 Project:BMD21229905

#### Aluminium

B Basin
BDRY Boundary

BPB Bagged & Painted Brickwork

BV Brick Veneer
CL Ceiling Level
CONC Concrete
CP Concrete Paver
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CRS Corrungated Roof Sheeting

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LDRY Laundry

MH Manhole
PB Plasterboard
PFC Painted Fibre Cement
O Fixed Panel

OG Obscure Glass
P Pantry
REF Refrigerator
RH Rangehood above
RL Reduced Level

SC Solid Core
SD Sliding Door
SHR Shower
SS Stainless Steel Sink

SV Stone Veneer
T Tub
TC Texture Coated Hebel

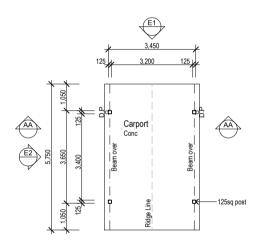
TYP Typical

UBO Under Bench Oven
VF Vinyl Floor Finish
WB Weatherboards

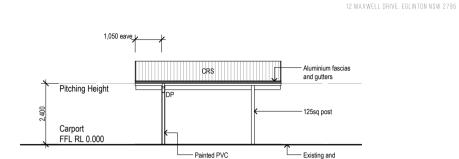
WC Water Closet
W Water Meter
WM Washing Machine
X Sliding panel

Pitching Height DP Weatherboard profile to Client's selection Painted PVC downpipes 125sq post Existing and Proposed Groundline



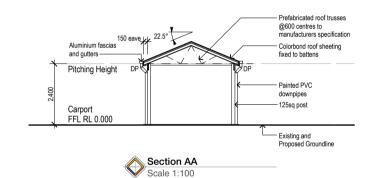






downpipes

Elevation 2 Scale 1:100



27/06/22 F 17/06/22 E 15/06/22 D 02/05/22 C 14/04/22 B 07/04/22 A

Attachment 8.2.4.2

0424 156 450

Proposed Groundline

BRETT@BMDD.COM.AU

Site details / Elevation 1
Amended layout
Amended layout
ISSUED FOR APPROVAL
Issued for comment
Issued for comment
Amendment

Carport Details
DACC 08

Issue: f Scale: 1:100 @ A3

Date: 27/06/22 Project:BMD21229905



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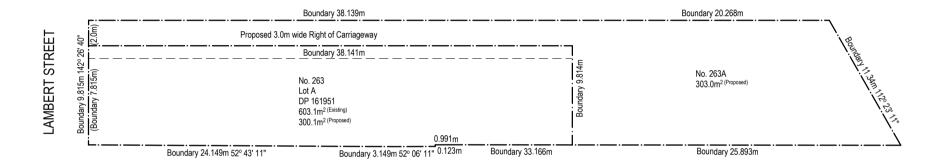


Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795

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27/06/22 F 17/06/22 E 15/06/22 D Site details / Elevation 1 Amended layout Amended layout ISSUED FOR APPROVAL 02/05/22 14/04/22 07/04/22

Issued for comment Issued for comment

Amendment

Date



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Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795



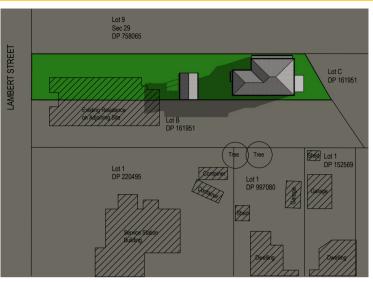
Subdivision Plan DACC 09

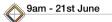
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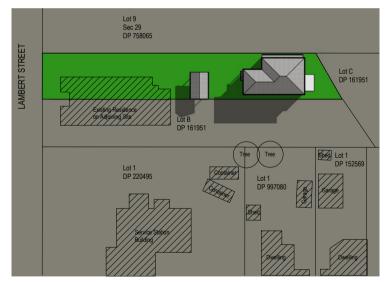
Date: 27/06/22 Project:BMD21229905

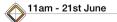
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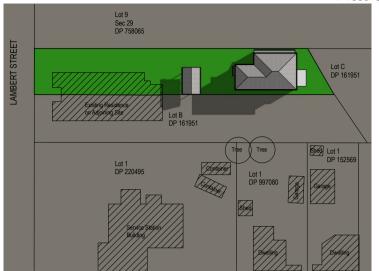
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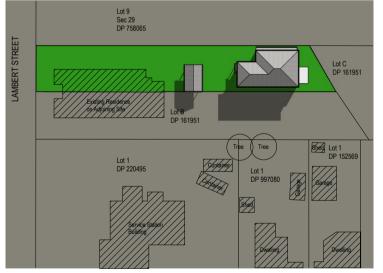








10am - 21st June



12pm - 21st June

27/06/22 17/06/22 15/06/22 02/05/22 14/04/22 07/04/22 Date

Site details / Elevation 1 Amended layout Amended layout ISSUED FOR APPROVAL Issued for comment Issued for comment Amendment



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Proposed Dwelling & 2 Lot Subdivision

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795



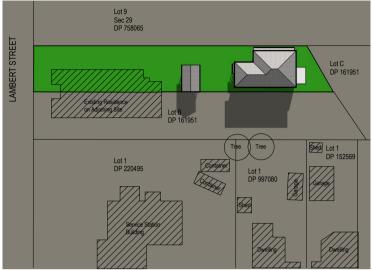
**Shadow Diagrams** 

DACC 10

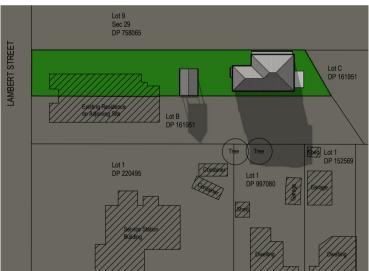
Issue: f Scale: NTS @ A3 Date: 27/06/22 Project:BMD21229905

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- 12 MAXWELL DRIVE, EGLINTON NSW 2795

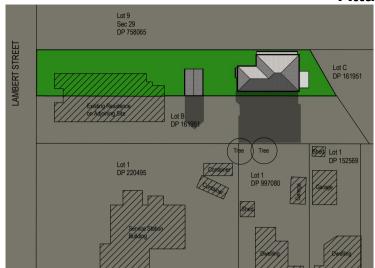












2pm - 21st June

27/06/22 Site details / Elevation 1 17/06/22 15/06/22 Amended layout Amended layout ISSUED FOR APPROVAL 02/05/22 14/04/22 Issued for comment 07/04/22 Issued for comment Date Amendment

**Shadow Diagrams** 

DACC 11

Issue: f Scale: NTS @ A3 Date: 27/06/22 Project:BMD21229905



IINU 12 MAXWELL DRIVE. EGLINTON NSW 2795

Deeksha Sethi

263 Lambert Street BATHURST NSW 2795

- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code Volume 2, Building Code of Australia Class 1 and Class 10 Buildings

#### Statutory Requirements

- All work to be carried out in accordance with the NCC, conditions imposed by the local authority and the commitments outlined in the relevant BASIX Certificate or NCC Part J Assessment. - The builder is to comply with the requirements of all legally constituted authorities having

jurisdiction over the building works and the provisions of the Home Building ACT.

Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner. On completion the builder shall remove the amenity.

#### **BCA Requirements**

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of the NCC. - All excavations and underfloor fill shall be in accordance with the engineer's details
- and Part 3.2.2 of the NCC. Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.4 of the NCC
- Provide adequate cross ventilation to space under suspended ground floors in
- accordance with Part 3.4.1 of the NCC. Sub Floor access to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.3 of the NCC.
- All timber framework shall comply with Part 3.4.3 of the NCC.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection.
- Steel framing shall be in accordance with manufacturer's recommendation and Part 3.4.2 of the NCC.
- · All roof cladding shall comply with Part 3.5 of the NCC and be installed in accordance with manufacturer's recommendations
- Gutters and downpipes shall be in accordance with Part 3.5.3 of the NCC.
- Sarking shall comply with Part 3.3.4 of the NCC.
- Flashings shall comply with Part 3.3.4 of the NCC.
- · Clay brickwork shall comply with Part 3.3 of the NCC.
- Concrete blockwork shall be constructed in accordance with Part 3.3 of the NCC.
- · Autoclaved aerated concrete products shall be installed in accordance with manufacturer's product specification.
- Damp proof courses shall comply with Part 3.3.4 of the NCC.
- Cavity ventilation must be provided in accordance with Part 3.3.4 of the NCC.
- Mortar shall comply with Part 3.3.1 of the NCC
- Masonry accessories shall comply with Part 3.3.3 of the NCC. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of the NCC and protected from corrosion in accordance Part 3.4.4 of the NCC.
- Engaged piers in single leaf masonry walls shall be constructed in accordance with Table 9.2 Pier spacings for one way spanning walls, of Australian Standard AS4773.1-2010 Masonry in small buildings. Refer to the table extract below for details.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of the NCC. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in schedule of works.
- Windows and doors shall be manufactured and installed in accordance with AS2047.
- All glazing shall comply with Part 3.6 of the NCC.
- Fire hazard properties of used materials shall comply with Part 3.7.1.2 of the NCC.
- Sanitary compartments shall be constructed in accordance with Part 3.8.3 of the NCC.
- All pliable building membranes in external walls shall comply with 3.8.7.2 of the NCC
- Exhaust systems and roof ventilation shall comply with Part 3.8.7.3 of the NCC. Stair and ramp construction shall be in accordance with Part 3.9.1 of the NCC.
- Balustrades shall be in accordance with Part 3.9.2 of the NCC
- Fireplace construction shall comply with Part 3.10.7 of the NCC
- All plumbing shall comply with the requirements of the relevant supply authority and AS3500, and be carried out by a licensed plumber.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with Part 3.7.5 of the NCC.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.

- Building is to be sealed to the requirements of Part 3.12.3 of the NCC, including chimneys, flues. roof lights, external windows and doors, exhaust fans, roof, walls and floors.

- Services are to be installed to the requirements of NSW Part 3.12.5 of the NCC, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.
- Mechanical ventilation is to be installed in accordance with Part 3.8.5 of the NCC.
- Inward swinging WC doors are to be fitted with lift off hinges to comply with Part 3.8.3.3 of the NCC if indicated on plans.

		Т	able 9.2	(Extrac	t)	
	Pier S	pacing	s for one	e-way s	panning walls	
Wall	Pier	Pier	Spacin	gs for w	ind class (mm)	
Thickness (mm)	Thickness (mm)	Width (mm)	N1	N2	N2 with tie down (see note 1)	N3 with tie down (see note 1)
Wall Heigh	t 2400mm				•	
110 110 110 110	230 230 350 350	230 350 230 350	1320 2040 3240 4920	840 1320 2160 3360	4200 6360 23640 36000	1200 1920 8400 9600
Wall Heigh	t 2700mm					
110 110 110 110	230 230 350 350	230 350 230 350	960 1440 2520 3840	600 960 1680 2520	2160 3360 13440 20640	720 1080 5400 8160
Wall Height 3000mm						
110 110 110 110	230 230 350 350	230 350 230 350	720 1080 1920 3000	480 720 1320 2040	1320 2040 8760 13320	3600 5520

#### **BASIX** Requirements

#### Water Commitments

- A 2000 litre rainwater tank must be installed
- 96m<sup>2</sup> area of roof must be drained to the rainwater tank
- Laundry taps and at least 1 outdoor tap must be connected to the rainwater tank
- All showerheads to have a minimum of a 3 star (>6.0 but <=7.5L/min) rating
- All toilets to have a minimum of a 2 star rating
- Kitchen and Basin taps to have a minimum of a 3 star rating

#### **Thermal Commitments**

- Floor: concrete slab on ground - nil
- Floor above habitable rooms - nil - Suspended floor above garage
- R0.80 (or 1.50 including construction) - External brick veneer wall - R2.26 (or 2.80 including construction) - External framed wall - R2.40 (or 2.80 including construction)
- Internal wall shared with garage - Ceiling and Roof (flat ceiling/pitched roof)
- R1.14 (or 1.50 including construction) - Ceiling: R4.0 (up), Roof: foil/sarking - dark (solar absorptance >0.7)
- W3, W9, W10, W11, W12 to be aluminium framed with single clear glass (U-value:6.70, SHGC:0.70)
- All other glazing frames to be standard aluminium with single clear glass
- (U-value:6.70, SHGC:0.57)

#### **Energy Commitments**

- The applicant must install an instantaneous gas hot water system with a minimum
- Cooling in at least 1 bedroom and 1 living room to be a single phase system with a minimum rating of FFR 25 - 30
- Heating in at least 1 bedroom and 1 living room to be a single phase system with a minimum rating of EER 2.5 - 3.0
- Air-conditioning to be day/night zoned
- At least 1 bathroom to have an individual fan, not ducted with a manual switch
- Kitchen to have an individual fan, ducted to facade or roof with a manual switch
- Laundry to have an individual fan, ducted to facade or roof with a manual switch
- 3 bathrooms/toilets to have a windows for natural lighting
- A gas cooktop and electric oven to be installed
- A fixed outdoor clothes drying line to be installed

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Attachment 8.2.4.2

27/06/22 Site details / Elevation 1 17/06/22 Amended lavout 15/06/22 D Amended lavout ISSUED FOR APPROVAL 02/05/22 14/04/22 Issued for comment 07/04/22 Issued for comment Date Amendment

Specification

DACC 12

Issue: f Scale: NTS @ A3

Date: 27/06/22 Project:BMD21229905

Proposed Dwelling & 2 Lot Subdivision

Piers with tie-downs shall include one full height N10, N12 or M10 reinforcing bar tied to the footing.

and positively attached to the top plate (in accordance with Clause 6.7.2)

2. Thi stable applies to walls with no openings. For plers at the edge of mojor openings, such as graped from see Clause 6.7.2



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12 MAXWELL DRIVE, EGLINTON NSW 2795

# **Statement of Environmental Effects**

Issue A

2<sup>nd</sup> May 2022

Proposed Dwelling and 2 Lot Subdivision 263 Lambert Street, Bathurst NSW 2795

For

Manik Sethi

Authored by

**Brett Moulds Design & Drafting Pty Ltd** 

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# 1. Applicant

The applicant for the development proposal is Deeksha Sethi. All correspondence arising out of the application should be directed to Mr. Brett Moulds.

Email: <u>brett@bmdd.com.au</u>, or Ph: 0424 156 450.

#### 2. Owners of the land

The owner of the subject land is Manik Sethi. The owner has completed the necessary sections of the application form giving consent to lodge the application.

# 3. Property Details

The subject development site is identified as 263 Lambert Street, Bathurst, Lot A of DP 161951. The whole of the land is zoned R1 General Residential pursuant to Bathurst Regional Local Environmental Plan (LEP) 2014. There is an existing dwelling on the site and the total land area 603.1 square meters. See Figures 1 & 2. The site boundaries consist of the following:

North-west: Lot 9 / Sec 29 / DP 758065

North-east: Lot C / DP 161951

South-east: Neighbouring semi-detached dwelling fronting Lambert Street

South-west: Lambert Street

# 4. Proposed Development

The development proposal seeks approval for the following:

- a) Construction of a two-storey, 3 bedroom dwelling.
- b) Subdivision of a single lot into 2 lots.

The existing dwelling on the site fronting Lambert Street is to be retained. The new dwelling is to be constructed behind the existing dwelling. Vehicle access to the existing dwelling and the new dwelling will be directly from the existing Lambert Street driveway. It is proposed upgrade the existing driveway, refer to architectural documentation Appendix A for details.

# 5. Planning Matters

The planning instruments applicable to the proposal are;

- A. Bathurst Regional Local Environmental Plan (LEP) 2014
- B. Environmental Planning and Assessment ACT 1979.
- C. Bathurst Regional Development Control Plan (DCP) 2014. As amended 30<sup>th</sup> September 2017.



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Figure 1. Aerial image highlighting 263 Lambert Street



Figure 2. 263 Lambert Street Frontage



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Figure 3. 212 Lambert Street



Figure 4. 257 Lambert Street



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# A. Bathurst Regional Local Environmental Plan (LEP) 2014

The following specific provisions of the LEP apply to the proposal;

#### Part 2 - Permitted or prohibited development

# Part 2.2 - Zoning of land to which Plan applies

• The land is zoned R1 General Residential

The Land Use Table below sets out the, Objectives of the R1 zone, permitted use without consent, Permitted use with consent, and any prohibited use of the land.

#### **Zone R1 General Residential**

# 1 Objectives of zone

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To provide housing choice and affordability by enabling opportunities for medium density forms of housing in locations and at densities that complement the surrounding residential environment.
- To protect and conserve the historic significance and scenic quality of the urban villages of Eglinton, Raglan and Perthville.
- To enable commercial development that is compatible with the amenity of the area and does not prejudice the status and viability of the Bathurst central business district as the retail, commercial and administrative centre of Bathurst.

#### 2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home businesses; Home occupations; Roads

#### 3 Permitted with consent

Attached dwellings; Boarding houses; Centre-based child care facilities; Community facilities; Dwelling houses; Food and drink premises; Garden centres; Group homes; Home industries; Hostels; Kiosks; Markets; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Plant nurseries; Pond-based aquaculture; Residential flat buildings; Respite day care centres; Roadside stalls; Semi-detached dwellings; Seniors housing; Shop top housing; Tank-based aquaculture; Waste or resource transfer stations; Any other development not specified in item 2 or 4



#### 4 Prohibited

Air transport facilities; Amusement centres; Boat building and repair facilities; Correctional centres; Crematoria; Depots; Electricity generating works; Extractive industries; Forestry; Freight transport facilities; Heavy industrial storage establishments; Home occupations (sex services); Industrial training facilities; Industries; Intensive livestock agriculture; Open cut mining; Restricted premises; Retail premises; Rural industries; Sex services premises; Storage premises; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Waste or resource management facilities; Wholesale supplies

The Development Proposal is located within the R1 General Residential use zone
and meets the criteria and objectives indicated in the Land Use Table as set out
above.

#### Part 3 – Exempt and complying development

# Part 3.1 - Exempt development

• The proposed development is not an Exempt Development.

# Part 3.2 - Complying development

• The proposed development is not a Complying Development.

# Part 3.3 – Environmentally sensitive areas excluded

 Not applicable as development is not an Exempt Development or a Complying Development.

# Part 4 – Principal development standards

# 4.1B Minimum lot sizes for dual occupancies, multi dwelling housing and residential flat buildings

• With reference to Minimum Lot Size – Dual Occupancy Map – Sheet LSD\_011B, the minimum lot size required is 600m<sup>2</sup>. The subject site is a total of 603.1m<sup>2</sup>, therefore complying.

# 4.3 Height of buildings

• The maximum building height allowable is 9m. The maximum height of a new dwelling measured from finished ground floor level is 6.75m. The development proposal falls within the 9m height plane.

#### 4.4 Floor space ratio

• The land is not defined as having a maximum allowable floor space ratio.



# Part 5 – Miscellaneous provisions

#### 5.10 Heritage conservation

- The land is identified as being within the Bathurst Conservation Area.
- The site does not contain a heritage item pursuant to Bathurst Regional Council's Local Environment Plan 2014.

#### Part 6 – Urban release areas

• Not applicable.

# Part 7 – Additional local provisions

# 7.1 Flood planning

• The subject land is not identified as being in a flood planning area.

#### 7.2 Bush fire prone land

• The subject land is not identified as being in bush fire prone land.

# 7.3 - Airspace Operations

• Not applicable.

# 7.4 – Development in areas subject to aircraft noise

• Not applicable.

# 7.5 Essential Services

Part 7.5 provides that: -

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable vehicular access.
  - The development meets all the criteria required by Part 7.10.

#### 7.6 - Mount Panorama environs

Not applicable.

#### 7.7 – Mount Panorama tourist and visitor accommodation and eco-tourist facilities

Not applicable.



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# 7.8 – Mount Panorama commercial motor race hosting

• Not applicable.

# 7.9 – Conservation incentives for heritage conservation areas

• Not applicable.

# 7.10 – Signage

• Not applicable.

# 7.11 – Subdivision of land in Mount Haven Estate, Meadow Flat

Not applicable.

# 7.12 – Subdivision of land in Mount Haven Estate, Meadow Flat

• Not applicable.

# 7.13 Location of sex services premises

• Not applicable.

# 7.14 Drinking water catchments

• The subject land is not identified as being in a drinking water catchment area.



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# B. Environmental Planning and Assessment Act 1979 – SECT 4.15

#### **Evaluation**

#### **4.15 Evaluation** (cf previous 79C)

(1) Matters for consideration - In determining a development application, a consent authority is to take into account consideration of such of the following matters as are of relevance to the development subject of the development application"

#### (1) (a)(i) Any environmental planning instrument, and

- Bathurst Regional Local Environmental Plan (LEP) 2014 applies to the Land.
  - The applicable provisions of the planning instrument have been addressed in detail in this Statement of Environmental Effects.

\$79C(1)(a)(ii) Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

• There is no proposed planning instrument applying to the Land.

(1)(a)(ii) Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

• There is no proposed planning instrument applying to the Land.

# (1)(a)(iii) Any development control plan, and

- Bathurst Regional Development Control Plan (DCP) 2014 applies to the Land.
- The applicable provisions of the planning instrument have been addressed in detail in this Statement of Environmental Effects.

(1)(a)(iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and

• There are no regulations which apply to the Land.

(1)(a)(iv) the <u>regulations</u> (to the extent that they prescribe matters for the purposes of this paragraph),

• Not applicable.



# (1)(b) the likely impacts of that <u>development</u>, including <u>environmental</u> impacts on both the natural and built <u>environments</u>, and social and economic impacts in the locality,

 There will be minimal impact on the surrounding natural and built environment.

#### **Traffic Generation:**

 Traffic generation will not be substantially increased with the proposed development. The proposed development is not expected to have detrimental effects to traffic flow on Lambert Street or surrounding developments.

#### Service & Utilities:

The land has access to all services and utilities.

#### **Terrestrial Biodiversity:**

- The development is not within an area designated for biodiversity.
- The development will have no adverse impacts on the terrestrial biodiversity of the area.

#### Suitability of Site for Development:

• The development will have minimal impact on the natural qualities of the locality and physical attributes of the site. The proposal will result in a quality residential development on the site.

# \$79(1)(c) Public Interest:

The development would not impose/cause any disadvantage to the community.

- The land will be used/developed for the objectives consistent with the Bathurst Regional Local Environmental Plan (LEP) 2014.
- The development will be carried out in accordance with the provisions of the Bathurst Regional Development Control Plan 2014.
- The proposed development is consistent with the surrounding environment and developments.
- The proposal is consistent with the objects of the R1 General Residential zoning.



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12 MAXWELL DRIVE, EGLINTON NSW 2795

# C. BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014.

The following specific provisions of the Bathurst Regional Development Control Plan apply to the proposal: -

#### 3 SUBDIVISION OF LAND

#### 3.1 PRELIMINARY

#### 3.1.1 Land to which this Section applies

This section applies to all land in the Bathurst Regional Local Government Area (LGA).

# 3.1.2 Objectives

- a) To ensure that all essential services are provided to new allotments
- b) To achieve a standard of control that results in minimal impact on both onsite and off-site soil resources and surface water quality.
- c) To ensure safe and efficient road and footpath environments are provided for motorists, public transport, cyclists and pedestrians.
- d) To minimise disturbance to the natural environment and to minimise damage from natural hazards.
- e) To ensure that lots created are environmentally sustainable.
- f) To provide specific development standards for different types of subdivision.
  - The proposal complies with the objectives set out in 3.1.2 (a)-(f)

# 3.2.1 Bathurst Regional Local Environmental Plan 2014

Clauses 4.1 Minimum Subdivision Lot Size and 4.2 Rural Subdivision of the LEP and the associated Lot Size Maps establish the minimum lot sizes for the purposes of a dwelling house on lands (but not necessarily all lands) within the following Zones:

- **RU1 Primary Production**
- RU2 Rural Landscape
- RU4 Primary Production Small Lots
- R1 General Residential
- R2 Low Density Residential
- R5 Large Lot Residential
- E4 Environmental Living
  - With reference to Minimum Lot Size Dual Occupancy Map Sheet LSD\_011B, the minimum lot size required is 600m<sup>2</sup>. The subject site is a total of 603.1m<sup>2</sup>, therefore complying.



#### 3.3 SUBDIVISION REQUIREMENTS: ALL ZONES

# 3.3.1 Electricity and telephone services

• All services are available to the proposed development and documentary evidence will be provided to Council in accordance with 3.3.1(d).

# 3.3.2 Roads Roadwork Hierarchy, Classifications and Standards

 All roads surrounding the proposed development are existing roads. It is not intended to construct any additional roads.

#### 3.3.3 Drainage

• The proposed development is located adjacent to surrounding residential developments. Drainage infrastructure is available to the land. All drainage designs are intended to comply with Bathurst Regional Councils Guidelines to Engineering Works.

#### 3.3.4 Reticulated water and sewer

Reticulated water and sewerage are available to the land.

# 3.3.6 Soil and Water Management (including erosion and sediment control measures)

 The site will have a disturbance area less than 2,500m<sup>2</sup>. It is proposed to comply with Council's Erosion and Sediment Control Guidelines for Building and Work Sites. Compliance can be made a condition of Development Approval.

#### 3.3.8 Landscaping

Landscaping is proposed to be consistent with neighbouring developments.

#### 4.3 MINIMUM LOT SIZE

# 4.3.2 Development standards

- c) Council shall not grant consent to development for multi dwelling housing and residential flat buildings unless the area of the allotment is no less than the minimum set in Clause 4.1B Minimum lot size for dual occupancies, multi dwelling housing and residential flat buildings and on the Minimum Lot Size Multi Dwelling Housing and Residential Flat Building Map (LSM) within the Bathurst Regional Local Environmental Plan 2014.
  - Part 4.3.2 is not applicable to the proposed development.

# 4.4 GENERAL SITING CONSIDERATIONS - ALL RESIDENTIAL DEVELOPMENT

a) To enhance and/or maintain residential streetscape and character and to provide for landscaping in front of buildings.



b) To provide access and fire protection, to maximise solar access and privacy,

to minimise possible adverse impacts on adjoining properties, and to facilitate flexible site planning.

• The proposal meets the objectives of 4.4.1 of the Bathurst Regional Development Control Plan 2014.

#### 4.4.2 Development standards

#### General

- a) Where cut and/or fill in excess of 1 metre is proposed, a cross section plan is to be provided demonstrating compliance with AS 2890 with respect to the driveway and the cut and fill provisions outlined in Chapter 16 of the Bathurst Regional Development Control Plan 2014.
  - The proposed development does will require fill in excess of 1 metre adjacent to any adjoining properties.

#### Front Building Line Setback

a) Any part of the building must comply with the building line setbacks specified below.

Within the Bathurst Heritage Conservation Area;

The minimum building line must complement the existing setbacks of surrounding buildings in the vicinity and within the streetscape. Visibility must be maintained on corner allotments.

Garage/carport location must be Behind the building facing the street or, if unable to be located behind the building, must complement the surrounding setbacks of building locations in the vicinity. Visibility must be maintained on corner allotments.

• The siting of the new dwelling is behind the existing dwelling fronting Lambert Street.

#### Side and Rear Building Line Setbacks

a) Any part of the building must comply with the side and rear building line setbacks specified below.

Residential Units, boarding houses, seniors housing - Single storey with;

Continuous walls of less than 10 metres and non-continuous walls of any length must be in accordance with the National Construction Code (NCC).

Continuous walls of more than 10 metres must be Staggered to include setbacks exceeding the minimum set by the NCC or broken into lengths of 10 metres or less and interspersed with open space.

• The proposed development has incorporated the side and rear building line setbacks requirements into the design. Compliance has been achieved.



#### Privacy– Residential Units and Dual Occupancy Developments

- a) Windows of habitable rooms facing side or rear boundaries are generally to be offset by at least 1.0m from the centre point of any opposite facing window.
- b) Where a proposed window will face directly onto adjoining principle private open space, the window should be screened or have obscure glazing.
  - Adequate separation has been provided between windows of habitable rooms and opposite facing windows.

# Overshadowing – Residential Units and Dual Occupancy Developments

- a) New development should not significantly affect access to sunlight of existing or likely future development on other property between 9.00am and 3.00pm, particularly living areas and usable open space. At least two hours sunlight to indoor and outdoor living areas of adjoining properties is to be maintained between 9.00am and 3.00pm on June 21.
- b) The overshadowing diagrams should be provided in 1-hour intervals for the period 9.00am and 3.00pm on 21 June.
  - Sun shadow diagrams are attached in Appendix A. Diagrams provided indicate minimal overshadowing of adjacent properties, as well as indicating adequate sunlight to both indoor and outdoor living areas.

Construction of footpaths – Residential Units and Dual Occupancy Developments a) A footpath is to be constructed for the full frontage of the allotment in accordance with the DCP maps, the Bathurst Community Access and Cycling Plan 2011 and Council's Guidelines for Engineering Works.

• The proposed development site has existing concrete footpath for the entire frontage.

#### 4.7 PRIVATE OPEN SPACE AND LANDSCAPING

#### 4.7.1 Development to which this Section applies

This section applies to residential unit and dual occupancy developments.

#### 4.7.2 Objectives

- a) To provide residents with an adequate and attractive outdoor living area.
- b) To provide residents with a functional private open space area.

#### 4.7.3 Development standards

- a) Private open space is to be provided per dwelling in accordance with the following;
- 2 bedroom dwellings = 30m2



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- 3 bedroom dwellings = 40m2
- c) Private open space required by the above table is to be located behind the front building line.

Land less than 4 metres in width or steeper than 1:10 gradient does not qualify as private open space.

- d) At least 20m<sup>2</sup> of the private open space required by the table above is to be located so as to adjoin a habitable living room at ground level.
- f) Private open space areas should generally be north facing.
- g) All parts of a site not built upon or used for private open space, driveways, etc. shall be provided as landscaped areas/communal open space. Communal open space is to be sited to enable passive and active recreation around buildings rather than just as remnants of space on a site.
- h) Private open space is to be clearly defined by walls, fencing or landscaping so as to provide a self-contained space adjacent to each dwelling.
- i) For residential unit developments, Council will require a landscape plan to be submitted in accordance with Section 13 Landscaping and Greening of this Plan at the time of lodgment of the Development Application.
- j) The Private Open Space for each dwelling should generally not be overshadowed by the development to which it serves.
  - Refer to Appendix A, drawing DACC02 Site Plan Proposed indicates the
    private open space allocations for both dwellings. The minimum
    requirements for private open requirements are satisfied in accordance with
    the Bathurst Regional Council Development Control Plan 2104.
  - All private open space areas are clearly defined and are to be screened by 1800mm high fencing from neighbouring dwellings.

#### 4.8 HEIGHT OF BUILDINGS

#### 4.8.1 Objective

a) To ensure that new housing development is built at a height compatible with existing residential development in the city.

#### 4.8.2 Development standards

Note: The Height of Buildings Map under clause 4.3 Height of Buildings of the LEP limits the height of buildings within the R1 - General Residential and R2 Low Density Residential Zones to 9m, except in those circumstances outlined in (d) below.

• Refer to Appendix A elevation drawings, the maximum dwelling height is approximately 6.75m, therefore complying with the stated requirements.



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#### 4.9 PARKING, ACCESS AND MANOEUVRING AREAS

#### 4.9.1 Objectives

- a) To provide for the safe and sufficient provision of car and bicycle parking onsite to meet the parking demands generated by residents and visitors of the development.
- b) To ensure that safe and functional vehicular access is provided within new developments for maneuvering purposes.

#### 4.9.2 Development Standards

- a) Car and bicycle parking is to be provided on site in accordance with section **14 – Parking** of this Plan.
  - The proposed development provides one covered car space per dwelling.

#### **BUSINESS AND INDUSTRIAL DEVELOPMENT**

• Part 5 does not apply to the subject Land.

#### 9 ENVIRONMENTAL CONSIDERATIONS

#### 9.1 PRELIMINARY

#### 9.1.1 Land to which this Section applies

This section applies to all land in the Bathurst Regional Local Government Area (LGA).

#### 9.1.2 Strategic priorities and objectives

The Bathurst Region Urban Strategy 2007 and the Bathurst Region Rural Strategy 2008 establish the following key priorities and objectives with respect to key environmental issues dealt with in this section.

 The development proposal complies with the above Strategic Priorities and Strategic Objectives listed.

#### 9.2 LAND RESOURCES

Part 9.2 does not apply to the subject Land.

#### 9.3 RIPARIAN LAND AND WATERWAYS

• Part 9.3 does not apply to the subject Land.

#### 9.4 BIODIVERSITY

Part 9.4 does not apply to the subject Land.



#### 9.5 GROUNDWATER

• Part 9.5 does not apply to the subject Land.

#### 9.6 FLOODING

#### 9.6.1 Land to which this Section applies

This section applies to all land to which Clause 7.1 Flood Planning of the LEP applies and any land identified or known by Council as having the possibility of flooding.

The subject land is not identified as being in a flood planning area.

#### 9.7 BUSHFIRE PRONE LAND

# 9.7.1 Land to which this Section applies

This section applies to all land identified wholly or partly as Bushfire Prone on the Bushfire Prone Land Map held in the offices of Council.

• The subject Land is not Bushfire Prone Land

#### 9.8 FLORA AND FAUNA SURVEYS

#### 9.8.1 Objectives

- a) To establish minimum scientifically accepted standards for the quality, collection and reporting of biodiversity data.
- b) To promote planning decisions that reflect and incorporate the findings and recommendations of scientifically based flora and fauna surveys.
- c) To minimise the impact from development on the Region's biodiversity.
- d) To ensure compliance with the Office of Environment and Heritage's (OEH's) Threatened Species Assessment Guidelines.
  - The subject land is not a wetland area.
  - There are no known threatened species or matters of national environmental significance.
  - There are no known matters of national environmental significance.
  - There are no known matters of local environmental significance.

#### 9.9.2 Development standards

- a) All new residential development is to comply with BASIX requirements as required by the NSW Department of Planning and Infrastructure, where applicable.
- b) All new commercial development is to comply with Section J Energy Efficiency of the National Construction Code.
- c)If in the opinion of Council, the proposed development should address sustainable building design principles, the statement of environmental effects lodged with Development Applications for buildings is to include a section which



addresses how the sustainable building design principles (outlined in section **9.8.3** below) have been incorporated into the development.

• A BASIX Certificate has been provided for the new dwelling. The certificate indicates compliance with all requirements.

#### 10 URBAN DESIGN & HERITAGE CONSERVATION

#### 10.1 PRELIMINARY

#### 10.1.1 Land to which this Section applies

This section applies to all land within the Bathurst Regional Local Government Area (LGA), and in particular all urban zones and lands within a heritage conservation area or which contain a heritage item.

#### 10.2 HERITAGE IMPACT

### 10.2.1 Objectives

To ensure adequate information is submitted with a Development Application (DA) to determine the heritage impact of development by means of either a:

- Conservation Management Plan (CMP)
- Statement of Heritage Impact (SoHI)

#### 10.2.2 Conservation Management Plans

Under Clause 5.10(5) Heritage Assessment, Clause 5.10(6) Heritage Conservation Management Plans and Clause 7.9 Conservation Incentives Heritage Conservation Areas of the LEP, Council may require a Conservation Management Plan (CMP) to be lodged with a DA.

# 10.2.3 Statement of Heritage Impact

Under Clause **5.10(5) Heritage Assessment** of the LEP, Council may require a Statement of Heritage Impact (SoHI) to be lodged with a Development Application.

#### 10.3 DEMOLITION OF BUILDINGS

No demolition of buildings is proposed.

#### **10.4 INFILL DEVELOPMENT**

Part 10.4 does not apply to the subject Land.

# 10.5 DEVELOPMENT WITHIN THE BATHURST AND KELSO HERITAGE CONSERVATION AREAS

Part 10.5 does not apply to the subject Land.



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#### 10.6 DEVELOPMENT WITHIN THE PERTHVILLE HERITAGE CONSERVATION AREA

• Part 10.6 does not apply to the subject Land.

# 10.7 CHIFLEY MEMORIAL HOUSING ESTATE (BATHURST HERITAGE CONSERVATION AREA)

• Part 10.7 does not apply to the proposal.

#### 10.8 WEST BATHURST HERITAGE CONSERVATION AREA

Part 10.8 does not apply to the proposal.

#### 10.9 ARCHAEOLOGICAL PERMITS

• There are no known historical uses of the site which would potentially give rise to archaeological relics being located within the site.

#### **10.10 ABORIGINAL HERITAGE**

• No significant Aboriginal Heritage in known to have existing within the subject site.

#### 11 OUTDOOR LIGHTING

#### 11.1 PRELIMINARY

#### 11.1.1 Land to which this Section applies

This section applies to all land in the Bathurst Regional Local Government Area (LGA).

 The proposed development will comply with the strategic objectives of the Outdoor Lighting policy and can be made a condition of development approval.

# 11.3 LIGHTING REQUIREMENTS

#### 11.3.1 Development standards

General Standards

- a) All fittings must have fully shielded fittings to reduce light spill onto adjoining properties.
- b) For the purposes of Table 2 of Australian Standard (AS) 4282 Control of the Obtrusive Effects of Outdoor Lighting, "curfewed hours" are taken to be those hours between 10pm and 7am on the following day.
  - All light fittings used, the placement and directional beam of such fittings will be in accordance with the standards set out in Parts 11.2.1 Development



standards and 11.3.1 Development standards of the Bathurst Regional Development Control Plan 2014. Manufacturers documentation will be provided to Council at the appropriate stage of assessment for approval.

#### 12.3 COLOUR SCHEMES FOR BUILDINGS

# 12.3.1 Land to which this Section applies

This section applies to land within a Heritage Conservation Area or land that contains a heritage item.

#### 12.3.2 Development standards

- a) The consent of Council is required for the rendering and/or painting of buildings within a Heritage Conservation Area or which are listed as a heritage item under Schedule 5 Environmental Heritage of the LEP.
- b) Council must not grant consent to the painting, repainting or rendering of a building
- or structure within a heritage conservation area or on a building or structure which is a heritage item unless the colour scheme complies with the following standards.
- i) Painting or rendering of face brickwork not previously painted or rendered is not permitted unless Council is of the opinion that the painting or rendering will not adversely impact on the aesthetic appearance and physical health of the building.
- ii) Painting of buildings is to be within those colour ranges on traditional colour charts, and generally in accordance with those listed in section 12.3.3 below.

#### 12.3.3 Colour palettes

The painting of buildings is generally to be in accordance with the colour ranges outlined in this section of the Bathurst Regional Development Control Plan 2014.

• The predominate material being the wall finish, is a combination of face brick finish and weatherboards in keeping with dwellings within the heritage conservation area. The brick colour is to be in the 'Autumn' colour range requested by Bathurst Regional Council in the same area.

#### 13 LANDSCAPING AND GREENING

#### 13.1 PRELIMINARY

# 13.1.1 Land to which this Section applies

This section applies to all land in the Bathurst Regional Local Government Area (LGA).



# 13.1.2 Strategic priorities and objectives

a) The Bathurst Region Urban Strategy 2007 and the Bathurst Region Rural Strategy 2008 establish the following key priorities and objectives that relate to biodiversity and to the 'greening' of the Bathurst region.

# Strategic Priorities

- a) To determine the best way to protect and enhance biodiversity and encourage revegetation and better biodiversity management.
- b) To determine the best way to encourage ecologically sustainable development and the protection of urban biodiversity and vegetation resources.

# Strategic Objectives

- a) To protect, enhance and adequately manage areas of high terrestrial and aquatic biodiversity conservation value.
- b) To promote the restoration of lost biodiversity.
- c) To plan for the protection and enhancement of the Sawpit Creek and Raglan Creek corridors by requiring their rehabilitation and enhancement.

#### 13.2 REMOVAL OF TREES

• The proposal does not seek approval to remove trees.

#### 13.3 LANDSCAPE PLANS

#### 13.3.1 Objectives

- a) To improve the visual amenity and to ensure that developments do not dominate their surroundings.
- b) To provide an environment which enhances the streetscape and the surrounding neighbourhood.
- c) To provide an attractive outdoor living area.
- d) To provide landscaped buffers to reduce the potential for conflict between land uses.
  - Provisions relating to landscaping can be made a condition of development approval.

# 13.3.4 Landscape maintenance

#### Maintenance Principles

The following maintenance principles are to be incorporated into all landscape plans.

- a) Tree and lawn species should be chosen to suit variations in soil, climate and insect attack.
- b) Garden beds are to incorporate weed control mats, mowing edges and are to be mulched to a minimum depth of 80mm.
- c) An automated drip or trickle irrigation system is to be installed in preference to manual or spray watering systems.



- d) The use of advanced trees and shrubs, as well as the use of turf rather than grass seed is recommended.
- e) Maintenance of landscaping to ensure survival of plants will be a continuing requirement of any development consent.

#### Maintenance Conditions of Consent

- a) This (Relevant) sections applies to the following types of development:
- i) Residential Units, involving more than 10 dwellings.
- v) Subdivision of land which creates or adjoins an arterial or sub-arterial road for which direct access to private properties will not be granted.
- viii) Any other development that in the opinion of Council requires specific ongoing monitoring of landscape maintenance.
- b) Council must not issue a development consent under this section unless it imposes conditions of consent to ensure landscape plans are implemented and maintained. This should include, as a minimum, conditions relating to the following matters.
- i) The approved/certified landscape plan is to be implemented and landscaping maintained for the life of the development.
- ii) The requirements necessary to ensure protection of any existing vegetation during and after construction.
- iii) The submission of a report from a suitably qualified landscape architect 2 years after the issue of the occupation or subdivision certificate that certifies that the landscaping implemented under the landscape plan has been adequately retained and maintained. Where vegetation has died or been significantly damaged, it is to be replaced.
  - Provisions relating to landscaping can be made a condition of development approval.

#### 13.3.5 Design principles & 13.3.6 Design principles – Residential units

Part 13.3.5 does not apply to the proposal.

# 13.3.7 Design principles – Business and industrial development

Part 13.3.7 does not apply to the proposal.

# 13.3.8 Design principles – Development Control Plan Maps

• Part 13.3.8 does not apply to the proposal.

# 13.3.9 Design principles – Arterial or sub-arterial roads

Part 13.3.9 does not apply to the proposal.



#### 13.4 STREET TREES

New street trees are not proposed, therefore not applicable.

#### 14 PARKING

#### 14.1 PRELIMINARY

# 14.1.1 Land to which this Section applies

This section applies to all land in the Bathurst Regional Local Government Area (LGA).

# 14.1.2 Strategic priority and objectives

The Bathurst Region Urban Strategy 2007 establishes the following key priorities and objectives for car and bicycle parking within the Bathurst Region.

#### Strategic Priorities

a) To ensure adequate car parking areas are available to service new development

and the community in general.

b) To encourage a comprehensive cycling environment.

# Strategic Objectives

a) To provide for the safe and sufficient provision of parking on-site to meet the parking

demands generated by development.

- b) To ensure that safe and functional vehicular access is provided within new developments for manoeuvering purposes.
- c) To provide bicycle parking facilities.

#### 14.2 DEFINITIONS

This section adopts the definitions under the LEP and those definitions listed hereunder. The definition for Gross Floor Area is repeated from the LEP.

Applicable definitions only noted.

**Medium Density Housing** means development for the purpose of any of the following:

- a) Dual occupancy,
- b) Semi-detached dwelling,
- c) Attached dwelling,
- d) Multi dwelling housing, or
- e) Residential flat building.



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Medium Density Housing does not include development for the purpose of a dwelling house or a secondary dwelling (granny flat).

#### 14.3 CAR PARKING

#### Development standards

- a) Consent will generally not be given to alter, enlarge, convert or increase the capacity of any existing buildings, to erect new buildings, or to use any land unless off-street car parking is provided in accordance with this section.
- b) With respect to extensions or alterations to existing buildings, the off-street car parking requirement will be calculated on the additional or altered floor space provided.
- c) All car parking spaces, ramps, aisles and driveways, shall be provided in accordance with the Guidelines issued by the Roads and Maritime Service.
- d) Council reserves the right to determine off-street car parking requirements for any development in the light of representations made to the Council by relevant traffic committees/authorities.
- e) Car parking required to be provided on-site in accordance with this Plan is to be freely available to the users of the building which it serves.
- f) Disability parking spaces, if required, are determined by the National Construction Code (see section D3.5) and are to be provided in accordance with that Code.

#### Contributions in lieu

- a) Council may consider a cash contribution, in lieu of on-site parking provision where:
- i) as many car parking spaces as possible have been provided on-site, and
- ii) the subject land is located within the area subject to Council's relevant Section 94 Plan for car parking spaces, and
- iii) the subject land is located in an area where, in the opinion of Council, public car parking under the Section 94 Plan can be provided within reasonable proximity to the development.

#### **Engineering and building standards**

- a) On site car parking spaces shall not form part of vehicle maneuvering areas or loading/unloading areas.
- b) All car parking areas are to be located behind the building line or should be adequately screened by landscaping to reduce the effect of the development on the streetscape (see section 13 *Landscaping and Greening* of this Plan).
- c) Car parking spaces and maneuvering areas must comply with the minimum sizes outlined in Schedules 1 and 2 of this Plan.
- d) Visitors parking and disability parking spaces must be clearly designated and readily accessible.



- e) All parking areas are to be paved and line marked in accordance with Council's Engineering Standards.
- f) Vehicular crossings and laybacks must be provided for satisfactory ingress/egress to the subject property.
- g) For residential development, where possible, access ways and parking areas should

be provided on the southern side of the site (i.e. using the shaded area of the lot).

- h) Where car parking is provided at the rear of the site, the building is to provide a secondary entrance to integrate access between the building and the car park.
- i) Sufficient manoeuvring area shall be provided for vehicles to be parked on the site in a manner which ensures that they can enter and exit the site in a forward direction.

#### Lighting

- a) Car parking areas are to be lit. All lights must have fully shielded fittings and security lighting of unattended premises must use a motion detector sensor switch.
  - Refer to the proposed DACC09 Vehicle Movement Diagram of Appendix A.
     The design and development standards set out above have been incorporated into the proposal. The proposed parking layout and internal access driveway are consistent with the requirements as set out in Australian Standard for Off-street Car Parking (AS2890.1:2004) and Bathurst Regional Council's DCP 2014.

#### Number of car parking spaces

a) Car parking spaces are to be provided for development in accordance with the following table. Any development not specified in the table will be considered and determined by Council on merit.

Note: For development comprising multiple uses parking requirements should be calculated on the area of each of those uses.

Car parking is in accordance with Section 14 – Parking
 For 3 or more bedroom units: 1 covered car parking space per dwelling.

#### 15 CRIME PREVENTION

#### 15.1 PRELIMINARY

#### 15.1.1 Land to which this Section applies

This section applies to all land in the Bathurst Regional Local Government Area.



#### Land Use

**Retail Premises** – Bulky goods premises, Cellar door premises, Shops, Neighbourhood Shops

**Referral standard** – 1. New retail premises with a floor space of 1000 square metres or greater

**Referral standard** – 2. Alterations to retail premises which will create a floor space of 1000 square metres or greater

• The proposed development does not match any noted criteria, therefore not applicable.



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# **Summary and Conclusions**

- The proposed development involves the construction of a two storey, 3-bedroom dwelling and the subdivision of one lot into two lots.
- The site is zoned Zone R1 General Residential pursuant to the Bathurst Local Environmental Plan (LEP) 2014
- The proposed development complies with the applicable Planning Instruments.
- The development also ensures no adverse amenity impacts on existing commercial or residential development.
- For these reasons and for the reasons outlined in this report, the proposed subdivision of the land outlined is strongly supported for approval by Council.

We look forward to receiving feedback from Council on any of the issues identified in this report. If conditions are required to be adopted throughout the planning process, we hope to be able to incorporate them provide the best possible outcome.

Yours Sincerely

B Moulds
Brett Moulds



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# Appendix A

**Architectural Documentation** 

# Ms L Sargeant 249 Stewart Street, Bathurst NSW 2795 M: 0415 133 482

Mr R Denyer Manager Development Assessment Bathurst Regional Council (BRC) 158 Russell Street Bathurst NSW 2795 BATHURST REGIONAL COUNCIL

3 0 MAY 2022

REF 2022 207 019

24th May, 2022

Dear Mr Denyer,

RE: Development Application No 2022/207

On behalf of my brother Alan and myself, I write to advise you and BRC of our strong objection to above proposed development at 263 Lambert Street, Bathurst.

First, a two-storey second dwelling, basically 10 metres over fence from our backyard would **overshadow** our land and property.

Second, a two-storey dwelling would <u>impact our privacy</u> with occupiers in proposed dwelling being able to look down into our property and surrounding properties. This would further <u>impact my mental health</u> because I spend significant time in my backyard to escape the vibrations and noise of heavy vehicles at front of our home on Stewart Street.

Third, this proposed development, including concrete slabs for a two-storey dwelling and detached carport in a narrow block, would impact our property through <a href="mailto:excessive">excessive</a> stormwater flooding our property due to the natural slope of the land.

For your information, our garage has been flooded at least five times over past 15 years and more recently in October last year. I have photographs of flooding events for your perusal if necessary.

Fourthly, a two-storey dwelling in our neighbourhood is <u>out of character</u> in Bathurst's Heritage Conservation Area. Our home, for example, was built in the late 1890's and this has been acknowledged by BRC for a few years with us receiving the occasional modest grant from BRC's Heritage Fund to improve our property.

Finally, it's clear that a proposed two-storey dwelling would not be in keeping with the <u>visual impact on the streetscape</u> in our heritage area.

Therefore, we would greatly appreciate if BRC refuse this development application.

Kind Repards

Lorraine Sargeant

Alan Sargeant

Margean

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From: <u>Julie</u>
To: <u>Counci</u>

Subject: Development Application number 2022/207

Date: Monday, 30 May 2022 9:59:31 AM

CAUTION: This email originated from outside BRC. Do not click links or open attachments unless you recognise the sender and know the content is safe.

To: The General Manager, BRC From: Ms Julie Martello, 222 Lambert Street, Bathurst, NSW, 2795

I am writing to express my concern and objection to the proposed development and sub-division of the block at 263 Lambert St, adjacent to my home.

My main objection is to the height of the proposed dwelling which, while supposedly within council's regulations, will be higher than and out of keeping with the surrounding dwellings. All surrounding houses are one storey and some, including my own, are of historical significance in the architectural development of Bathurst. This proposed dwelling would be the first two-storey house in this neighbourhood and would open the door to more applications that would change the streetscape irrevocably. Setting such a precedent favours unbridled development over the preservation of Bathurst's heritage values and should not be condoned by council.

In addition to this, the proposed dwelling would, according to the developer's own projections, considerably over-shadow the semi-detached house adjoining # 263 especially during afternoons. As this is a rental property to my knowledge, I'm concerned that tenants' quality of life and access to sunshine would be severely affected. This may also be the case for other neighbouring houses on the eastern side of the proposed development.

Yours sincerely, Julie Martello

Sent from my iPad



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27<sup>th</sup> June 2022 General Manager Bathurst Regional Council 158 Russell Street **Bathurst NSW 2795** 

To whom it may concern,

Development Application No 2022/207
Proposed Development: Two storey dwelling, detached carport and 2 lot residential subdivision.

Address: 263 Durham Street BATHURST.

With reference to the email received dated 10<sup>th</sup> June 2022 and the two submissions received during the public exhibition period, I offer the following responses to both.

#### Ms L Sargeant – 249 Stewart Street, Bathurst 2795

With respect to the correspondence received by Ms Sargeant, we understand the concerns raised, but offer the followings comments;

- Overshadowing will not be an issue given the location of the subject property to 249 Stewart Street. This is evident in the sun shadow diagrams provided within the documentation. At no time other than late afternoon will the property be affected by projected shadows, which pose no greater shadow than the existing boundary fence.
- The windows on the upper floor of the south east side of the proposed dwelling which will address 249 Stewart Street consist of two bathroom windows. The size of each window is 1000mm high x 730mm wide, the glazing will be obscure. This will have no negative impact on 249 Stewart Street.
- As a part of the proposed works, a civil design will be completed by a practicing engineer. This will include a retaining wall design and a stormwater and pavement design. The combination of the designs will see that all stormwater generated by the subject property will be drained to the street.
- There are many two storey dwellings within the Heritage Conservation Area. The subject building is proposed within the rear yard of a site reducing its bulk and scale from any streetscape. The façade treatment and proposed materials are in keeping with other existing dwellings within the area.



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#### Ms J Martello – 222 Lambert Street, Bathurst 2795

With respect to the correspondence received by Burns Planning & Development, we offer the followings comments;

- In relation to the proposed dwelling, the proposed overall height is below that the maximum height specified for the zone. The subject building is proposed within the rear yard of a site reducing its bulk and scale from any streetscape. The façade treatment and proposed materials are in keeping with other existing dwellings within the area.
- With reference to the extract below from the Bathurst Regional Development Control Plan 2014, Overshadowing Residential Units and Dual Occupancy Developments, the shadows cast on adjacent properties is compliant.

#### Overshadowing - Residential Units and Dual Occupancy Developments

- a) New development should not significantly affect access to sunlight of existing or likely future development on other property between 9.00am and 3.00pm, particularly living areas and usable open space. At least two hours sunlight to indoor and outdoor living areas of adjoining properties is to be maintained between 9.00am and 3.00pm on June 21.
- b) The overshadowing diagrams should be provided in 1 hour intervals for the period 9.00am and 3.00pm on 21 June.

We trust the above information satisfies the immediate concerns raised in the submissions. However if further information is needed, do not hesitate to contact me at your earliest convenience. If required, we would be happy to meet to discuss the above if deemed necessary.

Yours sincerely,

Brett Moulds

B Moules

Bathurst Regional Council council@bathurst.gov.au

1<sup>st</sup> June 2022

Ben Hamer
Carter Properties
ben@carterproperties.com.au
0413312580

Dear Bathurst Council,

Attention: General Manager

Re: Request for a review of Development Application refusal under Section 8.2 of the *Environmental Planning and Assessment Act*.

• DA Number: DA 2020/31 (Bakery & Café)

Lodgement Date: 4 February 2020

Request for Information Date: 21 April 2021 (Fire Safety Report)

• DA Number: DA 2020/32 (Motel)

Lodgement Date: 4 February 2020

Request for Information Date: 21 April 2021 (Fire Safety Report)

The reason for the refusal of the development application lodged with Bathurst Regional Council was as part of the assessment we were requested to provide a Fire Safety Report. Upon receiving the request, we contacted our local fire services supplier and requested that they complete the required report. They agreed to organise the report. Unknown to us was that they didn't have the required skills within their organisation to complete the report and that they were subcontracting specialists from outside the Bathurst Regional Council Area to complete.

As you will remember in the second half of 2021 was when COVID lockdowns were in full force and citizens could not easily travel outside local government areas and encouraged to work from home. This meant our supplier couldn't get their subcontractors to travel meaning that the report could not be completed on time.

Eventually after the failure of our local fire service provider to complete the report in a reasonable timeframe we have changed suppliers to another company that has completed the required testing and provided the requested information.

We would request that you consider our request for a review and consider the unprecedented issues experienced by us due to COVID lockdowns and review the development application now that we are able to provide the requested information.

If you require any further information, please do not hesitate to contact me.

Ben Hamer

Manager Carter Properties

Map Scale:

1:4000 @ A4





Bathurst Regional Council PMB 17 158 Russell Street BATHURST NSW 2795 Telephone: 02 6333 6111 Fax: 02 6331 7211 Email: council@bathurst.nsw.gov.au

#### mportant Notice!

ocations can only be determined by a survey on the ground, his information has been prepared for Councils internal purposes and for no other purpose. No statement is made about the accuracy or suitability of the information for use for any purpose, diverbler the purpose has been notified to Council or not). While every care is asken to ensure the accuracy of this data, neither the Bathurst Regional Council nor the LPI makes any representations or warrantie bout its accuracy, reliability, completnessor suitability for any particulary purpose and disclaims all responsibility and all liability including without initiation, liability in negligency for all expenses, cosses, damages (including indirect or consequential damage) and costs which you might incur as a result of the data being inaccurate or incomplete in any way and for any reason.

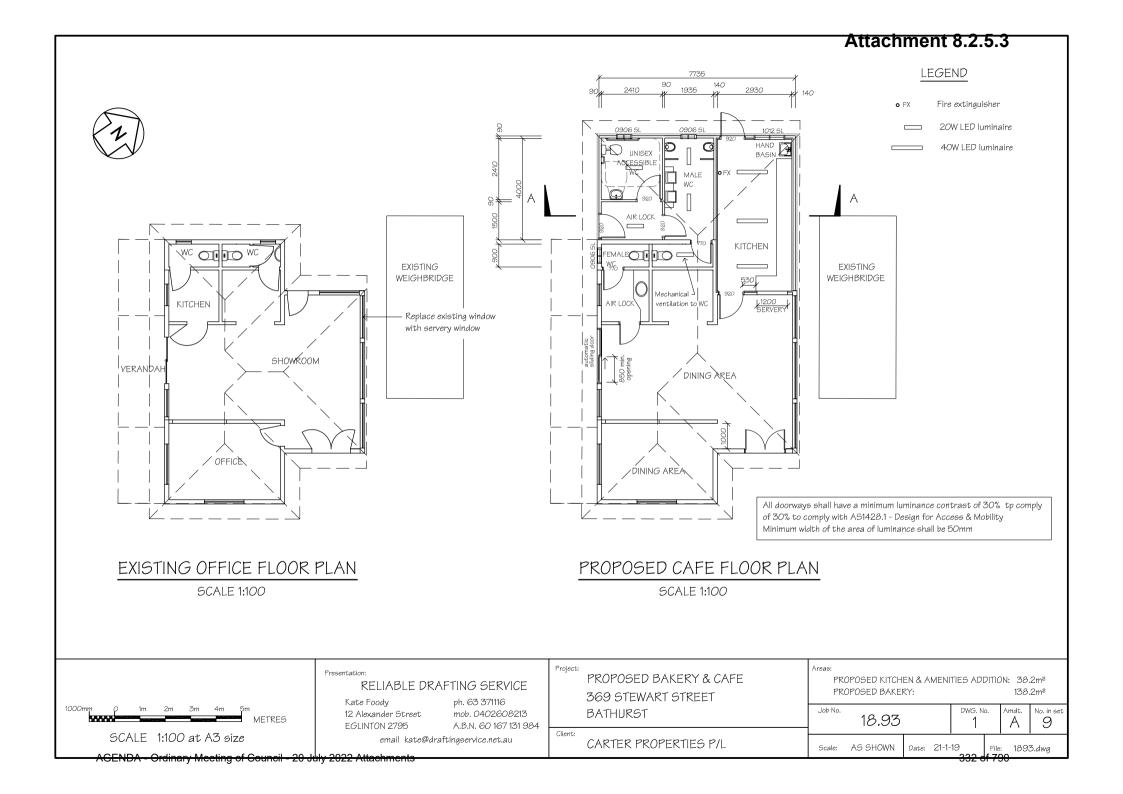
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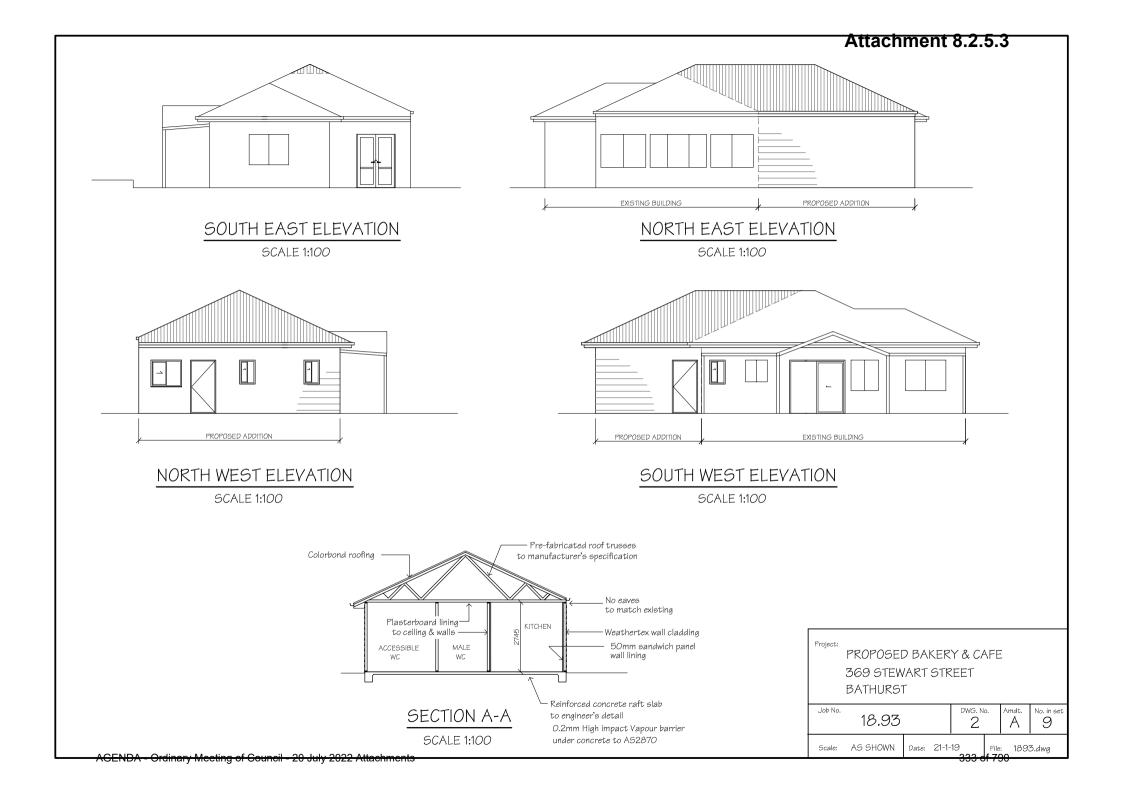
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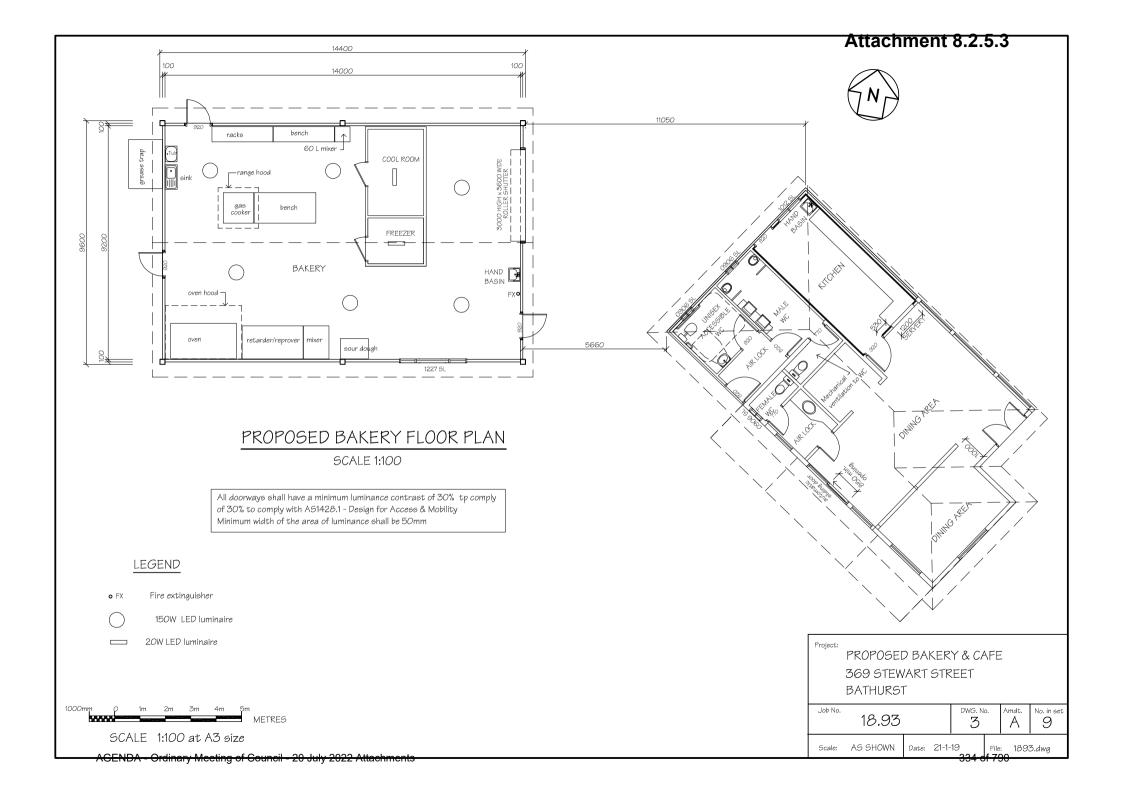
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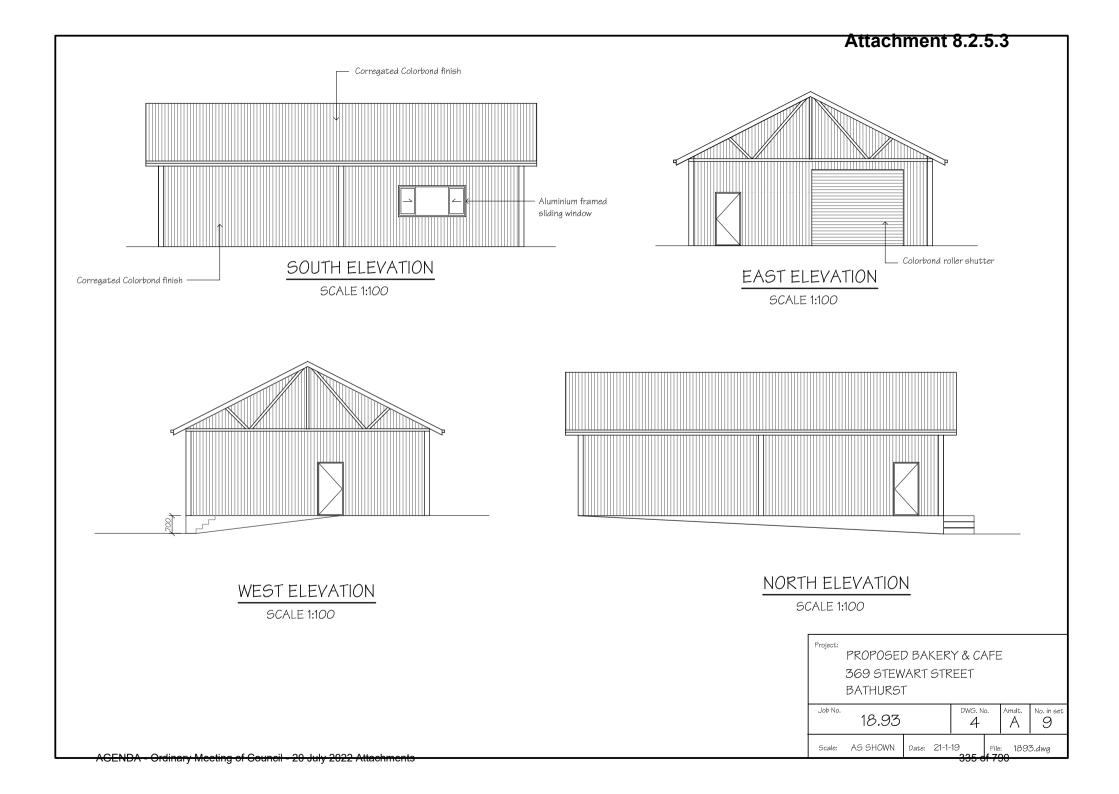
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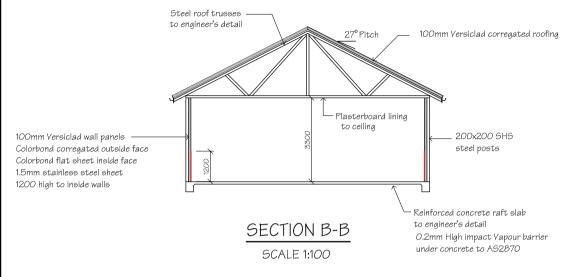
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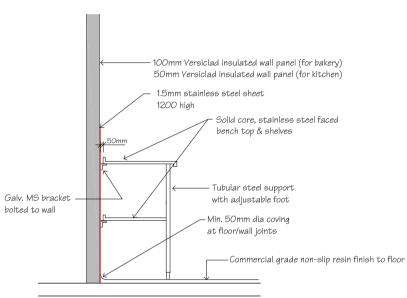






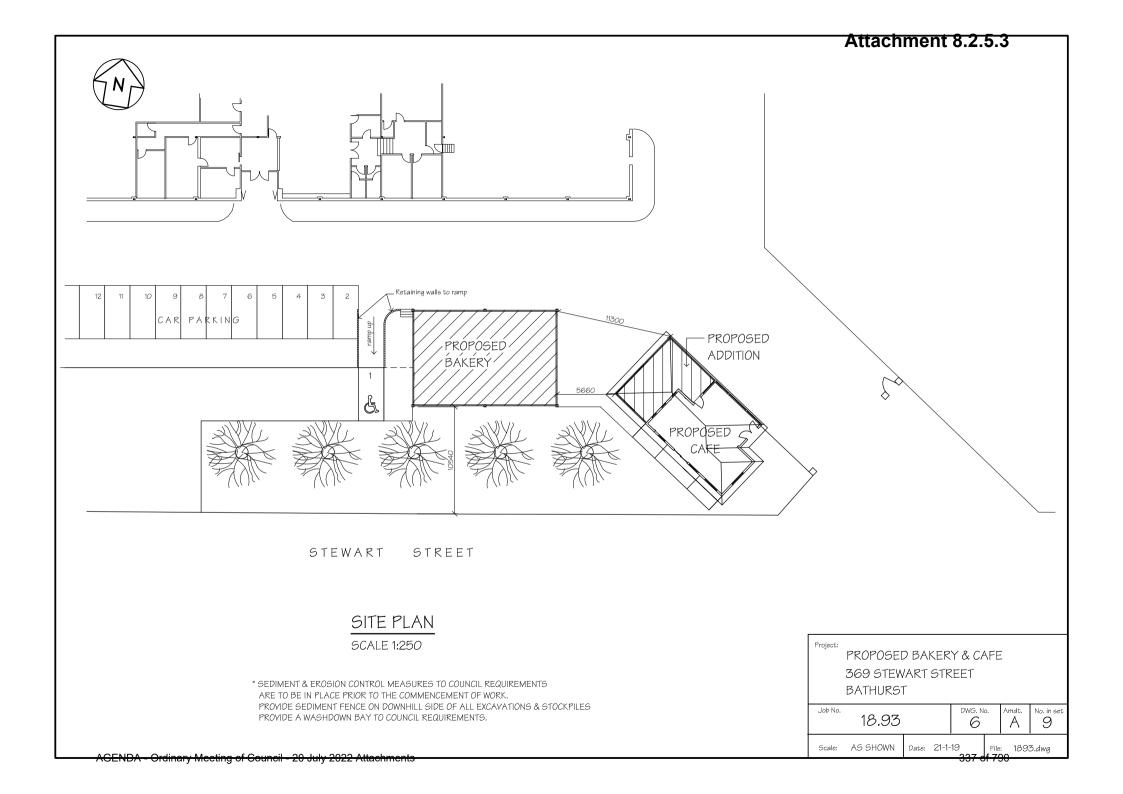






# TYPICAL BENCH DETAIL SCALE 1:20





## NOTES GENERAL

GENERAL

PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR LOCATION OF UNDERGROUND SERVICES.

THE DRAWINGS SHOW THE MAJOR WORK TO BE CARRIED OUT BUT ARE NOT NECESSARILY THE TOTAL WORKS REQUIRED FOR THE PROJECT.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (B.C.A.).

ALL MATERIALS & STRUCTURES SHALL COMPLY WITH SECTION B - STRUCTURE, & SPEC. CI.10 OF THE B.C.A.

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY & SUITABILITY.

ALL STEEL & CONCRETE MEMBERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S DETAILS& RELEVANT CODES & AUSTRALIAN STANDARDS

ALL DIMENSIONS SHALL BE VERIFIED ON SITE.

BUILDING SITE SHALL BE SECURED WITH MANPROOF CHAINWARE FENCING DURING CONSTRUCTION.

FABRICATOR TO MEASURE & CHECK DETAILS ON SITE.

SOIL & SEDIMENT EROSION CONTROL SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE REQUIREMENTS OF BATHURST REGIONAL COUNCIL & THE ENVIRONMENTAL PROTECTION AGENCY.

ALL STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH AS/NZ 3500.3.2

FIRE HAZARD PROPERTIES OF ALL MATERIALS & ASSEMBLIES MUST COMPLY WITH PART C1.10 OF BCA.

THE ELECTRICITY SUPPLY SYSTEM SHALL COMPLY WITH PART C2.13 OF THE B.C.A.

#### ACCESS & EGRESS

STAIRWAY GOING & RISERS TO COMPLY WITH PART D2.13 OF BCA, & TREADS OR NOSING STRIPS MUST HAVE SUIP-RESISTANCE CLASSIFICATION TO COMPLY WITH D2.14 STAIRWAY MUST COMPLY WITH CLAUSE 11 OF AS 1428.1 (OPAQUE RISERS, LUMINANCE CONTRAST NOSING STRIPS AND TACTILE GROUND SURFACE INDICATORS)
BARRIER & HANDRAILS TO COMPLY WITH D2.16 & D2.17 OF B.C.A.

REQUIRED PATHS OF EXIT BE IN ACCORDANCE WITH PART D1.6 OF THE B.C.A. THE UNOBSTRUCTED HEIGHT MUST BE NO LESS THAN 2.0m EXCEPT AT DOORWAYS WHERE THE HEIGHT MAY BE REDUCED TO 1.98m. THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT AT DOORWAYS, MUST BE 1.0m MINIMUM.

DISCHARGE FROM EXITS MUST BE IN ACCORDANCE WITH B.C.A. DI.10. EXITS MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE, AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXIT.

TO COMPLY WITH PART D2.15 OF THE BCA, THE THRESHOLD OF A DOORWAY MUST NOT INCORPORATE A STEP OR RAMP CLOSER TO THE DOORWAY THAN THE WIDTH OF THE DOOR LEAF, EXCEPT WHERE THE DOOR WAY OPENS TO AN OPEN SPACE AND DOOR SILL IS NOT MORE THAN 190mm ABOVE FINISHED GROUND SILREACE.

OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.21 OF THE B.C.A. A REQUIRED EXIT DOOR MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES THE PERSON SEEKING EORESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1100mm FROM THE FLOOR.

PARTS OF THE BUILDING REQUIRED TO BE ACCESSIBLE FOR PEOPLE WITH DISABLITIES MUST COMPLY WITH PART D3.2 & D3.3 OF THE BCA & AS 1428.1

PROVIDE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL IN ACCORDANCE WITH AS 1428.1 AND CLAUSE D3.3 OF THE BCA FROM THE DISABLED ACCESSIBLE CARSPACE TO THE ENTRANCE POINTS OF THE BUILDING.

CARPARKING SPACES FOR PEOPLE WITH DISABILITIES MUST COMPLY WITH PART D3.5 OF THE BCA & AS2890.1

PROVIDE CLEAR & LEGIBLE BRAILLE & TACTILE SIGNAGE IN ACCORDANCE WITH AS1428.1, TO INDENTIFY SANTIARY FACILITIES AND PATH OF TRAVEL FROM PRINCIPAL PUBLIC ENTRANCE, TO COMPLY WITH PART D3.6 OF BCA.

PROVIDE TACTILE GROUND SURFACE INDICATORS WHERE PATH OF TRAVEL MEETING A VEHICULAR WAY ADJACENT TO PRINCIPAL PUBLIC ENTRANCE OF THE BUILDING, IF THERE IS NO KERB OR KERB RAMP, IN ACCORDANCE WITH PART D3.6 OF BCA.

#### SERVICES & EQUIPMENT

PROVIDE PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH PART E1.6 OF B.C.A. WRITTEN DOCUMENTATION OF FIRE SAFETY PROCEDURES SHALL BE INCORPORATED INTO A WORKPLACE SAFETY MANUAL PROVIDE FIRE SAFETY CERTIFICATE ON COMPLETION OF WORKS.

METAL ROOF COVERING SHALL IN ACCORDANCE WITH AS1562.1, TO COMPLY WITH WITH PART F1.5 OF THE B.C.A.

SARKING MATERIALS MUST COMPLY WITH AS/NZS 4200 Parts 1 & 2 IN ACCORDANCE WITH PARTS F1.6 OF THE BCA.

WET AREA WATERPROOFING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART F1.7 OF THE B.C.A.

PROVIDE DAMP PROOFING OF FLOORS AND WALLS TO COMPLY WITH PART F1.9 & F1.10 OF THE B.C.A.

ALL WET AREA FLOORS SHALL BE GRADED & DRAINED TO FLOOR WASTES TO PLUMBING CODE AND B.C.A.

GLAZED ASSEMBLIES SHALL COMPLY WITH AS 2047 IN ACCORDANCE WITH PART F113 OF BCA

SANITARY FACILITIES FOR PEOPLE WITH DISABILITIES MUST COMPLY WITH AS1428.1 IN ACCORDANCE WITH PART F2.4 OF BCA.

INSTALL ARTIFICIAL LIGHTING SYSTEM IN ACCORDANCE WITH AS/NZS 1680.

MECHANICAL YENTILATION, WHERE REQUIRED BY PART F4.5 OF BCA, SHALL COMPLY WITH AS1668.2 & AS/NZS3666.1

#### ENERGY EFFICIENCY

INTERIOR ARTIFICIAL LIGHTING MUST COMPLY WITH THE MAX. ILLUMINATION POWER DENSITIES SPECIFIED IN PART J.6.26 OF B.C.A.

ARTIFICIAL LIGHTING SWITCHES MUST BE LOCATED IN A VISIBLE POSITION IN THE ROOM BEING SWITCHED OR IN AN ADJACENT ROOM WHERE LIGHTING BEING SWITCHED IS VISIBLE.

ARTIFICIAL LIGHTING AROUND THE PERIMETER OF THE BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR OR TIME SWITCH IN ACCORDANCE WITH SPEC JG.

HOT WATER SUPPLY FOR SANITARY PURPOSES MUST BE DESIGNED & INSTALLED IN ACCORDANCE WITH SECTION 8 OF AS/NZS 3500.4.

PROPOSED BAKERY & CAFE

369 STEWART STREET

BATHURST

Job No. 18.93

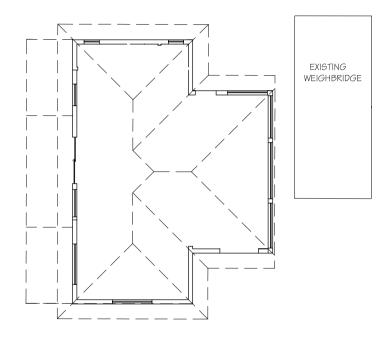
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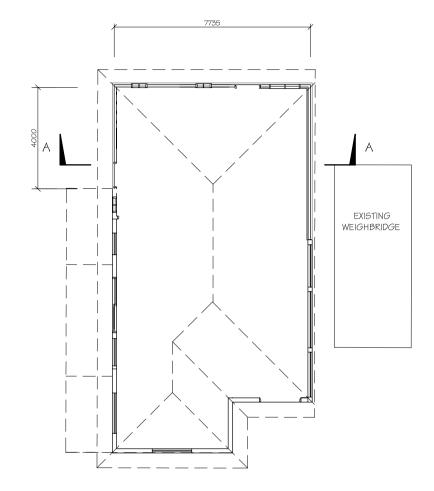
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# REDACTED EXISTING OFFICE FLOOR PLAN

SCALE 1:100

# REDACTED PROPOSED CAFE FLOOR PLAN

SCALE 1:100



RELIABLE DRAFTING SERVICE

Kate Foody 12 Alexander Street EGLINTON 2795

ph. 63 371116 mob. 0402608213 A.B.N. 60 167 131 984

email kate@draftingservice.net.au

PROPOSED BAKERY & CAFE 369 STEWART STREET BATHURST

CARTER PROPERTIES P/L

Areas:

PROPOSED KITCHEN & AMENITIES ADDITION: 38.2m2 PROPOSED BAKERY: 138.2m²

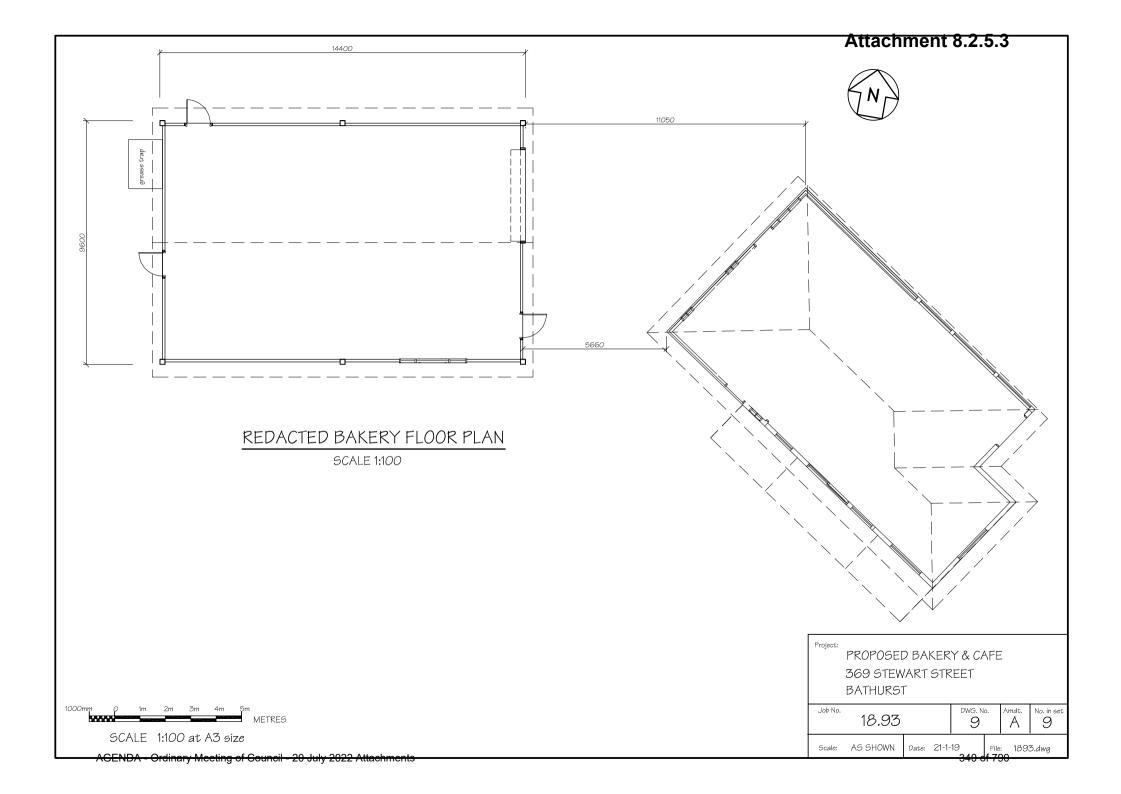
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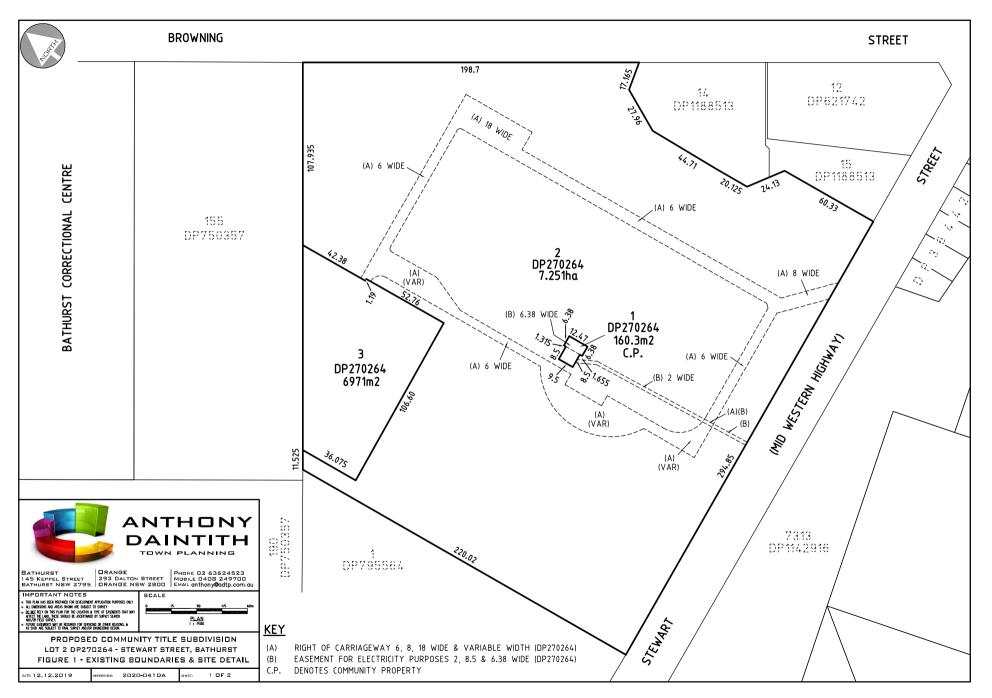
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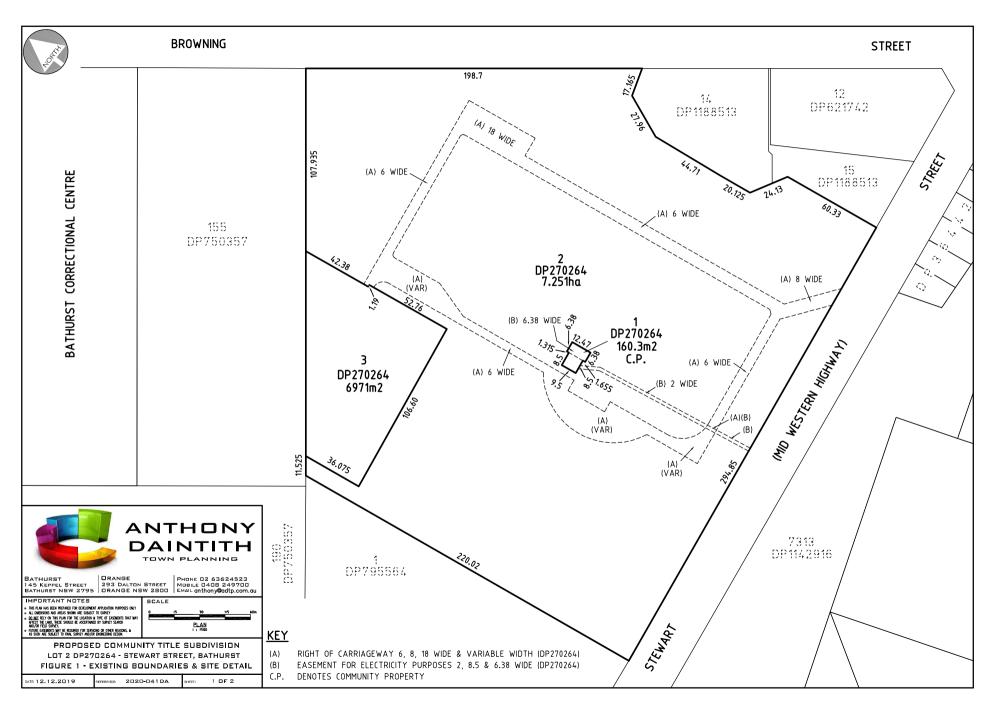
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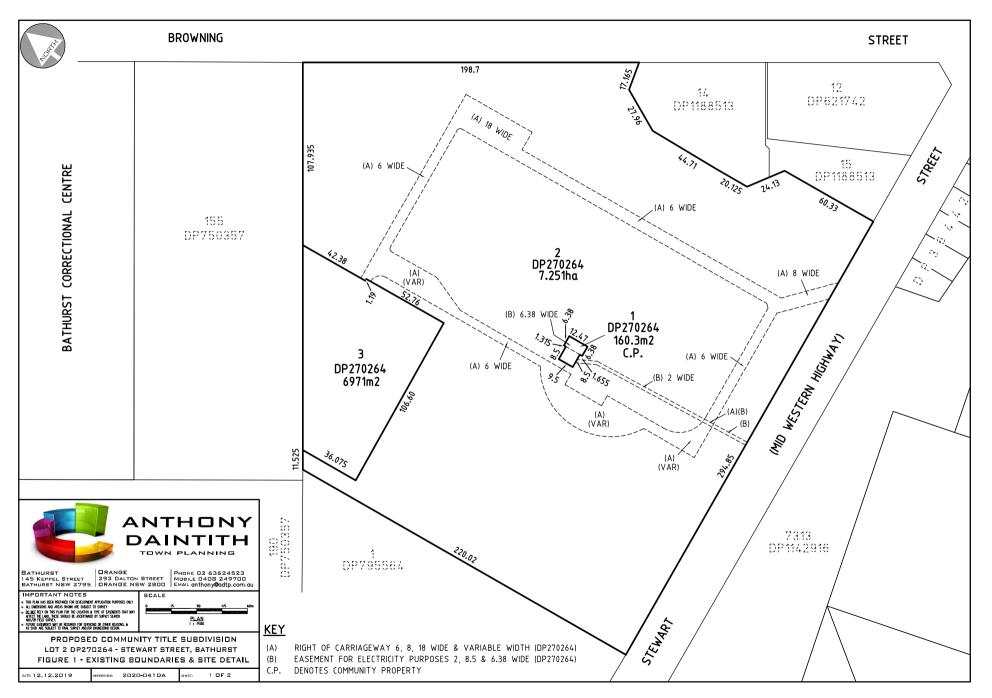
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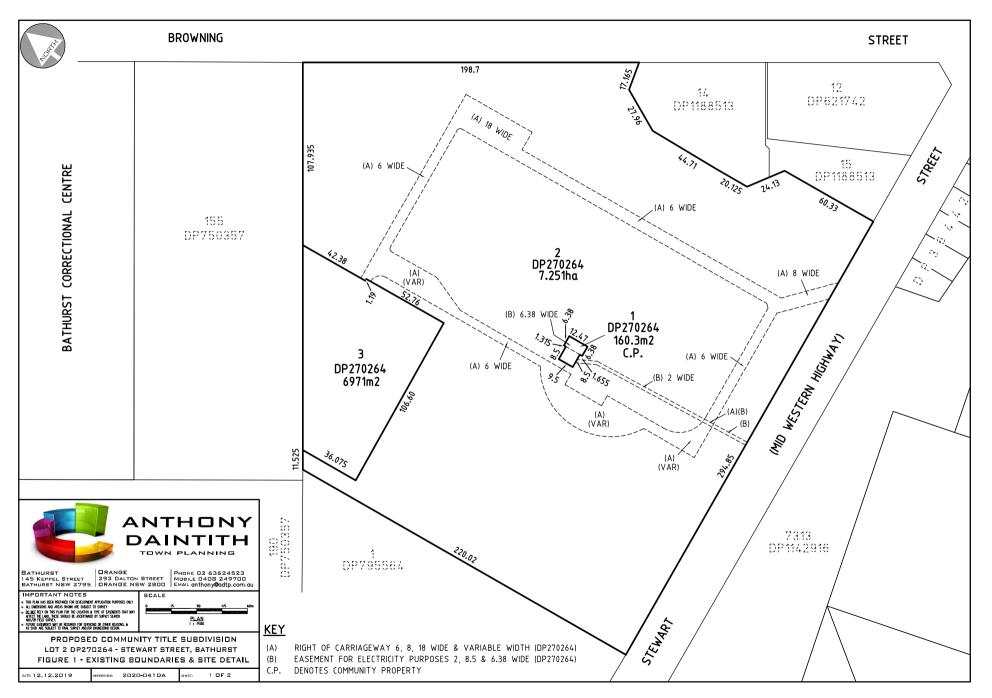
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# STATEMENT OF ENVIRONMENTAL EFFECTS



CLIENT: Ray Carter

PROPOSAL: Bakery and Café & Community Title

**Subdivision** 

ADDRESS: 369 Stewart Street, Bathurst

DATE: 23 January 2020



DESCRIPTION: Bakery and Café, Community Title Subdivision

CLIENT: Ray Carter

Anthony Daintith Town Planning Pty Ltd ABN 46 121 454 153 ACN 121 454 153

<u>Contact</u>: 145 Keppel Street, Bathurst

16 Robinson Court, Orange

M: PO Box 1975, Orange NSW 2800

T: 02 63624523

E: mail@adtp.com.au

#### **QUALITY ASSURANCE**

This document has been prepared, checked and released in accordance with the Quality Control Standards established by Anthony Daintith Town Planning.

Version	Date	Description	Ву
1.0	23/1/2020	Approved	AD

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This document has been authorised by

Anthony Daintith (Principal) Date: 23 January 2020



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Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst



## 1 BACKGROUND

### 1.1 INTRODUCTION

Ray Carter has engaged Anthony Daintith Town Planning (ADTP) to prepare a Statement of Environmental Effects (SOEE) to support a Development Application to Bathurst Regional Council, for a proposed bakery and cafe (within the existing front building) at 369 Stewart Street, Bathurst. The proposal also includes a Community Title subdivision.

The purpose of this document is to:

- Describe the existing environment;
- Outline the proposed development;
- Consider relevant statutory matters; and
- Make conclusions and recommendations for Councils consideration.

The development application consists of the following components:

- Completed DA form;
- Statement of Environmental Effects;
- Community Title subdivision; and
- Site and Building Plans.

## 1.2 APPLICANT AND OWNER

The applicant is Ray Carter C/- Anthony Daintith Town Planning, PO Box 1975, Orange NSW 2800.

The registered owner of the subject land is Prefabricated Buildings Pty Ltd.

The owners have provided their written consent to the lodgement of the Development Application.

Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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## 2 SUBJECT LAND

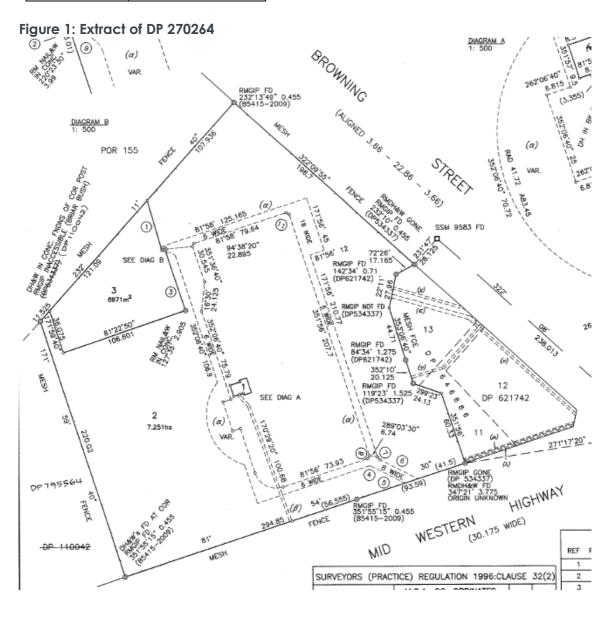
## 2.1 LOCATION AND TITLE

The subject land is identified as 369 Stewart Street, Bathurst. The area of the site is 7.251ha.

The land title description is:

Table 1: Land Title Details

Lot	Deposited Plan
2	270264



Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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## 2.2 GENERAL SITE DESCRIPTION

## **Topography**

The land is relatively level and rises up to the northern part of the lot.

## **Vegetation**

There is limited landscaping on the site. The site of the proposed development is generally cleared.

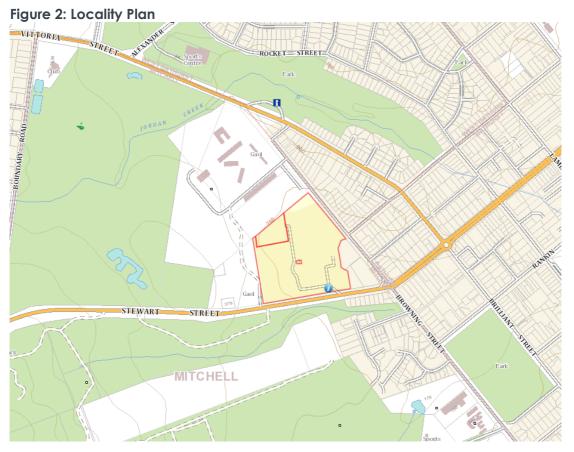
## <u>Waterways</u>

There are no water courses traversing the site.

## **Buildings**

The site contains a number of industrial buildings. However, the site of the proposed bakery and café is towards the southern boundary of the site (the café is within an existing building).

**Photos 1-4** provide a visual representation of the property.



Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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## 2.3 SURROUNDING DEVELOPMENT

## <u>North</u>

Bathurst Correctional Centre.

## South

Residential development on the southern side of Stewart Street.

## <u>East</u>

Residential development on the eastern side of Browning Street.

## West

Bathurst Correctional Centre.

Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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Photo 1: Existing building



Photo 2: Entrance off Stewart Street



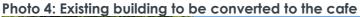
Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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Photo 3: Stewart Street frontage







Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

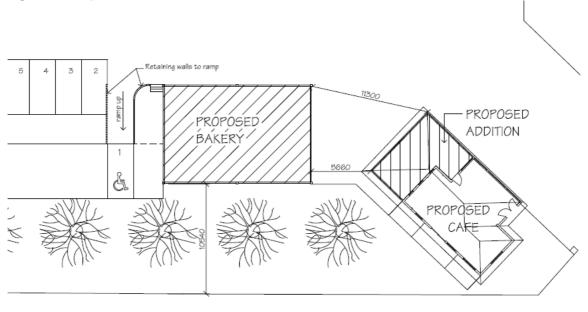
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## 3 PROPOSAL

The development application seeks development consent for a proposed bakery and café (change of use of the existing offices and minor extensions) as well as a Community Title subdivision.

Figure 4: Proposed Site Plan



STEWART STREET

#### Bakery

- New building for the purpose of a bakery approximately 138m<sup>2</sup>.
- Consists of a relatively open design with cool room and freezer in the centre of the building.
- Corrugated Colorbond clad walls and roof.
- 3 employees.
- 24 hour operation.

## Café

- Is essentially a change of use of the existing offices to a food and drinks premises.
- Extension at the rear of the building to include disabled amenities and kitchen
- Walls of the extension to be Weathertex wall cladding with Colorbond roofing.
- The building to include 2 dining areas.

Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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V I .U



- 3 employees.
- Hours of operation 6am to 10pm (7 days a week).

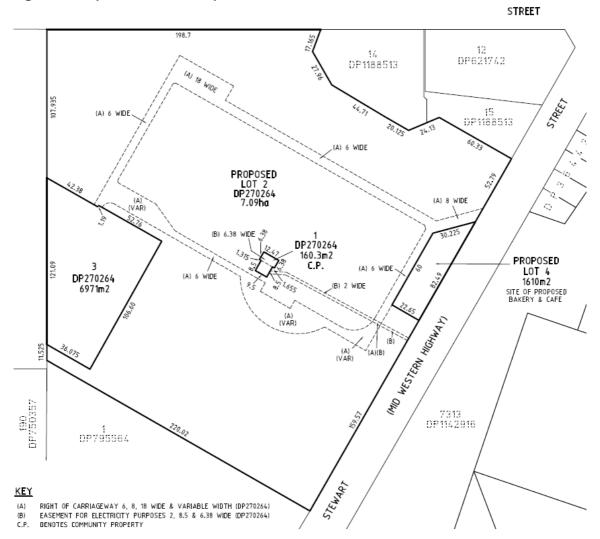
Externally it is proposed to provide 12 car parking spaces. Access to the site will be via the existing driveway without change.

Refer to the site and building plans for greater detail.

## Community Title Subdivision

It is proposed to create a Community Title lot (to add to the existing Community Title subdivision) around the proposed development (i.e. proposed Lot 4 within the Community Title subdivision). Proposed new Lot 4 will have an area of 1619m<sup>2</sup>.

Figure 5: Proposed Community Title Subdivision



Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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## 4 TOWN PLANNING CONSIDERATIONS

Pursuant to Section 4.15 (formerly Section 79C) of the *Environmental Planning* and Assessment Act 1979, the following matters must be taken into consideration when assessing a development application:

#### 4.15 Evaluation

(cf previous s 79C)

#### Matters for consideration—general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provisions of:
  - (i) any environmental planning instrument, and
  - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
  - (iii) any development control plan, and
  - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
  - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and
  - (v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979),

that apply to the land to which the development application relates,

- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
- (c) the suitability of the site for the development,
- (d) any submissions made in accordance with this Act or the regulations,
- (e) the public interest.

Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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#### **SECTION 4.15 ASSESSMENT**

# (a)(i) The provisions of any environmental planning instrument

## **LOCAL ENVIRONMENTAL PLANS**

#### **BATHURST REGIONAL LOCAL ENVIRONMENTAL PLAN 2014**

#### Applicable LEP Clauses

#### Zone IN1 General Industrial

- 1 Objectives of zone
- To provide a wide range of industrial and warehouse land uses.
- To encourage employment opportunities.
- To minimise any adverse effect of industry on other land uses.
- To support and protect industrial land for industrial uses.
- To enable development that serves the needs of the workforce.
- To promote development that will protect the scenic qualities and enhance the visual character of the entrances to the city of Bathurst.

#### 2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home businesses; Home occupations; Intensive plant agriculture; Roads

#### 3 Permitted with consent

Depots; **Food and drink premises**; Freight transport facilities; Funeral homes; Garden centres; **General industries**; Hardware and building supplies; Hotel or motel accommodation; Industrial training facilities; Kiosks; Light industries; Neighbourhood shops; Oyster aquaculture; Places of public worship; Rural supplies; Secondary dwellings; Tank-based aquaculture; Warehouse or distribution centres; Any other development not specified in item 2 or 4

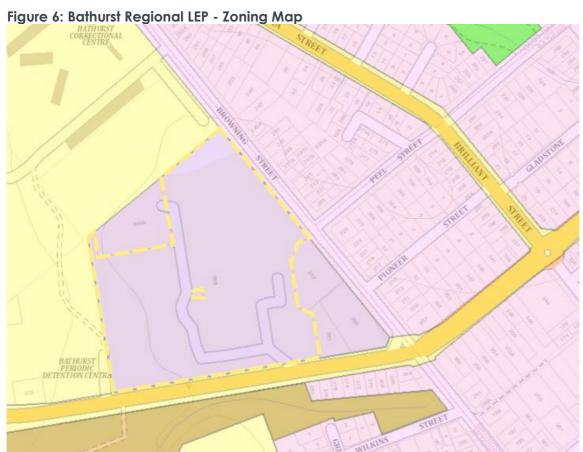
### 4 Prohibited

Agriculture; Camping grounds; Caravan parks; Commercial premises; Eco-tourist facilities; Exhibition homes; Exhibition villages; Forestry; Hazardous industries; Hazardous storage establishments; Offensive industries; Offensive storage establishments; Pond-based aquaculture; Residential accommodation; Tourist and visitor accommodation

Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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## Comment

The subject land is zoned IN1 General Industrial under the provisions of the Bathurst Regional Local Environment Plan 2014.

The proposed bakery and café (industry and food & drink premises) is permissible subject to the consent of Council via the lodgement of a Development Application.

As detailed throughout this report, the proposed development can generally be shown to be consistent with the relevant objectives of the zone.

- The proposed bakery and cafe will service the needs of both the locals and the travelling public to Bathurst
- The development will create employment opportunities.
- The development will have no detrimental impact on the surrounding heritage items.
- No negative impact identified in surrounding land uses.
- The proposal will provide a welcoming entry to Bathurst from the west.

Proposal: Proposed Bakery, Café and Community Title Subdivision 369 Stewart Street, Bathurst

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#### 2.6 Subdivision—consent requirements

(1) Land to which this Plan applies may be subdivided, but only with development consent.

#### Notes.

- If a subdivision is specified as exempt development in an applicable environmental planning instrument, such as this Plan or State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, the Act enables it to be carried out without development consent.
- 2 Part 6 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 provides that the strata subdivision of a building in certain circumstances is complying development.
- (2) Development consent must not be granted for the subdivision of land on which a secondary dwelling is situated if the subdivision would result in the principal dwelling and the secondary dwelling being situated on separate lots, unless the resulting lots are not less than the minimum size shown on the Lot Size Map in relation to that land.

#### Note

The definition of secondary dwelling in the Dictionary requires the dwelling to be on the same lot of land as the principal dwelling.

#### Comments

Development consent is sought for the proposed Community Title subdivision.

#### 4.3 Height of buildings

- (1) The objectives of this clause are as follows:
  - (a) to establish the maximum height limit to which buildings may be erected in certain locations.
- (2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

## Comments

No applicable to this site. Regardless, the proposal is only single storey.

### 4.4 Floor space ratio

- (1) The objectives of this clause are as follows:
  - (a) to ensure that the density, bulk and scale of development is appropriate for business and industrial land, and
  - (b) to ensure that the density, bulk and scale of development integrates with the streetscape and character of the area in which the development is located.
- (2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map.

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## Comments

As per the figure below, the maximum floor space ratio for a building on the site is not to exceed 1:1. The proposal will be significantly below this requirement.



#### 5.10 Heritage conservation

Note. Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the Heritage Map as well as being described in Schedule 5.

#### (1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Bathurst Regional local government area,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,

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- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.
- (2) Requirement for consent

Development consent is required for any of the following:

- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):
  - (i) a heritage item,
  - (ii) an Aboriginal object,
  - (iii) a building, work, relic or tree within a heritage conservation area,
- (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,
- (c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,
- (d) disturbing or excavating an Aboriginal place of heritage significance,
- (e) erecting a building on land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,
- (f) subdividing land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.
- (3) When consent not required

However, development consent under this clause is not required if:

- (a) the applicant has notified the consent authority of the proposed development and the consent authority has advised the applicant in writing before any work is carried out that it is satisfied that the proposed development:
  - (i) is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or archaeological site or a building, work, relic, tree or place within the heritage conservation area, and
  - (ii) would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place, archaeological site or heritage conservation area, or

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- (b) the development is in a cemetery or burial ground and the proposed development:
  - (i) is the creation of a new grave or monument, or excavation or disturbance of land for the purpose of conserving or repairing monuments or grave markers, and
  - (ii) would not cause disturbance to human remains, relics, Aboriginal objects in the form of grave goods, or to an Aboriginal place of heritage significance, or
- (c) the development is limited to the removal of a tree or other vegetation that the Council is satisfied is a risk to human life or property, or
- (d) the development is exempt development.
- (4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

(6) Heritage conservation management plans

The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.

(7) Archaeological sites

The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site (other than land listed on the State Heritage Register or to which an interim heritage order under the Heritage Act 1977 applies):

- (a) notify the Heritage Council of its intention to grant consent, and
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.

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## (8) Aboriginal places of heritage significance

The consent authority must, before granting consent under this clause to the carrying out of development in an Aboriginal place of heritage significance:

- (a) consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place by means of an adequate investigation and assessment (which may involve consideration of a heritage impact statement), and
- (b) notify the local Aboriginal communities, in writing or in such other manner as may be appropriate, about the application and take into consideration any response received within 28 days after the notice is sent.
- (9) Demolition of nominated State heritage items

The consent authority must, before granting consent under this clause for the demolition of a nominated State heritage item:

- (a) notify the Heritage Council about the application, and
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.

#### (10) Conservation incentives

The consent authority may grant consent to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, or for any purpose on an Aboriginal place of heritage significance, even though development for that purpose would otherwise not be allowed by this Plan, if the consent authority is satisfied that:

- (a) the conservation of the heritage item or Aboriginal place of heritage significance is facilitated by the granting of consent, and
- (b) the proposed development is in accordance with a heritage management document that has been approved by the consent authority, and
- (c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out, and
- (d) the proposed development would not adversely affect the heritage significance of the heritage item, including its setting, or the heritage significance of the Aboriginal place of heritage significance, and
- (e) the proposed development would not have any significant adverse effect on the amenity of the surrounding area.

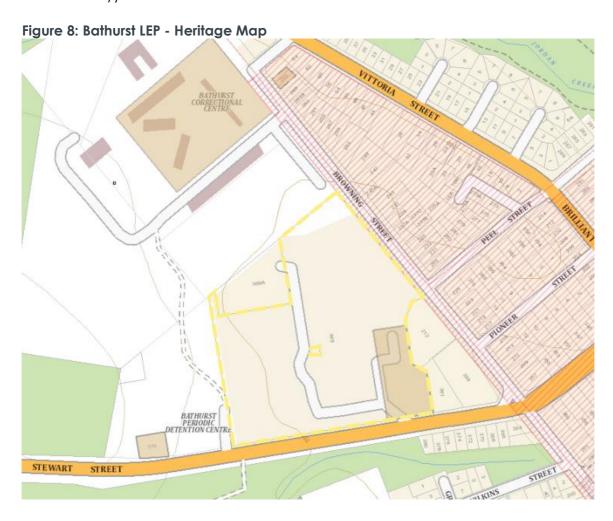
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## Comment

The site contains a heritage item (ADI Site – former canteen building – small arms factory).



- The proposed development is quite separate to the listed heritage items.
- There is no alteration to the listed items.
- No demolition work is proposed.
- The existing building (office) that is to be converted to a café is a relatively modern building with no historical significance.
- The bulk and scale of the development is considered appropriate with respect to the existing development on the site. The materials are considered sympathetic.
- The significance of the heritage items will not be diminished as a result of the proposal.

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#### 7.5 Essential services

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable vehicular access.

### Comments

There services are readily available and connected to the site. It is proposed to utilise the existing access to the site to service the proposed development. No change is proposed to the stormwater disposal arrangements.

### STATE ENVIRONMENTAL PLANNING POLICYS

#### STATE ENVIRONMENTAL PLANNING POLICY NO 55—REMEDIATION OF LAND

Council must consider Clause 7 of the SEPP when determining a Development Application:

- 7 Contamination and remediation to be considered in determining development application
- (1) A consent authority must not consent to the carrying out of any development on land unless:
  - (a) it has considered whether the land is contaminated, and
  - (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
  - (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

## Comment

The potential for contamination appears minimal. In terms of potential soil contamination, the subject land has been evaluated for:

- Evidence of previous mining activity;
- Evidence of existing and previous dip sites and other associated infrastructure:
- Evidence of orcharding or any other horticultural activities; and
- Vegetative and other features which could indicate possible soil contamination.

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Accordingly, it is recommended that a detailed investigation is not necessary or warranted in this instance.

# (a)(ii) Any draft environmental planning instrument

Nil

## (a)(iii) Any development control plan

## **BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014**

Following is an assessment of the relevant provisions of the DCP:

Clause	Heading	Comment
3.1	Preliminary	
3.2	Minimum lot	There is no minimum lot size for Community title lots.
	size	
3.3	Subdivision	
	Requirements:	
	All zones	
3.3.1	Electricity and	Electricity and telephone services are available and connected
	telephone services	to the proposed lot.
3.3.2	Road	No new roads proposed.
3.3.3	Drainage	No change to stormwater is proposed.
3.3.4	Reticulated	The proposed community title lot is connected to reticulated
	water and sewer	water and sewer.
3.3.5	Rural Water	Not applicable.
	Supply	
3.3.6	Soil and Water	Appropriate erosion and sediment control measures to be
	Management	implemented prior to the commencement of any construction
		works associated with the development on the proposed community lot.
3.3.7	Natural	No vegetation removal is considered necessary.
0.0.7	environment	The regeration of the rank considered the costally.
3.3.8	Landscaping	No landscaping considered necessary.
3.3.9	Land	Refer to SEPP 55 comments.
	contamination	
3.3.10	Access via	Not applicable.
	Crown Roads	
3.4.2	Allotment	The Community Title lot is appropriate with respect to containing
0.40	dimensions	the proposed development on the one lot.
3.4.3	Road works	Not applicable – no new roads proposed.
3.4.4	Subdivision of	Not applicable.
	dual	
	occupancy,	
	multi dwelling houses,	
	residential flat	
	buildings and	
	, Zonanigo and	

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	shop top housing	
3.8	Development Control Plan	Not applicable.
	Maps	

Clause	Heading	Comment
5.1.1	Land to which this section applies	The land is zoned IN1 General Industrial.
5.2 Siting Considerations		The café will be located within the existing building on the site which already sets the front setback.
		Side and rear setbacks meet NCC requirements.
5.3	Soil and Water Management	Soil and erosion control plans to be provided at Construction Certificate stage.
5.4	Building Design Standards – Zone B5 Business Development	Not applicable.
5.5	Height of Buildings – Bathurst Conservation Area – Zone B3 – Commercial Core	Not applicable.
5.6	Parking, Access and Manoeuvring Areas	Access and parking will be provided to satisfy the relevant Australian Standards.
		It is proposed to provide 12 car spaces for the proposed development.
		Vehicles can enter and leave the site in a forward direction (via the existing driveway).
		All carparks will be appropriately sealed and marked to comply with Australian Standards.
		No new accesses are required to be constructed.
5.7	Clean Business and Industry	A soil and water management plan to be submitted with Construction Certificate Application.
		A trade waste agreement would need to be entered into.
		There are no identified negative noise impacts as a direct result of the proposed bakery and cafe - accordingly a Noise Impact Assessment is not considered to be warranted in this instance.
5.8	Open Space and Fencing	All loading/unloading, storage and garbage areas will be appropriately screened from public areas.
		Existing fencing is already in place.

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9.2	Land Resources	No issues with respect to steep slopes, soil salinity, and removal of native vegetation, permanent inundation and rock outcrops have been identified on the site.
9.3	Riparian Land and Waterways	There are no watercourses on the site.
9.4	Biodiversity	There is no identified threatened species or critical habitat on the subject land.
9.5	Groundwater	It is considered that the proposed development on the site will not have an adverse impact on groundwater.
9.6	Flooding	Not applicable.
9.7	Bushfire Prone Land	Not applicable.
9.8	Flora and Fauna Surveys	Not considered necessary for this development on extensively disturbed and developed lands.
9.9	Sustainable Building Design and Energy Efficiency	Sustainable building design principles will be incorporated where possible and the proposal will be designed with the intention to comply with Section J – Energy Efficiency of the BCA.
		The proposed development has been designed to ensure compliance where possible with the provisions of the Sustainable Building Design Principles, specifically passive design, insulation, ventilation, landscaping, use of materials and colours, lighting, water and energy efficiency, and waste.
10	Heritage	Refer to LEP Heritage discussion.
11	Outdoor Lighting	The proposed external lighting of the site will be designed and selected in accordance with the requirements of the DCP and the Australian Standards to ensure that it delivers adequate lighting provisions for the site without detrimentally impacting upon the surrounding area (i.e. light spillage).
12	Signage and Colour Schemes	No signage is proposed at this time.
		Refer to the development plans that indicate the proposed colour scheme.
13	Landscaping	No tree removal required.
		Landscaping will be provided on the site in accordance with a future landscaping plan.
14	Car parking	The proposed car parking has been designed to be compliant, where possible, with the DCP requirements and the (former) RTA Guide to Traffic Generating Development.

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		Industry (bakery): 1 space per 100m² or 1 space per 2 employees whichever is greater
		Based on 138m <sup>2</sup> – this equates to 1.3 spaces.
		Restaurant/Café (café): 1 space per 10m² or 1 space per 3 seats whichever is greater
		Based on 107m2 this equates to 10.7 spaces (also it is likely that there will be no more than 30 seats which also requires to 10 spaces.
		Therefore, there is a requirement for 12 spaces (which have been provided.
15	Crime Prevention	CPTED principles have been incorporated into the design of the proposal where possible, addressing matters such as surveillance, public spaces, and access.

# (a)(iiia) Any Planning Agreements

There are no known planning agreements affecting the property.

# (a)(iv) Any matters prescribed by the regulations:

# **Government Coastal Policy**

Not applicable to Bathurst LGA.

# **Building Demolition**

Minor demolition works will be required at the rear of the existing office to facilitate the additions for the café (to be conducted in accordance with AS2601: Demolition of Structures).

# **Upgrading of Buildings**

The building to be upgraded to meet the National Construction Code for the existing building.

# Fire Safety

The building to be upgraded to meet the National Construction Code for the existing building.

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# **Temporary Structures**

Not applicable to this proposal.

# **Deferred Commencement Consent**

Not applicable to this proposal.

# Modification or Surrender of Development Consent or Existing Use

Not applicable.

# **Ancillary Development**

Not applicable to this proposal.

#### **BASIX**

Not applicable to this proposal.

# (b) The likely impacts of the development:

# **CONTEXT AND SETTING**

The surrounding area is generally characterised by mixed use development (industrial, commercial, residential, Bathurst Gaol).

The proposal is considered compatible with the surrounding area and will have minimal impact in regard to:

- Impacts on adjacent properties and land uses; and
- Interruptions of important views and vistas.

The proposal is within the context of the locality and Council's current planning provisions.

# **ACCESS AND TRANSPORT**

Access to the site will remain via the existing driveway directly off Stewart Street.

12 car parking spaces is proposed to be provided on the site to support the proposed development.

Any additional traffic generation on the site can be handled by Stewart Street without the need for upgrading.

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# **PUBLIC DOMAIN**

It is considered that the development will have a negligible impact on the public domain in terms of:

- Public recreational opportunities in the locality;
- Amount, location, design, use and management of public spaces in and around the development; and
- Pedestrian linkages and access between the development and public areas.

#### **UTILITIES & SERVICES**

The site will be connected to reticulated water and sewer. Full details to be provided with the Construction Certificate documentation.

Electricity & telephone utilities will be connected to the development in consultation with relevant service provider.

No change to stormwater infrastructure is proposed as a result of the development.

#### **HERITAGE**

The site contains an individually listed heritage item. Refer to the comments under the LEP section of this report.

#### FLORA AND FAUNA

The site is generally cleared of vegetation (no vegetation removal is proposed).

There is no critical habitat or threatened species on the subject land.

# **AMENITY**

# Overshadowing

No overshadowing impacts have been identified.

# **Lighting**

Appropriate lighting will be implemented into the proposal including lighting of external areas for security purposes. It is considered that there will be minimal impact from building or car parking lighting on adjoining properties particularly given the significant setback to surrounding properties.

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# **Privacy**

No impacts have been identified.

# Noise

In terms of noise impact from the proposal, it is expected that there will be minimal impact on the noise levels in the surrounding area from the day to day operations of the development. Nonetheless, the development has been designed to ensure maximum possible acoustic privacy levels.

In light of the mixed use nature of the area and the distance to the closest noise sensitive receptors, it is considered that noise associated with the operation of the development will be manageable.

#### **NATURAL HAZARDS**

It is considered that the land is not affected by bushfire, flood, subsidence or any other known hazard.

#### POTENTIAL CONTAMINATION

See comments under SEPP 55 – Remediation of Land.

# **SAFETY, SECURITY & CRIME PREVENTION**

No specific safety, security of crime prevention measures are required nor proposed with this proposal.

# **SOCIAL & ECONOMIC IMPACTS IN THE LOCALITY**

An analysis of the social and economic impacts associated with the development of the site is detailed in this section to ensure that, where relevant, social and economic considerations are an integral part of the development assessment process.

The proposed redevelopment of the site is anticipated to have an ongoing positive social and economic impact on the local area as well as the wider community. The identified positive impacts are summarised below:

- The operation of the development will generate employment opportunities with flow on effects benefiting the local community;
- The proposal will result in economic benefits associated within construction works;
- The proposal is consistent with the current and planned (future) strategic direction of Bathurst;

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- There will be no identified impact on community service infrastructure such as hospitals, schools etc.;
- The development will be compliant with relevant disability standards, and will meet the needs of people with physical disabilities, sensory disabilities and intellectual disabilities;
- Specific safety and security measures will be incorporated into the operation procedures of the development to ensure a safe and secure environment for staff and clientele;
- The proposal will enhance the visual character of the built environment of Bathurst.

The potential adverse impacts from the proposal relate primarily to temporary impacts due to construction activities, for example construction traffic, noise and dust disturbance. Mitigation measures to ensure construction impacts are kept to a minimum are briefly outlined in this report.

### CONSTRUCTION

All construction work is to be undertaken in accordance with conditions of consent, stamped plans and Councils Engineering Guidelines.

Construction impacts are not anticipated to have an adverse impact on the locality. Works would occur during daytime hours, thus not impacting on the local amenity. The site would have temporary containment fencing erected and signage to warn and exclude the public from entering the site during the construction phase.

Erosion and Sedimentation Control measures would be implemented during construction to minimise any erosion risk at the site. All measures will be established prior to the commencement of staged engineering works and maintained for an agreed period after completion of all subsequent stages.

All waste generated during construction would be taken and disposed of at Council's Waste Disposal Facility.

Construction activities would be tailored to minimise the impact on site, with all disturbed areas rehabilitated as soon as practical. All construction machinery would be fitted with appropriate muffling devices to limit noise generation during construction. The construction period would be for a limited period, and thus any impacts would be limited to that time frame.

# **CUMULATIVE IMPACTS**

It is considered there will be no negative cumulative impacts as a result of the proposed development of the site.

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# (c) Suitability of the site for the development

# Does the proposal fit in the locality?

- There are no constraints posed by surrounding development to render the proposal prohibitive;
- The proposal is complimentary to the surrounding land use pattern and zoning;
- It is considered that the proposal will not create any unmanageable access or transport concerns in the locality;
- No impact on public spaces will eventuate as a result of the proposal proceeding;
- No upgrading to services is required (are already connected);
- There are no issues in relation to air quality and microclimate; and
- There are no identified surrounding hazardous land uses or activities.

# Are the site attributes conducive to development?

It is considered that the site is conducive to the subdivision based on the following:

- The site is not affected by any natural hazards;
- The proposed change of use respects the heritage conservation area and is sympathetic to the neighbouring development;
- There is no known soil characteristics that would render the proposal prohibitive; and
- There are no known flora and fauna considerations that will have an impact on the proposal.

# (d) Any submissions

The application may be notified to adjoining neighbours for comment.

# (e) The public interest

The proposed development is considered to be only of minor interest to the wider public due to the relatively localised nature of potential impacts. It is believed that by the imposition of appropriate conditions of consent and the safeguards discussed in this report, potential impacts would be modest.

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# 5. CONCLUSION

This report includes an analysis of the existing environment, details of the proposed development and consideration of applicable statutory requirements.

Based upon the investigations of the proposal it can be concluded that:

- The impacts upon or by surrounding development will not be altered significantly as a result of the development proceeding;
- The topography of the site can accommodate the proposal;
- There is sufficient onsite car parking;
- Utilities and services are already connected to the site; and
- The proposal is generally consistent with the objectives and provisions of Councils relevant planning documents.

The proposal is considered to be acceptable in terms of Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended) and potential impacts are expected to be minor.

Accordingly, it is recommended that the Development Application be approved subject to appropriate standard conditions.

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# TRAFFIC AND PARKING IMPACT ASSESSMENT OF A PROPOSED BAKERY AND CAFÉ

Lot 2 at 369 Stewart Street, Bathurst

|--|

Prepared for: Prefabricated Buildings Pty Ltd

N206388A (Version 1a)

September 2020

Motion Traffic Engineers Pty Ltd Telephone: 043309949 94033 588 accounts @motiontraffic.com.au

ACN 600201483



# 1. INTRODUCTION

Motion Traffic Engineers was commissioned by Prefabricated Buildings Pty Ltd to undertake a traffic and parking impact assessment of a proposed Bakery and Café at Lot 2 at 369 Stewart Street, Bathurst. The site occupies a portion of the Stewart Street entrance and the lot is currently used as an office and display area.

It is also proposed to create a Community Title Lot, around the proposed Bakery and Café. The proposed lot will be designated as "Lot 4" and will have an approximate area of 1619 m<sup>2</sup>.

Carparking is provided on-site, the vehicular access is via a driveway that serves the existing mixed-use development and runs off Stewart Street.

This traffic report focuses on the proposed development and changes in car usage and car park utilisation and additional trips from the proposed development.

In the course of preparing this assessment, the subject site and its environs have been inspected, plans of the development examined, and all relevant traffic and parking data collected and analysed.

# 2. BACKGROUND AND EXISTING CONDITIONS OF THE PROPOSED LOCATION

# 2.1 Location and Land Use

The development site is located in a *General Industrial- IN1* land zoning west of the Bathurst Town Centre. The proposed site is located within an existing mixed-use site.

The immediate surrounding land uses are residential with the Bathurst Correctional Centre to the north of the proposed site.

Figure 1 presents an aerial view of the proposed development site.

Figure 2 presents the location of the development in relation to the intersections surveyed using street directory.

Figure 3 present a photograph of the development site from Stewart Street.





Figure 1: Location of the development site from an aerial view

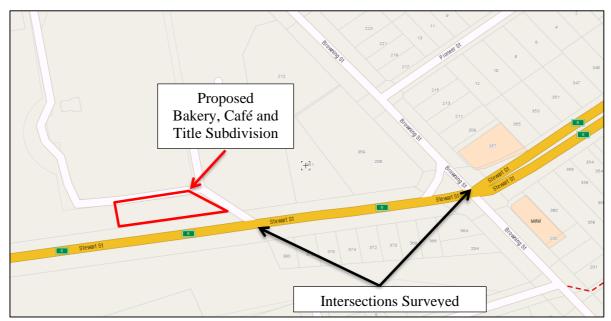


Figure 2: Location of the Development Using Street Directory





Figure 3: Photo of the Proposed Cafe Site from Stewart Street

### 2.2 Road Network

This section describes the roads near the proposed development.

Stewart Street (Mid-Western Highway) is an arterial road with one lane each way adjacent to the proposed café and bakery. Stewart Street has a sign-posted speed limit of 60km/hr and 80km/hr on the eastbound and westbound lanes respectively on the vicinity of the site. On street Parking is permitted on both sides of the road on the proposed development site frontage. Figure 4b presents a photograph of Browning Street from the proposed development site frontage

Browning Street is a local road with two lanes each way and a default speed limit of 50km/hr. Time unrestricted on-street parking is permitted on either side of the road. Figure 4b presents a photograph of Browning Street near the intersection with Stewart Street.





Figure 4a: Stewart Street Facing West Near the Proposed Development Site



Figure 4b: Browning Street Facing South at the Intersection with Stewart Street



# 2.3 Intersection Description

As part of the traffic assessment, two nearby intersections were surveyed and the performance assessed:

- Priority intersection of Stewart Street with the driveway at 369 Stewart Street
- Priority intersection of Stewart Street with Browning Street

External traffic to and from the site will have to travel through one of these intersections.

Priority intersection of Stewart Street with the driveway at 369 Stewart Street is a three-leg intersection with all turn movements permitted. Drivers on the existing driveway must give way to traffic on Stewart Street. Figure 5 presents the layout of the intersection using SIDRA 8 – an industry standard intersection software.

The priority intersection of Stewart Street with Browning Street is a four-leg intersection with all turn movements permitted. Drivers on Browning Street must give way to traffic on Stewart Street. Figure 6 presents the layout of the intersection using SIDRA 8.

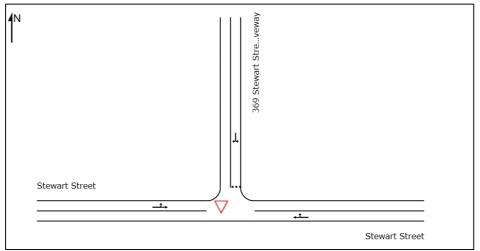


Figure 5: Priority intersection of Stewart Street with the driveway at 369 Stewart Street (SIDRA 8)



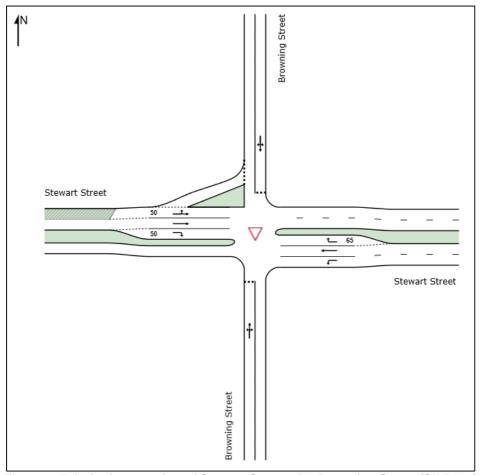


Figure 6: Priority intersection of Stewart Street with Browning Street (SIDRA 8)

# 2.4 Existing Traffic Volumes

As part of the traffic assessment, traffic counts have been undertaken at the two intersections for the Saturday and Weekday peak (Friday lunch) hour (12pm to 1pm).

Figure 7 and 8 presents the traffic volumes in vehicles for the weekday Saturday and Weekday (Friday) peak hour.



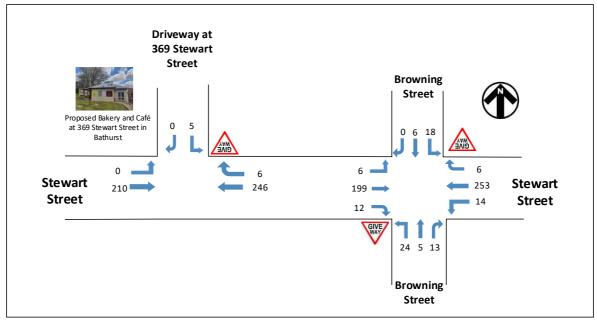


Figure 7: Existing Saturday Traffic Volumes Peak Hour

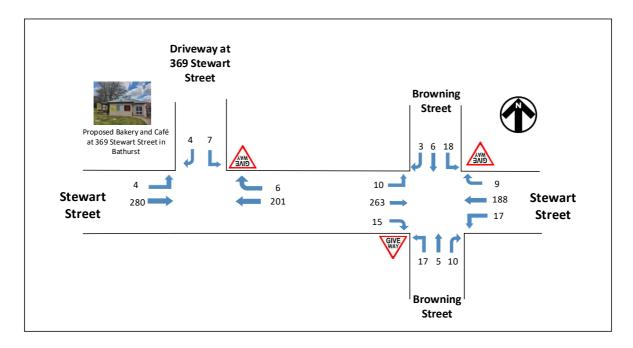


Figure 8: Existing Weekday Traffic Volumes Peak Hour



# 2.5 Intersection Assessment

An intersection assessment and survey has been undertaken during the Saturday peak hour for both intersections.

The existing intersection operating performance was assessed using the SIDRA software package (version 8) to determine the Degree of Saturation (DS), Average Delay (AVD in seconds) and Level of Service (LoS) at each intersection. The SIDRA program provides Level of Service Criteria Tables for various intersection types. The key indicator of intersection performance is Level of Service, where results are placed on a continuum from 'A' to 'F', as shown in Table 1.

LoS	Traffic Signal / Roundabout	Give Way / Stop Sign / T-Junction control
A	Good operation	Good operation
В	Good with acceptable delays and spare capacity	Acceptable delays and spare capacity
C	Satisfactory	Satisfactory, but accident study required
D	Operating near capacity	Near capacity & accident study required
Е	At capacity, at signals incidents will cause excessive delays.	At capacity, requires other control mode
F	Unsatisfactory and requires additional capacity, Roundabouts require other control mode	At capacity, requires other control mode

**Table 1: Intersection Level of Service** 

The Average Vehicle Delay (AVD) provides a measure of the operational performance of an intersection as indicated below, which relates AVD to LOS. The AVD's should be taken as a guide only as longer delays could be tolerated in some locations (i.e. inner-city conditions) and on some roads (i.e. minor side street intersecting with a major arterial route). For traffic signals, the average delay over all movements should be taken. For roundabouts and priority control intersections (sign control) the critical movement for level of service assessment should be that movement with the highest average delay.



LoS	Average Delay per Vehicles (seconds/vehicle)
A	Less than 14
В	15 to 28
С	29 to 42
D	43 to 56
Е	57 to 70
F	>70

Table 2: Intersection Average Delay (AVD)

The degree of saturation (DS) is another measure of the operational performance of individual intersections. For intersections controlled by traffic signals both queue length and delay increase rapidly as DS approaches 1. It is usual to attempt to keep DS to less than 0.9. Degrees of Saturation in the order of 0.7 generally represent satisfactory intersection operation. When DS exceed 0.9 queues can be anticipated.

The results of the intersection analysis are as follows:

# Priority intersection of Stewart Street with the driveway at 369 Stewart Street

- All the turn movements have a LoS A for the Saturday peak hour
- There is spare capacity at this intersection

# Priority intersection of Stewart Street with Browning Street

- All the turn movements have a LoS A for the Saturday peak hour
- There is spare capacity at this intersection

The full Sidra results are presented in Appendix A.

# 2.6 Public Transport

The nearest bus stop to the development is 450 metres away (walking distance) on Stewart Street and is serviced by the 520-bus route. This route provides access to West Bathurst, Windradyne and Bathurst Town Centre.

Another bust stop within the walking distance of the development is located 480 metres away on Rankin Street and is serviced by the 526-bus route. This route provides transport to Charles Sturt University, Bathurst, South Bathurst and Bathurst Town Centre.

Figure 9 shows the public transport opportunities nearby the proposed Bakery and Café. The public transport options would suit staff more than customers.



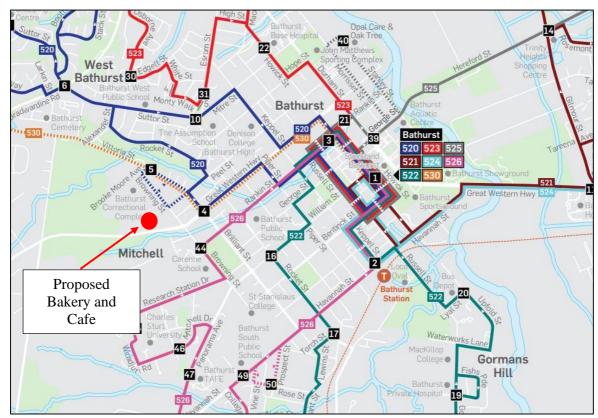


Figure 9: Public Transport Opportunities in Relation to the Proposed Development Site

# 2.7 Conclusions on the Existing Conditions

The site has good access to public transport.

The nearby intersections perform well with capacity for additional traffic during the weekday and Saturday peak hour.

Site visits show that there are ample parking opportunities on the site frontage with Stewart Street and on Browning Street.



# 3. PROPOSED BAKERY AND CAFÉ

The details of the proposed land uses are as follows:

# **Bakery**

- A proposed building with an approximately GFA of 128 m<sup>2</sup> for the Bakery use
- Three employees on site at one given time
- Operating 24-hours, Monday to Sunday.

# <u>Café</u>

- Change of use of the existing office to a café
- Expand the existing building to a combined GFA of 99 m<sup>2</sup>, including a 49 m<sup>2</sup> dining area
- Three employees on site at one give time
- Operating from 6am to 10pm, Monday to Sunday.

Carparking is provided on the ground level, vehicle access and egress is via an existing driveway running off Stewart Street. A total of 12 on-site car spaces are provided including a disabled car space.

A full scaled plan of the proposed development is provided as part of the Development Application. Scaled measurements should use these plans.

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# 4. PARKING CONSIDERATIONS

# 4.1 Bathurst Regional Council Planning Scheme

The car parking requirements for a Bakery and Café are presented in *Bathurst Regional Development Control Plan 2014* with the car parking rates as follows as it applies to the proposed development:

# Restaurant or Café

• 1 space per 10 m<sup>2</sup> or 1 space per 3 seats whichever is greater

Based on the café GFA and on the rate presented above, the number of car spaces required is ten during the peak operational periods.

The proposed Bakery will not require costumer parking and will only require three car spaces for staff use.

In total it is expected that the Bakery and Café will require a maximum of thirteen car spaces.

# 4.2 Adequacy of Car Parking Provision

The proposed Bakery and Café provides twelve car spaces versus thirteen car spaces required. However, it is common practice for bakeries to operate outside of business hours (hence the 24-hour proposed hours of operation) and thus will not coincide with peak parking demand for the café.

Additionally, kerbside lane parking is permitted on both sides of Stewart Street, it is expected that patrons looking for take-away will park on-street and walk to the café, reducing the on-site parking demand.

Deliveries vehicles travelling to the site can find parking to the east of the proposed Bakery building and west of the proposed expansion of the café. A roller shutter on the Bakery will allow the unloading of deliveries into the site from the delivery vehicle.

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# 5. VEHICLE TRAFFIC IMPACT CONSIDERATIONS

# 5.1 Traffic Generation

The RTA Guide to Traffic Generating Developments 2002 publishes trip generation rates for a restaurant, with details as follows:

• 5 trips per 100 m<sup>2</sup> of restaurant GFA during the evening peak hour

As per the RTA Guide, a restaurant is a refreshment business where food is served to customers. This definition includes a café.

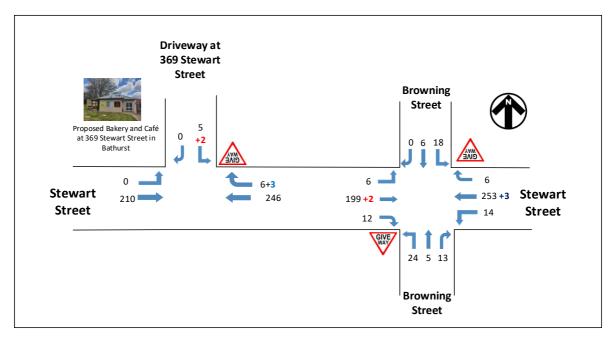
For the purposes of the traffic assessment **only**, the above trip generation rate is assumed as the peak Saturday trip rate.

The Bakery is not open for the public and serves only for ancillary use of the Café and thus will not generate additional trips.

The café is expected to generate five trips during the midday Saturday hour, three arrival trips and two departure.

#### 5.2 Forecast Traffic Volumes

The following presents the existing and with cafe and bakery traffic volumes for the Saturday peak hours distributed onto the two intersections with the cafe and bakery traffic. The additional traffic is in red for origin trips and blue for destination trips.



Traffic and Parking Impact Assessment of a Proposed Bakery and Café N206388A Report 1a (1).docx



Figure 10: Saturday Peak Hour with Bakery and Café Traffic in Red for Origin Trips and Blue for Destination Trips

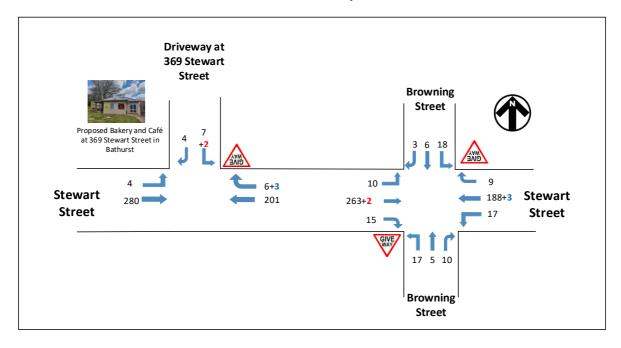


Figure 10: Saturday Peak Hour with Bakery and Café Traffic in Red for Origin Trips and Blue for Destination Trips

### 5.1 Intersection Assessment

This section assesses the following intersections for the existing traffic with the cafe and bakery traffic. The intersection results are as follows:

# Priority intersection of Stewart Street with the driveway at 369 Stewart Street

- All the turn movements have a LoS A for the Saturday peak hour
- The additional trips do not change the LoS for the turn movements or the overall LoS for the intersection during the AM or PM peak hours

# Priority intersection of Stewart Street with Browning Street

- All the turn movements have a LoS A for the Saturday peak hour
- The additional trips do not change the LoS for the turn movements or the overall LoS for the intersection during the AM or PM peak hours

The two intersections performance will not change with the additional development trips.

The full SIDRA results are presented in Appendix B for the existing conditions with the cafe and bakery traffic. The full SIDRA results are presented in Appendix A for the existing conditions.

Traffic and Parking Impact Assessment of a Proposed Bakery and Café N206388A Report 1a (1).docx



# 6. CONCLUSIONS

Based on the considerations presented in this report, it can be concluded that:

# **Parking**

 Overall, the proposed Bakery and Café complies with Council's parking requirements. The peak parking demand for the Bakery will not coincide with the café.

# **Traffic**

- The development is a low trip generator during the Saturday and weekday peak hours.
- The additional development trips can be accommodated in the nearby intersections without affecting the intersection performance or increasing the leg queuing.
- There are no traffic engineering reasons why a development consent for the proposed Bakery and Café at Lot 2 at 369 Stewart Street Bathurst should be refused.



# **APPENDIX A**

# SIDRA Intersection Results for Existing Traffic Conditions

Move	ment P	erformand	ce - V	ehicles	s							
Mov		Demand F		Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID	Turn	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
East:	Stewart	Street										
5	T1	259	0.0	0.137	0.0	LOS A	0.1	0.4	0.02	0.01	0.02	59.5
6	R2	6	0.0	0.137	4.3	LOS A	0.1	0.4	0.02	0.01	0.02	55.2
Appro	ach	265	0.0	0.137	0.1	NA	0.1	0.4	0.02	0.01	0.02	59.4
North:	369 St	ewart Street	t drive	way								
7	L2	5	0.0	0.005	3.4	LOS A	0.0	0.1	0.30	0.46	0.30	37.4
9	R2	1	0.0	0.005	4.7	LOS A	0.0	0.1	0.30	0.46	0.30	36.8
Appro	ach	6	0.0	0.005	3.6	LOS A	0.0	0.1	0.30	0.46	0.30	37.3
West:	Stewar	t Street										
10	L2	1	0.0	0.114	5.5	LOS A	0.0	0.0	0.00	0.00	0.00	30.2
11	T1	221	0.0	0.114	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	59.9
Appro	ach	222	0.0	0.114	0.0	NA	0.0	0.0	0.00	0.00	0.00	59.7
All Ve	hicles	494	0.0	0.137	0.1	NA	0.1	0.4	0.01	0.01	0.01	59.3

Table A1: Weekday Priority Intersection Performance of Stewart Street with the driveway at 369
Stewart Street for the Saturday Peak Hour



nt Per	formand	7 A									
						0.00/ 0.00					
ırn E			Deg.					Prop.	Effective	Aver. No.	
				Delay	Service		Distance	Queued	Stop Rate	Cycles	Speed
		%	v/c	sec		veh	m				km/h
owning	Street										
2	25	0.0	0.080	5.7	LOS A	0.3	1.9	0.46	0.65	0.46	44.4
1	5	0.0	0.080	10.3	LOS A	0.3	1.9	0.46	0.65	0.46	44.9
2	14	0.0	0.080	12.8	LOS A	0.3	1.9	0.46	0.65	0.46	44.5
	44	0.0	0.080	8.4	LOS A	0.3	1.9	0.46	0.65	0.46	44.5
wart St	reet										
2	15	0.0	800.0	4.6	LOS A	0.0	0.0	0.00	0.53	0.00	46.6
1	266	0.0	0.137	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	60.0
2	6	0.0	0.005	5.3	LOS A	0.0	0.1	0.30	0.51	0.30	45.8
	287	0.0	0.137	0.4	NA	0.0	0.1	0.01	0.04	0.01	58.7
wning	Street										
2	19	0.0	0.035	4.9	LOS A	0.1	0.8	0.24	0.52	0.24	45.5
1	6	0.0	0.035	10.3	LOS A	0.1	8.0	0.24	0.52	0.24	46.0
2	1	0.0	0.035	12.5	LOS A	0.1	8.0	0.24	0.52	0.24	45.6
	26	0.0	0.035	6.5	LOS A	0.1	8.0	0.24	0.52	0.24	45.6
wart S	treet										
2	6	0.0	0.056	4.5	LOS A	0.0	0.3	0.01	0.03	0.01	58.5
1	209	0.0	0.056	0.0	LOS A	0.0	0.3	0.00	0.01	0.00	59.7
2	2	0.0	0.002	5.6	LOS A	0.0	0.1	0.35	0.52	0.35	45.4
	218	0.0	0.056	0.2	NA	0.0	0.3	0.01	0.02	0.01	59.5
es	576	0.0	0.137	1.2	NA	0.3	1.9	0.05	0.10	0.05	56.8
	owning 2 1 1 2 wart St 2 1 1 2 2 1 1 2 2 1 1 2 2 1 1 2 2 1 1 2 2 1 1 2 2 1 1 2 2 1 1 2 2 1 1 2 2 2 1 3 2 3 3 4 3 4 3 4 3 4 3 4 3 4 3 4 3 4 3	wart Street 2	veh/h %  owning Street 2 25 0.0 1 5 0.0 2 14 0.0  wart Street 2 15 0.0 2 14 0.0  wart Street 2 15 0.0 2 6 0.0 287 0.0  owning Street 2 19 0.0 26 0.0 26 0.0  wart Street 2 19 0.0 26 0.0  wart Street 2 19 0.0 26 0.0  287 0.0  owning Street 2 19 0.0 26 0.0  287 0.0  owning Street 2 19 0.0 26 0.0  wart Street 2 19 0.0 26 0.0  wart Street 2 19 0.0 26 0.0	Total veh/h % v/c owning Street 2 25 0.0 0.080 1 5 0.0 0.080 2 14 0.0 0.080 44 0.0 0.080 44 0.0 0.080 44 0.0 0.080 45 0.0 0.035 26 0.0 0.035 27 0.0 0.035 28 0.0 0.035 28 0.0 0.035 29 0.0 0.035 20 0.0 0.056 21 209 0.0 0.056 21 209 0.0 0.056 22 2 0.0 0.002 218 0.0 0.056	Total veh/h % Satn Delay veh/h % V/c sec owning Street  2 25 0.0 0.080 5.7 1 5 0.0 0.080 10.3 12.8 14 0.0 0.080 12.8 14 0.0 0.080 8.4 12.8 14 0.0 0.080 12.8 14 12.6 12 15 0.0 0.008 12.8 15 12.6 12 15 0.0 0.008 12.8 16 12 16 0.0 0.005 12.8 17 0.0 0.005 12.8 17 0.0 0.035 12.5 12.5 12.5 12.5 12.5 12.5 12.5 12.	Total veh/h % v/c sec sec service veh/h % v/c sec sec sec sec sec sec sec sec sec se	Total HV Satn Delay Service Vehicles veh/h % v/c sec veh  Delay Service Vehicles v	Total veh/h % v/c sec veh m  Delay Service veh m  D	Total veh/h % v/c sec veh m  Total veh/h % veh n  Total veh/h % veh/h % veh n  Total veh/h % veh/h % veh/h N  Total veh/h % veh/h N  Total veh/h % veh/h N  Total	Total HV Satn belay Service veh m    Total HV Satn sec	Total HV Sath Service Vehicles Distance Queued Stop Rate Cycles veh/h % v/c sec Vehicles veh m Queued Stop Rate Cycles veh/h % v/c sec Vehicles Distance Queued Stop Rate Cycles veh/h % v/c sec Vehicles Distance Queued Stop Rate Cycles veh/h % v/c sec Vehicles Distance Queued Stop Rate Cycles veh/h % v/c sec Vehicles Distance Queued Stop Rate Cycles veh m

Table A2: Weekday Priority Intersection Performance of Stewart Street with Browning Street for the Saturday Peak Hour

Mover	nent P	erforman	ce - V	ehicle	S							
Mov	Т	Demand F	lows	Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID	Turn	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
East: S	Stewart	Street										
5	T1	212	0.0	0.113	0.0	LOS A	0.1	0.4	0.03	0.01	0.03	59.3
6	R2	6	0.0	0.113	4.6	LOS A	0.1	0.4	0.03	0.01	0.03	55.0
Approa	ach	218	0.0	0.113	0.2	NA	0.1	0.4	0.03	0.01	0.03	59.3
North:	369 St	ewart Stree	t drive	way								
7	L2	7	0.0	0.011	3.6	LOS A	0.0	0.3	0.37	0.51	0.37	37.2
9	R2	4	0.0	0.011	4.9	LOS A	0.0	0.3	0.37	0.51	0.37	36.6
Approa	ach	12	0.0	0.011	4.1	LOS A	0.0	0.3	0.37	0.51	0.37	37.0
West:	Stewar	t Street										
10	L2	4	0.0	0.153	5.5	LOS A	0.0	0.0	0.00	0.01	0.00	30.1
11	T1	295	0.0	0.153	0.0	LOS A	0.0	0.0	0.00	0.01	0.00	59.6
Approa	ach	299	0.0	0.153	0.1	NA	0.0	0.0	0.00	0.01	0.00	59.2
All Veh	icles	528	0.0	0.153	0.2	NA	0.1	0.4	0.02	0.02	0.02	58.8

Table A3: Weekday Priority Intersection Performance of Stewart Street with the driveway at 369
Stewart Street for the Weekday Peak Hour



Move	ment F	Performano	:e - V	ehicle	s							
Mov		Demand F		Deg.	Average	Level of	95% Back	of Queu <u>e</u>	Prop.	Effective	Aver. No.	Average
ID	Turn	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
South:	Brown	ing Street										
1	L2	18	0.0	0.063	5.3	LOS A	0.2	1.5	0.43	0.62	0.43	44.4
2	T1	5	0.0	0.063	10.4	LOS A	0.2	1.5	0.43	0.62	0.43	44.9
3	R2	11	0.0	0.063	12.9	LOS A	0.2	1.5	0.43	0.62	0.43	44.5
Approa	ach	34	0.0	0.063	8.5	LOS A	0.2	1.5	0.43	0.62	0.43	44.5
East: S	Stewart	Street										
4	L2	18	0.0	0.010	4.6	LOS A	0.0	0.0	0.00	0.53	0.00	46.6
5	T1	198	0.0	0.101	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	60.0
6	R2	9	0.0	0.009	5.6	LOS A	0.0	0.2	0.35	0.53	0.35	45.6
Approa	ach	225	0.0	0.101	0.6	NA	0.0	0.2	0.01	0.06	0.01	57.9
North:	Browni	ng Street										
7	L2	19	0.0	0.042	5.0	LOS A	0.1	1.0	0.31	0.55	0.31	45.2
8	T1	6	0.0	0.042	10.6	LOS A	0.1	1.0	0.31	0.55	0.31	45.6
9	R2	3	0.0	0.042	12.6	LOS A	0.1	1.0	0.31	0.55	0.31	45.2
Approa	ach	28	0.0	0.042	7.1	LOS A	0.1	1.0	0.31	0.55	0.31	45.3
West:	Stewar	t Street										
10	L2	11	0.0	0.075	4.5	LOS A	0.1	0.4	0.01	0.04	0.01	58.4
11	T1	277	0.0	0.075	0.0	LOS A	0.1	0.4	0.00	0.02	0.00	59.6
12	R2	16	0.0	0.014	5.4	LOS A	0.1	0.4	0.31	0.54	0.31	45.5
Approa	ach	303	0.0	0.075	0.4	NA	0.1	0.4	0.02	0.05	0.02	58.6
All Veh	nicles	591	0.0	0.101	1.3	NA	0.2	1.5	0.06	0.11	0.06	56.5

Table A4: Weekday Priority Intersection Performance of Stewart Street with Browning Street for the Weekday Peak Hour



# **APPENDIX B**

# SIDRA Intersection Results for Existing Traffic Conditions with cafe and bakery traffic

Move	ment P	erformanc	ce - V	ehicle	s							
Mov	Т	Demand F	lows	Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID	Turn	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
East:	Stewart	Street										
5	T1	262	0.0	0.139	0.0	LOS A	0.1	0.4	0.02	0.01	0.02	59.5
6	R2	6	0.0	0.139	4.3	LOS A	0.1	0.4	0.02	0.01	0.02	55.3
Appro	ach	268	0.0	0.139	0.1	NA	0.1	0.4	0.02	0.01	0.02	59.4
North:	369 Ste	ewart Street	t drive	way								
7	L2	7	0.0	0.007	3.4	LOS A	0.0	0.2	0.30	0.46	0.30	37.4
9	R2	1	0.0	0.007	4.7	LOS A	0.0	0.2	0.30	0.46	0.30	36.9
Appro	ach	8	0.0	0.007	3.5	LOS A	0.0	0.2	0.30	0.46	0.30	37.3
West:	Stewart	Street										
10	L2	1	0.0	0.114	5.5	LOS A	0.0	0.0	0.00	0.00	0.00	30.2
11	T1	221	0.0	0.114	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	59.9
Appro	ach	222	0.0	0.114	0.0	NA	0.0	0.0	0.00	0.00	0.00	59.7
All Ve	hicles	499	0.0	0.139	0.1	NA	0.1	0.4	0.02	0.02	0.02	59.2

Table B1: Weekday Priority Intersection Performance of Stewart Street with the driveway at 369
Stewart Street for the Saturday Peak Hour with cafe and bakery traffic

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Move	nent P	erformanc	:e - V	ehicle	S							
Mov	Turn	Demand F	lows	Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID	Tulli	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
South:	Brown	ing Street										
1	L2	25	0.0	0.081	5.7	LOS A	0.3	1.9	0.47	0.66	0.47	44.4
2	T1	5	0.0	0.081	10.4	LOS A	0.3	1.9	0.47	0.66	0.47	44.8
3	R2	14	0.0	0.081	12.9	LOS A	0.3	1.9	0.47	0.66	0.47	44.5
Approa	ach	44	0.0	0.081	8.5	LOS A	0.3	1.9	0.47	0.66	0.47	44.5
East: S	Stewart	Street										
4	L2	15	0.0	0.008	4.6	LOS A	0.0	0.0	0.00	0.53	0.00	46.6
5	T1	269	0.0	0.138	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	60.0
6	R2	6	0.0	0.005	5.3	LOS A	0.0	0.1	0.30	0.51	0.30	45.8
Approa	ach	291	0.0	0.138	0.4	NA	0.0	0.1	0.01	0.04	0.01	58.7
North:	Browni	ng Street										
7	L2	19	0.0	0.035	4.9	LOS A	0.1	0.9	0.24	0.52	0.24	45.5
8	T1	6	0.0	0.035	10.4	LOS A	0.1	0.9	0.24	0.52	0.24	45.9
9	R2	1	0.0	0.035	12.6	LOS A	0.1	0.9	0.24	0.52	0.24	45.5
Approa	ach	26	0.0	0.035	6.5	LOS A	0.1	0.9	0.24	0.52	0.24	45.6
West:	Stewar	t Street										
10	L2	6	0.0	0.056	4.5	LOS A	0.0	0.3	0.01	0.03	0.01	58.5
11	T1	212	0.0	0.056	0.0	LOS A	0.0	0.3	0.00	0.01	0.00	59.7
12	R2	2	0.0	0.002	5.6	LOS A	0.0	0.1	0.36	0.52	0.36	45.4
Approa	ach	220	0.0	0.056	0.2	NA	0.0	0.3	0.01	0.02	0.01	59.5
All Veh	icles	581	0.0	0.138	1.2	NA	0.3	1.9	0.05	0.10	0.05	56.9

Table B2: Weekday Priority Intersection Performance of Stewart Street with Browning Street for the Saturday Peak Hour with cafe and bakery traffic

Move	nent P	erforman	ce - V	ehicle	S							
Mov	Т	Demand F	Flows	Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID	Turn	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
East: S	Stewart	Street										
5	T1	212	0.0	0.116	0.1	LOS A	0.1	0.6	0.04	0.02	0.04	59.0
6	R2	9	0.0	0.116	4.6	LOS A	0.1	0.6	0.04	0.02	0.04	54.5
Approa	ach	221	0.0	0.116	0.3	NA	0.1	0.6	0.04	0.02	0.04	58.9
North:	369 St	ewart Stree	t drive	way								
7	L2	9	0.0	0.013	3.6	LOS A	0.0	0.3	0.36	0.51	0.36	37.2
9	R2	4	0.0	0.013	4.9	LOS A	0.0	0.3	0.36	0.51	0.36	36.6
Approa	ach	14	0.0	0.013	4.0	LOS A	0.0	0.3	0.36	0.51	0.36	37.0
West:	Stewar	t Street										
10	L2	4	0.0	0.153	5.5	LOS A	0.0	0.0	0.00	0.01	0.00	30.1
11	T1	295	0.0	0.153	0.0	LOS A	0.0	0.0	0.00	0.01	0.00	59.6
Approa	ach	299	0.0	0.153	0.1	NA	0.0	0.0	0.00	0.01	0.00	59.2
All Veh	icles	534	0.0	0.153	0.3	NA	0.1	0.6	0.03	0.03	0.03	58.6

Table B3: Weekday Priority Intersection Performance of Stewart Street with the driveway at 369
Stewart Street for the Weekday Peak Hour with cafe and bakery traffic



Move	ment P	erformanc	e - V	ehicles	<u> </u>							
Maria		Demand F		Deg.	Average	Level of	95% Back	of Queue	Prop.	Effective	Aver. No.	Average
ID	Turn	Total	HV	Satn	Delay	Service	Vehicles	Distance	Queued	Stop Rate	Cycles	Speed
		veh/h	%	v/c	sec		veh	m				km/h
South	: Brown	ing Street										
1	L2	18	0.0	0.063	5.3	LOS A	0.2	1.5	0.43	0.62	0.43	44.4
2	T1	5	0.0	0.063	10.5	LOS A	0.2	1.5	0.43	0.62	0.43	44.8
3	R2	11	0.0	0.063	13.0	LOS A	0.2	1.5	0.43	0.62	0.43	44.4
Appro	ach	34	0.0	0.063	8.5	LOS A	0.2	1.5	0.43	0.62	0.43	44.5
East:	Stewart	Street										
4	L2	18	0.0	0.010	4.6	LOS A	0.0	0.0	0.00	0.53	0.00	46.6
5	T1	201	0.0	0.103	0.0	LOS A	0.0	0.0	0.00	0.00	0.00	60.0
6	R2	9	0.0	0.009	5.6	LOS A	0.0	0.2	0.35	0.53	0.35	45.6
Appro	ach	228	0.0	0.103	0.6	NA	0.0	0.2	0.01	0.06	0.01	57.9
North:	Browni	ng Street										
7	L2	19	0.0	0.043	5.1	LOS A	0.1	1.0	0.31	0.55	0.31	45.1
8	T1	6	0.0	0.043	10.7	LOS A	0.1	1.0	0.31	0.55	0.31	45.6
9	R2	3	0.0	0.043	12.7	LOS A	0.1	1.0	0.31	0.55	0.31	45.2
Appro	ach	28	0.0	0.043	7.2	LOS A	0.1	1.0	0.31	0.55	0.31	45.3
West:	Stewart	t Street										
10	L2	11	0.0	0.075	4.5	LOS A	0.1	0.4	0.01	0.04	0.01	58.4
11	T1	279	0.0	0.075	0.0	LOS A	0.1	0.4	0.00	0.02	0.00	59.6
12	R2	16	0.0	0.014	5.4	LOS A	0.1	0.4	0.31	0.54	0.31	45.5
Appro	ach	305	0.0	0.075	0.4	NA	0.1	0.4	0.02	0.05	0.02	58.6
All Ve	hicles	596	0.0	0.103	1.3	NA	0.2	1.5	0.06	0.11	0.06	56.5

Table B4: Weekday Priority Intersection Performance of Stewart Street with Browning Street for the Weekday Peak Hour with cafe and bakery traffic



4 November 2020

WST20/00093/02

General Manager Bathurst Regional Council PMB 17 BATHURST NSW 2795

Dear Sir

DA2020/31: Lot 2 DP 270264; 369 Stewart Street (HW6), Mitchell; Bakery & Cafe

I refer to an email from Council's Senior Development Control Planner Daniel Dwyer referring additional information submitted in support of DA2020/31 to Transport for NSW (TfNSW) for comment. Reference is made to TfNSW's previous submission in relation to this proposal dated 27 March 2020.

TfNSW has reviewed the additional information and provides the following advice to assist Council in its assessment and determination of DA2020/31:

• The additional information submitted indicates, as a minimum, and pursuant to *Austroads Guide to Road Design*, that the intersection of Stewart Street and the access servicing the proposed development, needs to include Basic Right (BAR) and Basic Left (BAL) turn treatments. Minimum specifications for these turn treatments are enclosed. The existing pavement appears to have sufficient width to accommodate BAR and BAL turn treatments, however, some line marking and changes to on-street parking arrangements are needed to accommodate and formalise these treatments.

I trust this response is of assistance. Please forward a copy of Council's determination of DA2020/31 to TfNSW at the same time it is sent to the applicant. If you wish to discuss this matter further, please contact Andrew McIntyre, Manager Land Use Assessment on 02 6861 1453.

Yours faithfully

Holly Davies

Acting Senior Manager, Regional Customer Services

West Region

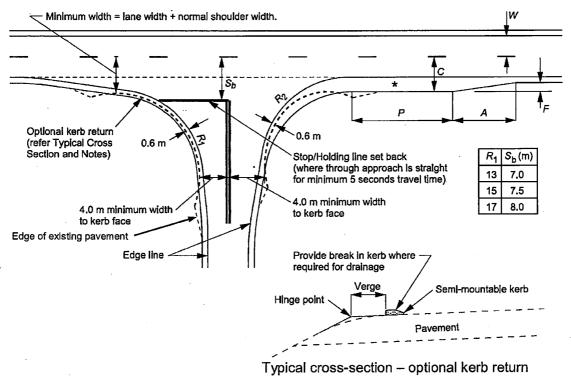
**Roads and Maritime Services** 

51-55 Currajong Street Parkes NSW 2870 | PO Box 334 Parkes NSW 2870 | DX20256 T 02 6861 1444 | F 02 6861 1414

www.rms.nsw.gov.au | 131 782

Figure 8.2: Rural basic left-turn treatment (BAL)

\* It is preferred that the widened shoulder is sealed, unless the shoulder can be maintained with a sound and even surface.



#### Notes:

- R<sub>1</sub> and R<sub>2</sub> are determined by the swept path of the design vehicle.
- The dimensions of the treatment are defined thus:
  - W = Nominal through lane width (m) (including widening for curves).
  - C = On straights 6.0 m minimum.

On curves - 6.0 m plus curve widening (based on widening for the design turning vehicle plus widening for the design through vehicle).

 $A = \frac{0.5VF}{3.6}$ 

V = Design speed of major road approach (km/h).

F = Formation/carriageway widening (m).

P = Minimum length of parallel widened shoulder (Table 8.1).

S<sub>b</sub> = Setback distance between the centre of the major road and the give way or stop line in the minor road.

Source: Department of Main Roads (2006)35.

Austroads 2017 | page 80

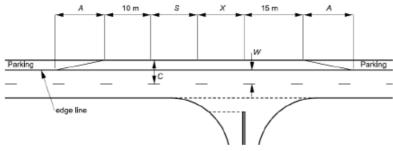
Department of Main Roads (2006) has been superseded and Figure 8.2 has not been carried forward into Queensland Department of Transport and Main Roads (2016).

# 7.5 Urban Right-turn Treatments - Undivided Roads

#### 7.5.1 Urban Basic Right-turn Treatment (BAR)

The BAR turn treatment shown in Figure 7.6 is applicable at intersections of two-lane urban roads and minor local roads where traffic volumes do not warrant a higher order treatment. It should provide sufficient pavement width for the design through vehicle to pass a vehicle waiting to turn right. The absolute minimum pavement width on a horizontal straight should be 6.0 m between the centreline and the edge of the pavement or kerb line while 6.5 m is the preferred minimum as it is adequate for heavy vehicles (excluding road trains) to pass right-turning vehicles.

Figure 7.6: Basic right-turn treatment (BAR) for a two-lane urban road



Notes: This diagram does not show any specific bicycle facilities. Where required bicycle facilities should be provided in accordance with this Part.

The dimensions of the treatment are defined thus:

W = Nominal through lane width (m) (including widening for curves). Width to be continuous through the intersection.

C = On straights - 6.0 m minimum

- 6.5 m minimum for 19 m semi-trailers and B-doubles

- 7.0 m minimum for Type 1 and Type 2 road trains

On curves - widths as above + curve widening (based on widening for the design turning vehicle plus

widening for the design through vehicle).

$$A = \underline{0.5V(C-W)}$$
3.6

Increase length A on tighter curves (e.g. where side friction demand is greater than the maximum desirable). Where the design through vehicle is larger than or equal to a 19 m semi-trailer, the minimum speed used to calculate A is 80 km/h.

V = Design speed of major road approach (km/h).

S = Storage length to cater for one design turning vehicle (m) (minimum length 12.5 m).

X = Distance based on design vehicle turning path, refer to Design Vehicles and Turning Path Templates (Austroads 2013f).

Source: Department of Main Roads (2006) 30.

A turning radius in accordance with *Design Vehicles and Turning Path Templates* (Austroads 2013f) should be used and the design turning vehicle's swept path should be used to determine the length of approach and departure widening for the site geometrics (i.e. angle of intersection, width of carriageways). No lane lines or right-turn arrows should be marked on the pavement for a BAR turn treatment. The provision of bicycle lanes should be considered, refer to *AGTM Part 6* (Austroads 2013a) and *AGRD Part 4* (Austroads 2017) for further information.

30	Department of Main Roads (2006) has been superseded and Figure 7.6 has not been carried forward into Queensland Departmen
	of Transport and Main Roads (2016).

Austroads 2017 | page 73



27/05/2022

Ray Carter,

**Carter Properties** 

# **Fire Systems Condition and Installation and Report**

Subject Building/site: AWH wool store tenancy - 369 Stewart Street, Bathurst NSW

**System:** General Sprinkler System, wet pipe, 3 x control sets (3 x systems/zones)

Monitoring status: monitored via Fire Indicator Panel, located on Northern wall, ASE connected.



# Introduction

Central Fire & Electrical have been engaged to complete AS1851:2012 testing of the fire sprinkler system at 369 Stewart Street, Bathurst NSW. These works have been outlined and completed in accordance with Central Fire & Electrical quote number 7523. Subsequent to these works, a system condition and installation report (this document) is to be generated as requested for Essential Fire Safety Measures onsite.

The building pre dates the advent of Essential Fire Safety Schedules. An Annual Fire Safety Statement was generated and issued to council in 2020 however, whilst referenced and affixed to this report, this Statement is non compliant, performance standards are incorrectly referenced and/or incomplete. The AFSS was used in identifying measures onsite.

Central Fire & Electrical are not the incumbent fire protection service provider onsite, basic inspect and test records for portable equipment, hose reels and hydrants have been provided.

Initial site inspection carried out January 31st 2022.



#### 1. Fire Sprinkler System

#### **System Condition**

Sprinkler heads are circa 75 years old, visual examination identified that the majority of the samples had light to light/medium build-ups of dust, grime and of oxidation, generally consistent with their age and situation. All samples appeared to be in a reasonable service condition.

Control/alarm valve installations onsite are dated March 1934. Visual examination to the valve sets indicated condition generally consistent with age. Maintenance was carried out pursuant to the quoted works, with seals etc replaced in accordance with the maintenance requirements of AS1851:2012

## **System Compliance**

The installed system predates Automatic fire sprinkler systems standards. The first standard published with reference to fire sprinkler systems was CA16-1939, with the first standard designated specifically for Automatic Fire Sprinkler Systems in 1978 (AS2118.1:1978).

There is no design criteria, pressure/flow duty documentation, plans or reports available onsite indicating the system design parameters. This would be considered consistent with expectation given the age of the system.

The systems are considered to be non-compliant based on the above.

#### 2. Fire Detection System

# **System Condition**

The Fire Indicator Panel is approximately 15 years old, comprising zones monitoring the fire sprinkler system only.

Condition is fair and operates as required to signal the Alarm Signalling Equipment (ASE) on activation of the fire sprinkler system pressure switches.

#### **System Compliance**

The Fire Indicator Panel would be considered compliant in the capacity of interface between Fire Sprinkler systems and the Alarm Signalling Equipment (ASE). There is no detection throughout the building



# 3. Portable fire equipment

#### **System Condition**

Portable fire extinguishers and fire blankets appear in fair condition, service reports are affixed to this report indicating the current asset list and service life of each asset.

# **System Compliance**

Portable fire equipment appears in intervals throughout the building generally conducive with requirements.

#### 4. Fire Hose Reels

#### **System Condition**

Fire hose reels appear in fair condition, service reports shall be affixed to this report indicating the current asset list and service life of each asset.

# **System Compliance**

Fire hose reels appear in intervals throughout the building generally conducive with requirements.

# 5. Fire Hydrant system

#### System condition

The Fire Hydrant System installed onsite is fed from Browning Street. A brigade booster connection exists on the Browning Street side, the feed hydrant for this connection is an underground council hydrant. There is no block plan, or design information

# **System Compliance**

The installation may pre date standards, information is limited regarding the hydrant system.

Ben Middleton

Chath?

Accredited Practitioner (Fire Safety), accreditation number F033691A

Central Fire & Electrical



# **Reference photographs**



Figure 1: Booster assembly on Browning Street





Figure 2: example hydrant stand and landing valve



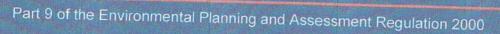
Figure 3: fire sprinkler system valve set

AWH (AUSTRALIAN WOOL HANDLERS) - EQUIPMENT LIST - DATE SERVICED: ...... PERSON DOING JOB: ....................

# SITE: BATHURST (LAST SERVICE DATE: 9.11.2021 - MICK) 6 MONTH - MAY/NOVEMBER

Number	Location	Item - (AW/DC/CO2 /WChem/HR/FB/HYD)	Size	Last P/T date	Service Lvl	Condition/repairs
1	OUTSIDE TOOL ROOM	CO2	3.5	2021	4	RPT
2	BOOK ROOM	CO2	3.5	2021	4	RPT
3	HALL WAY	CO2	3.5	2021	4	RPT
4	OUTSIDE TOOL ROOM	CO2	3.5	2021	4	RPT
5	NEAR KITCHEN	CO2	5.0	2017	2	OK
6	NEXT TO ROLLER DOOR	AW	9.0L	2017	2	OK
7	OFFICE WOOL AREA	AW	9.0L	2020	2	OK
8	NEAR ROLLER DOOR WOOL BIT	AW	9.0L	2018	2	OK
9	KITCHEN	DC	1.0	2018	2	OK
10	OUTSIDE COMPRESSOR ROOM	DC	9.0	2017	2	OK
11	BACK SIDE ROLLER DOOR	DC	9.0	2018	2	OK
12	COMPRESSOR ROOM INSIDE	DC	9.0	2018	2	OK
13	OUTSIDE TOOL ROOM	DC	9.0	2018	2	OK
14	BACK CORNER MEAL ROOM	DC	9.0	2018	2	OK - BAG
15	OFFICE NEXT ROLLER DOOR	DC	9.0	2018	2	OK - BAG
16	OFFICE WOOL AREA	DC	9.0	2020	2	OK
17	NEXT TO MACHINERY	DC	9.0	2020	2	OK
18	OUTSIDE MAINTENANCE ROOM	DC	9.0	2020	2	OK
19	OUTSIDE LADIES TOILET	DC	9.0	2020	2	OK
20	ROOM MAINTENANCE TOOL ROOM	DC	4.5	2017	2	OK
21	KITCHEN	FB	1200X1200		2	OK
22	OUTSIDE - NEXT TO ROLLER DOOR	HREEL			2	OK
23	OUTSIDE ENTRY	HYD SINGLE			2	OK
24	WOOL SIDE ROLLER DOOR	HYD SINGLE			2	OK
25	OUTSIDE – NEXT TO ROLLER DOOR	HYD SINGLE			2	OK
26	FOLLOW AROUND BUILDING	HYD SINGLE			2	OK

27	BACK OF BUILDING	HYD SINGLE			2	ОК	
28	BACK OF BUILDING	HYD SINGLE			2	OK	
29	BACK OF BUILDIND	HYD SINGLE			2	OK	
30	NEXT TO ROLLER DOOR	HYD SINGLE			2	OK	
31	FOLLOW BUILDING WALL	HYD SINGLE			2	OK	
32	FOLLOW BUILDING WALL	HYD SINGLE			2	OK	
33	TOOL ROOM	CO2	3.5	2021	4	RPT	
34	TOOL ROOM	DC	2.5	2019	2	ОК	
35	SPARE – TOOL ROOM	CO2	3.5	1997	2	OK	
36	SPARE – TOOL ROOM	CO2	5.0	1995	2	OK	
37	SPARE – TOOL ROOM ON TROLLEY	DC	2.5	2017	2	OK	
38	BETWEEN FIP AND SPRINKLER	AW	9.0L	2018	2	OK	
							,
	TOP SHED						
1	OUTSIDE TOILET/OFFICE AREA	DC	1.0	2018	2	OK	,
2	OUTSIDE TOILET/OFFICE AREA	FB	1.2 X 1.2		2	OK	
3	OUT INTO SHED AREA	DC	9.0	2018	2	OK	
4	FRONT ROLLER DOOR AREA	HREEL	36M		2	OK	
5	FRONT ROLLER DOOR AREA	DC	9.0	2018	2	OK	
6	FRONT WALL	HREEL	36M		2	OK	
7	FRONT WALL	DC	9.0	2018	2	OK	
8	SIDEWALL ROLLER DOOR	DC	9.0	2018	2	OK	
9	SIDE WALL ROLLER DOOR	HREEL	36M		2	OK	
10	BACK WALL	DC	9.0	2018	2	OK	
11	BACK WALL	HREEL	36M		2	OK	,
12	FOLLOW BACK WALL	DC	9.0	2018	2	OK	
13	FOLLOW BACK WALL	HREEL	36M		2	OK	
14	SIDE WALL BEHIND OFFICE AREA	HREEL	36M		2	OK	
15	SIDE WALL BEHIND OFFICE AREA	DC	9.0	2018	2	OK	





DI	00	20	-	-	60	

Information to assist building owners to complete each section of the statement is pr

		The state of the s	it is provided on pages 3, 4 and 5.
Section 1: Type of	of statement		
This is (mark applica	able box): 🛛 an annual	fire safety statement (complete the declar entary fire safety statement (complete the	aration at Section 8 of this form) e declaration at Section 9 of this form)
This statement applie	ption of the building es to: ⊠ the whole buildi	or part of the building ng □ part of the building	BATHURST REGIONAL COUNC
Address 369 STEWART STE	REET BATHURST NSW	2795	1 1 JUN 2020
Lot No. (if known)	DP/SP (if known)	Building name (if applicable)	REF 22.02306 061
Provide a brief descri	ption of the building or pa	art (building use, number of storeys, cons	truction type etc)

Section 3: Name and address of the owner(s) of the building or part of the building

Name Prefabricated Buildings Pty Ltd.

Address PO Box 9339 Bathurst NSW 2795

# Section 4: Fire safety measures

Fire safety measure FIRE EXTINGUISHER	Minimum standard of performance AS2444	Date(s) assessed 20.3.2020	CFSP *
HOSE REEL	AS2441		Mark Waters
AUTO DETECT & ALARM	10/07	20.3.2020	Mark Waters
SYSTEM	AS1670	20.3.2020	Mark Waters
HYDRANT SYSTEMS	AS2419.1	20.3.2020	Maria Maria
AUTO DETECT & SUPPRESSION	AS2118.1	20.3.2020	Mark Waters
SYSTEM	A32110.1	20.3.2020	Mark Waters
The second secon			

<sup>\*</sup> See notes on page 4 about how to correctly identify a Competent Fire Safety Practitioner (CFSP).

Section 5: Inspection of fire exits and paths of travel to fire exits (Part 9 Division 7)

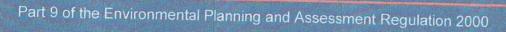
Part of the building in	,	
Part of the building inspected	Date(s) inspected	CFSP *
		- Open control
 RECEIVED		

SEPBS 1 0 JUN 2020

369 STEWART STREET BATHURST NSW 2795

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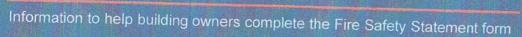
BATHURST REGIONAL COUNCIL





\* See notes on page 4 about how to correctly identify a Competent Fire Safety Practitioner (CFSP).

Full name Mark Waters	Phone 0400401524	Email fisoprotech@himman	Accreditation No.*	Signature
	0400401524	fireprotech@bigpond.com	FPA -IT15816	1
				-
Where applicable see notes o		Lacronical		
ection 7; Name and (	contact details o	f the person issuing this state	ement #	
ull name				
rganisation (if applicable				
rganisation (il applicable	)	Title/Position (if app	olicable)	
hone				
		Email		
he person issuing the statement	t must not be a CFSP list	ed in section 6.		
ection 8: Annual fire	safaty statement	docloretic		
Raymond Wad	salety Statement			
clare that:	carper	(insert full nar	me) being the: wowner	owner's age
each essential fire saf	ety measure specifi	ed in this statement has been asse		
practitioner and was for	ound, when it was a	ssessed, to be capable of perform	essed by a competent fire : ling:	safety
<ol> <li>in the case of an</li> </ol>	essential fire safety ed in the schedule, o	measure applicable by vidua at a	fire safety schedule, to a	standard no le
<li>ii. in the case of an standard no less</li>	essential fire safety	measure applicable otherwise tha he measure was originally designe	an by virtue of a fire safety	schedule, to a
the building has been	inspected by a com	petent fire safety practitioner and winds for a prosecution under Division		pected, to be
vner/Agent Signature				
RIII la	t		Date iss	ued /
			9/6	12020
ction 9: Supplementa	ry fire safety sta	tement declaration	,	
Roymond Wa	de Carte	(insert full name) being th	ne: Downer Downer's a	aent
clare that each critical fire ctitioner and was found.	safety measure spi	ecified in the statement has been a		
ner/Agent Signature	, and a summing too it	mor this statement is issued.		
gorit orginature	11/07		Date issu	ued
KI	66			
Kl.	CE			
re:		st be attached to the		
		st be attached to the statement in a	accordance with the Regul	ation.





# Section 8: Annual fire safety statement declaration

- The person completing this section is the person who is issuing the annual fire safety statement in accordance with clause 175 of the Regulation and is the same person as detailed in section 7. The person issuing the statement must identify if they are the owner or the owner's agent.
- In issuing the statement, the building owner or agent is <u>not</u> declaring that each fire safety measure meets the minimum standard of performance, but rather that each fire safety measure has been assessed, and was found by a CFSP to be capable of performing to that standard, as listed in section 4. In performing this function, the building owner or owner's agent could obtain documentation from each CFSP to verify that the standard of performance has been met, prior to completing the form and issuing the statement.
- The person who issues the statement by completing section 8 or section 9 of the form must not be a CFSP who
  was involved in the assessment of any of the fire safety measures, or inspection of the building for the purposes of
  the statement. This is to ensure that building owners, who are ultimately responsible, remain engaged in the fire
  safety statement process.

# Section 9: Supplementary fire safety declaration

- The person completing this section is the person who is issuing the supplementary fire safety statement in
  accordance with clause 178 of the Regulation and is the same person as detailed in section 7. The person issuing
  the statement must identify if they are the owner or the owner's agent.
- The information provided above in relation to section 8 on what the owner is declaring also applies to a supplementary fire safety statement.

© State of New South Wales through Department of Planning, Industry and Environment 2019. The information contained in this publication is based on knowledge and understanding at the time of writing (November 2019). However, because of advances in of the information with the appropriate officer of the Department of Planning, Industry and Environment or the user's independent

369 STEWART STREET BATHURST NSW 2795

Version 3.0 | Effective from 1 February 2020 | NSW Department of Planning, Industry and Environment | 4



Information to help building owners complete the Fire Safety Statement form

#### Please note:

The following information has been provided to help building owners complete the fire safety statement template and does not comprise part of the form. The following pages do not have to be displayed in the building and need not be submitted to the local council and the Commissioner of Fire and Rescue NSW.

#### General

- Please print in CAPITAL LETTERS and complete all relevant sections in full.
- A reference to 'the Regulation' is a reference to the Environmental Planning and Assessment Regulation 2000.
- A 'CFSP' is a competent fire safety practitioner recognised under clause 167A of the Regulation.
- The completed fire safety statement form must be submitted to both the local council and Fire and Rescue NSW.
- Please contact your local council for further information about how to submit the completed statement.
- Completed statements can be emailed to Fire and Rescue NSW at afss@fire.nsw.gov.au. Alternately, statements
  can be posted to Fire and Rescue NSW, Locked Bag 12, Greenacre NSW 2190. For further information about this
  process, please visit the 'Lodge a fire safety statement' page at www.fire.nsw.gov.au.
- As soon as practicable after issuing the fire safety statement, the building owner must display a copy (together with a copy of the current fire safety schedule) in a prominent location within the building.
- Further information about building fire safety is available on the 'Fire safety' page of the Department's website at www.planning.nsw.gov.au.

#### Section 1: Type of statement

- Mark the applicable box to identify if the statement being issued is an annual fire safety statement or a supplementary fire safety statement.
- An annual fire safety statement is issued under clause 175 of the Regulation and relates to each essential fire safety measure that applies to the building.
- A supplementary fire safety statement is issued under clause 178 of the Regulation and relates to each critical fire safety measure that applies to the building.

# Section 2: Description of the building or part of the building

- Mark the applicable box to identify whether the statement relates to the whole building or part of the building.
- In addition to the address and other property identifiers, a brief description of the building or part is to be provided.
   This could include the use(s) of the building (e.g. retail, offices, residential, assembly, carparking), number of storeys (above and/or below ground), construction type or other relevant information.
- If the description relates to part of a building, the location of the part should be included in the description.

# Section 3: Name and address of the owner(s) of the building or part of the building

- Provide the name and address of each owner of the building or part of the building.
- The owner of the building or part of the building could include individuals, a company, or an owner's corporation.

# Section 4: Fire safety measures

- The purpose of this section is to identify all of the fire safety measures that apply to a building or part of a building.
- Fire safety measures include both essential fire safety measures and critical fire safety measures. They include
  items such as portable fire extinguishers, fire hydrants, fire sprinklers, fire detection and alarm systems and
  lightweight construction.
- Essential fire safety measures are those fire safety measures which are assessed on an annual basis, while critical
  fire safety measures are those which are required to be assessed at more regular intervals (as detailed on the fire
  safety schedule). These terms are defined in clause 165 of the Regulation.
- For annual fire safety statements, the table in section 4 must list each of the essential fire safety measures that
  apply to the building or part of the building and the relevant standard of performance. The date(s) on which these
  measures were assessed and inspected must be within the 3 months prior to the date the annual fire safety
  statement is issued.

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Information to help building owners complete the Fire Safety Statement form

- For supplementary fire safety statements, the table in section 4 must list each of the relevant critical fire safety
  measures that apply to the building or part and the relevant standard of performance. The date(s) on which these
  measures were assessed and inspected must be within 1 month prior to the date the supplementary fire safety
  statement is issued.
- The accreditation number of the CFSP who assessed a fire safety measure listed in section 4 must be nominated against the relevant measure(s) in the column titled 'CFSP'. If the CFSP is not required to be accredited, the name of the CFSP must be listed. Further information on the accreditation number is provided at section 6.

# Section 5: Inspection of fire exits and paths of travel to fire exits (Part 9 Division 7)

- · This section applies only to an annual fire safety statement.
- The purpose of this section is to identify that a CFSP has inspected the fire exits, fire safety notices, doors relating
  to fire exits and paths of travel to fire exits in the building or part of the building and found there has been no breach
  of Division 7 of Part 9 of the Regulation.
- The table in section 5 must detail the parts of the building that were inspected. The date(s) of the inspection(s) must be within the 3 months prior to the date the annual fire safety statement is issued.
- The accreditation number of the CFSP who inspected the whole or part of the building listed in section 5 must be nominated against the relevant part in the column titled 'CFSP'. If the CFSP is not required to be accredited, the name of the CFSP must be listed. Further information on the accreditation number is provided at section 6.

# Section 6: Name and contact details of competent fire safety practitioners (CFSPs)

- A CFSP is a person engaged by the building owner(s) to undertake the assessment of fire safety measures in section 4 and the inspection of the buildings exit systems in section 5 (for an annual fire safety statement). Under clause 167A of the Regulation, the building owner(s) must form the opinion in writing that the person is a CFSP unless the person is required to be accredited (see below).
- The purpose of this section is to record the name and contact details of each CFSP who assessed a fire safety measure listed in section 4 or inspected the building or part of the building as specified in section 5.
- Each CFSP listed in the table must also sign the fire safety statement. Alternatively, a CFSP could provide the building owner or agent with a separate signed document to endorse the relevant part of the fire safety statement.
- An accreditation scheme for CF\$Ps is expected to start in January 2020.
- After the accreditation scheme begins, CFSPs will need to be selected from a register of recognised practitioners.
   The accreditation number of each relevant CFSP must be listed on the form. Until the accreditation scheme commences, or if a practitioner is of a class of persons that is not required to be accredited under clause 167A of the Regulation, there is no requirement to include an accreditation number on the form.
- · Further information about the accreditation scheme can be found at www.fairtrading.nsw.gov.au.

# Section 7: Name and contact details of the person issuing the statement

- The purpose of this section of the form is to detail the name and contact details of the person who is issuing the statement i.e. the person who completes and signs section 8 or section 9 of the form. This could be the owner(s) of the building or a nominated agent of the owner(s).
- Where a person issues the statement on behalf of an organisation (as the owner of the building), the name of the
  organisation and the title/position of the person must be provided. The person issuing the statement as a
  representative of the organisation must have the appropriate authority to do so.
- Where a person issues the statement on behalf of the owner(s) (as the owner's agent), this person must have the
  appropriate authority from the building owner(s) to undertake this function.
- In the case of a building with multiple owners, one owner may issue the statement, however each of the other owners must authorise the owner who issues the statement to act as their agent.
- The person issuing the statement must not be a CFSP who is listed in section 6. This recognises the different roles and responsibilities for building owner(s) and CFSPs in the fire safety statement process. This is important because the Regulation makes building owners responsible for declaring that fire safety measures have been assessed and the building inspected (for the purposes of section 5) by a CFSP. This ensures that building owners, who are ultimately responsible, remain engaged in the fire safety statement process.
- In addition, until an accreditation scheme commences and accredited practitioners are recognised as CFSPs under the Regulation, or if a practitioner is not required to be accredited, only the building owner(s) can determine that a person is competent to perform the fire safety assessment functions. The building owner(s) are also responsible for ensuring that essential fire safety measures are maintained in accordance with clause 182 of the Regulation. An agent cannot be made responsible for these requirements.

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Bathurst Regional Council council@bathurst.gov.au

1<sup>st</sup> June 2022

Ben Hamer
Carter Properties
ben@carterproperties.com.au
0413312580

Dear Bathurst Council,

Attention: General Manager

Re: Request for a review of Development Application refusal under Section 8.2 of the *Environmental Planning and Assessment Act*.

• DA Number: DA 2020/31 (Bakery & Café)

Lodgement Date: 4 February 2020

Request for Information Date: 21 April 2021 (Fire Safety Report)

• DA Number: DA 2020/32 (Motel)

Lodgement Date: 4 February 2020

Request for Information Date: 21 April 2021 (Fire Safety Report)

The reason for the refusal of the development application lodged with Bathurst Regional Council was as part of the assessment we were requested to provide a Fire Safety Report. Upon receiving the request, we contacted our local fire services supplier and requested that they complete the required report. They agreed to organise the report. Unknown to us was that they didn't have the required skills within their organisation to complete the report and that they were subcontracting specialists from outside the Bathurst Regional Council Area to complete.

As you will remember in the second half of 2021 was when COVID lockdowns were in full force and citizens could not easily travel outside local government areas and encouraged to work from home. This meant our supplier couldn't get their subcontractors to travel meaning that the report could not be completed on time.

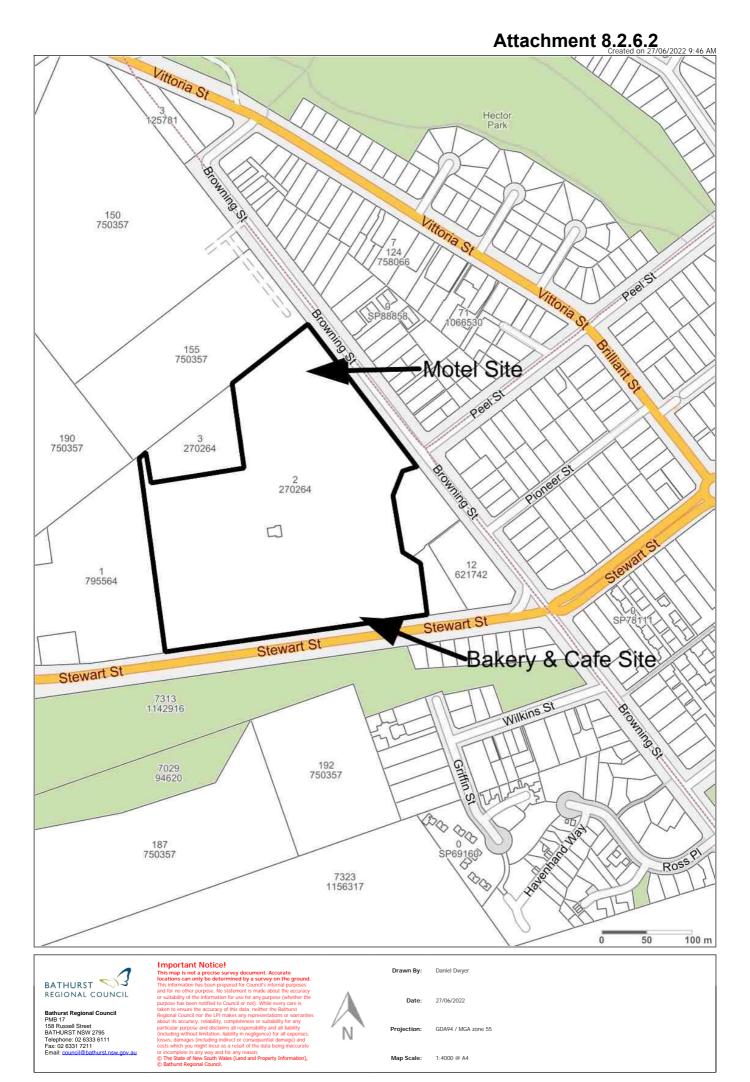
Eventually after the failure of our local fire service provider to complete the report in a reasonable timeframe we have changed suppliers to another company that has completed the required testing and provided the requested information.

We would request that you consider our request for a review and consider the unprecedented issues experienced by us due to COVID lockdowns and review the development application now that we are able to provide the requested information.

If you require any further information, please do not hesitate to contact me.

Ben Hamer

Manager Carter Properties







Bathurst Regional Council
PMB 17
158 Russell Street
BATHURST NSW 2795
Telephone: 02 6333 6111
Fax: 02 6331 7211
Email: council@bathurst.nsw.gov.au

#### mportant Notice!

ocations can only be determined by a survey on the ground, his information has been prepared for Councils internal purposes and for no other purpose. No statement is made about the accuracy results with the information for use for any purpose (whether the lurpose has been notified to Council or not). While every care is kepton and council nor the LPI makes any representations or warranties bout its accuracy, reliability, completeness or suitability for any sarticular purpose and disclaims all responsibility and all liability including without limitation, liability in negligence for all expenses, sosses, damages (including indirect or consequential damage) and osts which you might incur as a result of the data being inaccurate ir incomplete in any way and for any reason.



Drawn By: Daniel Dwyer

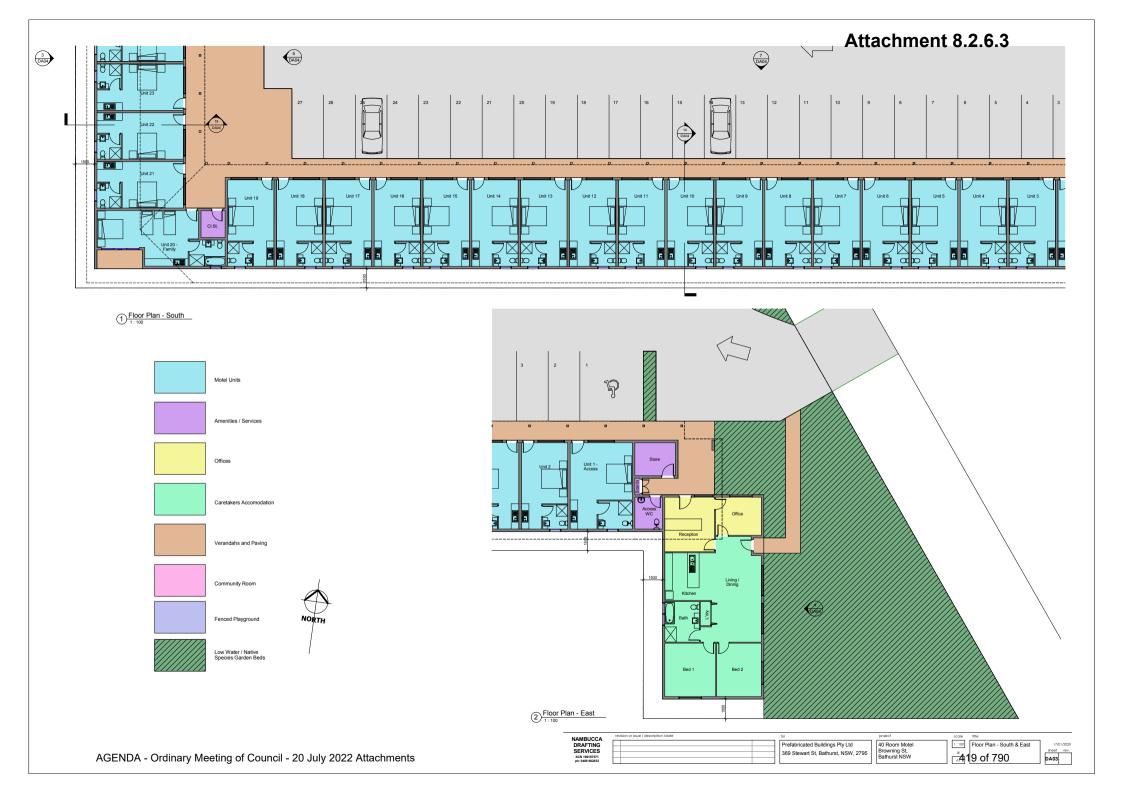
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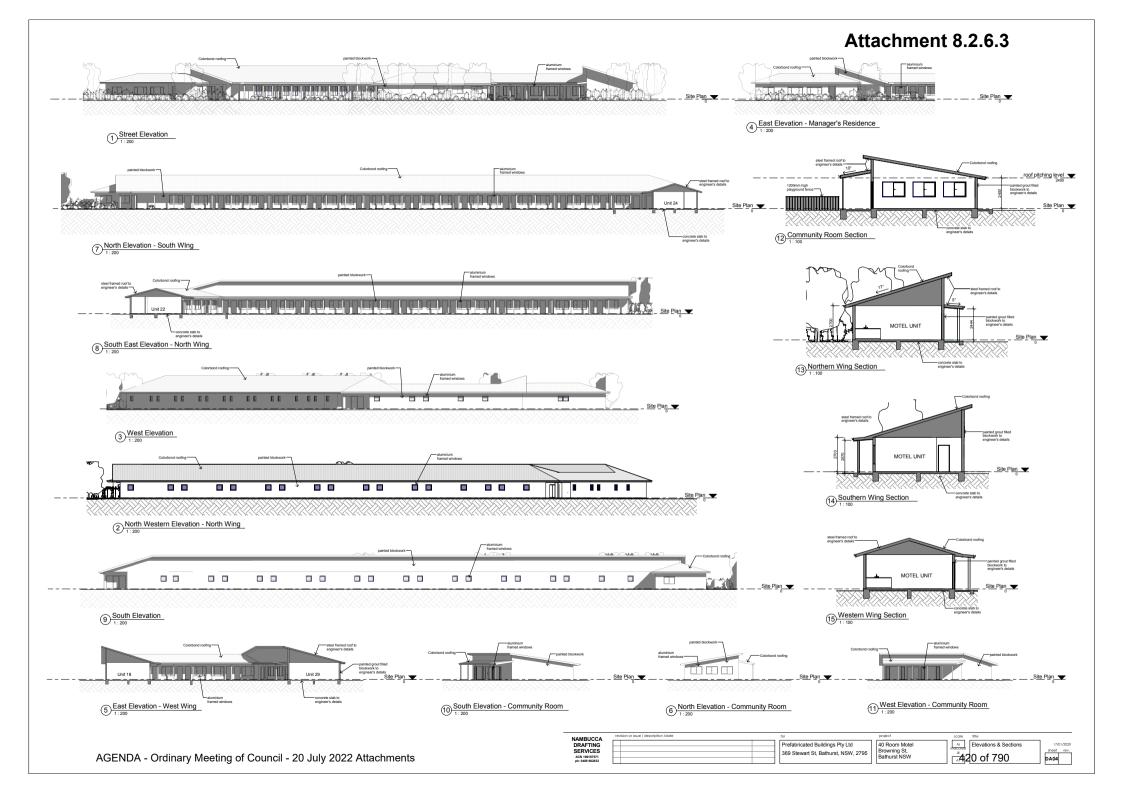
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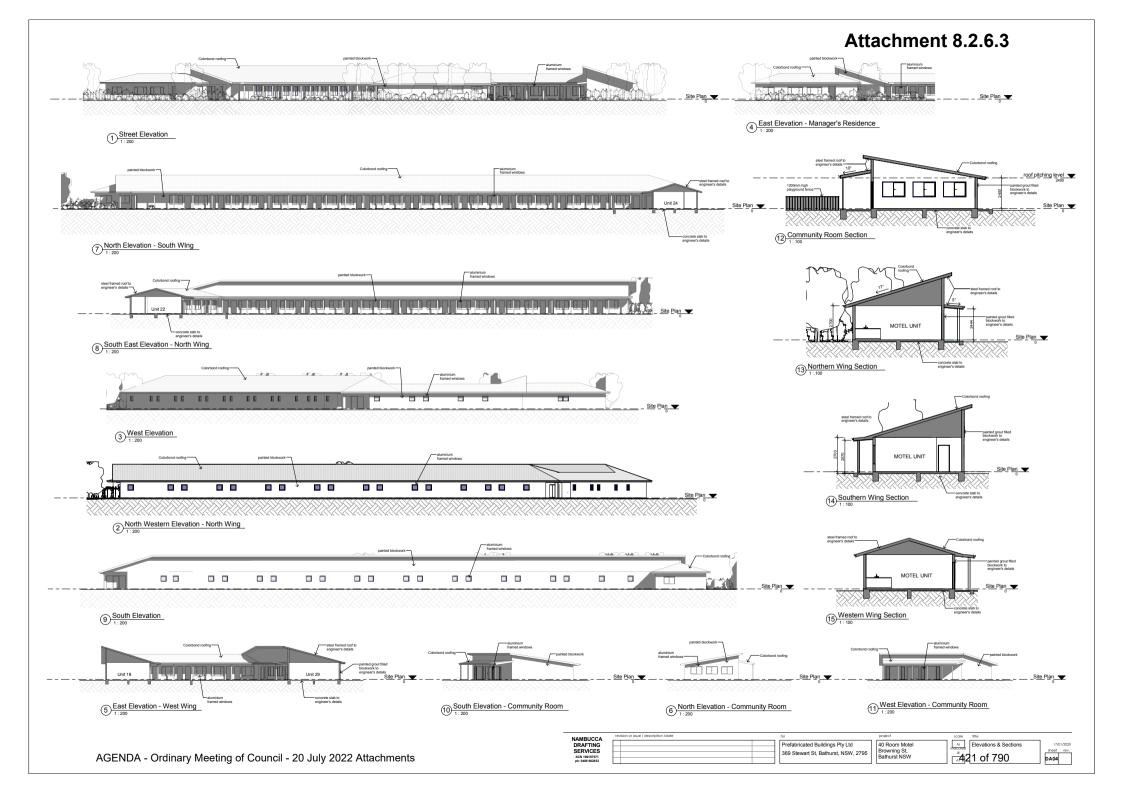
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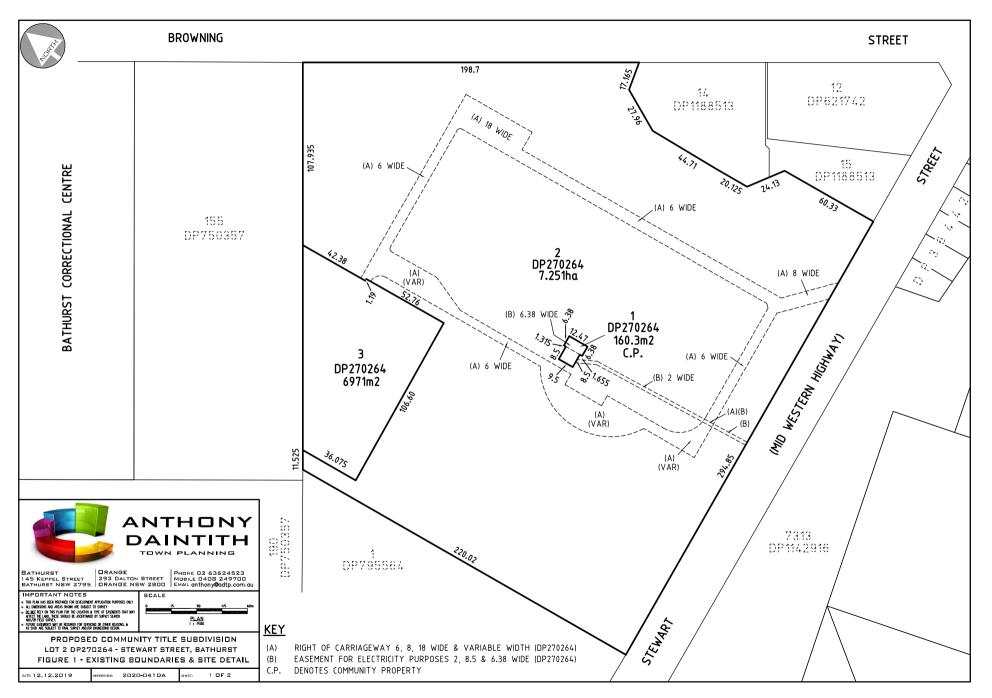
# Attachment 8.2.6.3 10 DA04 Motel Units Verandahs and Paving Community Room Fenced Playground Low Water / Native Species Garden Beds Site Plan NAMBUCCA DRAFTING SERVICES ACN 169187571 ph: 0409 662633 scole title 1:200 Site Plan Prefabricated Buildings Pty Ltd 40 Room Motel Browning St, Bathurst NSW 369 Stewart St, Bathurst, NSW, 2795 DA01 <del>4</del>17 of 790 AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments

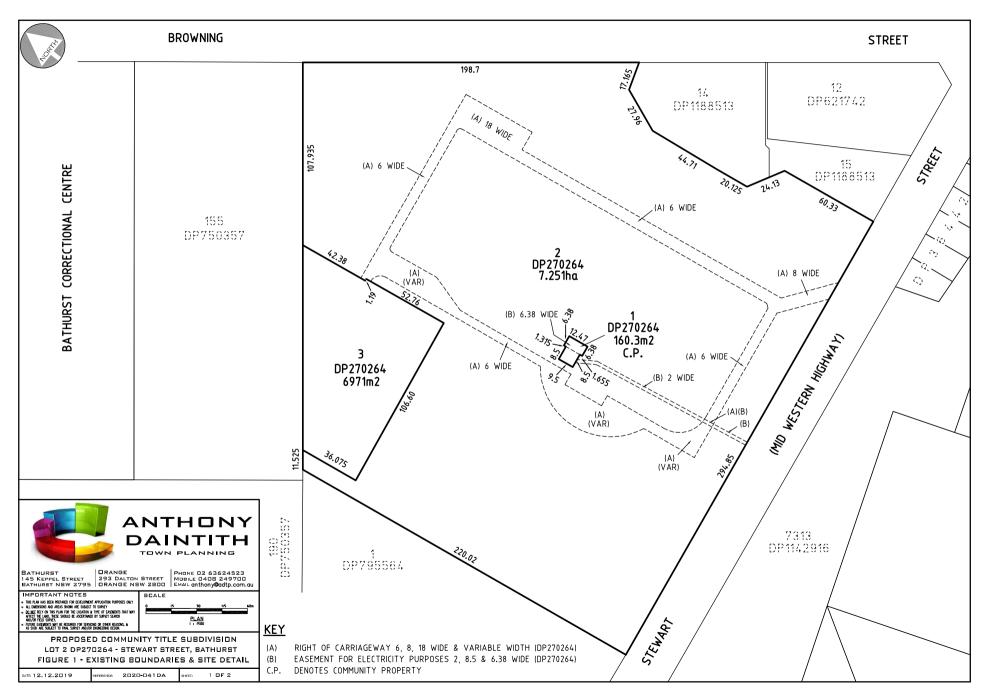


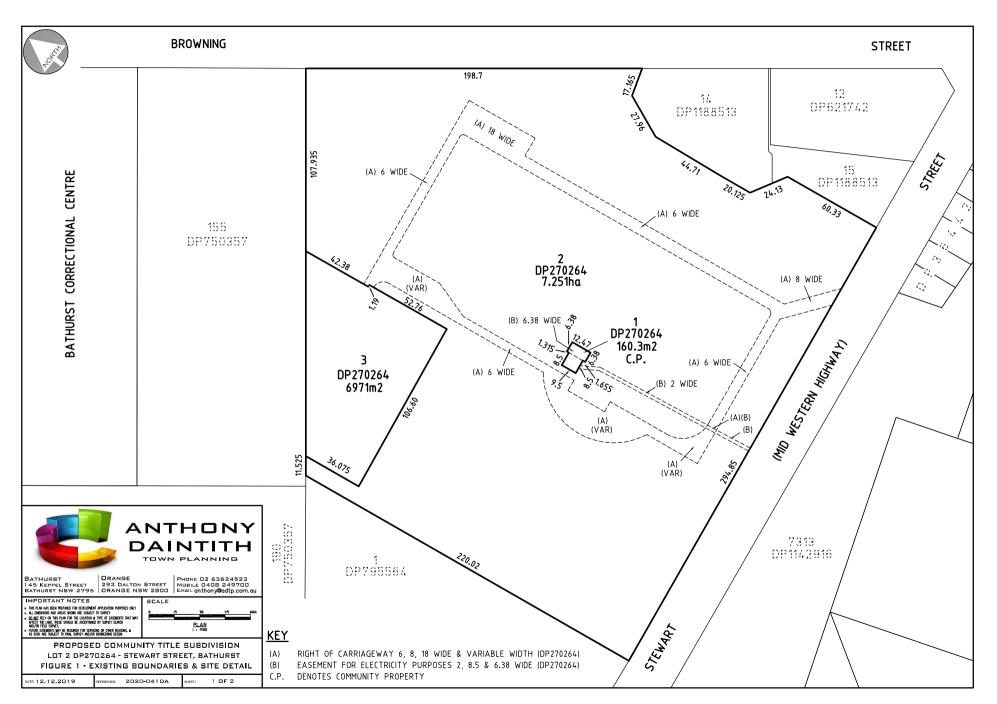


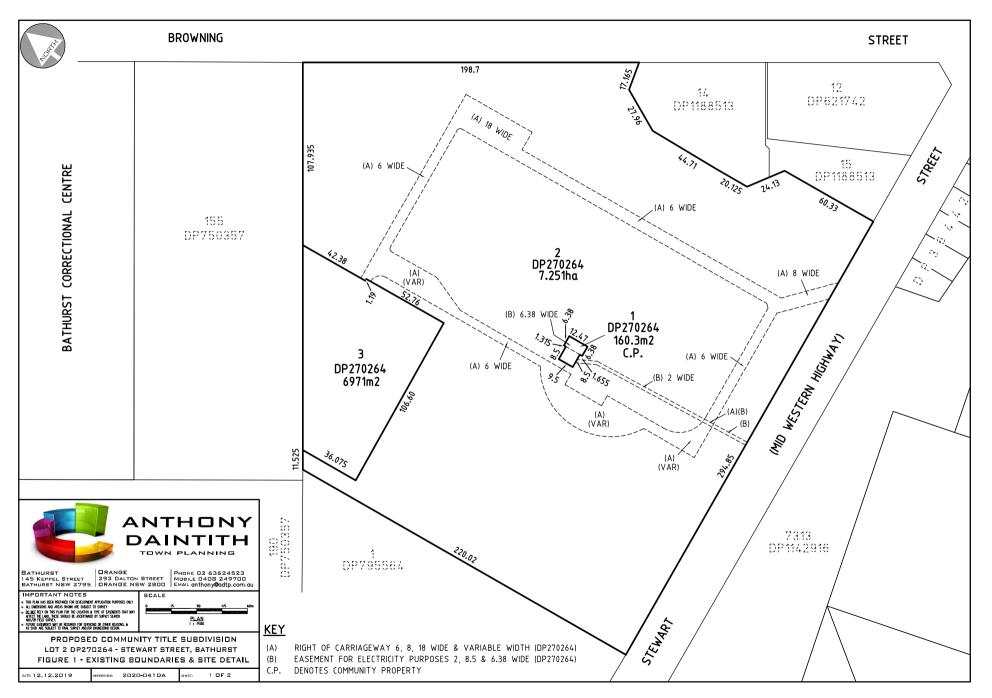














# STATEMENT OF ENVIRONMENTAL EFFECTS



PROPOSAL: Motel (42 units) & Subdivision (2 lots)

ADDRESS: 369 Stewart Street, Bathurst

DATE: 6 January 2020



PROPOSAL: Motel (42 units) & Subdivision (2 lots)

CLIENT: Prefabricated Buildings Pty Ltd

Anthony Daintith Town Planning Pty Ltd ABN 46 121 454 153 ACN 121 454 153

Contact: 145 Keppel Street, Bathurst

16 Robinson Court, Orange

M: PO Box 1975, Orange NSW 2800

T: 02 63624523

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#### **QUALITY ASSURANCE**

This document has been prepared, checked and released in accordance with the Quality Control Standards established by Anthony Daintith Town Planning.

Version	Date	Description	Ву
1.0	6/6/2019	Draft	AD
2.0	6/1/2020	Draft	AD
3.0	28/1/2020	Approved	AD

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This document has been authorised by

Anthony Daintith (Principal) Date: 28 January 2020



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Proposal: Motel (42 units)

369 Stewart Street (Browning Street), Bathurst

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Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst



# BACKGROUND

#### 1.1 INTRODUCTION

Prefabricated Buildings Pty Ltd has engaged Anthony Daintith Town Planning to prepare a Statement of Environmental Effects (SOEE), to support a development application to Bathurst Regional Council, for a proposed 42 room motel at 369 Stewart Street, Bathurst (access off Browning Street). It is also proposed to create a lot around the proposed motel site via a 2 lot subdivision.

The purpose of this document is to:

- Describe the existing environment;
- Outline the proposed development;
- Consider relevant statutory matters; and
- Make conclusions and recommendations for Councils consideration.

The development application consists of the following components:

- Completed Development Application form;
- Statement of Environmental Effects;
- Site Plan:
- Building Plans;
- Subdivision Plan.

#### 1.2 APPLICANT AND OWNER

The applicant is Prefabricated Buildings Pty Ltd, C/- Anthony Daintith Town Planning.

The owner of the land is Prefabricated Buildings Pty Ltd. The owners' have provided their written consent to the application.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst



# 2. SUBJECT LAND

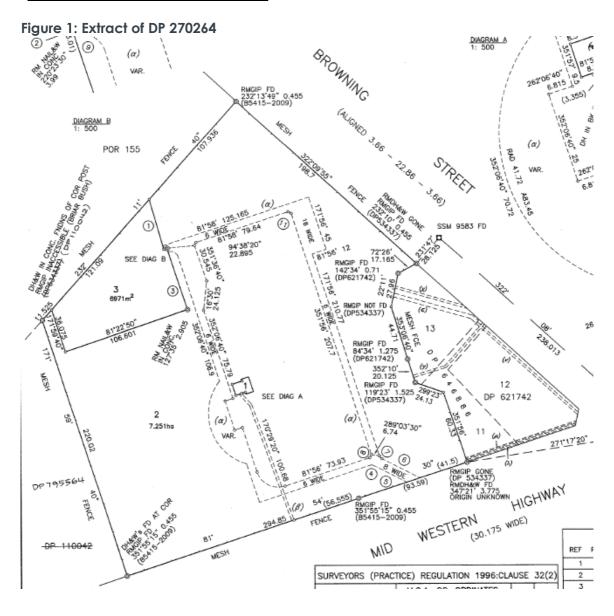
# 2.1 SITE DESCRIPTION

The subject land is identified as 369 Stewart Street, Bathurst. The area of the site is 7.251ha.

The land title description is:

Table 1: Land Title Details

Lot	Deposited Plan
2	270264



Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst

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# **Topography**

The land is relatively level and rises up to the northern part of the lot.

# **Vegetation**

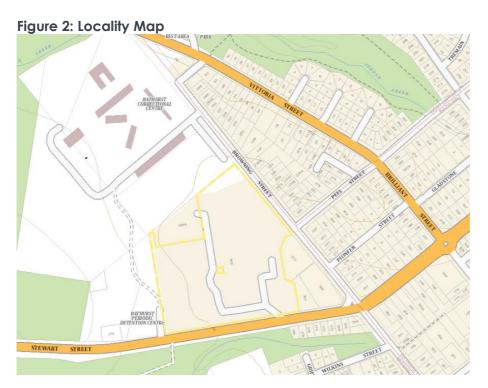
There is limited landscaping on the site. The site of the proposed motel us cleared.

# Waterways

There are no water courses traversing the site.

# **Buildings**

The site contains a number of industrial buildings. However, the site of the proposed motel on the northern portion of the site is on cleared land.



Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page 6 of 38







# 2.3 SURROUNDING DEVELOPMENT

# <u>North</u>

Bathurst Correctional Centre.

#### South

Existing industrial development on the site and residential on the other side of Stewart Street.

# <u>East</u>

Residential development on the eastern side of Browning Street.

# West

Bathurst Correctional Centre.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst

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Photo 1: Subject of the motel looking north



Photo 2: Northern portion of the motel site looking east



Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page 8 of 38 V1.0







Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page **9** of **38 V1.0** 



# 3. PROPOSAL

The proposed development seeks development consent for the construction of a motel (42 units) on the most northern portion of the site (access off Browning Street).

The development consists of the following:

- Construction of a single storey development (including basement car parking) to accommodate 42 motel units
- Each unit will have an ensuite and kitchenette
- Community Room
- Playground
- Office and managers residence
- Earthworks
- Landscaping
- Advertising Signage
- Car parking and associated access and driveways (50 spaces including two disabled spaces).

Figure 4: Site Plan



Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page 10 of 38



Figure 5: Browning Street Elevation



Figure 6: 3D Representation



The proposal incorporates a variety of materials, finishes, and features. The use of a broad material palette will prevent a visually homogenous building and provides the opportunity for 'light and shade' with the proposed building's materials.

## Waste Collection

Private waste collection contractors will be responsible for providing a waste removal service for the motel, including the supply and maintenance of all equipment and the coordination of this service with the cleaning service. A weekly service is considered adequate. If required, a more frequent pick service could be available on a contingency basis, and would be coordinated by the On Site Manager.

#### Staff Numbers

Depending on occupancy and time of day, it is expected the proposal will have an average of 1-2 full time equivalent staff present on site (plus casual cleaning and maintenance staff). A manager will be onsite 24/7.

## **Subdivision**

The proposal involves the subdivision of the subject land into 2 lots. Refer to the submitted subdivision plan for greater detail.

The proposed lots are as follows:

Table 2: Proposed Lots

op ooo a _o.o				
Lot	Area			
100	5410m2			
2	6.71ha			

Note: Areas will be subject to final survey and are approximate.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst

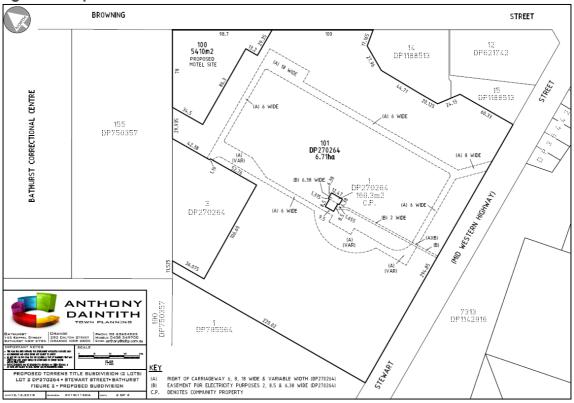
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Lot 100 contains the proposed motel site.

Refer to the subdivision plan for greater detail.

Figure 7: Proposed Subdivision Plan



Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst



# 4. TOWN PLANNING CONSIDERATIONS

Pursuant to Section 4.15 (formerly Section 79C) of the *Environmental Planning* and Assessment Act 1979, the following matters must be taken into consideration when assessing a development application:

#### 4.15 Evaluation

(cf previous s 79C)

#### Matters for consideration—general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provisions of:
  - (i) any environmental planning instrument, and
  - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
  - (iii) any development control plan, and
  - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
  - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and
  - (v) any coastal zone management plan (within the meaning of the <u>Coastal</u> Protection Act 1979),

that apply to the land to which the development application relates,

- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
- (c) the suitability of the site for the development,
- (d) any submissions made in accordance with this Act or the regulations,
- (e) the public interest.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page 13 of 38



# (a)(i)The provisions of any environmental planning instrument

# **LOCAL ENVIRONMENTAL PLANS**

#### **BATHURST REGIONAL LOCAL ENVIRONMENTAL PLAN 2014**

# **Applicable LEP Clauses**

#### **Zone IN1** General Industrial

- 1 Objectives of zone
- To provide a wide range of industrial and warehouse land uses.
- To encourage employment opportunities.
- To minimise any adverse effect of industry on other land uses.
- To support and protect industrial land for industrial uses.
- To enable development that serves the needs of the workforce.
- To promote development that will protect the scenic qualities and enhance the visual character of the entrances to the city of Bathurst.

#### 2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home businesses; Home occupations; Intensive plant agriculture; Roads

#### 3 Permitted with consent

Depots; Food and drink premises; Freight transport facilities; Funeral homes; Garden centres; General industries; Hardware and building supplies; **Hotel or motel accommodation**; Industrial training facilities; Kiosks; Light industries; Neighbourhood shops; Oyster aquaculture; Places of public worship; Rural supplies; Secondary dwellings; Tank-based aquaculture; Warehouse or distribution centres; Any other development not specified in item 2 or 4

#### 4 Prohibited

Agriculture; Camping grounds; Caravan parks; Commercial premises; Eco-tourist facilities; Exhibition homes; Exhibition villages; Forestry; Hazardous industries; Hazardous storage establishments; Offensive industries; Offensive storage establishments; Pond-based aquaculture; Residential accommodation; Tourist and visitor accommodation

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst







# Comment

The subject land is zoned IN1 General Industrial under the provisions of the Bathurst Regional Local Environment Plan 2014.

The proposed motel development is permissible subject to the consent of Council via the lodgement of a Development Application.

As detailed throughout this report, the proposed development can generally be shown to be consistent with the relevant objectives of the zone.

- The proposed mote will service the needs of the travelling public to Bathurst
- The development will create employment opportunities.
- The development will have no detrimental impact on the surrounding heritage items.
- No negative impact identified in surrounding land uses.
- The site is not located on an entry to Bathurst.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page **15** of **38** 



#### 4.1 Minimum subdivision lot size

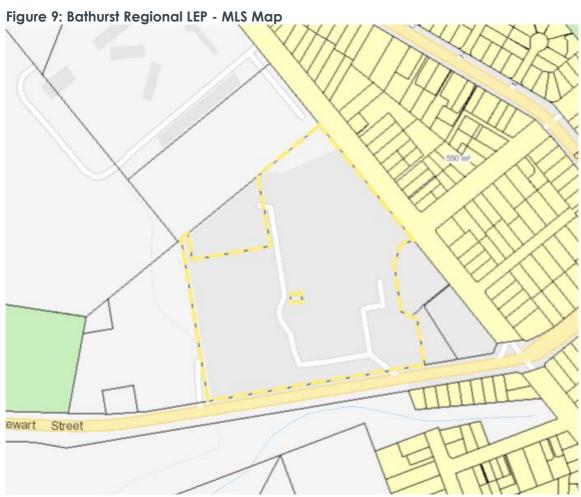
- (1) The objectives of this clause are as follows:
  - (a) to protect and enhance the production capacity of rural lands, by maintaining farm sizes and the status of productive lands,
  - (b) to ensure residential lots are of a suitable shape and size to provide a building envelope, private open space and suitable building setbacks for acoustic and visual privacy,
  - (c) to control the subdivision of land shown on the Lot Size Map for the purposes of a dwelling house,
  - (d) to ensure that lot sizes are consistent with the desired settlement density and intensities for different localities and reinforce the predominant subdivision pattern of the area,
  - (e) to ensure a secure water supply is available to land in Zone RU4 Primary Production Small Lots to enable the cultivation of land by irrigation.
- (2) This clause applies to a subdivision of any land shown on the Lot Size Map that requires development consent and that is carried out after the commencement of this Plan.
- (3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the Lot Size Map in relation to that land.
- (3A) Despite subclause (3), development consent must not be granted to the subdivision of land in Zone RU4 Primary Production Small Lots unless the consent authority is satisfied that a suitable and secure water supply is, or will be, available for irrigation to each resulting lot to enable the cultivation of the land.
- (3B) Despite subclause (3), the size of any lot resulting from the subdivision of land identified as "Area 1" on the Lot Size Map must not be less than 4,000 square metres if:
  - (a) reticulated water and sewerage will be connected to each resulting lot immediately following the subdivision, and
  - (b) the land is not within the 50dBA Noise Contour shown on the Mount Panorama Environs Map.
- (3C) Despite subclause (3), the size of any lot resulting from the subdivision of an existing holding identified as "Area 1" on the Lot Size Map must not be less than 4,000 square metres if:
  - (a) reticulated water and sewerage will not be connected to each resulting lot immediately following the subdivision, and
  - (b) not more than 1 lot is created for every 1.5 hectares of the existing holding.
- (3D) A lot created under subclause (3C) may not be further subdivided.
- (3E) Despite subclause (3), the size of any lot resulting from the subdivision of land identified as "Area 2" on the Lot Size Map must not be less than 6,000 square metres if reticulated water and sewerage will be connected to each resulting lot immediately following the subdivision.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page 16 of 38

V1.0



- (3F) Despite subclause (3), a battle-axe lot resulting from the subdivision of the following land must not be less than:
  - (a) if the land is in Zone R1 General Residential—750 square metres, or
  - (b) if the land is in Zone R1 General Residential and in the village of Eglinton, Perthville or Raglan—900 square metres, or
  - (c) if the land is in Zone R2 Low Density Residential—750 square metres.
- (3G) For the purpose of calculating the size of a battle-axe lot under subclause (3F), the area of the access handle is excluded.
- (3H) In this clause existing holding means the area of a lot as it was on 2 September 1988.
- (4) This clause does not apply in relation to the subdivision of individual lots in a strata plan or community title scheme.



# **Comments**

There is no minimum lot size applicable to the subject land.

Proposal: Motel (42 units) 369 Stewart Street (Browning Street), Bathurst Page 17 of 38 V1.0



### 4.3 Height of buildings

- (1) The objectives of this clause are as follows:
  - (a) to establish the maximum height limit to which buildings may be erected in certain locations.
- (2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

### Comments

No applicable to this site. Regardless, the proposal is only single storey.

#### 4.4 Floor space ratio

- (1) The objectives of this clause are as follows:
  - (a) to ensure that the density, bulk and scale of development is appropriate for business and industrial land, and
  - (b) to ensure that the density, bulk and scale of development integrates with the streetscape and character of the area in which the development is located.
- (2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the <u>Floor Space Ratio Map</u>.

# **Comments**

As per the figure below, the maximum floor space ratio for a building on the site is not to exceed 1:1. The proposal will be significantly below this requirement.

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#### 5.10 Heritage conservation

Note. Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the Heritage Map as well as being described in Schedule 5.

## (1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Bathurst Regional local government area,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

# (2) Requirement for consent

Development consent is required for any of the following:

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- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):
  - (i) a heritage item,
  - (ii) an Aboriginal object,
  - (iii) a building, work, relic or tree within a heritage conservation area,
- (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,
- (c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,
- (d) disturbing or excavating an Aboriginal place of heritage significance,
- (e) erecting a building on land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,
- (f) subdividing land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.
- (3) When consent not required

However, development consent under this clause is not required if:

- (a) the applicant has notified the consent authority of the proposed development and the consent authority has advised the applicant in writing before any work is carried out that it is satisfied that the proposed development:
  - (i) is of a minor nature or is for the maintenance of the heritage item, Aboriginal object, Aboriginal place of heritage significance or archaeological site or a building, work, relic, tree or place within the heritage conservation area, and
  - (ii) would not adversely affect the heritage significance of the heritage item, Aboriginal object, Aboriginal place, archaeological site or heritage conservation area, or
  - (b) the development is in a cemetery or burial ground and the proposed development:
    - (i) is the creation of a new grave or monument, or excavation or disturbance of land for the purpose of conserving or repairing monuments or grave markers, and

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- (ii) would not cause disturbance to human remains, relics, Aboriginal objects in the form of grave goods, or to an Aboriginal place of heritage significance, or
- (c) the development is limited to the removal of a tree or other vegetation that the Council is satisfied is a risk to human life or property, or
- (d) the development is exempt development.
- (4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

(6) Heritage conservation management plans

The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.

(7) Archaeological sites

The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site (other than land listed on the State Heritage Register or to which an interim heritage order under the Heritage Act 1977 applies):

- (a) notify the Heritage Council of its intention to grant consent, and
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.
- (8) Aboriginal places of heritage significance

The consent authority must, before granting consent under this clause to the carrying out of development in an Aboriginal place of heritage significance:

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- (a) consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place by means of an adequate investigation and assessment (which may involve consideration of a heritage impact statement), and
- (b) notify the local Aboriginal communities, in writing or in such other manner as may be appropriate, about the application and take into consideration any response received within 28 days after the notice is sent.
- (9) Demolition of nominated State heritage items

The consent authority must, before granting consent under this clause for the demolition of a nominated State heritage item:

- (a) notify the Heritage Council about the application, and
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.

#### (10) Conservation incentives

The consent authority may grant consent to development for any purpose of a building that is a heritage item or of the land on which such a building is erected, or for any purpose on an Aboriginal place of heritage significance, even though development for that purpose would otherwise not be allowed by this Plan, if the consent authority is satisfied that:

- (a) the conservation of the heritage item or Aboriginal place of heritage significance is facilitated by the granting of consent, and
- (b) the proposed development is in accordance with a heritage management document that has been approved by the consent authority, and
- (c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out, and
- (d) the proposed development would not adversely affect the heritage significance of the heritage item, including its setting, or the heritage significance of the Aboriginal place of heritage significance, and
- (e) the proposed development would not have any significant adverse effect on the amenity of the surrounding area.

# Comment

The site contains a heritage item (ADI Site – former canteen building – small arms factory). However, the site of the proposed motel is well removed from this heritage item and there are a number of more modern buildings between them – therefore there is no connection or impact identified.

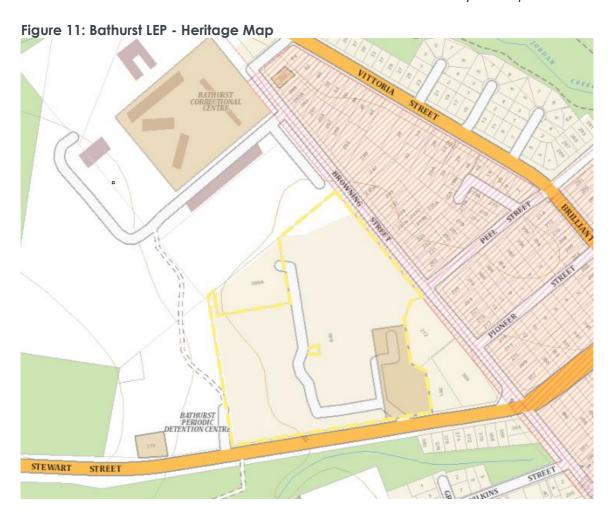
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Similarly, the Bathurst Gaol and Residences heritage items to the north are also quite a distance away and the new correctional centre that is currently been constructed between them will ensure that there is absolutely no impact.



#### 7.5 Essential services

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable vehicular access.

#### Comments

There services are readily available to the site. The development will have available reticulated water, sewer and electricity services. A new access to the development will need to be constructed in accordance with Councils

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standard requirements off Browning Street. Stormwater infrastructure to be constructed back to an approved discharge point.

# **STATE ENVIRONMENTAL PLANNING POLICIES**

# STATE ENVIRONMENTAL PLANNING POLICY 55 - REMEDIATION OF LAND

Council must consider Clause 7 of the SEPP when determining a Development Application:

- 7 Contamination and remediation to be considered in determining development application
- (1) A consent authority must not consent to the carrying out of any development on land unless:
  - (a) it has considered whether the land is contaminated, and
  - (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
  - (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.

## Comment

The potential for contamination appears minimal. In terms of potential soil contamination, the subject land has been evaluated for:

- Evidence of previous mining activity;
- Evidence of existing and previous dip sites and other associated infrastructure;
- Evidence of orcharding or any other horticultural activities; and
- Vegetative and other features which could indicate possible soil contamination.

Accordingly, it is recommended that a detailed investigation is not necessary or warranted in this instance.

# (a)(ii) Any draft environmental planning instrument

There are no known draft environmental planning instruments affecting the proposed development.

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# (a)(iii) Any development control plan:

# **BATHURST REGIONAL DEVELOPMENT CONTROL PLAN 2014**

Following is an assessment of the relevant provisions of the DCP:

**Table 3: DCP Analysis** 

	Heading:	
Clause	Heading	Comment
3.1	Preliminary	
3.2	Minimum lot size	There is no minimum lot size applicable to the subject land.
3.3	Subdivision	
	Requirements:	
	All zones	
3.3.1	Electricity and	Electricity and telephone services are available and connected
	telephone	to the site (and will be connected to the motel lot 100).
	services	
3.3.2	Road	No new roads proposed.
3.3.3	Drainage	Stormwater to be directed to Councils stormwater system.
3.3.4	Reticulated	Each lot will have a separate and distinct connection to Council's
	water and	reticulated water and sewerage systems.
	sewer	<u> </u>
3.3.5	Rural Water	Not applicable.
	Supply	
3.3.6	Soil and Water	Appropriate erosion and sediment control measures to be
	Management	implemented prior to the commencement of any construction
		works.
3.3.7	Natural	The proposed subdivision merely intends to create a lot around
	environment	the proposed motel development site.
3.3.8	Landscaping	No landscaping considered necessary.
3.3.9	Land	Refer to SEPP 55 comments.
	contamination	
3.3.10	Access via	Not applicable.
	Crown Roads	
3.4.2	Allotment	Lot 100 has an appropriate configuration based on the layout of
	dimensions	the proposed motel.
3.4.3	Road works	Not applicable – no new roads proposed.
3.4.4	Subdivision of	Not applicable.
	dual	
	occupancy,	
	multi dwelling	
	houses,	
	residential flat	
	buildings and	
	shop top	
	housing	
3.8	Development	Not applicable.
	Control Plan	
	Maps	

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Clause	Heading	Comment
5.1.1	Land to which this	The land is zoned IN1 General Industrial.
3.1.1	section applies	The land is zoned in Centeral Industrial.
5.2	Siting Considerations	The front elevation complements the existing setback of development within the vicinity of the site.
		Side and rear setbacks meet NCC requirements.
5.3	Soil and Water Management	Soil and erosion control plans to be provided at Construction Certificate stage.
5.4	Building Design Standards – Zone B5 Business Development	Not applicable.
5.5	Height of Buildings – Bathurst Conservation Area – Zone B3 – Commercial Core	Not applicable.
5.6	Parking, Access and Manoeuvring Areas	Access and parking will be provided to satisfy the relevant Australian Standards.
		There is significantly more spaces provided than required (50 spaces with 2 disabled).
		Vehicles can enter and leave the site in a forward direction.
		All carparks will be appropriately sealed and marked to comply with Australian Standards.
		New accesses to be constructed off Browning Street as shown on the site plans.
5.7	Clean Business and Industry	A soil and water management plan to be submitted with Construction Certificate Application.
		A trade waste agreement is not considered necessary.
		There are no identified negative noise impacts as a direct result of the proposed motel - accordingly a Noise Impact Assessment is not considered to be warranted in this instance.
5.8	Open Space and Fencing	All loading/unloading, storage and garbage areas will be appropriately screened from public areas.
		A new fence is proposed to be constructed along Browning Street. The motel site will be fenced off from the remainder of the subject land.
9.2	Land Resources	No issues with respect to steep slopes, soil salinity, and removal of native vegetation, permanent inundation and rock outcrops have been identified on the site.

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	1	
9.3	Riparian Land and Waterways	There are no watercourses on the site.
9.4	Biodiversity	There is no identified threatened species or critical habitat on the subject land.
9.5	Groundwater	It is considered that the proposed development on the site will not have an adverse impact on groundwater.
9.6	Flooding	Not applicable.
9.7	Bushfire Prone Land	Not applicable.
9.8	Flora and Fauna Surveys	Not considered necessary for this development on extensively disturbed and developed lands.
9.9	Sustainable Building Design and Energy Efficiency	Sustainable building design principles will be incorporated where possible and the proposal will be designed with the intention to comply with Section J – Energy Efficiency of the BCA.
		The proposed development has been designed to ensure compliance where possible with the provisions of the Sustainable Building Design Principles, specifically passive design, insulation, ventilation, landscaping, use of materials and colours, lighting, water and energy efficiency, and waste.
10	Heritage	Refer to LEP Heritage discussion.
11	Outdoor Lighting	The proposed external lighting of the site will be designed and selected in accordance with the requirements of the DCP and the Australian Standards to ensure that it delivers adequate lighting provisions for the site without detrimentally impacting upon the surrounding area (i.e. light spillage).
12	Signage and Colour Schemes	No signage is proposed at this time.  Refer to the development plans that indicate the proposed colour scheme.
13	Landscaping	No tree removal required.
		Landscaping will be provided on the site in accordance with a future landscaping plan.
14	Car parking	The proposed car parking has been designed to be compliant, where possible, with the DCP requirements and the (former) RTA Guide to Traffic Generating Development.
		Motel: 1 space/unit

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		1 spacer/2 employees
		50 car spaces are proposed to be provided (including 2 disabled spaces).
15	Crime Prevention	CPTED principles have been incorporated into the design of the proposal where possible, addressing matters such as surveillance, public spaces, and access.

# (a)(iiia) Any Planning Agreements

There are no known planning agreements affecting the property.

# (a)(iv) Any matters prescribed by the regulations:

# **Government Coastal Policy**

Not applicable to Bathurst Regional LGA.

# **Building Demolition**

No demolition proposed.

# **Upgrading of Buildings**

Not applicable to this proposal.

# **Fire Safety**

Not applicable to this proposal.

# **Temporary Structures**

Not applicable to this proposal.

# **Deferred Commencement Consent**

Not applicable to this proposal.

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# Modification or Surrender of Development Consent or Existing Use

Not applicable.

# **Ancillary Development**

Not applicable to this proposal.

#### **BASIX**

Not applicable to this proposal.

# (b) The likely impacts of the development:

#### **CONTEXT AND SETTING**

The surrounding area consists of a range of mixed land uses (correctional centre, residential and industrial).

It is considered that the proposal is within the context of the locality and is compatible with the surrounding area and will have minimal impact in regards to:

- Adjacent properties;
- Adjoining land uses;
- Overshadowing; and
- Views and vistas.

The proposed development is considered compatible with the adjacent land uses.

#### **ACCESS AND TRAFFIC**

The site has frontage to and will obtain vehicle access (separate entry and exit access points) from Browning Street to a car parking area providing 50 spaces.

### Access Arrangements

Two new driveway crossings are proposed on Browning Street to enable vehicular to the motel.

Pedestrians are able to access the site off Browning Street.

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# Circulation

All vehicles will be able to enter and exit the site in a forward direction and the internal site layout is to be designed and constructed in accordance with Council requirements. There is no demand for large service vehicles to access to the site.

# **Parking**

It is proposed to provide 50 car spaces in accordance with DCP requirements.

# **Traffic Generation**

The majority of trips will be between 7am and 9am (customers leaving) and between 5pm and 8pm (customers arriving).

# Road Safety

The overall traffic flows associated with the development will have minimal impact upon the overall road safety in the locality of the site

# Impact from Construction Traffic

Specific details on construction traffic movement numbers will be addressed as part of the Construction Management Plan as part of the Construction Certificate.

#### **PUBLIC DOMAIN**

It is considered that the development will have a negligible impact on the public domain in terms of:

- Public recreational opportunities in the locality;
- Amount, location, design, use and management of public spaces in and around the development; and
- Pedestrian linkages and access between the development and public areas.

#### **UTILITIES & SERVICES**

The motel will be connected to reticulated water and sewer (the site itself is already connected). Full details to be provided with the Construction Certificate documentation.

Electricity will be connected to the site in consultation with Essential Energy.

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The motel development will be connected to available telecommunications services to the requirements of Telstra.

Stormwater infrastructure to be constructed to ensure that stormwater is directed back to an approved discharge point.

#### **HERITAGE**

The site contains an individually listed heritage item. Refer to the comments under the LEP section of this report.

#### **WASTE MANAGEMENT**

Waste management will be via Councils normal weekly service. Any additional waste will be collected by a private contractor on an as needs basis.

#### FLORA AND FAUNA

The site is essentially devoid of any vegetation. There are no threatened species or critical habitat on the site.

#### **ENERGY**

Sustainable building design principles will be incorporated where possible and the proposal has been designed with the intention to comply with Section J – Energy Efficiency of the BCA.

The proposed development has been designed to ensure compliance where possible with the provisions of the Sustainable Building Design Principles, specifically passive design, insulation, ventilation, landscaping, use of materials and colours, lighting, water and energy efficiency, and waste.

## **AMENITY**

# **Overshadowing**

No overshadowing impacts have been identified.

## Lighting

Appropriate lighting will be implemented into the proposal including lighting of external areas for security purposes. It is considered that there will be minimal impact from building or car parking lighting on adjoining properties particularly given the significant setback to surrounding properties.

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## Solar Access

Solar access has been considered throughout the design process, and it is considered that the best possible outcome for each unit has been achieved.

# **Privacy**

No impacts have been identified.

# **Noise**

In terms of noise impact from the proposal, it is expected that there will be minimal impact on the noise levels in the surrounding area from the day to day operations of the motel. Nonetheless, the development has been designed to ensure maximum possible acoustic privacy levels.

Noise mitigation measures for the motel include:

- A staff member will be on duty 24 hours a day, 7 days a week and available at all times to ensure the site is being appropriately monitored and any noise which could be heard at nearby properties is kept to a minimum;
- A noise complaints register will be kept to record any noise complaints including complaint time and date, nature of the complaint, action taken, outcome etc. All complaints shall be dealt with as soon as possible;
- Guests will be provided with an information sheet on arrival which will provide general information about the property as well as a note that guests need to take the neighbours interests into account when leaving and entering the property; and
- Restricted hours at the Community Centre.

In light of the mixed use nature of the area and the distance to the closest noise sensitive receptors, it is considered that noise associated with the operation of the development will be manageable.

## **NATURAL HAZARDS**

It is considered that the land is not impacted upon by bushfire, flooding, or land subsidence.

# POTENTIAL CONTAMINATION

Refer to SEPP 55 comments.

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#### **SAFETY, SECURITY & CRIME PREVENTION**

Crime Prevention through Environmental Design (CPTED) have been incorporated into the proposal where possible. The following points detail the key areas of security for the units:

## Reception

Reception will be open from 7am to 10pm daily where a staff member will be present in the reception area.

### On Site Management

The property will have an onsite live in manager, who will be at the property for all hours where reception is closed. This means that the property will have a member of staff available 24 hours a day, 7 days a week.

# Entrance

The positioning of reception will ensure that all guests that enter the reception foyer area are clearly visible from the reception counter.

# <u>Surveillance</u>

The motel will have CCTV security surveillance spread across the premises, in key traffic areas, particularly in reception foyer.

#### Emergency Management and Evacuation Plan and Staff training

- Staff will be trained in the use of security cameras, intercoms and general security.
- Staff will receive emergency procedures training on an ongoing basis including robbery, bomb threat and civil disturbance procedures;
- Staff and management will be trained to look for suspicious articles or persons when making regular building inspections during the day and night. Emergency procedures' training will include what procedures to be implemented if a suspicious article or person is found;
- Fire wardens (reception staff) will be trained annually in fire evacuation by a professional training company and all staff will be trained in evacuation procedures such as Emergency Evacuation; and
- Managers will be required to have a current first aid certificate.

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Specific measures as described under CPTED used to ensure the safety and security of the site include:

- Control and monitoring of access;
- Activity and space management; and
- Appropriate lighting.

#### **BUILDING ACCESS**

The buildings will be provided with adequate means of access for persons with a disability in order to comply with relevant legislation and criteria including The Building Code of Australia (BCA), the Disability Discrimination Act 1992, and AS1428 – Design for Access and Mobility, to ensure that adequate pedestrian and disabled access is provided for the development.

All external ramps and pathways will be accessible for persons with a disability and a number of rooms within the motel will be DDA compliant and accessible for disabled persons in accordance with the legislation.

### **SOCIAL & ECONOMIC IMPACTS IN THE LOCALITY**

An analysis of the social and economic impacts associated with the development of the site is detailed in this section to ensure that, where relevant, social and economic considerations are an integral part of the development assessment process.

The proposed redevelopment of the site is anticipated to have an ongoing positive social and economic impact on the local area as well as the wider community. The identified positive impacts are summarised below:

- The operation of the development will generate employment opportunities with flow on effects benefiting the local community;
- The proposal will result in the increased provision of tourist and visitor accommodation within the Bathurst region;
- The proposal will result in increased revenue for local businesses who
  provide goods and/or services to guests/patrons e.g. local restaurants,
  cafes, etc.;
- The proposal will result in economic benefits associated within construction works:
- The proposal is consistent with the current and planned (future) strategic direction of Bathurst;
- There will be no identified impact on community service infrastructure such as hospitals, schools etc.;
- The development will be compliant with relevant disability standards, and will meet the needs of people with physical disabilities, sensory disabilities and intellectual disabilities;

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- Specific safety and security measures will be incorporated into the operation procedures of the development to ensure a safe and secure environment for guests, staff and clientele;
- The proposal will enhance the visual character of the built environment of Bathurst.

The potential adverse impacts from the proposal relate primarily to temporary impacts due to construction activities, for example construction traffic, noise and dust disturbance. Mitigation measures to ensure construction impacts are kept to a minimum are briefly outlined in this report, however further details will be provided in the Construction Management Plan prepared at Construction Certificate stage.

Potential adverse impacts arising from the operation of the motel include:

- Increased traffic generation. Sufficient off street parking is provided within the site therefore it is not envisaged that there will be a significant increase in parking on the streets surrounding the site. Whilst increased vehicle movements will result from the proposal, traffic flows associated with the development will have minimal impact upon the traffic flows or overall road safety in the locality of the site.
- Noise. Acoustic mitigation measures are proposed to ensure maximum possible acoustic privacy levels.
- Antisocial behaviour. Potential antisocial behaviour within the facility is expected to be minimal.

Given the overall positive impacts associated with the proposal and the implementation of mitigation measures mention within this report, the proposal will provide a net community benefit to both the future guests of the motel and the local and wider community.

### **ECOLOGICALLY SUSTAINABLE DEVELOPMENT**

The motel has been designed to meet the principles of Ecologically Sustainable Development (ESD) and will be energy efficient and comply with all current environmental building codes. Having regard to the nature of the development and the site containing heritage items it is considered that the best possible ESD design solutions have been achieved.

# **CONSTRUCTION**

All construction work is to be undertaken in accordance with conditions of consent, stamped plans and Councils Engineering Guidelines.

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Construction impacts are not anticipated to have an adverse impact on the locality. Works would occur during daytime hours, thus not impacting on the local amenity. The site would have temporary containment fencing erected and signage to warn and exclude the public from entering the site during the construction phase.

Erosion and Sedimentation Control measures would be implemented during construction to minimise any erosion risk at the site. All measures will be established prior to the commencement of staged engineering works and maintained for an agreed period after completion of all subsequent stages.

All waste generated during construction would be taken and disposed of at Council's Waste Disposal Facility.

Construction activities would be tailored to minimise the impact on site, with all disturbed areas rehabilitated as soon as practical. All construction machinery would be fitted with appropriate muffling devices to limit noise generation during construction. The construction period would be for a limited period, and thus any impacts would be limited to that time frame.

#### **CUMULATIVE IMPACTS**

It is considered there will be no negative cumulative impacts as a result of the proposed motel development (and subdivision).

# (c) Suitability of the site for the development

## Does the proposal fit in the locality?

- There are no constraints posed by surrounding development to render the proposal prohibitive;
- The proposal is complimentary to the surrounding land use pattern and zoning;
- It is considered that the proposal will not create any unmanageable access or transport concerns in the locality;
- No impact on public spaces will eventuate as a result of the proposal proceeding;
- Upgrading to services is required but can be adequately achieved;
- There are no issues in relation to air quality and microclimate; and
- There are no identified surrounding hazardous land uses or activities.

#### Are the site attributes conducive to development?

It is considered that the site is conducive to the development based on the following:

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- The site is not affected by any known natural hazards (other than flooding which has been addressed);
- The development is well removed from the surrounding heritage items to have any negative impact;
- There is no known soil characteristics that would render the proposal prohibitive; and
- There are no flora and fauna considerations that will have an impact on the proposal.

# (d) Any submissions

The application will be publicly advertised and neighbours notified.

# (e) The public interest

It is considered that the proposed development, with appropriate conditions of consent, will not have any negative impacts on the amenity of the general public. The proposed development is considered to be only of limited interest to the wider public due to the relatively localised nature of potential impacts.

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# 6. CONCLUSION

This report includes an analysis of the existing environment, details of the proposed redevelopment of the site and consideration of applicable statutory requirements.

Based upon the investigations of the proposal it can be concluded that:

- The proposed development is permissible with the consent of Council.
- The impacts upon or by surrounding development will be significantly positive as a result of the proposal;
- The road network is capable of sustaining the additional traffic generation;
- There are no identified environmental constraints;
- There are no natural hazard considerations other than flooding which has been addressed;
- The proposal is generally consistent with the objectives and provisions of Councils LEP 2014, DCP 2014 and associated planning documents.

The proposal is considered to be acceptable in terms of Section 4.15 of the *Environmental Planning and Assessment Act 1979*, and potential impacts are expected to be manageable.

Accordingly it is recommended that the Development Application be approved subject to appropriate standard conditions

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27/05/2022

Ray Carter,

**Carter Properties** 

### **Fire Systems Condition and Installation and Report**

Subject Building/site: AWH wool store tenancy - 369 Stewart Street, Bathurst NSW

**System:** General Sprinkler System, wet pipe, 3 x control sets (3 x systems/zones)

Monitoring status: monitored via Fire Indicator Panel, located on Northern wall, ASE connected.



## Introduction

Central Fire & Electrical have been engaged to complete AS1851:2012 testing of the fire sprinkler system at 369 Stewart Street, Bathurst NSW. These works have been outlined and completed in accordance with Central Fire & Electrical quote number 7523. Subsequent to these works, a system condition and installation report (this document) is to be generated as requested for Essential Fire Safety Measures onsite.

The building pre dates the advent of Essential Fire Safety Schedules. An Annual Fire Safety Statement was generated and issued to council in 2020 however, whilst referenced and affixed to this report, this Statement is non compliant, performance standards are incorrectly referenced and/or incomplete. The AFSS was used in identifying measures onsite.

Central Fire & Electrical are not the incumbent fire protection service provider onsite, basic inspect and test records for portable equipment, hose reels and hydrants have been provided.

Initial site inspection carried out January 31st 2022.



### 1. Fire Sprinkler System

#### **System Condition**

Sprinkler heads are circa 75 years old, visual examination identified that the majority of the samples had light to light/medium build-ups of dust, grime and of oxidation, generally consistent with their age and situation. All samples appeared to be in a reasonable service condition.

Control/alarm valve installations onsite are dated March 1934. Visual examination to the valve sets indicated condition generally consistent with age. Maintenance was carried out pursuant to the quoted works, with seals etc replaced in accordance with the maintenance requirements of AS1851:2012

#### **System Compliance**

The installed system predates Automatic fire sprinkler systems standards. The first standard published with reference to fire sprinkler systems was CA16-1939, with the first standard designated specifically for Automatic Fire Sprinkler Systems in 1978 (AS2118.1:1978).

There is no design criteria, pressure/flow duty documentation, plans or reports available onsite indicating the system design parameters. This would be considered consistent with expectation given the age of the system.

The systems are considered to be non-compliant based on the above.

#### 2. Fire Detection System

## **System Condition**

The Fire Indicator Panel is approximately 15 years old, comprising zones monitoring the fire sprinkler system only.

Condition is fair and operates as required to signal the Alarm Signalling Equipment (ASE) on activation of the fire sprinkler system pressure switches.

#### **System Compliance**

The Fire Indicator Panel would be considered compliant in the capacity of interface between Fire Sprinkler systems and the Alarm Signalling Equipment (ASE). There is no detection throughout the building



### 3. Portable fire equipment

#### **System Condition**

Portable fire extinguishers and fire blankets appear in fair condition, service reports are affixed to this report indicating the current asset list and service life of each asset.

#### **System Compliance**

Portable fire equipment appears in intervals throughout the building generally conducive with requirements.

#### 4. Fire Hose Reels

#### **System Condition**

Fire hose reels appear in fair condition, service reports shall be affixed to this report indicating the current asset list and service life of each asset.

#### **System Compliance**

Fire hose reels appear in intervals throughout the building generally conducive with requirements.

#### 5. Fire Hydrant system

#### System condition

The Fire Hydrant System installed onsite is fed from Browning Street. A brigade booster connection exists on the Browning Street side, the feed hydrant for this connection is an underground council hydrant. There is no block plan, or design information

#### **System Compliance**

The installation may pre date standards, information is limited regarding the hydrant system.

Ben Middleton

Chath?

Accredited Practitioner (Fire Safety), accreditation number F033691A

Central Fire & Electrical



# **Reference photographs**



Figure 1: Booster assembly on Browning Street





Figure 2: example hydrant stand and landing valve



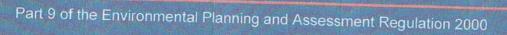
Figure 3: fire sprinkler system valve set

AWH (AUSTRALIAN WOOL HANDLERS) - EQUIPMENT LIST - DATE SERVICED: ...... PERSON DOING JOB: ....................

# SITE: BATHURST (LAST SERVICE DATE: 9.11.2021 - MICK) 6 MONTH - MAY/NOVEMBER

Number	Location	Item - (AW/DC/CO2 /WChem/HR/FB/HYD)	Size	Last P/T date	Service Lvl	Condition/repairs
1	OUTSIDE TOOL ROOM	CO2	3.5	2021	4	RPT
2	BOOK ROOM	CO2	3.5	2021	4	RPT
3	HALL WAY	CO2	3.5	2021	4	RPT
4	OUTSIDE TOOL ROOM	CO2	3.5	2021	4	RPT
5	NEAR KITCHEN	CO2	5.0	2017	2	OK
6	NEXT TO ROLLER DOOR	AW	9.0L	2017	2	OK
7	OFFICE WOOL AREA	AW	9.0L	2020	2	OK
8	NEAR ROLLER DOOR WOOL BIT	AW	9.0L	2018	2	OK
9	KITCHEN	DC	1.0	2018	2	OK
10	OUTSIDE COMPRESSOR ROOM	DC	9.0	2017	2	OK
11	BACK SIDE ROLLER DOOR	DC	9.0	2018	2	OK
12	COMPRESSOR ROOM INSIDE	DC	9.0	2018	2	OK
13	OUTSIDE TOOL ROOM	DC	9.0	2018	2	OK
14	BACK CORNER MEAL ROOM	DC	9.0	2018	2	OK - BAG
15	OFFICE NEXT ROLLER DOOR	DC	9.0	2018	2	OK - BAG
16	OFFICE WOOL AREA	DC	9.0	2020	2	OK
17	NEXT TO MACHINERY	DC	9.0	2020	2	OK
18	OUTSIDE MAINTENANCE ROOM	DC	9.0	2020	2	OK
19	OUTSIDE LADIES TOILET	DC	9.0	2020	2	OK
20	ROOM MAINTENANCE TOOL ROOM	DC	4.5	2017	2	OK
21	KITCHEN	FB	1200X1200		2	OK
22	OUTSIDE - NEXT TO ROLLER DOOR	HREEL			2	OK
23	OUTSIDE ENTRY	HYD SINGLE			2	OK
24	WOOL SIDE ROLLER DOOR	HYD SINGLE			2	OK
25	OUTSIDE – NEXT TO ROLLER DOOR	HYD SINGLE			2	OK
26	FOLLOW AROUND BUILDING	HYD SINGLE			2	OK

27	BACK OF BUILDING	HYD SINGLE			2	OK	
28	BACK OF BUILDING	HYD SINGLE			2	OK	
29	BACK OF BUILDIND	HYD SINGLE			2	OK	
30	NEXT TO ROLLER DOOR	HYD SINGLE			2	OK	
31	FOLLOW BUILDING WALL	HYD SINGLE			2	OK	
32	FOLLOW BUILDING WALL	HYD SINGLE			2	ОК	
33	TOOL ROOM	CO2	3.5	2021	4	RPT	
34	TOOL ROOM	DC	2.5	2019	2	ОК	
35	SPARE – TOOL ROOM	CO2	3.5	1997	2	OK	
36	SPARE – TOOL ROOM	CO2	5.0	1995	2	OK	
37	SPARE – TOOL ROOM ON TROLLEY	DC	2.5	2017	2	ОК	
38	BETWEEN FIP AND SPRINKLER	AW	9.0L	2018	2	OK	
	TOP SHED						
1	OUTSIDE TOILET/OFFICE AREA	DC	1.0	2018	2	OK	
2	OUTSIDE TOILET/OFFICE AREA	FB	1.2 X 1.2		2	OK	
3	OUT INTO SHED AREA	DC	9.0	2018	2	OK	
4	FRONT ROLLER DOOR AREA	HREEL	36M		2	OK	
5	FRONT ROLLER DOOR AREA	DC	9.0	2018	2	OK	
6	FRONT WALL	HREEL	36M		2	OK	
7	FRONT WALL	DC	9.0	2018	2	OK	
8	SIDEWALL ROLLER DOOR	DC	9.0	2018	2	OK	
9	SIDE WALL ROLLER DOOR	HREEL	36M		2	OK	
10	BACK WALL	DC	9.0	2018	2	OK	
11	BACK WALL	HREEL	36M		2	OK	
12	FOLLOW BACK WALL	DC	9.0	2018	2	OK	
13	FOLLOW BACK WALL	HREEL	36M		2	OK	
14	SIDE WALL BEHIND OFFICE AREA	HREEL	36M		2	OK	
15	SIDE WALL BEHIND OFFICE AREA	DC	9.0	2018	2	OK	





D	ea				
1	65	S	9 1	30	te:

Information to assist building owners to complete each section of the statement is provided on page 1.

			the is provided on pages 3, 4 and 5.
Section 1: Type of	of statement		
This is (mark applica	able box): 🛭 an annual i	fire safety statement (complete the declar entary fire safety statement (complete th	aration at Section 8 of this form) e declaration at Section 9 of this form)
Section 2: Descri This statement applie Address	ption of the building ones to: ☑ the whole building	or part of the building	BATHURST REGIONAL COUNC
	REET BATHURST NSW 2	795	1 1 JUN 2020
Lot No. (if known)	DP/SP (if known)	Building name (if applicable)	REF 22.02306 061
Provide a brief descri	ption of the building or par	t (building use, number of storeys, cons	truction type etc)

Section 3: Name and address of the owner(s) of the building or part of the building

Name Prefabricated Buildings Pty Ltd.

Address PO Box 9339 Bathurst NSW 2795

# Section 4: Fire safety measures

Fire safety measure FIRE EXTINGUISHER	Minimum standard of performance AS2444	Date(s) assessed 20.3.2020	CFSP *
HOSE REEL	AS2441		Mark Waters
AUTO DETECT & ALARM	10/07	20.3.2020	Mark Waters
SYSTEM	AS1670	20.3.2020	Mark Waters
HYDRANT SYSTEMS	AS2419.1	20.3.2020	Maria Maria
AUTO DETECT & SUPPRESSION	AS2118.1	20.3.2020	Mark Waters
SYSTEM	A02110.1	20.3.2020	Mark Waters
The second secon			

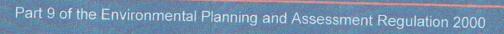
<sup>\*</sup> See notes on page 4 about how to correctly identify a Competent Fire Safety Practitioner (CFSP).

Section 5: Inspection of fire exits and paths of travel to fire exits (Part 9 Division 7)

Part of the building inspected	Date(s) inspected	CFSP *
	-	
RECEIVED		
ILULIVED		

SEPBS 1 0 JUN 2020 369 STEWART STREET BATHURST NSW 2795

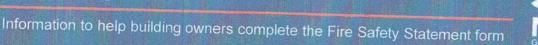
.0 Version 3.0 | Effective from 1 February 2020 | NSW Department of Planning, Industry and Environment | 1





\* See notes on page 4 about how to correctly identify a Competent Fire Safety Practitioner (CFSP).

Full name Mark Waters	Phone	of competent fire safety pract	Accreditation No.*	Signature
wark vvalers	0400401524	fireprotech@bigpond.com	FPA -IT15816	1
				-
				-
Where applicable - see notes o	on page 4 for further inform	nation.		Parada
Section 7: Name and	contact details of	the person issuing this state	ement #	
Full name				
Organisation (if applicable	)	Title/Position (if and	Pro- Laboratoria	
		Title/Position (if app	licable)	
hone		Email		
The person issuing the statemen	it must not be a CFSP lists	ed in section 6		
ection 8: Annual fire: Raymond Wade	e Carter		me) being the: 🖫 owner [	□ owner's age
eclare that: each essential fire sat	fab			
practitioner and was f	ound, when it was a	ed in this statement has been assessessed, to be capable of performi	essed by a competent fire	safety
<ol> <li>in the case of an</li> </ol>	essential fire safety	measure applicable by virtue of a	fire safety schedule, to a	standard no le
ii. in the case of an	essential fire safety	measure applicable otherwise that he measure was originally designe	n by virtue of a fire safety	schedule, to a
the building has been	inspected by a com-	petent fire safety practitioner and wide for a prosecution under Division		pected, to be i
Vner/Agent Signature		ds for a prosecution under Division		
RM la	t		9 1 6	ued / 2070
ction 9: Supplementa	ary fire safety eta	tomont doclarette	,,,,,,	,-0
Raymond Wa	ade (noto	(insert full name) hairs to		
clare that each critical fire	safety measure on	oified in the state of the		
rent fire safety schedule t		ed, to be capable of performing to a hich this statement is issued.	at least the standard requir	ed by the
ner/Agent Signature	111/		Date issu	ued
KI	MaJ.	~		
te:				
irrent fire safety schedule	for the building mu	st be attached to the statement in a	accordance with the Regul	ation.
The second secon		and the many states at the same states and the same states are same at the same states at		





# Section 8: Annual fire safety statement declaration

- The person completing this section is the person who is issuing the annual fire safety statement in accordance with clause 175 of the Regulation and is the same person as detailed in section 7. The person issuing the statement must identify if they are the owner or the owner's agent.
- In issuing the statement, the building owner or agent is <u>not</u> declaring that each fire safety measure meets the minimum standard of performance, but rather that each fire safety measure has been assessed, and was found by a CFSP to be capable of performing to that standard, as listed in section 4. In performing this function, the building owner or owner's agent could obtain documentation from each CFSP to verify that the standard of performance has been met, prior to completing the form and issuing the statement.
- The person who issues the statement by completing section 8 or section 9 of the form must not be a CFSP who
  was involved in the assessment of any of the fire safety measures, or inspection of the building for the purposes of
  the statement. This is to ensure that building owners, who are ultimately responsible, remain engaged in the fire
  safety statement process.

# Section 9: Supplementary fire safety declaration

- The person completing this section is the person who is issuing the supplementary fire safety statement in
  accordance with clause 178 of the Regulation and is the same person as detailed in section 7. The person issuing
  the statement must identify if they are the owner or the owner's agent.
- The information provided above in relation to section 8 on what the owner is declaring also applies to a supplementary fire safety statement.

© State of New South Wales through Department of Planning, Industry and Environment 2019. The information contained in this publication is based on knowledge and understanding at the time of writing (November 2019). However, because of advances in of the information with the appropriate officer of the Department of Planning, Industry and Environment or the user's independent

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Information to help building owners complete the Fire Safety Statement form

#### Please note:

The following information has been provided to help building owners complete the fire safety statement template and does not comprise part of the form. The following pages do not have to be displayed in the building and need not be submitted to the local council and the Commissioner of Fire and Rescue NSW.

#### General

- Please print in CAPITAL LETTERS and complete all relevant sections in full.
- A reference to 'the Regulation' is a reference to the Environmental Planning and Assessment Regulation 2000.
- A 'CFSP' is a competent fire safety practitioner recognised under clause 167A of the Regulation.
- The completed fire safety statement form must be submitted to both the local council and Fire and Rescue NSW.
- Please contact your local council for further information about how to submit the completed statement.
- Completed statements can be emailed to Fire and Rescue NSW at afss@fire.nsw.gov.au. Alternately, statements
  can be posted to Fire and Rescue NSW, Locked Bag 12, Greenacre NSW 2190. For further information about this
  process, please visit the 'Lodge a fire safety statement' page at www.fire.nsw.gov.au.
- As soon as practicable after issuing the fire safety statement, the building owner must display a copy (together with a copy of the current fire safety schedule) in a prominent location within the building.
- Further information about building fire safety is available on the 'Fire safety' page of the Department's website at www.planning.nsw.gov.au.

### Section 1: Type of statement

- Mark the applicable box to identify if the statement being issued is an annual fire safety statement or a supplementary fire safety statement.
- An annual fire safety statement is issued under clause 175 of the Regulation and relates to each essential fire safety measure that applies to the building.
- A supplementary fire safety statement is issued under clause 178 of the Regulation and relates to each critical fire safety measure that applies to the building.

# Section 2: Description of the building or part of the building

- Mark the applicable box to identify whether the statement relates to the whole building or part of the building.
- In addition to the address and other property identifiers, a brief description of the building or part is to be provided.
   This could include the use(s) of the building (e.g. retail, offices, residential, assembly, carparking), number of storeys (above and/or below ground), construction type or other relevant information.
- If the description relates to part of a building, the location of the part should be included in the description.

# Section 3: Name and address of the owner(s) of the building or part of the building

- Provide the name and address of each owner of the building or part of the building.
- The owner of the building or part of the building could include individuals, a company, or an owner's corporation.

# Section 4: Fire safety measures

- The purpose of this section is to identify all of the fire safety measures that apply to a building or part of a building.
- Fire safety measures include both essential fire safety measures and critical fire safety measures. They include
  items such as portable fire extinguishers, fire hydrants, fire sprinklers, fire detection and alarm systems and
  lightweight construction.
- Essential fire safety measures are those fire safety measures which are assessed on an annual basis, while critical
  fire safety measures are those which are required to be assessed at more regular intervals (as detailed on the fire
  safety schedule). These terms are defined in clause 165 of the Regulation.
- For annual fire safety statements, the table in section 4 must list each of the essential fire safety measures that
  apply to the building or part of the building and the relevant standard of performance. The date(s) on which these
  measures were assessed and inspected must be within the 3 months prior to the date the annual fire safety
  statement is issued.

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Information to help building owners complete the Fire Safety Statement form

- For supplementary fire safety statements, the table in section 4 must list each of the relevant critical fire safety
  measures that apply to the building or part and the relevant standard of performance. The date(s) on which these
  measures were assessed and inspected must be within 1 month prior to the date the supplementary fire safety
  statement is issued.
- The accreditation number of the CFSP who assessed a fire safety measure listed in section 4 must be nominated against the relevant measure(s) in the column titled 'CFSP'. If the CFSP is not required to be accredited, the name of the CFSP must be listed. Further information on the accreditation number is provided at section 6.

# Section 5: Inspection of fire exits and paths of travel to fire exits (Part 9 Division 7)

- · This section applies only to an annual fire safety statement.
- The purpose of this section is to identify that a CFSP has inspected the fire exits, fire safety notices, doors relating
  to fire exits and paths of travel to fire exits in the building or part of the building and found there has been no breach
  of Division 7 of Part 9 of the Regulation.
- The table in section 5 must detail the parts of the building that were inspected. The date(s) of the inspection(s) must be within the 3 months prior to the date the annual fire safety statement is issued.
- The accreditation number of the CFSP who inspected the whole or part of the building listed in section 5 must be nominated against the relevant part in the column titled 'CFSP'. If the CFSP is not required to be accredited, the name of the CFSP must be listed. Further information on the accreditation number is provided at section 6.

# Section 6: Name and contact details of competent fire safety practitioners (CFSPs)

- A CFSP is a person engaged by the building owner(s) to undertake the assessment of fire safety measures in section 4 and the inspection of the buildings exit systems in section 5 (for an annual fire safety statement). Under clause 167A of the Regulation, the building owner(s) must form the opinion in writing that the person is a CFSP unless the person is required to be accredited (see below).
- The purpose of this section is to record the name and contact details of each CFSP who assessed a fire safety measure listed in section 4 or inspected the building or part of the building as specified in section 5.
- Each CFSP listed in the table must also sign the fire safety statement. Alternatively, a CFSP could provide the building owner or agent with a separate signed document to endorse the relevant part of the fire safety statement.
- An accreditation scheme for CFSPs is expected to start in January 2020.
- After the accreditation scheme begins, CFSPs will need to be selected from a register of recognised practitioners.
  The accreditation number of each relevant CFSP must be listed on the form. Until the accreditation scheme
  commences, or if a practitioner is of a class of persons that is not required to be accredited under clause 167A of
  the Regulation, there is no requirement to include an accreditation number on the form.
- · Further information about the accreditation scheme can be found at www.fairtrading.nsw.gov.au.

# Section 7: Name and contact details of the person issuing the statement

- The purpose of this section of the form is to detail the name and contact details of the person who is issuing the statement i.e. the person who completes and signs section 8 or section 9 of the form. This could be the owner(s) of the building or a nominated agent of the owner(s).
- Where a person issues the statement on behalf of an organistation (as the owner of the building), the name of the
  organisation and the title/position of the person must be provided. The person issuing the statement as a
  representative of the organisation must have the appropriate authority to do so.
- Where a person issues the statement on behalf of the owner(s) (as the owner's agent), this person must have the
  appropriate authority from the building owner(s) to undertake this function.
- In the case of a building with multiple owners, one owner may issue the statement, however each of the other
  owners must authorise the owner who issues the statement to act as their agent.
- The person issuing the statement must not be a CFSP who is listed in section 6. This recognises the different roles and responsibilities for building owner(s) and CFSPs in the fire safety statement process. This is important because the Regulation makes building owners responsible for declaring that fire safety measures have been assessed and the building inspected (for the purposes of section 5) by a CFSP. This ensures that building owners, who are ultimately responsible, remain engaged in the fire safety statement process.
- In addition, until an accreditation scheme commences and accredited practitioners are recognised as CFSPs under the Regulation, or if a practitioner is not required to be accredited, only the building owner(s) can determine that a person is competent to perform the fire safety assessment functions. The building owner(s) are also responsible for ensuring that essential fire safety measures are maintained in accordance with clause 182 of the Regulation. An agent cannot be made responsible for these requirements.

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Bathurst Region Heritage Plan 2021 – 2025 IMPLEMENTATION PLAN FOR 2021/22 Annual Priorities



# Strategic (Heritage) Planning Priorities 2021/22

Below is an overview of how the Strategic Planning Priorities for 2021/22 for the Environmental Planning & Building Services Department as they relate to heritage in the Bathurst Region have been actioned in the 2021/22 financial year. This table should not be read as an exhaustive list of tasks undertaken by the Strategic Planning Section. It is expected that a number of these priorities will rollover into 2022/23 and beyond.

URBAN DESIGN/PLACE MANAGEMENT		
Expression of Interest Process – former TAFE site	EOI's closed 3 May 2022 and currently being assessed.	Ongoing
Finalise Town Centre Master Plan and Council's response	Finalised position to be presented to Council.	Ongoing
"Futureproofing our CBD"		
Finalise and monitor Streets as Shared Spaces Pilot Project	SaSS Round 1 Completed. SaSS Round 2 underway.	Ongoing
Master Plan of Ambulance Station Precinct (dependent upon	Preliminary concepts developed.	Ongoing
funding/resources).		
Commence Local Character Assessments/Statements	Preliminary investigations undertaken for Rockley, Peel and	Ongoing
Housing precincts within Bathurst	Sofala.	
Village plans		
Consider LEP Clause		
PLANNING CONTROLS		
Complete HCA Review (and DCP amendment)	HCA Review completed. Schedule 5 updates continuing.	Ongoing
Commence Schedule 5 update		
Identify Schedule 5 – Village updates		
Commence research for next Schedule 5 update		
DCP amendments (dependent upon resources)		
HERITAGE PROJECTS		
Heritage Assistance funds: Manage applications, distribution of	<ul> <li>2021/2022 Heritage Assistance Funds and Final Reports</li> </ul>	Ongoing
funds and final reports	completed.	
Heritage advisory services – manage services	<ul> <li>Continuation of Heritage Advisory services.</li> </ul>	
<ul> <li>Heritage Reference Group – agendas and minutes (Covid dependent)</li> </ul>	Prepared quarterly updates to the Implementation Plan.	
Annual report to DPC (Heritage)	Annual Report to DPC completed.	
DA referrals	<ul> <li>191 referrals undertaken by Senior Heritage Planner.</li> </ul>	
Clause 5(10)(3) exemptions	• 32 Cl 5.10(3) heritage exemptions issued.	
Pre DA meetings	24 Pre-DA matters undertaken.	
Macquarie Medal – determine future	New model for Macquarie Medal adopted.	
Finalise 2021-25 Heritage Plan and update implementation plan	Updates provided quarterly.	
(quarterly)		
Support Council in any Aboriginal Investigations	Continuing.	Ongoing
Finalise Conservation Management Plan Ambulance Station	Nearing completion.	Ongoing

Condition Assessment and Maintenance Plan for the Bathurst Street and Park lamp standards	Consultants appointed.	Ongoing
Aboriginal Heritage Interpretation Strategy:  Complete stage 1 Boardwalk and commence stage 2 Boardwalk	Stage 1 Boardwalk completed.	Ongoing
<ul> <li>1824 story and bicentenary commemorations</li> <li>Review and reproduce Wiradjuri brochure</li> </ul>		
European Heritage Interpretation:  Park signage – John Matthews and Cubis Park	No funding available for Park or Cottages interpretation.	Ongoing
<ul> <li>Duration and Munition Cottages</li> <li>Pillars of Bathurst – finalise and move to a digital format</li> </ul>	Pillars of Bathurst finalised. Road name book finalised and provided on Council's website.	
Finalise road name book for website  Heritage Education:		Ongoing
<ul> <li>Theo Barker Lecture (March 2022 – Stephen Gapps)</li> <li>Guidelines for Statements of Heritage Impact</li> </ul>	Theo Barker Lecture held March 2022. Updated guidelines for Statements of Heritage Impact provided	
Practical restoration workshop (post COVID)	on Council's website. 2021 workshop did not proceed due to Covid-19	

Bathurst Region Heritage Plan 2021 – 2025 IMPLEMENTATION PLAN FOR 2021/22 September Quarter Update



### Introduction

The Bathurst Region Heritage Implementation Plan (the Heritage Implementation Plan) has been prepared to highlight current programs and projects being undertaken to implement the Bathurst Region Heritage Plan 2021 - 2025.

The vision of the Bathurst Region Heritage Plan is:

**Respecting** our **past**, **valuing** our **stories**, shaping our **future**. Bathurst will be a pre-eminent heritage city and region to be experienced as a desirable and sustainable place to live, work and visit.

The core goal of the Bathurst Region Heritage Plan is:

To **protect**, **enhance** and **promote our Indigenous and European heritage** –places, objects, natural environment, people and projects and their embedded stories.

The Heritage Implementation Plan outlines the key activities/programs/projects and services currently being undertaken by Council's Planning, Museums, Library, Economic Development and Tourism sections. It also provides an opportunity for interested community, heritage and village groups to provide regular updates on activities they are undertaking with respect to the actions of the Heritage Plan. Note that the Plan should not be viewed as an exhaustive list of all Council and community activities that might relate to heritage management and promotion within the Bathurst Region.

The Bathurst Region Heritage Plan and the Heritage Implementation Plan will be available for the community to view on the Bathurst Yoursay website. Interested persons can register their email address on this site to receive notification of the latest updates of the Implementation Plan. Council aims to provide an update on the Plan at the end of September, December, March and June of each financial year.

The Implementation Plan will be reported to Council and to the NSW Heritage Division at the end of each financial year.

A separate Implementation Plan will be available for each financial year.

# Glossary of Terms

AFMM Australian Fossil and Mineral Museum

BRM Bathurst Rail Museum

BVIC Bathurst Visitor Information Centre

CBD Central Business District

CMP Conservation Management Plan

DA Development Application
DCP Development Control Plan

DPC (Heritage)

Department of Premier and Cabinet (Heritage)

DPIE

Department of Planning, Industry and Environment

Gateway Determination Approval from DPIE to place a Planning Proposal on public exhibition

LEP Local Environmental Plan
NMRM National Motor Racing Museum

Planning Proposal Proposal to amend a Local Environmental Plan

PHO Public Health Order

SWOT Strength, Weakness, Opportunity, Threat Analysis

YTD Year to Date

# Strategic (Heritage) Planning Priorities 2021/22

Below is an overview of the Strategic Planning Priorities for 2021/22 for the Environmental Planning & Building Services Department as they relate to heritage in the Bathurst Region. This table should not be read as an exhaustive list of tasks undertaken by the Strategic Planning Section.

The achievement of these priorities is dependent upon funding and staff resources and the impacts of Covid-19 on workflows. It is expected that a number of these priorities will rollover into 2022/23 and beyond.

#### **URBAN DESIGN/PLACE MANAGEMENT**

Expression of Interest Process – former TAFE site

Finalise Town Centre Master Plan and Council's response "Future proofing our CBD"

Finalise and monitor Streets as Shared Spaces Pilot Project

Master Plan of Ambulance Station Precinct (dependent upon funding/resources).

Commence Local Character Assessments/Statements

- Housing precincts within Bathurst
- Village plans
- Consider LEP Clause

#### **PLANNING CONTROLS**

- Complete HCA Review (and DCP amendment)
- Commence Schedule 5 update
- Identify Schedule 5 Village updates
- Commence research for next Schedule 5 update
- DCP amendments (dependent upon resources)

#### **HERITAGE PROJECTS**

- Heritage Programs:
- Heritage Assistance funds: Manage applications, distribution of funds and final reports
- Heritage advisory services manage services
- Heritage Reference Group agendas and minutes (Covid dependent)

- Annual report to DPC (Heritage)
- DA referrals
- Clause 5(10)(3) exemptions
- Pre DA meetings
- Macquarie Medal determine future

Finalise 2021-25 Heritage Plan and update implementation plan (quarterly)

Support Council in any Aboriginal Investigations

Finalise Conservation Management Plan Ambulance Station

Condition Assessment and Maintenance Plan for the Bathurst Street and Park lamp standards

Aboriginal Heritage Interpretation Strategy:

- Complete stage 1 Boardwalk and commence stage 2 Boardwalk
- 1824 story and bicentenary commemorations
- Review and reproduce Wiradjuri brochure

#### European Heritage Interpretation:

- Park signage John Matthews and Cubis Park
- Duration and Munition Cottages
- Pillars of Bathurst finalise and move to a digital format
- Finalise road name book for website

#### Heritage Education:

- Theo Barker Lecture (March 2022 Stephen Gapps)
- Guidelines for Statements of Heritage Impact
- Practical restoration workshop (post COVID)

# The Implementation Plan

To achieve the actions within the Bathurst Region Heritage Plan collaboration is required across Council, including Economic Development, Library Services, Museums, Strategic Planning and Tourism and the Community Groups that form the Bathurst Region Heritage Reference Group.

The outcomes achieved under the Plan by Council and the Community Groups are listed below and reported on quarterly.

Each Community Group is to also able to provide an update of the activities undertaken by their group.

# 1. Bathurst Regional Council

# 1.1 Strategic Planning:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
Bathurst Region Heritage Reference Group	1.1.1	Meetings have been paused due to Covid-19 restrictions. Updates are being provided via email.
Support Community Groups	1.1.2 1.1.3 1.1.4	Council representatives have attended meetings with: - Bathurst Town Square Group
Commemorations of the Bicentenary of martial law/Bathurst Wars in 2024	1.1.3 1.1.5 4.2.2	Staff working group established. Grant obtained for the engagement of a First Nations curator over 3 years to develop a program of arts and cultural activities resulting in the creation of new work to commemorate the Bathurst Wars.
Recognition of Aboriginal Cultural Heritage	1.1.3 4.2.2	Council and Bathurst Local Aboriginal Lands Council have submitted a dual name proposal to the GNB for the Macquarie River and Fish River - Wambuul.
Bathurst Heritage Plan and annual implementation plan	1.2.1 1.2.2 1.2.3 1.2.4 4.4.6	2021-2025 Heritage Plan and Implementation Plan currently being finalised. Annual Implementation Plan being reported on Council's YourSay website and updated quarterly.
Planning Studies and Strategies	2.1.1 2.1.2 2.4.1 3.1.1 5.2.2	Bathurst Streets and Shared Spaces Pilot project grant implementation - Installation of temporary line marking, pedestrian barriers, street trees, parklets, interpretative signage and public art underway.
		Bathurst Town Centre Master Plan & Council's Response "Future Proofing our CBD" Submissions being collated following public exhibition of draft plan.
		Review of the Village Plans Review of heritage items and heritage conservation areas in villages underway. Completed for Rockley, Sofala and Peel.
	2.1.2 2.1.3 2.1.4	Review of the Village Plans Local character statements to be integral part of the new village plans. Completed for Rockley, Sofala and Peel. Sunny Corner underway.
	2.2.2 2.2.3	Munitions Cottages, Duration Cottages, Chifley Estate and West Bathurst

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
		Updated/new development standards being prepared for the Munitions Cottages, Duration Cottages, Chifley Estate and West Bathurst locations as part of the Bathurst Heritage Conservation Area Review 2018 - LEP Amendment. Gateway Determination issued in July 2021. Public exhibition held in August 2021.
Review of Planning Standards	2.2.1 2.2.2 2.2.3 2.4.1	Moveable and Monumental Heritage Amendment 16 to Bathurst Regional LEP 2014: Moveable and Monumental Heritage – Planning Proposal gazetted. DPIE did not support the listing of the region's 'collections' at this time.
		Bathurst Heritage Conservation Area Review Bathurst LEP and DCP amendment to implement the Bathurst Heritage Conservation Area Review 2018 – Planning Proposal underway. Gateway Determination issued in July 2021. Public exhibition held in August 2021 (includes new development standards for Munitions Cottages, Duration Cottages, Chifley Estate and parts of West Bathurst).
		Schedule 5  Bathurst Regional LEP amendment to update list of heritage items in Schedule 5 of the LEP to include 53 new sites.  Assessment of significance completed. Mapping underway. Council resolved to commence Planning proposal.
Conservation Management Plans	2.1.4 2.4.1 3.1.1 3.1.3 5.2.4	Former Ambulance Station Preparation of CMP for Ambulance Station nearing completion.
Community engagement with respect to Development Application and Planning Instruments amendments	2.3.4	Referrals to relevant heritage and Aboriginal interest groups as required by the Community Participation plan - ongoing.
Aboriginal Cultural Heritage Assessments	2.3.5	Aboriginal Cultural Heritage Assessments Reports:  1. Stormwater Harvesting Pipeline Route and Ponds – completed.  2. Kelso Industrial Park – completed.
		Due Diligence Assessments:  1. Bridle Track Due Diligence – completed.  2. McPhillamy Park – Playground upgrade and electrical/data infrastructure – completed.
Heritage Advisory Service	2.3.2 2.3.1 2.3.3 2.4.1 2.5.1	Since June 2021, Council's Heritage Advisor and/or staff have been on 16 site inspections (including virtual). Council's Heritage Advisor and been involved in: Theritage/Urban Design advice matters Typre-DA matters Typre-DA matters Typre-DA matters Typre-DA matters

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
	2.6.1 3.2.1	• 0 enquiries for the demolition of the principle building on a site The service has been significantly disrupted by Covid-19. Council's Heritage Advisor continues to provide advice electronically and staff are undertaking site visits where possible. It is anticipated this service will recommence when the relevant Public Health Orders allow.
Exemptions from the need for consent for minor works and payment of DA fees	3.3.2 3.3.3	<ol> <li>Since July 2021, 10 exempt developments pursuant to Clause 5.10(3) of the Bathurst Regional Local Environmental Plan 2014 were issued.</li> <li>DA fees waived for repainting of buildings, erection of signage and reinstatement of verandahs within the Bathurst CBD - ongoing.</li> </ol>
Senior Heritage Planner	3.2.2	Review of Strategic Planning staff structure completed resulting in 3 day per week Senior Heritage Planner position and full time Urban Design Planner. Both positions support the implementation of the Heritage Plan.
Heritage Training & Education	2.5.2 2.5.3 3.3.4 4.4.3 5.1.2	<ol> <li>Heritage Network Seminar cancelled for 2020 due to Covid-19.</li> <li>Council has prepared new web based guidelines and developing webinars/information videos for the preparation of statements of heritage impact and interpretation strategies.</li> </ol>
Heritage Assistance Funding	3.3.1 4.2.3 5.2.3	2021 Macquarie Medal 2020 Macquarie Medal awarded to Kim Baggot- Hillier. 2021 Macquarie Medal did not proceed due to Covid-19 implications on budget. 2022 Macquarie Medal did not proceed due to Covid-19 implications on budget.
		Local Heritage Fund Bathurst Region Heritage Fund 2021/22 offers distributed to 46 projects.
		Bathurst Region Interpretation Fund Bathurst Region Interpretation Fund 2021/22 offers distributed to 11 projects
		Bathurst CBD Main Street Fund Bathurst CBD Main Street Fund 2021/22 offers distributed to 19 projects.
		A review of the funding criteria for all heritage assistance funding for the 2021/22 programs completed.
. 4 4 4 4	3.2.3 4.2.2 4.3.1 4.3.2 4.4.5 4.4.7 4.4.8	Pillars of Bathurst 2022 Pillars applications are open until 25 October 2021.  Mount Panorama Wahluu Boardwalk
		Design of Stage 1 signage (top of the Mount) underway.

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
	5.1.3 5.2.5	
Heritage Assets	3.5.2 5.2.4	Headmasters residence (former TAFE site) Restoration of former Headmasters residence continuing subject to grant funding.
		Former TAFE Precinct EOI documentation for the adaptive reuse/redevelopment of the former TAFE precinct being prepared.
		Lamp Standards Request for quote being prepared for a Condition Assessment and Maintenance Plan for the Bathurst Street and Park Lamp Standards (partially grant funded).

## 1.2 Museums:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
National Motor Racing Museum	4.2.1 5.1.4	The National Motor Racing Museum (NMRM) had a total of 1,048 visitors in the period from 1 July to 31 August 2021 which included no school visits. Visitation numbers were down due to Covid-19 lockdowns in Greater Sydney and parts of Regional NSW during this period.  The National Motor Racing Museum has been closed due to the NSW PHO since Sunday 15 August 2021.
Australian Fossil and Mineral Museum	4.2.1 4.3.1 5.1.4	The Australian Fossil and Mineral Museum (AFMM) had a total of 1,558 visitors in the period from 1 July to 31 August 2021 which included no onsite school visits. However, the AFMM working in partnership with the Department of Education (DART) provided a virtual tour of the museum "so you want a pet dinosaur" with 4,408 students participating from across NSW. Visitation numbers were down due to Covid-19 lockdowns in Greater Sydney and parts of Regional NSW during this period.  The Australian Fossil and Mineral Museum has been closed due to the NSW PHO since Sunday 15 August 2021.
Chifley Home and Education Centre	3.5.1 4.2.1 5.1.4	Chifley Home remains closed due to Covid-19. Work has been undertaken to develop Conservation and Thematic Plans. Funding has been secured to undertake conservation work and the redevelopment of the interpretation contained within the Education Centre prior to reopening this financial year.
Bathurst Rail Museum	4.2.1 5.1.4	The Bathurst Rail Museum (BRM) had a total of 2,844 visitors in the period from 1 July to 31 August 2021 which included no school visits. Visitation numbers were down due to Covid-19 lockdowns in Greater Sydney and parts of

		Regional NSW during this period.
		The National Motor Racing Museum has been closed due to the NSW PHO since Sunday 15 August 2021.
Central Tablelands Collections Facility	4.2.1 5.1.1	Construction of the Central Tablelands Collections Facility is underway with earthworks completed and slab poured.
	5.1.2	Museums Bathurst continues to work with partners including The Australian Museum, Grimewade Centre for Cultural Materials (Melbourne University), Sydney University, Tafe NSW, Museums & Galleries NSW and MAAS in preparation for the opening of the facility and providing learning and professional development opportunities.

## 1.3 Tourism:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
Events/Promotion 4.1.1 4.1.2 4.1.3 4.1.4 4.2.2 4.3.1 4.3.4 4.4.5	4.1.2 4.1.3	Village Event Development Fund BVIC continues to work with villages through the Village Event Development Fund which has committed support to the 'Rebellion on the Turon' at Sofala and the Rockley Garden and Art Festival in 2021/22.
	4.2.2 4.3.1	<b>2022 Autumn Colours</b> Planning has commenced for the 2022 Autumn Colours Heritage program to commence with the rescheduled Theo Barker Lecture by Dr Stephen Gapps.
		BVIC has completed a submission to the new 'Public Spaces Near Me' program being developed by the NSW Department of Planning, Industry and Development. All 10 nominated Bathurst 'points of interest' focus on heritage elements of the Bathurst region.
4 4 4 4	4.1.1 4.1.2 4.1.3 4.2.2	Funding was sought and received through the Destination NSW Tourism Recovery Marketing Fund for a Spring campaign which will include both Bathurst and villages. Heritage, as a pillar of the Destination Brand, was a key component of the submission.
	4.3.1 4.3.3	PR agency engagement has been limited in 2021/22 YTD due to the impact of the Covid-19 outbreak and metropolitan Sydney and NSW lockdowns.
Interpretation	4.1.1 4.1.2 4.1.3 4.1.5 4.3.1	Bathurst Step Beyond App New interpretive walking tour for Hill End has been written for addition to the 'Bathurst Step Beyond App'.
		Discussion has been held with St Joseph's Convent Perthville and the Rockley Village Progress Association regarding development of walking tours for these areas for addition to the app in 2021/22.
	4.3.2	Bathurst Region Website  New tour itineraries focussed on the region's natural and cultural heritage have been added to the bathurstregion.com.au site

# 1.4 Economic Development

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
Promotion	4.2.3 4.4.1	Heritage projects and grant opportunities are identified and promoted to the business community through the Economic Development monthly newsletter, Bathurst Business Hub Facebook and the Bathurst Business Hub website.
Public Relations	2.3.3 5.2.1 5.2.2 5.2.3 5.2.4 5.2.6	Economic Development Strategy The Economic Development Strategy has a strong heritage focus, including:  Recognising the importance of heritage and the role it plays as an economic asset  Protection of local heritage as an economic asset  Identifying heritage as a strength in the SWOT  Use of heritage to promote the city to potential future residents  Promote the Adaptive reuse of heritage buildings is an important factor in creating sustainable communities.  Recognition that the regeneration of heritage buildings adds economic and environmental value.  A concierge service is offered by Economic Development that connects developers/potential developers in the

# 1.5 Library Services

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – July to September Quarter)
Sharing Information	2.4.3 4.3.2 4.4.1	Local History Collection Improve the discoverability of Bathurst Library's Local History collection on the library management system by making catalogue records more accurate, specifically Bathurst Remembers collection and new items.
	4.4.4 4.4.8	Shared Databases Research the market and request quotes for shared databases such as Recollect.
		Digitisation Increase digitisation of local history items and increase digital content available online, specifically ANZAC/War resources and BRC and Library created content.
		Community

Develop a plan to encourage community generated local history content and donations that meet with the library collection development policy, with a focus on projects that will collect community memories.
Digital Presence Promote heritage/ local history content online (including social media– Way Back Wednesday, From the Archive, Wiradjuri at least monthly) and via physical displays.

# 2. Community Groups

## 2.1 Community Projects

Programs/Projects	Heritage Plan Action	Outcomes for 2020/21 (note an example is provided for this financial year)	Responsibility
Local Heritage Awards	3.4.1 3.4.2 4.3.1	Annual awards as part of Australia Day ceremony paused for 2021 due to Covid-19.	National Trust
National Trust Register	2.4.2	Provide an updated National Trust Register for the Bathurst Region	National Trust
Heritage Activation Plan	4.1.1	Plan developed and referenced in 2021-25 Heritage Plan for action in conjunction with the implementation of the Bathurst Destination Development Plan and the Cultural Vision.	Bathurst Heritage Matters

## 2.2 Community Group Update

Note: Each group to have their own table

Please provide dot point updates to ashlee.cutter@bathurst.nsw.gov.au

## 2.2.1 National Parks and Wildlife (Hill End)

Date	Update of key activities of the National Parks and Wildlife (Hill End)
	•
	•

## 2.2.2 Bathurst District Historical Society

Date	Update of key activities of the Bathurst District Historical Society
	•
	•

#### 2.2.3 Bathurst Branch of the National Trust

Date	Update of key activities of the Bathurst Branch of the National Trust
	•
	•
	•

## 2.2.4 Bathurst Town Square Group

Date	Update of key activities of the Bathurst Town Square Group
	•
	•

## 2.2.5 Bathurst Heritage Network

Date	Update of key activities of the Bathurst Heritage Network
	•
	•
	•

## 2.2.6 Bathurst Heritage Matters

Date	Update of key activities of the Bathurst Heritage Matters

## 2.2.7 Bathurst Local Aboriginal Lands Council

Date	Update of key activities of the Bathurst Local Aboriginal Lands Council
	•
	•
	•

## 2.2.8 Wiradjuri Elders Group

Date	Update of key activities of the Wiradjuri Elders Group
	•

•
•

## 2.2.9 Bathurst Family History Group

Date	Update of key activities of the Bathurst Family History Group
	•
	•
	•

## 2.2.10 Greening Bathurst

Date	Update of key activities of the Greening Bathurst
	•
	•
	•

### 2.2.11 Bathurst Business Chamber

Date	Update of key activities of the Bathurst Business Chamber			
	•			

## 2.2.12 Bathurst Youth Council

Date	Update of key activities of the Bathurst Youth Council			
	•			

## 2.2.13 Rockley Mill and Stable Museum

Date	Update of key activities of the Rockley Mill and Stable Museum					
	•					
	•					
	•					

## 2.2.14 The Friends of the Agricultural Research Station

Date	Update of key activities of the Friends of the Agricultural Research Station						

## 2.2.15 Each of the Rural Village and Rural Settlement Progress Associations

Date	Jpdate of key activities of the Rural Village and Rural Settlement Progress Associations					
	•					

Bathurst Region Heritage Plan 2021 – 2025 IMPLEMENTATION PLAN FOR 2021/22 December Quarter Update



### Introduction

The Bathurst Region Heritage Implementation Plan (the Heritage Implementation Plan) has been prepared to highlight current programs and projects being undertaken to implement the Bathurst Region Heritage Plan 2021 - 2025.

The vision of the Bathurst Region Heritage Plan is:

**Respecting** our **past**, **valuing** our **stories**, shaping our **future**. Bathurst will be a pre-eminent heritage city and region to be experienced as a desirable and sustainable place to live, work and visit.

The core goal of the Bathurst Region Heritage Plan is:

To **protect**, **enhance** and **promote our Indigenous and European heritage** –places, objects, natural environment, people and projects and their embedded stories.

The Heritage Implementation Plan outlines the key activities/programs/projects and services currently being undertaken by Council's Planning, Museums, Library, Economic Development and Tourism sections. It also provides an opportunity for interested community, heritage and village groups to provide regular updates on activities they are undertaking with respect to the actions of the Heritage Plan. Note that the Plan should not be viewed as an exhaustive list of all Council and community activities that might relate to heritage management and promotion within the Bathurst Region.

The Bathurst Region Heritage Plan and the Heritage Implementation Plan will be available for the community to view on the Bathurst Yoursay website. Interested persons can register their email address on this site to receive notification of the latest updates of the Implementation Plan. Council aims to provide an update on the Plan at the end of September, December, March and June of each financial year.

The Implementation Plan will be reported to Council and to the NSW Heritage Division at the end of each financial year.

A separate Implementation Plan will be available for each financial year.

# Glossary of Terms

AFMM Australian Fossil and Mineral Museum

BRM Bathurst Rail Museum

BVIC Bathurst Visitor Information Centre

CBD Central Business District

CMP Conservation Management Plan

DA Development Application
DCP Development Control Plan

DPC (Heritage)
DPIE
Department of Premier and Cabinet (Heritage)
Department of Planning, Industry and Environment

Gateway Determination Approval from DPIE to place a Planning Proposal on public exhibition

LEP Local Environmental Plan
NMRM National Motor Racing Museum

Planning Proposal Proposal to amend a Local Environmental Plan

PHO Public Health Order

SWOT Strength, Weakness, Opportunity, Threat Analysis

YTD Year to Date

# Strategic (Heritage) Planning Priorities 2021/22

Below is an overview of the Strategic Planning Priorities for 2021/22 for the Environmental Planning & Building Services Department as they relate to heritage in the Bathurst Region. This table should not be read as an exhaustive list of tasks undertaken by the Strategic Planning Section.

The achievement of these priorities is dependent upon funding and staff resources and the impacts of Covid-19 on workflows. It is expected that a number of these priorities will rollover into 2022/23 and beyond.

#### **URBAN DESIGN/PLACE MANAGEMENT**

Expression of Interest Process – former TAFE site

Finalise Town Centre Master Plan and Council's response "Future proofing our CBD"

Finalise and monitor Streets as Shared Spaces Pilot Project

Master Plan of Ambulance Station Precinct (dependent upon funding/resources).

Commence Local Character Assessments/Statements

- Housing precincts within Bathurst
- Village plans
- Consider LEP Clause

#### **PLANNING CONTROLS**

- Complete HCA Review (and DCP amendment)
- Commence Schedule 5 update
- Identify Schedule 5 Village updates
- Commence research for next Schedule 5 update
- DCP amendments (dependent upon resources)

#### **HERITAGE PROJECTS**

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- Heritage Reference Group agendas and minutes (Covid dependent)

- Annual report to DPC (Heritage)
- DA referrals
- Clause 5(10)(3) exemptions
- Pre DA meetings
- Macquarie Medal determine future

Finalise 2021-25 Heritage Plan and update implementation plan (quarterly)

Support Council in any Aboriginal Investigations

Finalise Conservation Management Plan Ambulance Station

Condition Assessment and Maintenance Plan for the Bathurst Street and Park lamp standards

Aboriginal Heritage Interpretation Strategy:

- Complete stage 1 Boardwalk and commence stage 2 Boardwalk
- 1824 story and bicentenary commemorations
- Review and reproduce Wiradjuri brochure

#### European Heritage Interpretation:

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- Duration and Munition Cottages
- Pillars of Bathurst finalise and move to a digital format
- Finalise road name book for website

#### Heritage Education:

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- Guidelines for Statements of Heritage Impact
- Practical restoration workshop (post COVID)

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Commemorations of the Bicentenary of martial law/Bathurst Wars in 2024	1.1.3 1.1.5 4.2.2	Staff working group established. Dr Stephen Gapps, author of <i>Gudyarra</i> , <i>The First Wiradyuri War of Resistance - The Bathurst War</i> , 1822–1824, will present the Theo Barker Lecture on 17 March 2022. Grant obtained for the engagement of a First Nations curator over 3 years to develop a program of arts and cultural activities resulting in the creation of new work to commemorate the Bathurst Wars.
Recognition of Aboriginal Cultural Heritage	1.1.3 4.2.2	Council and Bathurst Local Aboriginal Lands Council have submitted a dual name proposal to the GNB for the Macquarie River - Wambuul. Awaiting decision from Minister.
Bathurst Heritage Plan and annual implementation plan	1.2.1 1.2.2 1.2.3 1.2.4 4.4.6	2021-2025 Heritage Plan and Implementation Plan currently being finalised. Annual Implementation Plan being reported on Council's YourSay website and updated quarterly.
Planning Studies and Strategies	2.1.1 2.1.2 2.4.1 3.1.1 5.2.2	Bathurst Streets and Shared Spaces Pilot project grant implementation - Installation of temporary line marking, pedestrian barriers, street trees and parklets nearing completion. Interpretative signage and public art underway.
		Bathurst Town Centre Master Plan & Council's Response "Future Proofing our CBD" Submissions collated following public exhibition of draft plan and placed on Council's YourSay website. Council finalising its position to be considered in early 2022.
		Review of the Village Plans Review of heritage items and heritage conservation areas in villages underway. Completed for Rockley, Sofala and Peel.
Local Character Statements	2.1.2 2.1.3	Review of the Village Plans Local character statements to be integral part of the new village plans. Underway for Rockley, Sofala and Peel.

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – September to December Quarter)
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		Bathurst Heritage Conservation Area Review Bathurst LEP and DCP amendment to implement the Bathurst Heritage Conservation Area Review 2018 – Planning Proposal being finalised (includes new development standards for Munitions Cottages, Duration Cottages, Chifley Estate and parts of West Bathurst). Council adopted, gazettal imminent.
		Schedule 5 Bathurst Regional LEP amendment to update list of heritage items in Schedule 5 of the LEP to include 53 new sites. Assessment of significance completed. Mapping underway. Council resolved to commence Planning proposal.
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Community engagement with respect to Development Application and Planning Instruments amendments	2.3.4	Referrals to relevant heritage and Aboriginal interest groups as required by the Community Participation plan - ongoing.
Aboriginal Cultural Heritage Assessments	2.3.5	Aboriginal Cultural Heritage Assessments Reports:  1. Stormwater Harvesting Pipeline Route and Ponds – completed.  2. Kelso Industrial Park – completed.
		Due Diligence Assessments:  1. Bridle Track Due Diligence – completed.  2. McPhillamy Park – Playground upgrade and electrical/data infrastructure – completed.
Heritage Advisory Service	2.3.2 2.3.1 2.3.3 2.4.1 2.5.1 2.6.1 3.2.1	Since June 2021, Council's Heritage Advisor and/or staff have been on 33 site inspections (including virtual).  Council's Heritage Advisor and been involved in:  14 Heritage/Urban Design advice matters  7 pre-DA matters  8 Development assessment advice  3 enquiries for the demolition of the principle building on a site  The service has been significantly disrupted by Covid-19. Council's Heritage Advisor continues to provide advice electronically and staff are undertaking site visits where possible. This service recommenced on site meetings in

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – September to December Quarter)
		late November subject to the relevant Public Health Orders allow.
Exemptions from the need for consent for minor works and payment of DA fees	3.3.2 3.3.3	<ol> <li>Since July 2021, 12 exempt developments pursuant to Clause 5.10(3) of the Bathurst Regional Local Environmental Plan 2014 were issued.</li> <li>DA fees waived for repainting of buildings, erection of signage and reinstatement of verandahs within the Bathurst CBD - ongoing.</li> </ol>
Senior Heritage Planner	3.2.2	Review of Strategic Planning staff structure completed resulting in 3 day per week Senior Heritage Planner position and full time Urban Design Planner. Both positions support the implementation of the Heritage Plan.
Heritage Training & Education	2.5.2 2.5.3 3.3.4 4.4.3 5.1.2	<ol> <li>Heritage Network Seminar cancelled for 2020 due to Covid-19.</li> <li>Council has prepared new web based guidelines and developing webinars/information videos for the preparation of statements of heritage impact and interpretation strategies. Available from Council's website.</li> </ol>
Heritage Assistance Funding	3.3.1 4.2.3 5.2.3	2021 Macquarie Medal 2020 Macquarie Medal awarded to Kim Baggot- Hillier. 2021 Macquarie Medal did not proceed due to Covid-19 implications on budget. 2022 Macquarie Medal did not proceed due to Covid-19 implications on budget.
		Local Heritage Fund Bathurst Region Heritage Fund 2021/22 offers distributed to 46 projects.
		Bathurst Region Interpretation Fund Bathurst Region Interpretation Fund 2021/22 offers distributed to 11 projects
		Bathurst CBD Main Street Fund Bathurst CBD Main Street Fund 2021/22 offers distributed to 19 projects.
		A review of the funding criteria for all heritage assistance funding for the 2021/22 programs completed.
Interpretative/Guidance material	3.2.3 4.2.2 4.3.1 4.3.2 4.4.5 4.4.7 4.4.8 5.1.3 5.2.5	Pillars of Bathurst 2022 Pillars applications closed 25 October 2021. Council received a high number of nominations under this years round. The applications are currently being reviewed.
		Mount Panorama Wahluu Boardwalk Design of Stage 1 signage (top of the Mount) completed and being manufactured.
		Delightful Spot Signs A number of Delightful Spot signage panels have been replaced. No change to content, new panels installed due to weathering of existing panels.

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – September to December Quarter)
Heritage Assets	3.5.2 5.2.4	Headmasters residence (former TAFE site) Restoration of former Headmasters residence continuing subject to grant funding. Australian Fossil and Mineral Museum Council's Heritage Advisor preparing a Conservation Strategy for the site to guide maintenance and assist in securing grant funding when available.
		Former TAFE Precinct EOI documentation for the adaptive reuse/redevelopment of the former TAFE precinct released. EOI close 15 February 2022. Public tours of the former TAFE building undertaken in mid December and well received.
		Lamp Standards Request for quotations for a Condition Assessment and Maintenance Plan for the Bathurst Street and Park Lamp Standards (partially grant funded) closed on 30 November 2021. Quotes being reviewed.

## 1.2 Museums:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – September to December Quarter)
National Motor Racing Museum	4.2.1 5.1.4	The National Motor Racing Museum (NMRM) had a total of 2,073 visitors in the period from 1 September to 30 November 2021 which included no school visits. Visitation numbers were down due to Covid-19 lockdowns in Greater Sydney and parts of Regional NSW during this period.  The National Motor Racing Museum had been closed due to the NSW PHO since Sunday 15 August 2021 to 20 October 2021.
Australian Fossil and Mineral Museum	4.2.1 4.3.1 5.1.4	The Australian Fossil and Mineral Museum (AFMM) had a total of 1,345 visitors in the period from 1 September to 30 November 2021 which included no onsite school visits. Visitation numbers were down due to Covid-19 lockdowns in Greater Sydney and parts of Regional NSW during this period.  The Australian Fossil and Mineral Museum had been closed due to the NSW PHO since Sunday 15 August 2021 to 21 October 2021.
Chifley Home and Education Centre	3.5.1 4.2.1	Chifley Home remains closed due to Covid-19. Work has been undertaken to develop Conservation and Thematic Plans. Funding has been secured to undertake conservation work and the redevelopment of the interpretation

	5.1.4	contained within the Education Centre prior to reopening this financial year.
Bathurst Rail Museum	4.2.1 5.1.4	The Bathurst Rail Museum (BRM) had a total of 2,522 visitors in the period from 1 September to 30 November 2021 which included no school visits. Visitation numbers were down due to Covid-19 lockdowns in Greater Sydney and parts of Regional NSW during this period.  The Bathurst Rail Museum had been closed due to the NSW PHO since Sunday 15 August 2021 to 22 October 2021.
Central Tablelands Collections Facility	4.2.1 5.1.1 5.1.2	Construction of the Central Tablelands Collections Facility is underway with earthworks completed, slab poured, steel erected and cladding nearing completion. The facility is due to be completed mid 2022.  Museums Bathurst continues to work with partners including The Australian Museum, Grimewade Centre for Cultural Materials (Melbourne University), Sydney University, Tafe NSW, Museums & Galleries NSW and MAAS in preparation for the opening of the facility and providing learning and professional development opportunities.

## 1.3 Tourism:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date –September to December Quarter)
Events/Promotion	4.1.1 4.1.2 4.1.3 4.1.4 4.2.2 4.3.1 4.3.4 4.4.5	Village Event Development Fund BVIC continues to work with villages through the Village Event Development Fund which has committed support to the 'Rebellion on the Turon' at Sofala and the Rockley Garden and Art Festival in 2021/22. The Rockley Gardens and Art Festival was held on the weekend of 13014 November and included activation of a number of heritage properties and of the Rockley School of Arts building. Over 500 attended the event.
		2022 Autumn Colours The 2022 Autumn Colours Heritage program will run from 17 March to 8 May, to commence with the rescheduled Theo Barker Lecture by Dr Stephen Gapps. A number of heritage sites in Bathurst, Rockley and Perthville will be included in the tour program
		BVIC has completed a submission to the new 'Public Spaces Near Me' program being developed by the NSW Department of Planning, Industry and Development. All 10 nominated Bathurst 'points of interest' focus on heritage elements of the Bathurst region. The program will go live in late December 2021.
Marketing/Public Relations	4.1.1 4.1.2 4.1.3 4.2.2 4.3.1	Funding was sought and received through the Destination NSW Tourism Recovery Marketing Fund for a marketing campaign which will include both Bathurst and villages. The campaign was delayed due to COVID restrictions as well as to adverse weather and will now run over Summer 21/22. Heritage, as a pillar of the Destination Brand, was a key component of the submission.
	4.3.3	PR agency engagement has been limited in 2021/22 YTD due to the impact of the Covid-19 outbreak and

		metropolitan Sydney and NSW lockdowns.
Interpretation	4.1.1 4.1.2	Bathurst Step Beyond App New interpretive walking tour for Hill End has been added to the 'Bathurst Step Beyond App' in December 2021.
	4.1.3 4.1.5 4.3.1 4.3.2	Discussion has been held with St Joseph's Convent Perthville and the Rockley Village Progress Association regarding development of walking tours for these areas for addition to the app in 2021/22. New interpretive signs for Rockley village will be linked to additional content on the Bathurst region website which will allow later integration with an app if developed.
		Bathurst Region Website  New tour itineraries focussed on the region's natural and cultural heritage have been added to the bathurstregion.com.au site

# 1.4 Economic Development

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22
Promotion	4.2.3 4.4.1	Heritage projects and grant opportunities are identified and promoted to the business community through the Economic Development monthly newsletter, Bathurst Business Hub Facebook and the Bathurst Business Hub/live invest Bathurst website.  Contacted and worked with Matt Moran on the Rockley Pub development.
Public Relations	2.3.3 5.2.1 5.2.2 5.2.3 5.2.4 5.2.6	Economic Development Strategy The Economic Development Strategy has a strong heritage focus, including:  Recognising the importance of heritage and the role it plays as an economic asset  Protection of local heritage as an economic asset  Identifying heritage as a strength in the SWOT  Use of heritage to promote the city to potential future residents  Promote the Adaptive reuse of heritage buildings is an important factor in creating sustainable communities.  Recognition that the regeneration of heritage buildings adds economic and environmental value.
		A concierge service is offered by Economic Development that connects developers/potential developers to Council's Senior Heritage Planner and Heritage Advisory service.
		Created a business prospectus for the former TAFE precinct to support the EOI process.

## 1.5 Library Services

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date –September to December Quarter)
Sharing Information	2.4.3 4.3.2 4.4.1 4.4.4 4.4.8	Local History Collection Improve the discoverability of Bathurst Library's Local History collection on the library management system by making catalogue records more accurate, specifically Bathurst Remembers collection and new items Continuing.
		Shared Databases Research the market and request quotes for shared databases such as Recollect.
		<b>Digitisation</b> Increase digitisation of local history items and increase digital content available online, specifically ANZAC/War resources and BRC and Library created content Preparing Wiradjuri Servicemen ANZAC PowerPoint for 2022 and digitised 2 local history books and placed online with author permission.
	collection development policy, with a focus on projects that will of and shared information, most recently on Bathurst Railway.  Digital Presence Promote heritage/ local history content online (including social necessari	Develop a plan to encourage community generated local history content and donations that meet with the library collection development policy, with a focus on projects that will collect community memories Accepting donations
		Promote heritage/ local history content online (including social media– Way Back Wednesday, From the Archive, Wiradjuri at least monthly) and via physical displays Continuing, including preparing summer digital display 'Manly

# 2. Community Groups

## 2.1 Community Projects

Programs/Projects	Heritage Plan Action	Outcomes for 2020/21	Responsibility
Local Heritage Awards	3.4.1 3.4.2 4.3.1	Annual awards as part of Australia Day ceremony paused for 2021 due to Covid-19.	National Trust
National Trust Register	2.4.2	Provide an updated National Trust Register for the Bathurst Region.	National Trust
Heritage Activation Plan	4.1.1	Plan developed and referenced in 2021-25 Heritage Plan for action in conjunction with the implementation of the Bathurst Destination Development Plan and the Cultural Vision.	Bathurst Heritage Matters

## 2.2 Community Group Update

## 2.2.1 National Parks and Wildlife (Hill End)

Date	Update of key activities of the National Parks and Wildlife (Hill End)	
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	•	
	•	

## 2.2.2 Bathurst District Historical Society

Date	Update of key activities of the Bathurst District Historical Society	
	•	
	•	
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### 2.2.3 Bathurst Branch of the National Trust

Date	Update of key activities of the Bathurst Branch of the National Trust
	Bathurst & District Branch 21/21 Plan focus areas identified (copy attached).

<ul> <li>To protect, enhance and promote the built, cultural and natural heritage of the Bathurst Region.</li> </ul>
<ul> <li>Develop a vibrant, attractive and prosperous heart of our city, that showcases its heritage</li> </ul>
Grow our economy through cultural tourism
Embrace Wiradyuri cultural heritage
Restore and protect McPhillamy Park – the people's park
<ul> <li>Protect and enhance our natural heritage – our parks, streams and natural environment.</li> </ul>
<ul> <li>State and Local Branch Priorities (copy attached) emailed to Council election candidates for their endorsement</li> </ul>
<ul> <li>Social media strategy to promote the economic and lifestyle assets of the built, cultural and natural heritage of the Bathurst region through</li> </ul>
NT Facebook page, Bathurst Heritage Matters FB page and others.
<ul> <li>Involvement in the 2021 Bathurst Heritage Week and the Bathurst Heritage Trades Trail as organisers and volunteers including tours of</li> </ul>
Orton Park.
<ul> <li>Continued support of Miss Trails House and Garden Committee, Town Square Group, WWII Exhibition, Bathurst Heritage Matters, Friends</li> </ul>
of McPhillamy Park, Bathurst Trades Trail, Friends of Bathurst Agricultural Research Station, Friends of Centennial Park.
Development of submissions to Your Say on:
<ul> <li>Futureproofing the Town Centre Masterplan</li> </ul>
Bathurst Integrated Medical Centre
o Bathurst Community Strategic Plan
DA submission on:
o Prior Pavillon
o 165 Rocket Street
o 248 Peel St
○ 235 Bentinck St
Award of Bathurst & District Branch Heritage Certificates to:
<ul> <li>Sparta Building Corner Keppel and Bentick Street</li> </ul>
<ul> <li>Brooke Moore Centre corner William and Keppel</li> </ul>
o 22 Rankin Street
<ul> <li>Gladstone Terraces</li> </ul>
<ul> <li>152 Bentinck Street</li> </ul>
<ul> <li>Vanessa Pringle, William St</li> </ul>
Letters of Support for:
<ul> <li>Cathedral Restoration Project NT Heritage Award application (successful)</li> </ul>
<ul> <li>Bathurst Historical Society Grant Application</li> </ul>

# 2.2.4 Bathurst Town Square Group

Date	Update of key activities of the Bathurst Town Square Group	
	•	
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## 2.2.5 Bathurst Heritage Network

Date	Update of key activities of the Bathurst Heritage Network
26/11/2021	Heritage Promotion
	<ul> <li>BHM has updated and reprinted three of the Experience Heritage Bathurst information brochures in recent months – 9,000 copies - in partnership with a number of Bathurst businesses and BVIC. This series of nine highly engaging visitor and info brochures continues to be extremely popular, and over 100,000 have been printed and distributed since inception of the program. Our volunteer distribution team regularly places them in the stands BHM provides in many businesses and attractions around town. In response to Covid impacts, BHM discounted the advertising cost to businesses by 50%.</li> <li>The BHM public facebook group now has 3,100 members, which continues to grow each week, providing a platform for discussion and ideas. Hundreds of overwhelmingly positive heritage posts are made and shared every month by BHM and its members, many reaching thousands of people around Australia.</li> <li>The BHM website continues to provide heritage background information, policies and photos.</li> <li>BHM continues to operate the Experience Heritage Bathurst public facebook site, aimed at attracting more visitors to Bathurst, and providing them with heritage background information.</li> </ul>
	<ul> <li>BHM continues to work closely with the Bathurst Visitor Information Centre.</li> <li>The regular BHM column in the Village Voice newspaper remains relevant and popular. Over 240 BHM articles have been published.</li> </ul>
	<ul> <li>Heritage Planning</li> <li>BHM has provided input and ideas for Council's 2021 update of the Bathurst Heritage Plan.</li> <li>BHM provided input into the Town Centre Master Plan and council's draft Futureproofing Plan.</li> <li>BHM made successful submissions on Council's Community Consultation Plan, so that DA's for development next to rural heritage listed properties must be notified to the owners.</li> </ul>
	Heritage Events
	BHM volunteers successfully organised and coordinated the Bathurst Heritage Trades Trail 2021. The event again grew year on year, and attracted over a thousand visitors to Bathurst and an equal number of locals. The dedicated public facebook site continues to be updated. Planning is under way for next year's event on 9 & 10 April 2022.
	<ul> <li>BHM successfully coordinated Bathurst Heritage Week 2021, with tours, attractions and special events promoted through the program BHM devised and distributed, and through the BVIC website and Autumn Colours. Planning is under way for Bathurst Heritage Week in May 2022.</li> <li>BHM volunteers helped organise and run a three day visit to Bathurst by fifty members of the Australiana Society, who came from all over Australia. They visited twelve historic properties around Bathurst, and listened to talks by local historians and luminaries. The Society donated \$2,200 from the event to the Bathurst District Historical Society.</li> </ul>
	BHM volunteers helped coordinate and organise a two day visit to Bathurst by forty members of the Historic Houses Trust. The participants toured seven heritage properties around Bathurst.
	<ul> <li>Heritage Protection and Enhancement</li> <li>BHM continues to lead the Raglan Station Restoration Committee. A very well received promotional and interpretation brochure has been produced and distributed, and the committee is working on raising funds for a complementary interpretative sign at the station. We look</li> </ul>

- forward to progressing our Raglan Station Strategic Plan with the new railway managers. The dedicated public facebook site provides a platform for public comment and ideas.
- BHM continues to provide guidance and assistance to people enquiring about heritage houses, and family histories.
- Joining with the National Trust Bathurst Branch and the National Trust of Australia (NSW), BHM participated in a zoom meeting with the BIMC developer. BHM subsequently provided a written submission to the promotors of the BIMC proposal, advancing four options to reduce its height without reducing space, car parking or amenity. No reply has been received. Even if treated as a one off exception, the 27.2 metre/7 storey height of this proposal would act as a precedent, radically changing Bathurst's heritage character.
- BHM nominated a number of properties for heritage listing in the Bathurst LEP, including the old Raglan Public School and former St James Church in Raglan, both of which have been adopted.

#### 2.2.6 Bathurst Heritage Matters

Date	Update of key activities of the Bathurst Heritage Matters
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### 2.2.7 Bathurst Local Aboriginal Land Council

Date	Update of key activities of the Bathurst Local Aboriginal Lands Council		
	New Cultural Advisory Group formed and advised to Council.		
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	•		

### 2.2.8 Wiradyuri Elders Group

Date	Update of key activities of the Wiradjuri Elders Group
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#### 2.2.9 Bathurst Family History Group

Date	Update of key activities of the Bathurst Family History Group
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	•
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## 2.2.10 Greening Bathurst

Date	Update of key activities of the Greening Bathurst
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	•
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### 2.2.11 Bathurst Business Chamber

Date	Update of key activities of the Bathurst Business Chamber
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	•
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## 2.2.12 Bathurst Youth Council

Date	Update of key activities of the Bathurst Youth Council
	•

## 2.2.13 Rockley Mill and Stable Museum

Date	Update of key activities of the Rockley Mill and Stable Museum
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## 2.2.14 The Friends of the Agricultural Research Station

Date	Update of key activities of the Friends of the Agricultural Research Station
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	•
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## 2.2.15 Each of the Rural Village and Rural Settlement Progress Associations

Date	Update of key activities of the Rural Village and Rural Settlement Progress Associations					
	•					
	•					
	•					

Bathurst—Australia's oldest inland European settlement—in Wiradyuri country

Its unique built, cultural and natural heritage—a lifestyle and economic asset

# BATHURST & DISTRICT BRANCH NATIONAL TRUST

## **Our priorities**









## Grow our economy through heritage and cultural tourism

- Activate the region's rich built and cultural heritage to attract heritage tourists who stay longer and spend more.
- Inform the community of the value to the economy of heritage and cultural tourism.

# Develop a vibrant, attractive and prosperous heart of our city, that showcases its heritage

- Maintain our country town character within current building height limits.
- Retain and advance the heritage streetscapes and precincts
- Facilitate the adaptive reuse of buildings

## **Embrace Wiradyuri cultural heritage**

- Respect Wiradyuri cultural heritage
- Join with the Wiradyuri community in the commemoration of the 1824 Declaration of Martial Law

## Restore and protect McPhillamy Park - the people's park

- Formally recognise and reclassify the 10 acres gifted by Mrs McPhillamy as public parkland and as part of McPhillamy Park.
- Develop an appropriate vision, masterplan and conservation management plan

## Protect and enhance our natural heritage - our parks, streams, natural environment

- Manage urban growth to protect views to and from the region's important landscapes
- Prioritise the upgrade of Centennial Park.
- Enhance the liveability with a green heritage Town Centre



## Local Government Elections 2021

National Trust Priorities for Local Heritage



## Your Local Heritage Matters

Local Government plays a vital role in protecting regional diversity by identifying, promoting, incentivising and regulating the protection and celebration of local heritage.



Historic cottages, Victoria Street, Bowral



Heritage places can be large or small – from an urban area or a group of old buildings, to an individual tree or the location of a historical event – and contibute greatly to the character of our local areas.

Council plays an important role in listing heritage items and as the owner of many heritage places with original or adapted historic buildings including; libraries, museums, galleries and visitor information centers.

## THE NATIONAL TRUST MAKES A DIFFERENCE

The National Trust is Australia's longest standing and most respected voice on heritage protection, conservation and cultural tourism.

In collaboration with government and the community, we protect, conserve and celebrate the diversity of heritage places and landscapes across NSW.

## AS A COUNCILLOR, YOU CAN HELP PROTECT AND CELEBRATE YOUR LOCAL HERITAGE

Support the National Trust's Local Heritage Priorities

**Priority 1:** Ensure your Council has a comprehensive heritage register that remains up-to-date and is truly representative of the different heritage places in your area.

**Priority 2:** Ensure your Council has adequate resources and budget to administer the protection of your heritage places.

Priority 3: Ensure your Council commits to employing appropriately experienced heritage advisers to provide relevant advice to both Council and the community.

**Priority 4:** Ensure your Council has a Heritage Advisory Committee with appropriate skills and representation to provide a comprehensive community formal heritage voice to Council.

Priority 5: Ensure your Council has adequate recognition and protection for significant trees and actively creates green corridors, tree canopies and open green space.

Priority 6: Ensure your Council actively encourages and supports owners of heritage places to maintain and care for their properties.

## **Futher Information**

#### **NATIONAL TRUST OF AUSTRALIA (NSW)**

Mail: PO Box 518, Sydney NSW 2001

Phone: (02) 9258 0190

Email: info@nationaltrust.com.au nationaltrust.org.au/nsw



Roxy Theatre, Bingara, NSW

Bathurst Region Heritage Plan 2021 – 2025 IMPLEMENTATION PLAN FOR 2021/22 March Quarter Update



#### Introduction

The Bathurst Region Heritage Implementation Plan (the Heritage Implementation Plan) has been prepared to highlight current programs and projects being undertaken to implement the Bathurst Region Heritage Plan 2021 - 2025.

The vision of the Bathurst Region Heritage Plan is:

**Respecting** our **past**, **valuing** our **stories**, shaping our **future**. Bathurst will be a pre-eminent heritage city and region to be experienced as a desirable and sustainable place to live, work and visit.

The core goal of the Bathurst Region Heritage Plan is:

To **protect**, **enhance** and **promote our Indigenous and European heritage** –places, objects, natural environment, people and projects and their embedded stories.

The Heritage Implementation Plan outlines the key activities/programs/projects and services currently being undertaken by Council's Planning, Museums, Library, Economic Development and Tourism sections. It also provides an opportunity for interested community, heritage and village groups to provide regular updates on activities they are undertaking with respect to the actions of the Heritage Plan. Note that the Plan should not be viewed as an exhaustive list of all Council and community activities that might relate to heritage management and promotion within the Bathurst Region.

The Bathurst Region Heritage Plan and the Heritage Implementation Plan will be available for the community to view on the Bathurst Yoursay website. Interested persons can register their email address on this site to receive notification of the latest updates of the Implementation Plan. Council aims to provide an update on the Plan at the end of September, December, March and June of each financial year.

The Implementation Plan will be reported to Council and to the NSW Heritage Division at the end of each financial year.

A separate Implementation Plan will be available for each financial year.

## Glossary of Terms

AFMM Australian Fossil and Mineral Museum

BRM Bathurst Rail Museum

BVIC Bathurst Visitor Information Centre

CBD Central Business District

CMP Conservation Management Plan

DA Development Application
DCP Development Control Plan

DPC (Heritage)
Department of Premier and Cabinet (Heritage)
DPIE
Department of Planning, Industry and Environment

Gateway Determination Approval from DPIE to place a Planning Proposal on public exhibition

LEP Local Environmental Plan
NMRM National Motor Racing Museum

Planning Proposal Proposal to amend a Local Environmental Plan

PHO Public Health Order

SWOT Strength, Weakness, Opportunity, Threat Analysis

YTD Year to Date

## Strategic (Heritage) Planning Priorities 2021/22

Below is an overview of the Strategic Planning Priorities for 2021/22 for the Environmental Planning & Building Services Department as they relate to heritage in the Bathurst Region. This table should not be read as an exhaustive list of tasks undertaken by the Strategic Planning Section.

The achievement of these priorities is dependent upon funding and staff resources and the impacts of Covid-19 on workflows. It is expected that a number of these priorities will rollover into 2022/23 and beyond.

#### URBAN DESIGN/PLACE MANAGEMENT

Expression of Interest Process – former TAFE site

Finalise Town Centre Master Plan and Council's response "Future proofing our CBD"

Finalise and monitor Streets as Shared Spaces Pilot Project

Master Plan of Ambulance Station Precinct (dependent upon funding/resources).

Commence Local Character Assessments/Statements

- Housing precincts within Bathurst
- Village plans
- Consider LEP Clause

#### PLANNING CONTROLS

- Complete HCA Review (and DCP amendment)
- Commence Schedule 5 update
- Identify Schedule 5 Village updates
- Commence research for next Schedule 5 update
- DCP amendments (dependent upon resources)

#### HERITAGE PROJECTS

- Heritage Programs:
- Heritage Assistance funds: Manage applications, distribution of funds and final reports
- Heritage advisory services manage services
- Heritage Reference Group agendas and minutes (Covid dependent)

- Annual report to DPC (Heritage)
- DA referrals
- Clause 5(10)(3) exemptions
- Pre DA meetings
- Macquarie Medal determine future

Finalise 2021-25 Heritage Plan and update implementation plan (quarterly)

Support Council in any Aboriginal Investigations

Finalise Conservation Management Plan Ambulance Station

Condition Assessment and Maintenance Plan for the Bathurst Street and Park lamp standards

Aboriginal Heritage Interpretation Strategy:

- Complete stage 1 Boardwalk and commence stage 2 Boardwalk
- 1824 story and bicentenary commemorations
- Review and reproduce Wiradjuri brochure

#### European Heritage Interpretation:

- Park signage John Matthews and Cubis Park
- Duration and Munition Cottages
- Pillars of Bathurst finalise and move to a digital format
- Finalise road name book for website

#### Heritage Education:

- Theo Barker Lecture (March 2022 Stephen Gapps)
- Guidelines for Statements of Heritage Impact
- Practical restoration workshop (post COVID)

## The Implementation Plan

To achieve the actions within the Bathurst Region Heritage Plan collaboration is required across Council, including Economic Development, Library Services, Museums, Strategic Planning and Tourism and the Community Groups that form the Bathurst Region Heritage Reference Group.

The outcomes achieved under the Plan by Council and the Community Groups are listed below and reported on quarterly.

Each Community Group is to also able to provide an update of the activities undertaken by their group.

## 1. Bathurst Regional Council

## 1.1 Strategic Planning:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – December to March Quarter)	
Bathurst Region Heritage Reference Group	1.1.1	Meetings have been paused due to Covid-19 restrictions. Updates are being provided via email.	
Support Community Groups	1.1.2 1.1.3 1.1.4	Council representatives have attended meetings with: - Bathurst Town Square Group - Bathurst University of the Third Age (U3A)	
Commemorations of the Bicentenary of martial law/Bathurst Wars in 2024	1.1.3 1.1.5 4.2.2	Staff working group established. Dr Stephen Gapps, author of <i>Gudyarra, The First Wiradyuri War of Resistance - The Bathurst War, 1822–1824</i> presented the Theo Barker Lecture on 17 March 2022. Grant obtained for the engagement of a First Nations curator over 3 years to develop a program of arts and cultural activities resulting in the creation of new work to commemorate the Bathurst Wars.	
Recognition of Aboriginal Cultural Heritage	1.1.3 4.2.2	Council and Bathurst Local Aboriginal Lands Council submitted a dual name proposal to the GNB for the Macquarie River - Wambuul. Naming Gazetted.	
Bathurst Heritage Plan and annual implementation plan	1.2.1 1.2.2 1.2.3 1.2.4 4.4.6	2021-2025 Heritage Plan and Implementation Plan being reported on Council's YourSay website and updated quarterly.	
Planning Studies and Strategies	2.1.1 2.1.2 2.4.1 3.1.1 5.2.2	Bathurst Streets and Shared Spaces Pilot project grant implementation - Installation of temporary line marking, pedestrian barriers, street trees, parklets and public art mural completed. Interpretative signage and other public nearing completion. Funding application lodged under round 2 of SaSS program.	
		Bathurst Town Centre Master Plan & Council's Response "Future Proofing our CBD" Submissions collated following public exhibition of draft plan and placed on Council's YourSay website. Council finalising its position to be considered in early 2022.	
		Review of the Village Plans Review of heritage items and heritage conservation areas in villages underway. Completed for Rockley, Sofala and Peel.	
Local Character Statements	2.1.2	Review of the Village Plans	

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – December to March Quarter)		
	2.1.3	Local character statements to be integral part of the new village plans. Underway for Rockley, Sofala and Peel.		
	2.1.4 2.2.2 2.2.3	Munitions Cottages, Duration Cottages, Chifley Estate and West Bathurst Bathurst Heritage Conservation Area Review 2018 - LEP and DCP Amendment gazetted 4 February 2022.		
	2.2.0	Bathurst Heritage Conservation Area Review Bathurst Heritage Conservation Area Review 2018 - LEP and DCP Amendment gazetted 4 February 2022.		
		Schedule 5 Bathurst Regional LEP amendment to update list of heritage items in Schedule 5 of the LEP to include 53 new sites. Assessment of significance completed. Mapping underway. Council resolved to commence Planning proposal.		
Conservation Management Plans	2.1.4 2.4.1 3.1.1 3.1.3 5.2.4	Former Ambulance Station Preparation of CMP for Ambulance Station completed.		
Community engagement with respect to Development Application and Planning Instruments amendments	2.3.4	Referrals to relevant heritage and Aboriginal interest groups as required by the Community Participation plan - ongoing.		
Aboriginal Cultural Heritage Assessments	2.3.5	Aboriginal Cultural Heritage Assessments Reports:  1. Stormwater Harvesting Pipeline Route and Ponds – completed.  2. Kelso Industrial Park – completed.		
		Due Diligence Assessments:  1. Bridle Track Due Diligence – completed.  2. McPhillamy Park – Playground upgrade and electrical/data infrastructure – completed.		
Heritage Advisory Service	2.3.2 2.3.1 2.3.3 2.4.1 2.5.1 2.6.1 3.2.1	Since June 2021, Council's Heritage Advisor and/or staff have been on 64 site inspections (including virtual). Council's Heritage Advisor and been involved in:  27 Heritage/Urban Design advice matters  16 pre-DA matters  17 Development assessment advice  8 enquiries for the demolition of the principle building on a site The service was significantly disrupted by Covid-19 in 2021. The service is returning to Pre-Covid levels with fortnightly visits being undertaken.		
Exemptions from the need for consent for minor works and	3.3.2 3.3.3	Since July 2021, 15 exempt developments pursuant to Clause 5.10(3) of the Bathurst Regional Local Environmental Plan 2014 were issued.		

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – December to March Quarter)		
payment of DA fees  2. DA fees waived for repainting of buildings, erection of signage an Bathurst CBD - ongoing.		2. DA fees waived for repainting of buildings, erection of signage and reinstatement of verandahs within the Bathurst CBD - ongoing.		
Senior Heritage Planner	3.2.2	Review of Strategic Planning staff structure completed resulting in 3 day per week Senior Heritage Planner position and full time Urban Design Planner. Both positions support the implementation of the Heritage Plan.		
Heritage Training & Education	2.5.2 2.5.3 3.3.4 4.4.3 5.1.2	<ol> <li>Heritage Network Seminar cancelled for 2020 due to Covid-19.</li> <li>Council has prepared new web based guidelines and developing webinars/information videos for the preparation of statements of heritage impact and interpretation strategies. Available from Council's website.</li> <li>Council co-hosted the Theo Barker Lecture with the BDHS in March 2022. Dr Stephen Gapps was the guest lecturer discussing the Bathurst Wars of 1822-1824.</li> </ol>		
Heritage Assistance Funding	3.3.1 4.2.3 5.2.3	2021 Macquarie Medal 2020 Macquarie Medal awarded to Kim Baggot- Hillier. 2021 Macquarie Medal did not proceed due to Covid-19 implications on budget. 2022 Macquarie Medal did not proceed due to Covid-19 implications on budget.		
		Local Heritage Fund Bathurst Region Heritage Fund 2021/22 offers distributed to 46 projects.		
		Bathurst Region Interpretation Fund Bathurst Region Interpretation Fund 2021/22 offers distributed to 11 projects.		
		Bathurst CBD Main Street Fund Bathurst CBD Main Street Fund 2021/22 offers distributed to 19 projects.		
		Applications for the 2022/23 Heritage Assistance Funds to open shortly.		
Interpretative/Guidance material	3.2.3 4.2.2 4.3.1 4.3.2 4.4.5 4.4.7 4.4.8 5.1.3 5.2.5	Pillars of Bathurst 2022 Pillars applications closed 25 October 2021. Council received a high number of nominations under this year's round. The applications are currently being reviewed.		
		Mount Panorama Wahluu Boardwalk Design of Stage 1 signage (top of the Mount) completed and being manufactured. Installation to be occurring shortly.		
		Blue Bee Mural & Creation Story (part of SaSS pilot project) Installation of the Blue Bee Mural on the Bathurst Post Office building has been completed. Council's finalising signage in relation to mural.		
		Alan Wright Signage Interpretative sign for Alan Wright Walkway (off Keppel Street) being manufactured.		

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – December to March Quarter)
Heritage Assets	3.5.2 5.2.4	Headmasters residence (former TAFE site) Restoration of former Headmasters residence continuing subject to grant funding.
		Australian Fossil and Mineral Museum Council's Heritage Advisor preparing a Conservation Strategy for the site to guide maintenance and assist in securing grant funding when available.
		Former TAFE Precinct EOI documentation for the adaptive reuse/redevelopment of the former TAFE precinct released. EOI close 31 March 2022. Public tours of the former TAFE building undertaken in mid December and well received.
		Lamp Standards Request for quotations for a Condition Assessment and Maintenance Plan for the Bathurst Street and Park Lamp Standards (partially grant funded) closed on 30 November 2021. Quotes being reviewed.

## 1.2 Museums:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date - December to February Quarter)	
National Motor Racing Museum	4.2.1 5.1.4	The National Motor Racing Museum (NMRM) had a total of 10,234 visitors in the period from 1 December 2021 to 28 February 2022 which included 60 school visits.	
Australian Fossil and Mineral Museum	4.2.1 4.3.1 5.1.4	The Australian Fossil and Mineral Museum (AFMM) had a total of 8,123 visitors in the period from 1 December 2021 to 28 February 2022 which included 61 school visits.	
Chifley Home and Education Centre	3.5.1 4.2.1 5.1.4	Chifley Home remains closed due to Covid-19. Funding has been secured to undertake conservation work and the redevelopment of the interpretation contained within the Education Centre prior to reopening this financial year.	
Bathurst Rail Museum	4.2.1 5.1.4	The Bathurst Rail Museum (BRM) had a total of 7,082 visitors in the period from 1 December 2021 to 28 February 2022. A virtual excursion to the Bathurst Rail Museum saw 2,408 registered educational visitors through the Department of Education (DART) virtual classroom "A Virtual Excursion to Bathurst - Impact of Rail" in December.	

Central Tablelands Collections Facility	4.2.1 5.1.1 5.1.2	Construction of the Central Tablelands Collections Facility is underway with the facility nearing lockup. The facility is due to be completed in 2022.
		Museums Bathurst continues to work with partners including The Australian Museum, Grimewade Centre for Cultural Materials (Melbourne University), Sydney University, Tafe NSW, Museums & Galleries NSW and MAAS in preparation for the opening of the facility and providing learning and professional development opportunities.

## 1.3 Tourism:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – December to March Quarter)		
Events/Promotion	4.1.1 4.1.2 4.1.3 4.1.4 4.2.2	Village Event Development Fund BVIC continues to work with villages through the Village Event Development Fund which has committed support to the 'Rebellion on the Turon' at Sofala, Rockley Artisan Markets and the Rockley Garden and Art Festival in 2021/22. The Rockley Gardens and Art Festival was held on the weekend of 13/14 November and included activation of a number of heritage properties and of the Rockley School of Arts building. Over 500 attended the event.		
	4.3.1 4.3.4 4.4.5	2022 Autumn Colours The 2022 Autumn Colours Heritage program will run from 17 March to 8 May, to commence with a Mayoral launch on 10 March and the rescheduled Theo Barker Lecture by Dr Stephen Gapps on 17 March. A number of heritage sites in Bathurst, Rockley and Perthville are included in the tour program which features several new tours in 2022 including 'Charles Darwin in Bathurst', Keppel St walking tours and an 'Evening at Miss Traill's House'. The Bathurst Heritage Trades Trail will also return on the weekend of 9-10 April 2022.		
		BVIC has completed a submission to the new 'Public Spaces Near Me' program being developed by the NSW Department of Planning, Industry and Development. All 10 nominated Bathurst 'points of interest' focus on heritage elements of the Bathurst region. The program launch has been delayed and it is now expected to go live in March/April 2022.		
Marketing/Public Relations	4.1.1 4.1.2 4.1.3 4.2.2 4.3.1 4.3.3	Funding was sought and received through the Destination NSW Tourism Recovery Marketing Fund for a marketing campaign which will include both Bathurst and villages. The campaign commenced in Summer 21/22 and has extended into autumn. Heritage, as a pillar of the Destination Brand, was a key component of the submission with campaign elements including promotion of heritage experiences to the family market.  PR agency engagement has been limited in 2021/22 YTD due to the impact of the Covid-19 outbreak and metropolitan Sydney and NSW lockdowns. Specialist agency <i>Res Publica</i> has been employed to assist in		
Interpretation	4.1.1	generating media coverage of the Autumn Colours program and Bathurst Heritage Trades Trail.  Bathurst Step Beyond App		

4 4	4.1.3 4.1.5	New interpretive walking tour for Hill End has been added to the 'Bathurst Step Beyond App' in December 2021. Work is underway on the addition of a walking tour of the St Joseph's Convent at Perthville, to be launched in July 2022.
		New interpretive signs for Rockley village, now in development, will be linked to additional content on the Bathurst region website which will allow later integration with an app if developed.
		Bathurst Region Website  New tour itineraries focussed on the region's natural and cultural heritage have been added to the bathurstregion.com.au site which has been updated to emphasise the regional focus on heritage over the autumn period.

## 1.4 Economic Development

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22	
Promotion	4.2.3 4.4.1	Heritage projects and grant opportunities are identified and promoted to the business community through the Economic Development monthly newsletter, Bathurst Business Hub Facebook and the Bathurst Business Hub/live invest Bathurst website.  Contacted and worked with Matt Moran on the Rockley Pub development.	
Public Relations	2.3.3 5.2.1 5.2.2 5.2.3 5.2.4 5.2.6	Economic Development Strategy The Economic Development Strategy has a strong heritage focus, including:  Recognising the importance of heritage and the role it plays as an economic asset  Protection of local heritage as an economic asset  Identifying heritage as a strength in the SWOT  Use of heritage to promote the city to potential future residents  Promote the Adaptive reuse of heritage buildings is an important factor in creating sustainable communities.  Recognition that the regeneration of heritage buildings adds economic and environmental value.	
		A concierge service is offered by Economic Development that connects developers/potential developers to Council's Senior Heritage Planner and Heritage Advisory service.	
		Created a business prospectus for the former TAFE precinct to support the EOI process.	

## 1.5 Library Services

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – December to March Quarter)		
Sharing Information	2.4.3 4.3.2 4.4.1	Local History Collection Improve the discoverability of Bathurst Library's Local History collection on the library management system by making catalogue records more accurate, specifically Bathurst Remembers collection and new items Continuing.		
	4.4.4 4.4.8	Shared Databases Research the market and request quotes for shared databases such as Recollect.		
		<b>Digitisation</b> Increase digitisation of local history items and increase digital content available online, specifically ANZAC/War resources and BRC and Library created content Preparing Wiradjuri Servicemen ANZAC PowerPoint for 2022 and digitised 2 local history books and placed online with author permission.		
		Community Develop a plan to encourage community generated local history content and donations that meet with the library collection development policy, with a focus on projects that will collect community memories Accepting donations and shared information, most recently on Bathurst Railway.		
		Digital Presence Promote heritage/ local history content online (including social media— Way Back Wednesday, From the Archive, Wiradjuri at least monthly) and via physical displays Continuing, including preparing summer digital display 'Manly Beach on the Macquarie River'.		

## 2. Community Groups

## 2.1 Community Projects

Programs/Projects	Heritage Plan Action	Outcomes for 2020/21	Responsibility
Local Heritage Awards	3.4.1 3.4.2 4.3.1	Annual awards as part of Australia Day ceremony paused for 2021 due to Covid-19.	National Trust
National Trust Register	2.4.2	Provide an updated National Trust Register for the Bathurst Region.	National Trust
Heritage Activation Plan	4.1.1	Plan developed and referenced in 2021-25 Heritage Plan for action in conjunction with the implementation of the Bathurst Destination Development Plan and the Cultural Vision.	Bathurst Heritage Matters Inc

## 2.2 Community Group Update

## 2.2.1 National Parks and Wildlife (Hill End)

Date	Update of key activities of the National Parks and Wildlife (Hill End)
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	•

## 2.2.2 Bathurst District Historical Society

Date	Update of key activities of the Bathurst District Historical Society
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	•
	•

#### 2.2.3 Bathurst Branch of the National Trust

Date	Update of key activities of the Bathurst Branch of the National Trust

•
•
•

## 2.2.4 Bathurst Town Square Group

Date	Update of key activities of the Bathurst Town Square Group
16 March 2022	The BTSG has been following with great interest the development of the "Streets as Shared Spaces" pilot project which is being funded by State Government Grants. The creation of a 'parklet' in the Ribbon Gang Lane and William Street area, hampered by COVID lockdowns, is now taking shape and the Manchurian Pear trees in planter boxes are enhancing William, Church and George Streets. This project will encour-
	age the community and visitors to Bathurst to explore the Town Square and its laneways.
	The display of public artworks, such as the recently installed indigenous artwork on the post office building, is also raising community awareness of the Town Square precinct.
	It was pleasing to hear that over 200 submissions were received by Council in response to the 'Your Say' community survey re "Future Proofing our CBD" and that this report will be considered by Council later in March.
	We look forward to hearing of the options arising from the TAFE precinct EOI process which now closes late March. This major project has enormous potential to reinvigorate the Bathurst CBD, encourage tourism in the city and provide amenity for the communities of this region. Endorsed by the Town Square Group, the essential 'three Ps' of planning are –
	PRESERVATION of heritage
	PUBLIC access and utilisation  PARTICIPATION of interest groups and stakeholders.
	o PARTICIPATION of interest groups and stakeholders
	Another Town Square tour will be run by members of the Group on Sunday 3rd April – "The Bathurst Town Square – Keeper of Our Stories".
	It is noted that public tours of the former TAFE site will be run by Council on Friday 6 <sup>th</sup> May as part of the Autumn Colours Festival. The 'Community Engagement' ticketed tours held last December created much interest and were well attended.

## 2.2.5 Bathurst Heritage Matters Inc.

Date	Update of key activities of the Bathurst Heritage Matters Inc.
2 March 2022	HERITAGE PROMOTION
	BHM continues to distribute the Experience Heritage Bathurst information brochures through a number of commercial and retail venues in stands we provide, in partnership with a number of Bathurst businesses and BVIC. This series of nine highly engaging visitor and info brochures continues to be extremely popular, and over 100,000 have been printed and distributed since inception of the program. Our volunteer distribution team does a great job for Bathurst.

- The BHM public facebook group now has over 3,100 members, which continues to grow each week, providing a platform for discussion and ideas. Hundreds of overwhelmingly positive heritage posts are made and shared every month by BHM and its members, many reaching thousands of people around Australia.
- The BHM website continues to provide heritage background information, policies and photos.
- BHM continues to operate the Experience Heritage Bathurst public facebook site, aimed at attracting more visitors to Bathurst, and providing them with ideas and information about heritage experiences.
- BHM continues to work closely with the Bathurst Visitor Information Centre.
- The regular BHM column in the Village Voice newspaper remains relevant and popular. Over 250 BHM articles have been published to March 2022.

#### HERITAGE EVENTS

- BHM volunteers are successfully organising and coordinating the Bathurst Heritage Trades Trail on 9 & 10 April 2022. The event grows year on year, and attracts over a thousand visitors to Bathurst and an equal number of locals. The dedicated public facebook site continues to be updated. The event is a major logistical and organisational exercise, all carried out by volunteers. Partners include BVIC, Bathurst Lions, Riding for the Disabled and Reliance Bank.
- BHM will coordinate Bathurst Heritage Week 2022, with tours, attractions and special events promoted through the program BHM devises
  and distributes, and through the BVIC website and Autumn Colours. Planning is well under way for Bathurst Heritage Week in May 2022 and
  a full program of events during the week has been developed. This is a significant event in the Bathurst calendar and is carried out by many
  volunteers. Partners include Miss Traill's House, Bathurst Regional Art Gallery, Bathurst Library, and Bathurst Regional Council.

#### HERITAGE PROTECTION AND ENHANCEMENT

- BHM continues to lead the Raglan Station Restoration Committee. A very well received promotional and interpretation brochure has been produced and distributed, and the committee is working on raising funds for a complementary interpretative sign at the station. We look forward to progressing our Raglan Station Strategic Plan with the new railway managers. The dedicated public facebook site provides a platform for public comment and ideas.
- BHM continues to provide guidance and assistance to people enquiring about heritage houses, and family histories.

#### 2.2.6 Bathurst Local Aboriginal Land Council

Date	Update of key activities of the Bathurst Local Aboriginal Lands Council
	•

#### 2.2.7 Wiradyuri Elders Group

Date	Update of key activities of the Wiradjuri Elders Group
	•

## 2.2.8 Bathurst Family History Group

Date	Update of key activities of the Bathurst Family History Group
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	•

## 2.2.9 Greening Bathurst

Date	Update of key activities of the Greening Bathurst
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	•
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#### 2.2.10 Bathurst Business Chamber

Date	Update of key activities of the Bathurst Business Chamber
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	•

#### 2.2.11 Bathurst Youth Council

Date	Ipdate of key activities of the Bathurst Youth Council			
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	•			
	•			

## 2.2.12 Rockley Mill and Stable Museum

Date	Ipdate of key activities of the Rockley Mill and Stable Museum					
	•					
	•					

## 2.2.13 The Friends of the Agricultural Research Station

Date	date of key activities of the Friends of the Agricultural Research Station					
	•					
	•					

## 2.2.14 Each of the Rural Village and Rural Settlement Progress Associations

Date	Update of key activities of the Rural Village and Rural Settlement Progress Associations			
14 March 2022	Perthville Development Group			
	Raised matters regarding consideration of Perthville being considered as village rather than a suburb and the heritage tourism opportunities available within Perthville and surrounds.			
	•			
	•			

Bathurst Region Heritage Plan 2021 – 2025 IMPLEMENTATION PLAN FOR 2021/22 June Quarter Update



#### Introduction

The Bathurst Region Heritage Implementation Plan (the Heritage Implementation Plan) has been prepared to highlight current programs and projects being undertaken to implement the Bathurst Region Heritage Plan 2021 - 2025.

The vision of the Bathurst Region Heritage Plan is:

**Respecting** our **past**, **valuing** our **stories**, shaping our **future**. Bathurst will be a pre-eminent heritage city and region to be experienced as a desirable and sustainable place to live, work and visit.

The core goal of the Bathurst Region Heritage Plan is:

To **protect**, **enhance** and **promote our Indigenous and European heritage** –places, objects, natural environment, people and projects and their embedded stories.

The Heritage Implementation Plan outlines the key activities/programs/projects and services currently being undertaken by Council's Planning, Museums, Library, Economic Development and Tourism sections. It also provides an opportunity for interested community, heritage and village groups to provide regular updates on activities they are undertaking with respect to the actions of the Heritage Plan. Note that the Plan should not be viewed as an exhaustive list of all Council and community activities that might relate to heritage management and promotion within the Bathurst Region.

The Bathurst Region Heritage Plan and the Heritage Implementation Plan will be available for the community to view on the Bathurst Yoursay website. Interested persons can register their email address on this site to receive notification of the latest updates of the Implementation Plan. Council aims to provide an update on the Plan at the end of September, December, March and June of each financial year.

The Implementation Plan will be reported to Council and to the NSW Heritage Division at the end of each financial year.

A separate Implementation Plan will be available for each financial year.

## Glossary of Terms

AFMM Australian Fossil and Mineral Museum

BRM Bathurst Rail Museum

BVIC Bathurst Visitor Information Centre

CBD Central Business District

CMP Conservation Management Plan

DA Development Application
DCP Development Control Plan

DPC (Heritage)
DPIE
Department of Premier and Cabinet (Heritage)
Department of Planning, Industry and Environment

Gateway Determination Approval from DPIE to place a Planning Proposal on public exhibition

LEP Local Environmental Plan
NMRM National Motor Racing Museum

Planning Proposal Proposal to amend a Local Environmental Plan

PHO Public Health Order

SWOT Strength, Weakness, Opportunity, Threat Analysis

YTD Year to Date

## Strategic (Heritage) Planning Priorities 2021/22

Below is an overview of the Strategic Planning Priorities for 2021/22 for the Environmental Planning & Building Services Department as they relate to heritage in the Bathurst Region. This table should not be read as an exhaustive list of tasks undertaken by the Strategic Planning Section.

The achievement of these priorities is dependent upon funding and staff resources and the impacts of Covid-19 on workflows. It is expected that a number of these priorities will rollover into 2022/23 and beyond.

#### URBAN DESIGN/PLACE MANAGEMENT

Expression of Interest Process – former TAFE site

Finalise Town Centre Master Plan and Council's response "Future proofing our CBD"

Finalise and monitor Streets as Shared Spaces Pilot Project

Master Plan of Ambulance Station Precinct (dependent upon funding/resources).

Commence Local Character Assessments/Statements

- Housing precincts within Bathurst
- Village plans
- Consider LEP Clause

#### PLANNING CONTROLS

- Complete HCA Review (and DCP amendment)
- Commence Schedule 5 update
- Identify Schedule 5 Village updates
- Commence research for next Schedule 5 update
- DCP amendments (dependent upon resources)

#### HERITAGE PROJECTS

- Heritage Programs:
- Heritage Assistance funds: Manage applications, distribution of funds and final reports
- Heritage advisory services manage services
- Heritage Reference Group agendas and minutes (Covid dependent)

- Annual report to DPC (Heritage)
- DA referrals
- Clause 5(10)(3) exemptions
- Pre DA meetings
- Macquarie Medal determine future

Finalise 2021-25 Heritage Plan and update implementation plan (quarterly)

Support Council in any Aboriginal Investigations

Finalise Conservation Management Plan Ambulance Station

Condition Assessment and Maintenance Plan for the Bathurst Street and Park lamp standards

Aboriginal Heritage Interpretation Strategy:

- Complete stage 1 Boardwalk and commence stage 2 Boardwalk
- 1824 story and bicentenary commemorations
- Review and reproduce Wiradjuri brochure

#### European Heritage Interpretation:

- Park signage John Matthews and Cubis Park
- Duration and Munition Cottages
- Pillars of Bathurst finalise and move to a digital format
- Finalise road name book for website

#### Heritage Education:

- Theo Barker Lecture (March 2022 Stephen Gapps)
- Guidelines for Statements of Heritage Impact
- Practical restoration workshop (post COVID)

## The Implementation Plan

To achieve the actions within the Bathurst Region Heritage Plan collaboration is required across Council, including Economic Development, Library Services, Museums, Strategic Planning and Tourism and the Community Groups that form the Bathurst Region Heritage Reference Group.

The outcomes achieved under the Plan by Council and the Community Groups are listed below and reported on quarterly.

Each Community Group is to also able to provide an update of the activities undertaken by their group.

## 1. Bathurst Regional Council

## 1.1 Strategic Planning:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – April to June Quarter)
Bathurst Region Heritage Reference Group	1.1.1	New model of consultation adopted including:  - Regular updates via Council's dedicated YourSay website and this Implementation Plan.  - Annual conference to workshop priority topics of the Bathurst Region Heritage Plan, with other workshops called on an as-needed basis and to capitalise on training opportunities. Next workshop anticipated late 2022.
Support Community Groups	1.1.2 1.1.3 1.1.4	Council representatives have attended meetings with: - Bathurst Town Square Group
Commemorations of the Bicentenary of martial law/Bathurst Wars in 2024	1.1.3 1.1.5 4.2.2	Staff working group established. Council is to form a dedicated Frontier Wars Working Party which will run through to 2024.
Recognition of Aboriginal Cultural Heritage	1.1.3 4.2.2	Dual naming of the Macquarie River-Wambuul gazetted.
Bathurst Heritage Plan and annual implementation plan	1.2.1 1.2.2 1.2.3 1.2.4 4.4.6	2021-2025 Heritage Plan and Implementation Plan being reported on Council's YourSay website and updated quarterly.
Planning Studies and Strategies	2.1.1 2.1.2 2.4.1 3.1.1 5.2.2	Bathurst Streets and Shared Spaces Streets and Shared Spaces (SaSS) Round 1 pilot project completed. Council successful in obtaining a \$500,000 grant under Sass Round 2. Round 2 project will concentrate on Machattie Lane through to Parrish Lane.
		Bathurst Town Centre Master Plan & Council's Response "Future Proofing our CBD" Submissions collated following public exhibition of draft plan and placed on Council's YourSay website. Council finalising its position to be considered in mid 2022.
		Review of the Village Plans Review of heritage items and heritage conservation areas in villages underway. Completed for Rockley, Sofala and Peel.
Local Character Statements	2.1.2	Review of the Village Plans

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – April to June Quarter)
	2.1.3 2.1.4	Local character statements to be integral part of the new village plans. Underway for Rockley, Sofala and Peel.
	2.2.2 2.2.3	Schedule 5 Bathurst Regional LEP amendment to update list of heritage items in Schedule 5 of the LEP to include 53 new sites underway. Assessment of significance completed. Mapping underway. Council resolved to commence Planning Proposal. Planning Proposal documentation nearing completion.
Conservation Management Plans	2.1.4 2.4.1 3.1.1 3.1.3 5.2.4	Former Ambulance Station Preparation of CMP for Ambulance Station being finalised.
Community engagement with respect to Development Application and Planning Instruments amendments	2.3.4	Review underway of the Bathurst Community Participation Plan.
Aboriginal Cultural Heritage Assessments	2.3.5	Aboriginal Cultural Heritage Assessments Reports:  1. Stormwater Harvesting Pipeline Route and Ponds – completed.  2. Kelso Industrial Park – completed.
		Due Diligence Assessments:  1. Due Diligence for signage at Mt Panorama Wahluu – completed.
Heritage Advisory Service	2.3.2 2.3.1 2.3.3 2.4.1 2.5.1 2.6.1 3.2.1	Since June 2021, Council's Heritage Advisor and/or staff have been on 79 site inspections (including virtual).  Council's Heritage Advisor and been involved in:  38 Heritage/Urban Design advice matters  24 pre-DA matters  27 Development assessment advice  8 enquiries for the demolition of the principle building on a site The service was significantly disrupted by Covid-19 in 2021. The service is returning to Pre-Covid levels with fortnightly visits being undertaken.
Exemptions from the need for consent for minor works and payment of DA fees	3.3.2 3.3.3	<ol> <li>Since July 2021, 32 exempt developments pursuant to Clause 5.10(3) of the Bathurst Regional Local Environmental Plan 2014 were issued.</li> <li>DA fees waived for repainting of buildings, erection of signage and reinstatement of verandahs within the Bathurst CBD - ongoing.</li> </ol>
Senior Heritage Planner	3.2.2	Review of Strategic Planning staff structure completed resulting in 3 day per week Senior Heritage Planner position and full time Urban Design Planner. Both positions support the implementation of the Heritage Plan.

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – April to June Quarter)
Heritage Training & Education	2.5.2 2.5.3 3.3.4 4.4.3 5.1.2	Preparations commencing for heritage seminar workshop to be held late 2022.
Heritage Assistance Funding	3.3.1 4.2.3 5.2.3	Macquarie Medal Macquarie Medal reviewed following Covid-19 and a lack of appropriate applications received in former years. New model adopted with the Macquarie Medal to be awarded as and when a worthy recipient is identified with funding reserved each year.
		Local Heritage Fund Bathurst Region Heritage Fund 2021/22 offers distributed to 46 projects. Total number of projects completed was 35 with Council issuing \$56,500 worth of grant funding. Applications are being assessed for the 2022/23 funding round. 44 applications were received and are being reviewed.
		Bathurst Region Interpretation Fund Bathurst Region Interpretation Fund 2021/22 offers distributed to 11 projects. Total number of projects completed was 7 with Council issuing \$14,775 worth of grant funding. Applications are being assessed for the 2022/23 funding round. 5 applications received and are being reviewed.
		Bathurst CBD Main Street Fund Bathurst CBD Main Street Fund 2021/22 offers distributed to 19 projects. Total number of projects completed was 14 with Council issuing \$35,000 worth of grant funding. Applications are being assessed for the 2022/23 funding round. 8 applications received and are being reviewed.
Interpretative/Guidance material	3.2.3 4.2.2 4.3.1 4.3.2 4.4.5 4.4.7 4.4.8 5.1.3 5.2.5	Pillars of Bathurst 2022 Pillars of Bathurst launched on Proclamation Day and represented the last of the Pillar Plaques as originally envisaged. The project is being handed over to Bathurst Library to convert to future digital biographies. Booklet updated.
		Mount Panorama Wahluu Boardwalk Design of Stage 1 signage (top of the Mount) completed and installed.  Blue Bee Mural & Creation Story (part of SaSS pilot project) Installation of the Blue Bee Mural on the Bathurst Post Office building has been completed. Council's finalising signage in relation to mural.
		Alan Wright Signage

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – April to June Quarter)
		Interpretative sign for Alan Wright Walkway (off Keppel Street) installed.
		Macquarie View Tennis Club Heritage Interpretation Plan currently being prepared as part of facility upgrade works.
Heritage Assets	3.5.2 5.2.4	Headmasters residence (former TAFE site) Restoration of former Headmasters residence continuing subject to grant funding.
		Australian Fossil and Mineral Museum Council's Heritage Advisor has prepared a Conservation Strategy for the site to guide maintenance and assist in securing grant funding when available.
		Former TAFE Precinct EOI documentation for the adaptive reuse/redevelopment of the former TAFE precinct released. EOI extended and closed 3 May 2022 and EOIs currently being assessed. Public tours of the former TAFE building undertaken in May as part of Autumn Colours.
		Lamp Standards Request for quotations for a Condition Assessment and Maintenance Plan for the Bathurst Street and Park Lamp Standards (partially grant funded) closed on 30 November 2021. Consultants appointed.

#### 1.2 Museums:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date — March to May Quarter)
National Motor Racing Museum	4.2.1 5.1.4	The National Motor Racing Museum (NMRM) had a total of 9,293 visitors in the period from 1 March 2022 to 31 May 2022.
Australian Fossil and Mineral Museum	4.2.1 4.3.1 5.1.4	The Australian Fossil and Mineral Museum (AFMM) had a total of 9,664 visitors in the period from 1 March 2022 to 31 May 2022 which included 769 school visits.
Chifley Home and Education Centre	3.5.1 4.2.1	Chifley Home remains closed due to Covid-19. Funding has been secured to undertake conservation work and the redevelopment of the interpretation contained within the Education Centre prior to reopening this financial year.

	5.1.4	
Bathurst Rail Museum	4.2.1 5.1.4	The Bathurst Rail Museum (BRM) had a total of 8,389 visitors in the period from 1 March 2022 to 31 May 2022 which included 33 school visitors.
Central Tablelands Collections Facility	4.2.1 5.1.1 5.1.2	Construction of the Central Tablelands Collections Facility is underway with the facility nearing lockup. The facility is due to be completed in 2022.
	0.1.2	Museums Bathurst continues to work with partners including The Australian Museum, Grimewade Centre for Cultural Materials (Melbourne University), Sydney University, Tafe NSW, Museums & Galleries NSW and MAAS in preparation for the opening of the facility and providing learning and professional development opportunities.

## 1.3 Tourism:

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – April to June Quarter)
Events/Promotion	4.1.1 4.1.2 4.1.3 4.1.4 4.2.2 4.3.1 4.3.4	Village Event Development Fund BVIC continues to work with villages through the Village Event Development Fund which has committed support to the 'Rebellion on the Turon' at Sofala, Rockley Artisan Markets and the Rockley Garden and Art Festival in 2021/22. The Rockley Gardens and Art Festival was held on the weekend of 13/14 November and included activation of a number of heritage properties and of the Rockley School of Arts building. Over 500 attended the event. aroora Gathering Groun to support the 'Hill End 150' event in October 2022 to commemorate 150 years since the finding of the 'Holtermann Nugget'.
	4.4.5	2022 Autumn Colours  The 2022 Autumn Colours Heritage program ran from 17 March to 8 May. The program commenced with the rescheduled Theo Barker Lecture by Dr Stephen Gapps on 17 March. A number of heritage sites in Bathurst, Rockley and Perthville were included in the tour program which features several new tours in 2022 including 'Charles Darwin in Bathurst', Keppel St walking tours and an 'Evening at Miss Traill's House'. The Bathurst Heritage Trades Trail also returned on the weekend of 9-10 April 2022 as did an enhanced 'Heritage Week' program. Overall event attendance and program numbers set a new record in 2022.
		BVIC has completed a submission to the new 'Public Spaces Near Me' program being developed by the NSW Department of Planning, Industry and Development. All 10 nominated Bathurst 'points of interest' focus on heritage elements of the Bathurst region. The program launch has been repeatedly delayed and it is now expected to go live in first quarter 2022/23.
Marketing/Public Relations	4.1.1 4.1.2 4.1.3	Funding was sought and received through the Destination NSW Tourism Recovery Marketing Fund for a marketing campaign including both Bathurst and villages. The campaign commenced in Summer 21/22 and was extended into autumn. Heritage, as a pillar of the Destination Brand, was a key component of the submission with campaign

	4.2.2 4.3.1 4.3.3	elements including promotion of heritage experiences to the family market. A further campaign, also with Destination NSW, commenced in June 2022 with filming for new content including at a number of heritage venues, AFMM, The Grange Distillery, Rail Museum and Mount Panorama/Wahluu. Campaign to laucnh August 2022.  PR agency engagement has been limited in 2021/22 YTD due to the impact of the Covid-19 outbreak and metropolitan Sydney and NSW lockdowns. Specialist agency <i>Res Publica</i> was employed to assist in generating media coverage of the Autumn Colours program and Bathurst Heritage Trades Trail with a series of positive articles. In addition, BVIC commissioned several micro-influencers active in promoting to the metro-families market.
Interpretation	4.1.1 4.1.2 4.1.3 4.1.5	Bathurst Step Beyond App  New interpretive walking tour for Hill End has been added to the 'Bathurst Step Beyond App' in December 2021.  Work is complete on a walking tour of the St Joseph's Convent at Perthville, to be launched in July 2022. A walking tour of Chifley Home will also be added in June 2022.
	4.3.1 4.3.2	New interpretive signs for Rockley village will be linked to additional content on the Bathurst region website which will allow later integration with an app tour to be developed in 2022/23.
		Bathurst Region Website  New tour itineraries focussed on the region's natural and cultural heritage have been added to the bathurstregion.com.au site which has been updated to emphasise the regional focus on heritage over the winter period.

## 1.4 Economic Development

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22
Promotion	4.2.3 4.4.1	Heritage projects and grant opportunities are identified and promoted to the business community through the Economic Development monthly newsletter, Bathurst Business Hub Facebook and the Bathurst Business Hub/live invest Bathurst website.  Contacted and worked with Matt Moran on the Rockley Pub development.
Public Relations	2.3.3 5.2.1 5.2.2 5.2.3 5.2.4 5.2.6	<ul> <li>Economic Development Strategy</li> <li>The Economic Development Strategy has a strong heritage focus, including:</li> <li>Recognising the importance of heritage and the role it plays as an economic asset</li> <li>Protection of local heritage as an economic asset</li> <li>Identifying heritage as a strength in the SWOT</li> <li>Use of heritage to promote the city to potential future residents</li> <li>Promote the Adaptive reuse of heritage buildings is an important factor in creating sustainable communities.</li> <li>Recognition that the regeneration of heritage buildings adds economic and environmental value.</li> </ul>

A concierge service is offered by Economic Development that connects developers/potential developers to Council's Senior Heritage Planner and Heritage Advisory service.
Created a business prospectus for the former TAFE precinct to support the EOI process.

## 1.5 Library Services

Focus Areas	Heritage Plan Actions	Outcomes for 2021/22 (to date – April to June Quarter)
Sharing Information	2.4.3 4.3.2 4.4.1 4.4.4 4.4.8	Local History Collection Improve the discoverability of Bathurst Library's Local History collection on the library management system by making catalogue records more accurate, specifically Bathurst Remembers collection and new items Continuing.
		Shared Databases Research the market and request quotes for shared databases such as ReCollect. Sought information about ReCollect from NSW public libraries and Datacom IT.
		<b>Digitisation</b> Increase digitisation of local history items and increase digital content available online, specifically ANZAC/War resources and BRC and Library created content 2022 ANZAC display completed.
		Community  Develop a plan to encourage community generated local history content and donations that meet with the library collection development policy, with a focus on projects that will collect community memories Accepting donations and shared information.
		Digital Presence Promote heritage/ local history content online (including social media— Way Back Wednesday, From the Archive, Wiradjuri at least monthly) and via physical displays Continuing.

## 2. Community Groups

## 2.1 Community Projects

Programs/Projects	Heritage Plan Action	Outcomes for 2020/21	Responsibility
Local Heritage Awards	3.4.1 3.4.2 4.3.1	Annual awards as part of Australia Day ceremony paused for 2021 due to Covid-19.	National Trust
National Trust Register	2.4.2	Provide an updated National Trust Register for the Bathurst Region.	National Trust
Heritage Activation Plan	4.1.1	Plan developed and referenced in 2021-25 Heritage Plan for action in conjunction with the implementation of the Bathurst Destination Development Plan and the Cultural Vision.	Bathurst Heritage Matters Inc

## 2.2 Community Group Update

## 2.2.1 National Parks and Wildlife (Hill End)

Date	Update of key activities of the National Parks and Wildlife (Hill End)		
	•		
	•		
	•		

## 2.2.2 Bathurst District Historical Society

Date	Update of key activities of the Bathurst District Historical Society		
	•		
	•		

#### 2.2.3 Bathurst Branch of the National Trust

Date	Update of key activities of the Bathurst Branch of the National Trust	

•

### 2.2.4 Bathurst Town Square Group

Date	Update of key activities of the Bathurst Town Square Group
15 June 2022	The BTSG has been following with great interest the development of the "Streets as Shared Spaces" pilot project which is being funded by State Government Grants. Congratulations to Council for the successful Round 2 funding of \$500,000. The detailed scope of works for this second stage of the SaSS is on the Council YourSay website.
	The display of public artworks, such as the recently installed "Blue-banded Bee" indigenous artwork on the post office building has generated much public interest. We support Council in actively pursuing additional art works for these public spaces.
	We are very keen to view options arising from the TAFE precinct EOI process, now closed. This major project has enormous potential to reinvigorate the Bathurst Town Square precinct, encourage tourism in the city and provide amenity for the communities of this region.
	<b>Autumn Colours 2022 –</b> "The Bathurst Town Square – Keeper of Our Stories" - featuring Art and Artists in the Square Run under the auspices of the BDHS, a very successful Town Square Tour was taken by Richard Hurford, Robin McLachlan and Pauline Barker on Sunday 3 <sup>rd</sup> April. It was a privilege to include in the tour the symbolism and significance of the new "Blue-banded Bee" artwork creating great interest, curiosity and appreciation by those who attended.

#### 2.2.5 Bathurst Heritage Matters Inc.

Date	Update of key activities of the Bathurst Heritage Matters Inc.
6 June 2022	Heritage Promotion
	<ul> <li>BHM continues to distribute the Experience Heritage Bathurst information brochures through a number of commercial and retail venues in stands we provide, in partnership with a number of Bathurst businesses and BVIC. This series of nine highly engaging visitor and info brochures continues to be extremely popular, and over 100,000 have been printed and distributed since inception of the program. Our volunteer distribution team does a great job for Bathurst.</li> <li>The BHM public facebook group now has over 3,200 members, which continues to grow each week, providing a platform for discussion and ideas. Hundreds of overwhelmingly positive heritage posts are made and shared every month by BHM and its members, many reaching thousands of people around Australia.</li> <li>The BHM website continues to provide heritage background information, policies and photos.</li> <li>BHM continues to operate the Experience Heritage Bathurst public facebook site, aimed at attracting more visitors to Bathurst, and providing them with ideas and information about heritage experiences.</li> </ul>

• The regular BHM column in the Village Voice newspaper remains relevant and popular. Over 250 BHM articles have been published to June 2022.

#### Heritage Events

- BHM volunteers successfully organised and coordinated the Bathurst Heritage Trades Trail on 9 & 10 April 2022. Over 2,300 people attended, another record year, with 50% visitors from outside 2795. The event broke even before marketing costs. The event grows year on year, and attracts over a thousand visitors to Bathurst and an equal number of locals. The dedicated public facebook site continues to be updated. The event is a major logistical and organisational exercise, all carried out by volunteers. Partners include BVIC, Bathurst Lions, Riding for the Disabled and Reliance Bank.
- BHM coordinated Bathurst Heritage Week 2022, with tours, attractions and special events promoted through the program BHM
  devised and distributed, and through the BVIC website and Autumn Colours. Bathurst Heritage Week in May 2022 carried a full
  program of over 20 events during the week. This is a significant event in the Bathurst calendar and is carried out by many
  volunteers. Partners included Bathurst Rail Museum, Bathurst Regional Art Gallery, Bathurst Library, and Bathurst Regional
  Council.
- BHM participated in the 150<sup>th</sup> anniversary of the Railway reaching Locksley and Tarana. BHM organised and manned a stand at Tarana Station, with many historic Locksley station items on display, on 24 April 2022. Around 1,500 people attended

#### Heritage Protection and Enhancement

- BHM continues to lead the Raglan Station Restoration Committee. A very well received promotional and interpretation brochure
  has been produced and distributed, and the committee is working on raising funds for complementary interpretative signage and
  station identification at the station. We look forward to progressing our Raglan Station Strategic Plan with the new railway managers. The dedicated public facebook site provides a platform for public comment and ideas.
- BHM continues to provide guidance and assistance to people enquiring about heritage houses, and family histories.

#### 2.2.6 Bathurst Local Aboriginal Land Council

Date	Update of key activities of the Bathurst Local Aboriginal Lands Council
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	•

#### 2.2.7 Wiradyuri Elders Group

Date	Update of key activities of the Wiradjuri Elders Group
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	•
	•

#### 2.2.8 Bathurst Family History Group

Date	Update of key activities of the Bathurst Family History Group
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	•
	•

#### 2.2.9 Greening Bathurst

Date	Update of key activities of the Greening Bathurst
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	•
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#### 2.2.10 Bathurst Business Chamber

Date	Update of key activities of the Bathurst Business Chamber
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	•

#### 2.2.11 Bathurst Youth Council

Date	Update of key activities of the Bathurst Youth Council
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	•
	•

#### 2.2.12 Rockley Mill and Stable Museum

Date	Update of key activities of the Rockley Mill and Stable Museum
	•
	•

#### 2.2.13 The Friends of the Agricultural Research Station

Date	Update of key activities of the Friends of the Agricultural Research Station
	•
	•
	•

### 2.2.14 Each of the Rural Village and Rural Settlement Progress Associations

Date	Update of key activities of the Rural Village and Rural Settlement Progress Associations
14 March 2022	Perthville Development Group
	Raised matters regarding consideration of Perthville being considered as village rather than a suburb and the heritage tourism opportunities available within Perthville and surrounds.
	•

#### BATHURST REGIONAL COUNCIL LOCAL HERITAGE FUND 2021-22 FINANCIAL YEAR SUMMARY REPORT ON ALL COMPLETED PROJECTS

Contact Name	Project Address	Quick Project	Project Cost	Funding Granted	Applicant's Contribution
Mr John & Mrs Irene Bestwick	Euarra, 3036 O'Connell Road, O'Connell	Repair decorative spherical shapes and plinth	\$18,000.00	\$3,000.00	\$15,000.00
Ma Natalia Otanana	400 Danish Charat Dath and	Restoration and renovation of workers	¢45,000,00	<b>#0.000.00</b>	¢40,000,00
Ms Natalie Stanmore  Ms Tonilee Scott	168 Rankin Street, Bathurst	cottage	\$15,000.00	\$2,000.00	\$13,000.00
Bathurst Aboriginal Lands					
Council Pty Ltd	1A Vale Road, Bathurst	Roof replacement	\$6,270.00	\$1,500.00	\$4,770.00
Ms Pam Roydhouse	·····		+-,=:-:	<b>+</b> 1,000100	<del>+ 1,1111111</del>
Roydhouse Holdings Pty Ltd	1846 Ophir Road, Rock Forest	Replace all lower gutters	\$8,411.00	\$1,500.00	\$6,911.00
		Repairing of brickwork on Old School			
Ms Sue West	Ribbon Gang Lane, Bathurst	House	\$3,000.00	\$1,500.00	\$1,500.00
Ms Suzanne Ryan	266 Piper Street, Bathurst	Old guttering replacement	\$6,171.00	\$1,500.00	\$4,671.00
	Former school hall - 8 West	<u> </u>	• •		
Mr Mark Adams	Street, Peel	Roof and gutter repairs	\$6,000.00	\$1,500.00	\$4,500.00
Ms Helen Bergen	26 Keppel Street, Bathurst	Removal, repair, replacement and reinstatement of façade elements of terrace house	\$25,000.00	\$3,000.00	\$22,000.00
Ms Lyn Haley St Stephen's Anglican Church	St Stephens Church, 281 Fitzgeralds Valley Road, Fitzgeralds Valley	Restore our outstandingly beautiful angel graves	\$5,000.00	\$5,000.00	\$0.00
Ms M Nightingale Ms Belinda Cobcroft	Rockley Cemetery, 355 Triangle Flat Road, Rockley 16 Stafford Street, Yetholme	Restore monuments in cemetery Repair to dormer windows	\$5,000.00 \$3.666.30	\$5,000.00 \$500.00	\$0.00 \$3,166.30
MS Beilinda Cobcroit	16 Stanord Street, Fetholine	Roof and stormwater and ground	φ3,000.30	\$500.00	<b>φ</b> 3, 100.30
Mr Nicholas Barrett	259 Bentinck Street, Bathurst	water management	\$50,000.00	\$2,000.00	\$48,000.00
Ms Kaitlyn Fitzpatrick	220 Rankin Street, Bathurst	Repair and repaint front façade	\$9,800.00	\$800.00	\$9,000.00
		Roof replacement and repairs to			
Mr Chris Ryan	167 Rocket Street, Bathurst	external wall	\$40,000.00	\$2,000.00	\$38,000.00
		New roof, new painting & new		*	
Ms Carolyn Blake	2 Vittoria Street, West Bathurst	casement window	\$36,750.00 \$36,000.00	\$1,000.00 \$2,000.00	\$35,750.00 \$34,000.00
Ms Emma Rush Mrs Catherine Martin	176 Rocket Street, Bathurst 260 Rankin Street, Bathurst	Roof replacement Roof replacement	\$34,540.00	\$2,000.00	\$34,000.00
Mrs Elizabeth Tobin	207 Hope Street, Bathurst	Roof replacement	\$33,826.00	\$2,000.00	\$31,826.00
Ms Megan French	110 Hope Street, Bathurst	New Roof and Guttering	\$21,000.00	\$2,000.00	\$19,000.00
Mr Jack Love	168 Rocket Street, Bathurst	Roof replacement and guttering	\$21,750.00	\$2,000.00	\$19,750.00
	,	Subfloor ventilation moisture	, ,	, ,	, -,
Ms Lucy Boatswain	170a Stewart Street, Bathurst	rectification	\$15,388.00	\$2,000.00	\$13,388.00
Mr Garry Bowles	94 Seymour Street, Bathurst	Roof replacement	\$15,647.00	\$2,000.00	\$13,647.00
Mr Paul McCann	207 Piper Street, Bathurst	Roof replacement and guttering	\$12,640.00	\$2,000.00	\$10,640.00
Ms Maria Ridge	66 Piper Street, Bathurst	Roof repair	\$11,885.00	\$1,000.00	\$10,885.00
Ms Rhoda Mitchell	328 Rocket Street, West Bathurst	Repair/Restoration work to original 1950's Cottage	\$7,948.00	\$500.00	\$7,448.00
Ms Kay Crawford	17 Hamilton Street, South Bathurst	Paint roof	\$4,752.00	\$800.00	\$3,952.00
MS Ray Clawlold	Datituist	Repair pipes & improve stormwater	ψ4,732.00	ψ000.00	ψ3,932.00
Ms Rhonda Forrest	177 Stewart Street, Bathurst	discharge	\$3,575.00	\$800.00	\$2,775.00
Ms Linda Keene	23 Lord Street, Bathurst	Repairs to eastern wall Replace old leaking gutters/repair	\$3,000.00	\$800.00	\$2,200.00
Ms Ruby Ann Abella-Morgan	159 Durham Street, Bathurst	rotting fascia	\$4,411.00	\$800.00	\$3,611.00
Ms Amelia Burton	122 Mitre Street, Bathurst	Repoint roof and replace tiles	\$3,493.60	\$1,000.00	\$2,493.60
	,	Restore front heritage fence and	, -,	, .,	, _,
Mrs Barb McCreery	259 George Street, Bathurst	veranda	\$5,740.00	\$500.00	\$5,240.00
	-	To complete the restoration of			
Mrs Kathleen Bellamy	226 Rankin Street, Bathurst	heritage house	\$18,000.00	\$1,000.00	\$17,000.00
Mrs P J Browne	314 Howick Street, Bathurst	Painting and repairs	\$12,640.00	\$500.00	\$12,140.00
Mrs Louise Clyne	192 Peel Street, Bathurst	Repainting exterior	\$10,973.00	\$500.00	\$10,473.00

# Attachment 8.2.8.2

	Paint outside of residence gutters and				
Mr Ray Stapley	237 Piper Street, Bathurst	fence	\$4,862.00	\$500.00	\$4,362.00
•			\$520,138.90	\$56,500.00	\$463,638.90

# BATHURST REGIONAL COUNCIL CBD MAIN STREET IMPROVEMENT FUND 2021-22 FINANCIAL YEAR SUMMARY REPORT ON ALL COMPLETED PROJECTS

						nding		olicant's
Contact Name	Project Address	Project	Pro	ject Cost	Gr	anted	Co	ntribution
	104 Russell Street,							
Mrs Peta Oxenbridge	Bathurst	Works to front façade	\$	55,000.00	\$	5,000.00	\$	50,000.00
Ms Raelene Cunningham								
Cunninghams - The Law								
Practice	140 Pankin Street Bathuret	Replacement of windows and door	\$	20,000.00	¢	4,000.00	\$	16,000.00
Tactice	60 Bentinck Street.	Treplacement of windows and door	Ψ	20,000.00	Ψ	4,000.00	Ψ	10,000.00
Ms Bernadette Phillips	Bathurst	Works to front façade	\$	13,027.00	¢	2,000.00	\$	11 027 00
IVIS Demadelle Fillilips	54 Bentinck Street,	Works to nont laçade	φ	13,027.00	φ	2,000.00	φ	11,027.00
Mr Damien and Mrs Kristi	,	Works to front façade	\$	8.100.00	φ	2,000.00	\$	6,100.00
MI Damien and Mis Kristi	52 Bentinck Street.	Works to nont laçade	Ф	6,100.00	Ф	2,000.00	Ф	6,100.00
Mr Simon Snare & Ms Ali	- ,	Works to front facade	\$	8,124.64	φ	2 000 00	\$	6,124.64
MI SIMON Share & MS AIR	58 Bentinck Street.	vvorks to from raçade	Ф	0,124.04	Ф	2,000.00	Ф	0,124.04
Mr Peter Kuch	Bathurst	Warks to front foods	\$	9,442.65	φ	2,000.00	¢.	7,442.65
MI Peter Ruch	56 Bentinck Street,	Works to front façade	Ф	9,442.03	Ф	2,000.00	\$	7,442.05
Mr Crag Stanlay	Bathurst	Warks to front foods	\$	0 004 50	φ	2 000 00	¢.	6 004 50
Mr Greg Stanley Ms Cassie Middleton	187 Russell Street,	Works to front façade	Ф	8,804.58	Ф	2,000.00	\$	6,804.58
C Middleton Pty Ltd	Bathurst	Installation of wall art on street frontage.	\$	24,000.00	Φ.	3,000.00	Φ.	04 000 00
C Middleton F ty Ltd		installation of wall art on street nortage.	Ф	24,000.00	Ф	3,000.00	\$	21,000.00
Ma Daisa Masakasa	140A William Street,	Denote and a defend	•	0.000.00	Φ.	500.00	•	0.400.00
Mr Brian Mowbray	Bathurst	Repair and painting	\$	3,630.00	\$	500.00	\$	3,130.00
	215 George Street,	T	•	FF 450 00	•	4 000 00	•	E4 450 00
Mrs Belinda Robrahn	Bathurst Street	To reinstate a front verandah to a 1887 building	\$	55,159.00	\$	4,000.00	\$	51,159.00
	217 George Street, Bathurst							
	Balnursi							
Mrs Belinda Robrahn		To reinstate a front verandah to a 1887 building.	\$	55,159.87	\$	4,000.00	\$	51,159.87
Wils Bellilda Robialili	134 William Street.	To Tomotate a none vorandant to a 1007 banding.	Ψ	55, 155.67	Ψ	+,000.00	Ψ	31,133.07
Ms N MullerC & O Hotels	- ,	Repaint front facade	\$	25,261.50	¢	2,000.00	\$	23,261.50
IVIS IN IVIUIIEIC & O I IOLEIS	Datiluist	Tepaint nont lacade	Ψ	23,201.30	Ψ	2,000.00	Ψ	23,201.30
Mr Santo Canalicchio	88 Russell Street, Bathurst	Verandah repairs	\$	5,500.00	\$	500.00	\$	5,000.00
Ms Miffany Travis	,			,				
Bathurst Strata								
Management on behalf								
of the Owners								
Corporation								
of strata plan 10582	62 Durham Street, Bathurst	External painting and window sill painting.	\$	32.716.85	\$	2.000.00	\$	30,716.85
	,		\$	323,926.09		35,000.00	\$	288,926.09
				,	<u> </u>	,	_	/-

# BATHURST REGIONAL COUNCIL CONSERVATION & INTERPRETATION FUND 2021-22 FINANCIAL YEAR SUMMARY REPORT ON ALL COMPLETED PROJECTS

Contact Name	Project Address	Quick Project	Project Cost	Funding Granted		olicant's ntribution
		Built & Social History Book - Volume 3 of '100 Heritage		40 =00 00		
Lee Steele	Bathurst & District Book	Homes of Bathurst & District'.	\$19,547.00	\$2,500.00	\$	17,047.00
	Rockley Heritage					
	Precinct, 18 Buddens					
	Street, 22 & 27 Hill					
	Street,					
	9,12 & 28 Phantom					
Jude Reggett	Street and East Street	Interpretive signage for heritage buildings at Rockley.	\$12,000.00	\$3,000.00	\$	9,000.00
	276 Havannah Street,					
Dr Juanita Kwok	Bathurst	An English Translation of Bew Chip's Register	\$10,072.93	\$2,500.00	\$	7,572.93
	5 Tenison Woods	Prepare an interpretive audio tour to be hosted on the				
Sr Alice Sullivan	Avenue, Perthville	Bathurst "Step Beyond' app	\$10,000.00	\$3,000.00	\$	7,000.00
	Fitzgeralds Valley					
	Road, Fitzgeralds	To celebrate the sesqui-centenary of St Stephen's				
Lyn Haley	Valley	including publication of written brochure	\$8,837.00	\$1,000.00	\$	7,837.00
	Research Station Drive,					
Pauline Barker	Mitchell	Preservation of FoBARS visual, oral, written history	\$7,246.82	\$2,500.00	\$	4,746.82
	Limekilns Road, Forest	•				
Ms Eva Matiszik	Grove	Renewal of bronze memorial plaque.	\$550.00	\$275.00	\$	275.00
			\$68,253.75	\$14,775.00	\$53	,478.75



Futureproofing our CBD (Council's Response to the Bathurst Town Centre Master Plan) – "What Bathurst Said"

Volume 1 – Submission Summary

#### INTRODUCTION

The Bathurst Town Centre Master Plan (the Master Plan) provides a vision for improving seven city blocks within the Bathurst CBD, an area known as the Bathurst Town Centre.

Allen Jack + Cottier Architects (AJ+C) were invited to prepare the Master Plan for Bathurst Regional Council. The project was co-sponsored by Charles Sturt University (CSU), who were investigating the opportunities for a Bathurst CBD Campus.

The Master Plan outlines AJ+C's analysis of the existing condition of the Town Centre, the outcomes of stakeholder and community engagement undertaken in the development of the draft plan, and then makes several site or area-specific recommendations as well as Centre-wide master plan proposals. As CSU has decided not to proceed with an investigation of a CBD Campus, several options explored for campus facilities were identified as open opportunities for other uses.

'Futureproofing our CBD', Council's Response to the Bathurst Town Centre Master Plan, summarises the key concepts proposed in the A J + C Master Plan and Council's response for which feedback from the community was sought through a public exhibition process. The 'Futureproofing our CBD' Response did <u>not</u> recommend wholesale adoption of the Master Plan but outlined those elements of the Master Plan considered appropriate for consideration of their implementation into the future.

#### Futureproofing Our CBD - Summary

DIAGRAM	A J + C MASTER PLAN CONCEPT	'FUTUREPROOFING OUR CBD'
REFERENCE	AJ + C MASTER FEAR CONCEPT	COUNCIL'S RESPONSE TO THE MASTER PLAN
1	New car park be provided at Carrington Park	Support concept. A new car park at Carrington Park in conjunction with expanded car parking at the George Street car park will balance new parking supply across the CBD.
2	Public art on blank wall frontages	Support concept. This concept would support Council's Public Art Policy.
3	Facilitate improvements to the bus network with a new bus stop in Howick Street (opposite the existing 'Acropole' Stop).	Council supports Transport for NSW's 16 Cities Program that seeks to improve the local bus route network and enhance services in and out of the CBD.
		A new bus stop on the opposite side of Howick Street to the 'Acropole' stop remains critical to enabling bidirectional routes and will directly decrease bus travel times.
		Council will enable the shared utilisation of the existing community bus stop in lower Howick Street (in front of the Armada shopping centre) for both community and local bus route services.
		Council will <u>not</u> , at this time, create a new bus stop directly opposite the existing 'Acropole' bus stop.

DIAGRAM REFERENCE	A J + C MASTER PLAN CONCEPT	'FUTUREPROOFING OUR CBD' COUNCIL'S RESPONSE TO THE MASTER PLAN
4	Adaptive reuse of the former TAFE site inclusive of new commercial buildings and creation of a new public plaza (30m x 60m).	Support concept. The proposal is consistent with the 2015 Conservation Management Plan for the site.
		Reuse of the historic buildings of the former TAFE site are likely to warrant the introduction of new floor space within the site (either as extension to AFMM or as new commercial floorspace) to offset the restoration costs of the site's heritage assets.
		Council will seek to incorporate a new public plaza of a least an area of approximately 30m x 60m).
		Council will separately consider options for the reuse/redevelopment of the former TAFE site considering the recommendations of both the Conservation Management Plan and the Master Plan.
5	Extend AFMM and move entrance	Support concept.
	to Howick Street	A new building behind the AFMM (either for the museum or other commercial purpose) is consistent with the Conservation Management Plan and may be necessary to support adaptive reuse of the heritage assets on the site.
6	Civic Heart Project – Transition Church and Russell Streets into Shared Zones. (A share zone is a road or network of roads or a road related area where space is shared safely by vehicles and pedestrians and where pedestrian priority and quality of life take precedence over ease of vehicle movement)	Council will await the results of the Streets as Shared Spaces (SaSS) pilot project to inform the suitability or otherwise of the conversion of Church Street into a more permanent shared zone.  Council will <u>not</u> pursue a shared zone in Russell St (b/t William and George) but consider if a redesign of on street parking could create additional parking spaces and seek further community input.
7	Street tree installation  1 tree per 4 car parking spaces in streets with kerb side parking.	SaSS project is trialing new moveable trees in Church and William Streets.  The Master Plan concept is supported on the basis that temporary moveable plantings

DIAGRAM REFERENCE	A J + C MASTER PLAN CONCEPT	'FUTUREPROOFING OUR CBD' COUNCIL'S RESPONSE TO THE MASTER PLAN
NEI ENEIVOE	<ul> <li>1 tree per 2 car parking spaces in streets with parallel spaces.</li> <li>1 tree per 6 spaces for streets proposed to have centre median parking.</li> </ul>	proceed in locations that minimize impacts to on-street car parking spaces and to enable relocation if initial positioning is not supported.  As new off-street parking becomes available, Council will aim for more trees to be permanently inserted into the CBD streets as close as possible to the rates outlined in the Master Plan.
8	Build out the new on-road cycling routes along William and Keppel Streets as recommended by Council's 2011 Community Access and Cycling Plan.	Not supported.  Council will undertake a major review of the 2011 Bike Plan and develop a new Active Transport Strategy that determines the appropriate way to link the CBD to the city's cycle network.
9	Civic Heart Project – create a new permanent events space through the partial closure of Russell Street (in front of the Courthouse).	Not supported.  Council will install removeable bollards to enable easier and more efficient temporary closures for a wider range of community events.  Community feedback and lessons learnt from more frequent temporary closures will inform any future decision to create a permanent events space.
9	Civic Heart Project – relocate all coach bays and taxi ranks from Russell St to Church Street.	No relocations to occur in the short term. Council will continue to monitor.  Council will review the existing taxi rank and bus bay locations as part of a consideration of a redesign of on-street car parking in Russell St (b/t William and Church) to determine if it is possible to achieve greater on-street parking in this block and seek further community input.
10	Change mid-block crossings to raised formal pedestrian crossings and install new crossings at all intersections.  Slow traffic speed.	Council will <u>not</u> convert all the existing 6 midblock refuges to formalised pedestrian crossings. Council will consider the need for a change to formalised pedestrian crossings if, and when, population change warrants a further investigation of pedestrian priority at mid-block locations.
	Limit non-essential truck movements.	Council will <u>not</u> install new pedestrian crossings at roundabout locations and will seek the gradual conversion of roundabouts

DIAGRAM	A J + C MASTER PLAN CONCEPT	'FUTUREPROOFING OUR CBD'
REFERENCE		COUNCIL'S RESPONSE TO THE MASTER PLAN
		with high pedestrian activity in the CBD to signals.
		Reduction in the speed limit to 40km/hour in the CBD is supported and will be pursued with the Roads and Maritime Services (RMS).
		Council will trial a limitation on non-essential trucks in Church Street only.
11	Building Height and Density:  Consider on one-on-one basis	Support concept on a one-on-one basis.
	<ul> <li>where the 2 and 3 storey character when viewed from the main heritage streets is retained.</li> <li>As height increases position it largely out of sight at street level from the heritage streets, through significant upper-level setbacks.</li> <li>Limit height to at least one storey below the high point of the City (Carillon).</li> <li>Consider height increases on the street frontage where there is already poor urban form.</li> </ul>	Council will consider adoption of a formal policy position for Council to accept and then consider individual planning proposals or development applications, based on the planning principles outlined in the Master Plan, allowing for further community consultation for each case.
11	Redevelop the George Street Car park (including increased public parking).	Support concept.
12	Reconfiguration of parking in Russell Street (b/t George & Rankin), Russell Street (b/t William & Bentinck) and Howick Street (b/t Rankin & George) to increase on street parking and slow traffic speed —  • Kerb-side street parking adjusted from 45-degree to parallel alignment.  • New row of central 90-degree all-day parking spaces.  • Street trees interspersed between every two parallel spaces and approximately every sixth parallel parking space in	Council will defer any changes in the two blocks adjacent to the George Street carpark until development plans for the carpark are clearer.  Council will develop detailed design plans for Russell St (b/t William & Bentinck) to test feasibility and seek further community feedback to determine if a change is appropriate and should be made.
13	the median.  Mid-Block through laneways to open up centre of large blocks.	Concept supported.

DIAGRAM REFERENCE	A J + C MASTER PLAN CONCEPT	'FUTUREPROOFING OUR CBD' COUNCIL'S RESPONSE TO THE MASTER PLAN
14	Increase residential densities in the CBD.	Concept supported. Will require a review of Council's planning controls.
15	Incentivise replacement of street facing parking lots.	Concept supported subject to parking being retained (e.g., underneath new floor space). Will require a review of Council's planning controls.
16	New Gateway plaza – New Public Plaza/extension of Haymarket reserve across William Street. Adaptive Reuse of Ambulance Station.	The Gateway project is a long-term vision. The concept is supported. Will require a review of Council's planning controls.  Council is currently preparing a Conservation Management Plan for the former Ambulance Station.
17	'Bathurst' – new entry public art feature.	Concept supported in principle.
18	Redevelopment to replace blank frontages of Armada shopping centre with public art and new landscaping.	Concept supported in principle.
19	New mid-block laneway between William and Bentinck Streets (adjacent to Haymarket Reserve).	Concept supported in principle. Long term vision that will require floor plan and loading dock reconfiguration by Armada Shopping centre when there is a business case for change.
20	Extend replica lamp standards into Howick St (b/t William & George).	Concept supported.



#### What Bathurst Said

The Futureproofing our CBD (Council's Response to the Bathurst Town Centre Master Plan) – What Bathurst Said report is presented in five volumes as follows.

**Volume 1 (Submission Summary)** of this report summarises the public exhibition process. It collates and summarises the range of matters raised at the public information sessions held during the public exhibition period. Volume 1 also summarise the range of submissions received as a result of the public exhibition process.

**Volume 2 (Key Messages)** of this report provides a summary of the key messages heard against Council's Futureproofing our CBD response to the Master Plan.

**Volume 3 (Copy of Submissions)** of this report contains copies of the individual submissions received during the public exhibition process.

**Volume 4 (Copy of Pro Forma Submissions)** of this report contains copies of the pro forma submissions received during the public exhibition process.

**Volume 5 (Copy of Petition)** of this report contains a copy of the petition received prior to the public exhibition process against a permanent road closure of Russell St.

#### **PUBLIC EXHIBITION PROCESS**

The community's response to Council's 'Futureproofing Our CBD' report was sought through a formal public exhibition process. "Futureproofing Our CBD" was exhibited for a one-month period with submissions closing on **24 May 2021**. Late submissions were accepted.

Council's Yoursay project page was updated and reference made to all relevant material provided as part of the public exhibition process (inclusive of the AJ+C Master Plan) at: https://yoursay.bathurst.nsw.gov.au/bathursttowncentre

Notice of the exhibition period was given in the following ways:

- Public notice in Council notice section of the Western Advocate
- Social media alerts
- Letter to all property owners in the CBD
- Flyer to all businesses in the CBD
- Email to key interest groups e.g. Bathurst Region Heritage Reference Group
- Article in Council's e-Business newsletter
- Direct contact with Bathurst Business Chamber

Three Public information sessions were held at BMEC on 3 May 2021:

Session 1: 8am – 9.30am Session 2: 12pm – 1.30pm Session 3: 5pm – 6.30pm

A fourth information session was given on 18 May 2021 at the Bathurst City Community Club coordinated by Mr Peter Rogers primarily for the business community.

Council's Director Environmental Planning and Building Services and Economic Development Manager also met directly with representatives of the Bathurst Business Chamber on 20 May 2021 in relation to the public exhibition process.

#### COUNCIL INFORMATION SESSIONS

A total of eighty (80) people attended the three sessions at BMEC with the audience a mix of business/property owners in the CBD, representatives of local community groups and individual community members.

The comments and questions raised by the audiences were mixed. Some voices clearly indicated that they felt Council had not gone far enough in its response to the Master Plan. These voices thought that more priority should be given to people and not cars and that Council should be more innovative in its vision for the future.

The opposing opinion was that Council should continue to protect and provide additional car parking and protect the on-street car parking resource at all costs. There was widespread support for new off street public car parking to be provided within the CBD. A multi-level facility at Carrington Park received a lot of support. Some also supported the provision of park and ride options outside of the CBD, e.g. at Hereford Street.

Whilst there was general support for the proposed Bathurst Integrated Medical Centre (BIMC) there was concern raised by a number of voices as to the impact that building height increases will have on the historic streetscapes of the Bathurst CBD. Further consultation with the community is was sought by many before height changes are contemplated.

There was strong support for improving pedestrian safety and ease of access. A reduced speed limit in the CBD was generally supported and many sought a change in priority of mid-block pedestrian refuges to pedestrian priority, particularly on the new refuge in George Street (between Howick and Russell Streets).

Views on the introduction of street trees was mixed with concerns that new trees would result in a loss of car parking and ongoing maintenance issues through root growth. Others expressed that car parking is being given a higher priority than trees and there is no forethought towards mitigating climate change. Trialling trees in moveable pots was generally supported.

The response to proposals to introduce bike lanes into the CBD was similar although overwhelming

most were against the introduction of bike lanes because of their impact on car parking.

Whilst there was support for new residential activities in the CBD it was noted that much of the first floor of the existing CBD is vacant and this floor space should be activated. There was some debate about the proposed quality of housing and issues about affordability.

There was little to no support for the permanent closure of Russell Street but ongoing support for temporary closures and events occurring in the CBD.

There was strong support for the retention of the heritage qualities of the CBD and concern was raised that the CBD heritage streetscapes would be impacted by building height changes. Adaptive reuse of key heritage sites such as the former TAFE was supported.

The minutes from the three information sessions held at BMEC on 3 May 2021 are provided as follows.

# (1) 8am SESSION

#### • 12 attendees

Public Question / Comment	Council Response (where applicable)
Will Council make the Multi-Storey CarPark Paid	Councillors' intention is for the public carparking
Parking?	to be Fee.
Are we looking at what Council has seen/agreed with/ disagreed with. Which Councillors disagree with what?	Recap of events related to the Town Centre masterplan – AJC were engaged in partnership with CSU to review 7 blocks within the CBD. COVID occurred, the findings went onto a webinar.  Report has been finalised. Councillors agreed with some of the masterplan, decided not to adopt others. What is currently on exhibition is Council's response to the master plan, what is proposed to be accepted. Community now has opportunity to provide final feedback on that response.
Regarding Russell Street Closure. What is the objection to its closure?	Council not supporting permanent closure due to the impact this would have on limiting access by private and heavy vehicles. Temporary closure and supporting infrastructure supported.
Is there a consideration that the CBD needs to be pedestrian friendly?	Streets as Shared Space is a pilot project to trial some works to make the CBD streets more pedestrian friendly.
Support using the community bus stop in Howick Street for local bus services instead of establishing a new stop opposite the Acropole stop.	Outlined Transport for NSW, proposed new bus timetable with more routes. Second bus stop on the other side of Howick Street required to enable bi-directional routes in and out of the CBD. New bus stop directly opposite the Acropole is not supported, will trial existing community bus bus-stop outside Armada.
Potential traffic conflict for the use of the community bus stop with vehicle exits from Armada, especially right hand turn movements. I have discussed with Armada making the carpark entry only off Howick and they are supportive.	
Is Council considering extra traffic into the CBD that will be created from new development, especially from Kelso.	Council has a separately study looking into solutions for Hereford street congestion, including raising the bridge, widening Hereford street, potential 3 <sup>rd</sup> crossing.

Public Question / Comment	Council Response (where applicable)
Does the plan provide for pedestrian priority in the CBD.  Pedestrians should be given greater priority than cars, especially across roadways.  Have raised pedestrian crossings been considered?	Pedestrian Crossings need to be a wholistic effort – that is to change all of them rather then piece-meal in an already confused environment. Council will be retaining mid-block refuges.
Support the expansion of residential opportunities in the CBD, to get more people into the CBD. Tension between housing/commercial needs to be reconsidered in light of the future demand for retail and commercial being lower.	
Trees in streets not supported.  Planting of trees permanently may cause maintenance issues later particularly with root growth.	Streets as Shared spaces will be trialling their placement in pots.
Croquet Club – area is proposed to be more of a park in the master plan. Currently the club and Council spend a lot of time/money in maintaining the lawn that is damaged by people riding on it with bikes etc. Could the ground be relocated?	
Need a sign on William Street nominating it as an alternative route to Mt Panorama.	Signage is less effective, people have generally selected their routes prior to seeing signs.
Is there some consideration of removing the heavy traffic, log-trucks and b-doubles from CBD/Durham Street.  City bypass must be a higher priority.	Council is considering a connector road from the industrial southern belt of Bathurst to the Blayney/Goulbourn/Orange-Dubbo Roads.
Performing Arts Centre proposal should be considered before Council makes a decision on the former TAFE site.	
Support new pedestrian laneway through the Town Square to link Ribbon Gang Lane to Howick Street. Laneways in the Town Square should be a priority.	
Support new Howick Street entrance to the AFMM.	
Haymarket Reserve should be considered as part of the redevelopment of the former Ambulance Station site.	
Parking problems could be solved outside of the CBD with park and ride facilities.	

#### (2) 12 o'clock SESSION

# • 35 attendees

Public Question / Comment	Council Response (where applicable)
Armada Shopping Centre Manager raised	Council will assess the proposals in detail,
concerns about Howick Street exit and	looking at things like sight distances etc.
particularly right hand turn conflicts (loss of	
sight distance) with proposed use of the	
community bus stop by local bus route services.	
Former TAFE building what are the proposals for the building?	Additional floor space was identified in the Master Plan and is consistent with the Conservation Management Plan (CMP). Along with creating a public plaza, and there is also a proposal (un-funded) to provide for a new entrance on Howick Street to the fossil museum.  A separate report outlining the next steps to find a suitable use for the former TAFE building will be submitted to Council in May.
Masterplan Map shows many trees being planted in streets in the CBD.	We are trialling trees in pots first as part of Streets as Shared Spaces. Council's direction is that no tree planting will to be undertaken that would reduce on street Car-Parking.
Concerned that street trees are less important	Council's direction is that no tree planting will to
than car parking. That one tree for every 4 car	be undertaken that would reduce on street Car-
parks was rejected, suggests that health and	Parking.
wellbeing of the community is secondary.	
Disappointed that street tree planting will not	
proceed.	
Will Council be making a decision on the master plan prior to going into caretaker mode? When is caretaker mode?	Caretaker role begins in August, unknown if decision will be made prior to election.
The masterplan document has the first four	
chapters that outline why their	
recommendations were put forward. This	
seems to have been ignored by Council and	
their response, which is extremely short, the	
only reasons they put forward are maintaining	
traffic flow and car parking. I find it completely	
devoid of vision and incredibly disappointing.	
Will the proposed integrated medical centre	Method for establishing sites where potential
stay under the recommendation?	height can be accommodated presented. Each
	site will be considered on its own merit but
	below the height of the Carillon.
	Integrated medical centre is being proposed
	although a Development Application has not
	been submitted. If submitted would be
	determined by State Government.
Priority given to cars is short sighted, no	
acknowledgement of climate change, and the	

Public Question / Comment	Council Response (where applicable)
need to establish tree canopy, this is related to	
future proofing, unlike the vision of the Council.	
Can you provide illumination on why Council is	Councillors do not support bike parking/bike
not supporting the bike parking, or the closing	lanes in the CBD where it will impact on car
of Russell Street.	parking. Councillors have nominated that the
Heavy vehicle prioritisation of Russell St over is	2011 bike plan will be revisited.
closure is not supported.	Councillors are opposed to the closure of Russell
	Street as it would disrupt access by light and heavy vehicles.
The Masterplan proposes an integration	Council not proceeding with new bike lanes but
between bike and car parking. This is what other	will undertake review of the 2011 Bike Plan.
areas, Newcastle, Wollongong, the rest of the	Will dildertake review of the 2011 blke rian.
world are doing.	
world are doing.	
Council's response has been that we must	
prioritise car parking.	
Orange can be used as an example, tree audits,	
tree replacement, turning Anson Street, Orange	
into what we were hoping for William/ Church/	
Howick – turn our CBD into something. Can we	
engage with Orange that the staff and	
councillors engage with Orange to review their	
investigations/findings.	
There is an underutilisation of first floor space in	
the CBD. Difficulty in developing on very small	
parcels of land, cannot use existing buildings due to fire egress etc. Laneways could provide	
fire egress to improve the development	
potential of these buildings in the CBD. Could	
Council develop a policy to help this? Help the	
community find ways to redevelop these	
buildings and use the first floor areas.	
Council's response to the master plan is a	
1970's view to have a car city rather than a	
people city. Need to get more residential into	
the city by utilising shop top housing.	
What do Councillors say about who the people	
will be that will utilise the new housing within	
the town centre. Allowing for better housing in	
the CBD will bring people into the CBD to use	
services. There seems to be no vision for who will be living in this new housing – no formula	
about who will be using it.	
The Croquet club, was not discussed within the	Council currently has no plans for the Croquet
plan. Is their any plan for what to do with the	club, but open to a conversation should the Club
Club. We currently cannot have competitions as	approach Council.
there is nowhere for long term parking. Tree	''
planting is affecting the lawn. Damage on the	
lawn from people using it as a park.	
· · · · · · · · · · · · · · · · · · ·	

Council Response (where applicable)
Council has clear policy of no large satellite
shopping centres removing people from the
CBD, see this as unsustainable.
,
Council started collecting vacant shopfront data
two years ago with a pilot project, Council is
working towards publishing the data.
g corrains passioning the data.
There was a study into costs that showed that it
was not financial to establish a multi-storey
there at this time.
†
CBD was hand delivered notice of meetings.
Raine and Horne were personally delivered to.
, ,
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Public Question / Comment	Council Response (where applicable)
need to park their cars somewhere. Carrington	
Park parking has been talked about since the	
1990's.	
Pleased that the webinar gave a lot of time over	
to talking about aboriginal heritage. Pleased to	
see that heritage signage to be expanded to	
include Wiradjuri stories.	
Why is the integrated medical centre proposed	Mitre street location – nominated in a
for a CBD site. Why has Council moved away	discussion paper regarding health precinct that
from its preferred plan of a Mitre street location?	was never adopted by Council.
locations	Current consortium considered many sites, in regard to achieving the collocation of.
	Council has been advised that being in the CBD
	is essential for the business model.
You have to look at why people move into	is essential for the pasiness illouel.
Bathurst, it is because it is easy to get around.	
Car parking is essential.	
Why do people go into the CBD, assumption	
that people will go into the CBD to buy is wrong,	
no longer applies.	
Other opinions were that what is the point of	
CBD if not to buy stuff?	
What becomes the plan? Are we accepting the	Going forward Council will implement the
master plan report or the Councils response to	master plan in two ways. One in relation to
the master plan? Or something else?	adjusting planning controls so there are no
	impediments to achieving the master plan. The
	second is in how Council spends it money.
	Council's final Response will be those elements of the Master Plan considered for future
	implementation.
What is the height of the proposed medical	Proposed medical centre 6 stories, in the order
centre and the associated carpark?	of 25m. Carpark 3 or 4 stories, Council is
dentite and the associated carpaix.	uncertain about the addition of an extra storey.
	Important to note the development application
	for the integrated medical centre will be a long
	process. It will be assessed by the State
	(Department of Planning) as it exceeds two
	thresholds. 1 – over 30M and 2 – over 5M with
	Council involved as an party.
Peter Sargent, General Manager of Bathurst	
RSL. – Club is providing Car Parks to secure the	
future of the Club. Believe the CBD will die	
without parking.	Congrally potitions do not have the court
Question why the Masterplan notes but	Generally, petitions do not have the same
disregards the petition submitted during the stage 2 (draft concepts) consultation phase.	weight as the same number of submission where people have identified themselves. They
stage 2 (urait concepts) consultation phase.	have uncontrolled signature collections.
	The crafting of the question was also not in line/
	relevant with the proposals of the plan.
Still not enough parking.	
O. ParO.	

Public Question / Comment	Council Response (where applicable)
New George Street pedestrian refuge should be	
a formalised pedestrian crossing.	
Short term and cost effective works like	
linemarking on street car parking spaces should	
be undertaken now.	
Point to Note: Tony McBurney was in	
attendance at the meeting but made no	
comments when Integrated Medical Centre was	
discussed.	

# (3) 5pm SESSION

#### • 33 Attendees

Public Question / Comment	Council Response (where applicable)
Unclear if what we are looking at is Council as in Councillor's response, planning department response?	Council staff are here conveying Councillor's position/response on the Master Plan report. Councillors have chosen to place their response to the master plan on exhibition for comment. It closes on the 24 <sup>th</sup> May.
What is the position on closure of Russell Street?	Councillors have resolved to not permanently close Russell Street.
Concern about the multistorey carpark and the integrated medical centre and its visibility from Russell or George Street.	
What is Council's position on carparking? All day parking is the key concern.	Council supports expansion of carparking at Carrington Park, has resolved to consider the multi-story as part of the Integrated Medical Centre development and does not support the reduction of carparking anywhere else.
Can't support trees in pots as they will take up carparking.	Council will be placing trees in pots into Church and William Street as part of a trial (SaSS) where they do not remove carparking.
Orange has a carparking strategy of 1hr in closest to the CBD, then 2hr further out, and so on. Will Bathurst be adopting similar?	No – Council has a published parking strategy.
Master plan uses no FSR comparison to other areas no GLA comparison to Carparking. Is it possible to get these figures?	Council has a published parking strategy. Council has data on GLA.
Where carparking has been line marked they are too small, people in Bathurst drive trucks, utes, SUV's. I don't bring my large car into town anymore for fear it will be dinged.	Council line-marks according to Australian Standards.
I read the masterplan response as suggesting that there will be no loss in overall parking but we will be moving parking to the fringe.  Good that Council has heard that parking is not	No Councillors position is no loss of carparking anywhere.
to be impacted.	

Public Question / Comment	Council Response (where applicable)
Would not the Carrington site be better for the	Possibly, would be good to have both, but the
multi-storey carpark given its topography.	current development interest is in the George
	street location.
Council should have a plan b (for parking) should the integrated medical centre fall over.	
Is Council intending to sell the George street carpark location?	No Council has been invited to be a 3 <sup>rd</sup> party in the development. Council has resolved to consider the proposal and to consider the development application for the Integrated Medical centre with the carparking being provided as part of such a possible arrangement. It will be subjected to much due diligence once the proposal in detail is received.
Why not required the development to provide for its own parking underground? We will not get the opportunity to develop that car park again.	
It will likely make it an unviable development if you require it to have its parking underground.	Council's experience with the Quest/dairy farmers site was that it was viable to provide it when it didn't need to be mechanically ventilated, when it did need to be it was not viable.
What about Council owned buildings in the CBD, where Council proposes to remove their parking	Council charges itself for contributions and these are held in a specific reserve for that
or develop them, do they have to contribute	purpose.
20k for every carpark.	NB. Council has a clause that exempts the redevelopment of heritage floor space from some carparking provisions.
What is the current number of car spaces in the George Street/RSL carpark?	321
Need more car parking in the CBD.	
Why do Councillors support a private hospital into the CBD, rather then locating it in the medical precinct at existing hospital?	Mitre street location – was nominated in a discussion paper regarding health precinct. Current consortium considered many sites. Council has been advised that being in the CBD is essential for the business model.
Will the existing height limit be thrown out?	Masterplan proposes a methodology for allowing for extra height in some locations.  Development application for the integrated medical centre will be a long process. It will be assessed by the State (Department of Planning) as it exceeds two thresholds. 1 – over 30M and 2 – over 5M with Council involved as an party.
As previous owner of the Clancy site it has been very difficult to attract the right development. Has been a blight on the town, it is a good and exciting thing that will invigorate that part of town.	

Public Question / Comment	Council Response (where applicable)
Is Council adopting the Town Square Groups vision for reuse?	Related to the former technical college there is a report going to Council on next steps to establish a new use.  No particular use proposed by the Town Square group.
Suggest Council should keep the carparking on town square rather then turn it into nice green lawn. Won't be able to develop the buildings because of carparking.	
Is Council still proposing bike lanes in the CBD.	Master Plan consultants proposed possibility of incorporating bike lanes into the CBD. Council has rejected this, but will undertake a review of the 2011 bike plan.
Can the TAFE building be redeveloped with modern architecture?	CMP plan requires certain fabric to be maintained, others can be removed.
The master plan proposes a lot of expensive projects that council is supporting, how will these be funded?	Council supports a variety of proposals along Durham street and other areas. Support is this instance is more along the lines of removing any planning impediments that might be in the way rather then funding them.
How can the public tell which projects are supported to be done, and which are not opposed but not funded. What is budgeted for?	Council does its budgets every year funded projects will be published as part of this.
Why do Councillors not support pedestrian crossings?	Council policy is currently to have pedestrian crossings in the CBD as refuge crossings.
Surely the aim is to have more pedestrian movement?	Councillors at the moment are satisfied with the balance between pedestrian and vehicle.
Do Councillors support Russell, Church, Howick Street as shared spaces?	Councillors do not support this.
Has Bathurst considered a park and ride system? Bathurst does it excellently for events.	Councillors do not currently have an appetite for it.
How did it work for the show?  There were a lot of cars parked on Hereford  Street.	Unknown at the moment.
Will the multistorey carpark mean there will be lights on Rankin/Durham street intersection.	Consultants will need to produce a detailed traffic study as part of the development assessment that will identify changes needed. Transport for NSW currently have plans to restrict turning movements at that intersection.
What is happening about congestion on Hereford Street.	A report will be provided to Council next month, with best solutions and cost.
Street work creates an interruption to businesses, most recently with roundabout works Howick/George. Customers changed their habits; those businesses are still being impacted. I ask Council to consider how business will be impacted during future construction.	Council is very aware, particularly of the impact while the multistorey carpark is being built. The contractors will be required to present a construction management plan that considers these impacts, with a point of contract, making works short and sharp, supported by park and ride options.

Public Question / Comment	Council Response (where applicable)	
How will height changes be implemented?	Consultants proposed alternative methodology	
	rather than the 12m rule. Will be considered	
	on-merit for each application.	
Walking in the shadow of tall buildings is not a	Council is aware of that, require development to	
positive experience.	provide shadow diagrams as part of the	
	assessment.	
Walking the streets is lovely and good for health and wellbeing.		
How does a modern building fit into a heritage	Will be the challenge for the Architects and is a	
CBD?	challenge for the planning system – that is, how	
	to assess good design.	
Why was the performing arts proposal for the	The proposal was illustrated at the time as the	
George Street Carpark put forward in the	private development for the integrated medical	
master plan dropped?	centre was not known. Was never an approved	
	project for Council to build/relocate performing	
	arts to that location.	
The Carparking problem needs to be corrected	Community is also asking Council for better	
before any other issue.	medical services as well.	
Why not make Carrington park a multi-storey	Can make that part of a submission for Council	
carpark with undercover bus parking integrated	to consider. At the moment development of	
into it.	the George Street Carpark is on the agenda.	
How will business and deliver vehicles access be		
considered in the CBD?		
Will Russell Street/Church Street be closed?	No Council has resolved to not close Russel	
	Street or Church Street.	
Will the master plan on a map picture be	No the picture will not be updated at this stage	
updated? We are picture people.	– it highlights what was proposed by AJ+C and	
	Council's response.	

#### **BUSINESS INFORMATION SESSION**

An additional information session was held, coordinated by Mr Peter Rogers. Forty-three (43) people attended largely business and property owners in the CBD.

Voices in this session highlighted the need for works not to impact on car parking provision in the CBD, especially on-street parking. Options to increase car parking supply in the CBD were supported.

Positive comments were also received for adding trees into the CBD and supporting improvements to public transport services.

Changes to building heights remained contentious but partially because it was seen that height changes would advantage Council more than private property owners.

Transport infrastructure in and out of the CBD to connect the City was discussed and seen as critical to growth as was ensuring water security.

Comments were made that Council should start with small changes first, including new car parking resources possibly at Carrington Park, rather than seeking wholesale change.

There was no support for bike infrastructure and it was questioned as to how many people ride into the CBD.

The minutes from this session are provided as follows.

- When will DA be lodged for proposed Bathurst Integrated Medical Centre (BIMC)?
- Will the BMIC be located at the front of the block facing Howick Street.
- Suggest that height of BMIC be kept at the back of the block and that new height be added to the rear.
- Need to ensure that any car parking at Carrington Park does not detract from the parkland.
- Better public transport could be considered to offset the need for lots of additional parking.
- Why can't street trees go up on the footpath if they can't go on roadways due to loss of car parking.
- Feels like there is a fear of trees but trees will attract people. Tree plantings need to be managed with parking loss but trees are important.
- New car parking at Carrington Park could be early stage works to offset losses in parking elsewhere later on.
- Small changes could be made immediately e.g. line marking car parking spaces, other towns are doing it.
- Concern that George Street carpark will be converted to paid parking.
- Why isn't Integrated medical centre being located at Council depot closer to public hospital.
- Is it Council's intention to retain the CBD as the retail centre of the City?
- How will Council manage height changes? Is if fair that Council owned land is likely to benefit most from height changes.
- How will access to the CBD be improved from the suburbs.
- Without bike lanes does that mean on-street parking will be retained?
- Is Council looking at alternative routes for trucks e.g. southern distributor.
- Has there been a study on the number of people who ride bikes to work?
- What are the plans for the region's water security?
- Important in country towns like Bathurst that people can park cars as close as possible to shops. Don't reduce on-street parking.
- Has consideration been given to multi-storey parking behind MacDonalds.
- Entrances into the Bathurst are not attractive other towns do it better.

#### **SUBMISSIONS**

Two hundred and six (206) submissions were received from members of the community during the public exhibition process as follows:

- 69 submissions from individuals
- 9 submissions that were identifiable as being from a business or landowner in the CBD
- 7 submissions from community groups
- 121 submissions based on a pro-forma survey prepared by a community member.

Council also received a petition against the proposed closure of Russell Street prior to the public exhibition period commencing. The petition was signed by 1,259 persons.

All submissions received (inclusive of the petition) have been collated into **volumes 3, 4 and 5** of this report.

#### Submissions from individuals

Sixty-nine (69) individual submissions were received. The responses were varied but strong themes included:

- Council should adopt a People Friendly approach too much focus has been given to the car in Council's response to the AJ+C Master Plan. Council's response does not go far enough.
- The CBD needs to become more than just a retail centre it needs to be a place where people want to come for other reasons.
- Strong support to improve the pedestrian environment in the CBD, inclusive of formalising raised pedestrian crossings in mid-block locations and reducing the speed limit and nonessential truck movements.
- Council must maintain the CBD's heritage character and there was concern and opposition to
  proposals to change building height in the CBD. Some concern was raised at the proposed
  multi-storey car park in the George Street car park and the 5/6 storey proposed Integrated
  Medical Centre in Howick Street. Further consultation was sought with the community before
  Council considered building height and density changes.
- Strong support for new off-street parking to be provided at Carrington Park and George Street carpark with opportunities highlighted to provide multi-storey parking at Carrington Park and below ground parking at George Street car park. Some supported the idea of new park and ride facilities into the CBD.
- Strong voice to protect the existing parking resource, especially the on-street car parking and highlighting its importance to business viability.
- Strong support for new public art to be inserted on blank CBD walls and that Wiradjuri stories
  and both European and Indigenous history be told through public art and interpretation
  signage.
- Strong support for the adaptive reuse of the former TAFE site and Ambulance Station.
   Concern was raised about the insertion of new buildings behind the TAFE site and the potential loss of public open space that could be provided for behind the William Street TAFE building.
- Strong support for permanent street tree plantings despite the potential impact of plantings to on-street car parking spaces and support to trial street tree plantings in moveable planter

boxes. Many comments indicated Council was not doing enough to address climate change and the need for more shade in the CBD.

The individual submissions were split on whether or not on-road cycle routes should be included with support shown in many of the submissions and strong support for a revision of the 2011 Community Access and Cycling Plan through the development of a new Active Transport Strategy.

The individual submissions were also split on the permanent closure of Russell Street and the creation of a shared zone in Church Street (Civic Heart Project). No objections were raised to ongoing temporary closures of Russell Street and the installation of infrastructure to support temporary closures with suggestions to raise or change the pavement in front of the courthouse to improve the environment even if a permanent closure is not forthcoming. Support was shown for the Streets as Shared Spaces project to trial improvements in Church Street and new moveable street trees.

Some submissions indicated support for the Gateway project however the expansion of Haymarket Reserve across William Street and the creation of a new laneway between William and Bentinck Streets was not seen as a priority.

New public art in front of the Ambulance Station is likely to raise community interest should a project proceed, and further community consultation was sought.

Support was forthcoming for several less controversial aspects of the Master Plan including opening up on mid-block laneways, increasing residential densities in the CBD and introducing replica lamp standards in lower Howick Street.

Most submissions supported improving opportunities for the local bus route network to be able to operate bi-directional routes into and out of the CBD. Submissions were split on whether the community bus stop in lower Howick Street should be used for local bus route services or whether a new stop should be created opposite the existing 'Acropole' stop.

#### SUMMARY OF INDIVIDUAL SUBMISSIONS

	Name	Summary of Submission
1	Robert Barlow	<ul> <li>Support a 'people first' approach but Council's response is contradictory. How can people be put first if pedestrian crossings are not put in.</li> <li>Support Council's response to the use of the community bus stop for local bus route services.</li> <li>Any changes in loading zones in Howick St (Between William and Bentinck) must account for their possible use by vacant shops.</li> <li>Would prefer the implementation of cycle lanes as proposed but concede that this will result in strong opposition due to loss in parking. Support a review of the 2011 Bike Plan to final alternative solutions.</li> <li>Roundabouts are extremely hazardous to cyclists and supports the review of 2011 Bike Plan addressing this issue.</li> <li>Support the proposed trialling of street trees in planter boxes without reducing car parking spaces in the short term.</li> <li>Could the on-street spaces be linemarked at 60degrees to increase the number of on-street car parking spaces.</li> <li>Generally support the proposed changes in street design as outlined in section 6.8 of Council's response.</li> </ul>

	Name	Summary of Submission
		Support Council's response to the Gateway project.
		Support Council's response to the Civic Heart project.
		A timelime for implementation and budget is imperative.
2	Glenda Simpson	Support the retention of existing car parking spaces.
		Don't support cycleways along William Street and adjacent streets
		this will just cause chaos.
		No benefit in removing the service station at the corner of William
		and Durham Streets to provide more open space as there is already
		sufficient open space in the Durham Street precinct.
		Don't like the idea of 3D lettering in front of the Ambulance Station
		– any art treatment should be more reflective of the heritage of the
		City.
		<ul> <li>Croquet lawns should be left intact – the club was established in 1927 built over part of a former tennis court facility.</li> </ul>
3	Andrew McGrath	Have read and support the implementation of the Master Plan.
		<ul> <li>Applaud the move to make Bathurst pedestrian and cyclist friendly.</li> </ul>
		Concerned with Council's outright rejection of the proposed
		cycleways in the Master Plan.
		When will a review of the 2011 Bike Plan occur – this is just an
		excuse. Cyclists are being killed on roads and this is not good
		enough.
		Support the Civic Heart project and the proposed changes to Russell
		Street (including its closure). Church Street should also be closed.
		Pedestrians at the CBD intersections need to be prioritised and
		roundabouts are problematic.
		Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council's timid response to the Master Plan – it      Disappointed with Council Plan (Inc.)      Disappointed with Council Plan
		appears Council is terrified of any change that might impact on cars in even the most modest way.
		· ·
4	Fran White	<ul> <li>Need courage and vision for change.</li> <li>AJ+C Master Plan is comprehensive, research based and forward</li> </ul>
4	Trail write	thinking. Support its people first approach.
		No rational for Council's response to the Master Plan and does not
		give an indication of what is being "Futureproofed". Why were some
		elements of the Master Plan selected and others not?
		The Master Plan should have considered the whole of the Bathurst
		Heritage Conservation Area.
		Do not support proposed increases in building height – no attempt
		has been made to inform the community of what this might look
		like, especially from various vantage points. The information is
		insufficient to enable the community to be able to make an
		informed decision on changing building heights.
		3D modelling of new developments is essential to enable people to make informed decisions.
		The Futureproofing report does not reflect community opinion
		where there is high support to prioritise people over cars, mitigate
		climate change with more trees.
		Keppel Street has been left out and is integral to central Bathurst.
		Council needs to engage in 'future thinking' if it is to 'future proof'.
		Strongly support mid block pedestrian crossings.

	Name	Summary of Submission
	Name	<ul> <li>A change in speed limit will have little difference in reducing vehicle speed as most people only drive at 40km/hour now.</li> <li>Permanent street tree planting needs to start now. More creative solutions to parking need to be identified to allow more street trees to be planted.</li> <li>Extend the trial of street tree planter boxes into Keppel Street.</li> <li>The prosperity of the CBD relies on its liveability and walkability – strategies must be implemented to put people first.</li> <li>Need for new and innovative ways to deal with car parking as the population grows – it is disappointing that car parking is driving the agenda.</li> <li>Council's response to AJ+C proposed street design is inadequate and not given adequate recognition.</li> <li>Council's report does not respond to AJ+C Civic Heart project and the Town Square.</li> <li>It appears Council's response to the former TAFE site is predicated on additional floor space – this is not sufficient rationale – the starting point should be no additional buildings. Key issues of new buildings on the TAFE site are scale and bulk and the loss of open space.</li> <li>Council should remove references to height changes in its response to the Master Plan this is too significant an issue to be included and needs a separate community consultation process and policy development.</li> <li>The proposal for a multi-storey Medical centre and car park are of</li> </ul>
5	Jeff Muir (Note: parts of this submission have been redacted due to their inappropriateness)	<ul> <li>great concern.</li> <li>Seek further opportunities for consultation.</li> <li>Do not support reduction in car parking spaces in Town Square.</li> <li>Use existing bus stops – no new bus stops.</li> <li>Never use these consultants again.</li> <li>Allow height restriction to occur.</li> <li>Support car park in Carrington Park.</li> <li>Do not support a heritage and preservation approach at all cost.</li> <li>The Master Plan does not account for business viability.</li> <li>The Master Plan is poorly presented and a waste of money.</li> </ul>
6	Tracy Sorensen	<ul> <li>CBD must be ready for the changes occurring to retailing and impacts from climate change. Being in the CBD will increasingly become optional or for leisure.</li> <li>CBD needs to be cool and pleasant.</li> <li>Increase CBD tree canopy.</li> <li>Prioritise foot friendly experiences over the motor car.</li> <li>Keep new development at a human scale.</li> <li>Retain Council offices in the CBD.</li> </ul>
7	George Clark	<ul> <li>Must include more pedestrian areas with trees shading for summer.</li> <li>Make the town centre pedestrian and cycle friendly.</li> </ul>
8	Jim Blackwood	<ul> <li>Council must respond to the AJ+ C Master plan.</li> <li>Council must acknowledge the impact of climate change and plan for the CBD to be liveable.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Must significantly increase tree cover – there is less than 2% tree cover in CBD, less than any other comparable Australian regional city. The accepted recommendation is 15% coverage. The Urban Heat island effect is already very real in Bathurst. Large trees must be planted in large numbers.</li> <li>Car parking should be made available in designated car parks.</li> <li>Pedestrian traffic must be priorities.</li> <li>Cycling and pedestrian routes in the CBD must be developed.</li> <li>Community spaces and activities in the CBD must be developed.</li> <li>The CBD as a retail centre only will ultimately die. People need a reason to come into the CBD and will need a pleasant experience.</li> <li>Mixed residential development must occur for life and vibrancy.</li> </ul>
9	Ian Wallace	<ul> <li>Have reviewed the AJ+C Master Plan and am happy with it.</li> <li>Bathurst needs to become a world class 21<sup>st</sup> century city.</li> <li>Tree coverage is appalling.</li> <li>Shopfronts are shabby.</li> <li>Pedestrian safety and ambience needs addressing.</li> <li>This is a once in a lifetime chance and Council needs to get over prioritising the car.</li> </ul>
10	Gail Osborne	<ul> <li>Generally agree with Council's Response to the Master Plan.</li> <li>Disagree with introduction of new bike lanes.</li> <li>Parking on and off street should not be reduced as it is already in short supply.</li> <li>As an older community member park and ride facilities should not replace CBD Parking but could be useful for major events.</li> <li>Planting trees in every second car parking space is not feasible without losing car parking spaces and disrupting the road surface.</li> <li>Support trees in pots in strategic locations as a trial.</li> <li>Support linemarking of on-street car parking spaces.</li> <li>Council should support businesses and not take away their car parking which would reduce incidental shopping.</li> </ul>
11	Andrew Fletcher	<ul> <li>New car park should be at the Showground – Durham Street entrance.</li> <li>Agree with proposals for public art.</li> <li>Agree with Council's response to the Master Plan in relation to:         <ul> <li>Public transport improvements.</li> <li>Former TAFE building.</li> <li>Tree plantings</li> <li>Non permanent closure of Russell Street</li> <li>Proposals for building height changes</li> <li>Parking in Russell Street</li> <li>Retention of mid-block pedestrian refuges</li> <li>Increasing residential densities in the CBD</li> <li>Gateway plaza ideas</li> <li>Opening up laneways</li> <li>Extension of lamp standards in Howick Street</li> </ul> </li> <li>The croquet club could relocate to the showground.</li> </ul>

	Name	Summary of Submission
12	Leone Steele	Do not want to lose car parking but keep cars running to support local business.  Support the opening up of the Town Square for pedestrians and a
		Support the opening up of the Town Square for pedestrians and a café and arts culture.
		Appropriate tree plantings could assist in greening the CBD but otherwise there is sufficient green spaces.
		Bathurst is not ready for park and ride facilities.
		Parking will remain important for many years to come.
		Retain the heritage streetscapes.
13	Tony Thorpe	<ul> <li>Carrington park should include: multi-use grandstand, enclosed community centre (see concept by Stadia Max).</li> <li>Create opportunities where people want to visit the Town Centre – create reasons and locations for people to come.</li> <li>Use Ambulance Station first floor as BnB and ground floor as youth</li> </ul>
		<ul> <li>centre.</li> <li>Include town centre audio system where music can be played.</li> <li>Increase water spaces throughout and link to river precinct.</li> <li>Include mist sprays to offset summer heat.</li> <li>Former TAFE offers new anchor tenant opportunity – could be the</li> </ul>
		<ul> <li>Conservatorium of Music or multi use community space.</li> <li>Opportunities for broadening the sport and recreational impacts of projects developing Carrington Park, Morse Parka and the Bathurst Sportsground – transitional amenity in this locality could be a socially and economic action for this precinct.</li> </ul>
14	Linda Edwards	<ul> <li>Support linemarking of car parking spaces as would encourage drivers to park at correct angle and free up more spaces.</li> <li>Concur with Council not to change to nose in parking.</li> <li>Drivers should be reminded that the parker needs to give way to the drivers not the other way around.</li> </ul>
15	Don Finlayson	Support the general recommendations of the AJ+C Master Plan report and would like to see them carried out, including a the changes to the town square including road closures, more trees and so on.
		The issue of parking needs more debate and I'm not convinced we need more.
1.0	Vatrina	Why not just open up Carrington park for weekday parking.
16	Katrina	<ul> <li>Do not support closing Russell Street – it is a major thoroughfare for cars, trucks and buses.</li> <li>The preschool in George Street has been left without a sufficient and safe pedestrian crossing to use during walking excursions and for parents and grandparents picking up children.</li> <li>The CBD is becoming increasing congested as our population increases.</li> </ul>
17	Geoff Fry	<ul> <li>Future proofing is about protecting the city's assets including heritage assets into the future.</li> <li>Agree with core principle of putting people first.</li> <li>Support new car park at Carrington Park.</li> <li>Agree with reuse of former TAFE site.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Disagree strongly with changes to height and density provisions – it will open the floodgates to poor building development. Current standards have been developed over many years to protect future developments and the heritage assets of the CBD.</li> </ul>
18	Judy Thatcher	<ul> <li>Support the Master Plan concepts.</li> <li>Support street tree plantings as this would enhance the environment and provide some relief from harsh summers and improve air quality.</li> <li>Support reduction in speed limit to 40km/hr.</li> </ul>
19	Stephen Ives	<ul> <li>Support new green space in the CBD and cycle zones surrounding the area.</li> <li>Frustrated at trying to walk or cycle across the GWH from CBD to river precinct – suggest footbridges across the highway at Geogre and William Streets.</li> <li>Suggest other footbridges within the CBD to connect first floor/roof top businesses – this could enhance CBD economy</li> </ul>
20	Juanita Kwok	Support implementation of the AJ+C Master Plan
21	Katherine Cameron	<ul> <li>Support meaningful recognition of the Wiradyuri history alongside colonial recognition.</li> <li>Support safeguarding the open rural views from Bathurst's streets.</li> <li>Support the provision of shorter and more frequent bus trips from areas like Kelso into the town centre.</li> </ul>
22	John Cook	<ul> <li>Do not support extension of mid block laneways in the Haymarket Reserve area – it is a great greenspace and would have a negative impact on the croquet club.</li> <li>Do not support a proliferation of bike lanes throughout the CBD.</li> <li>Support more off street parking in and around shopping areas.</li> <li>CBD should remain a rural precinct without more cafes – Bathurst doesn't need to become a clone of inner-city urban greenie types.</li> <li>Do not support purchasing the service station to expand Haymarket Reserve across William Street.</li> <li>Do not support high rise residential and motel development facing onto Haymarket Reserve.</li> <li>Do not support closure of Russell Street – support temporary closures.</li> <li>Formalising pedestrian traffic would slow vehicle traffic and there are already bottle necks and traffic congestion.</li> <li>The permanent planting of trees sounds good but will exacerbate parking issues, particularly close to businesses.</li> <li>Need by-pass to remove some through traffic from CBD.</li> <li>Interest groups seem to be dominating the discussion on the future of the CBD and hopefully the noisiest groups don't get all the say.</li> </ul>
23	Gillian Gates	<ul> <li>Preserve the heritage buildings.</li> <li>Don't support high rise above 2 storeys.</li> <li>Support some traffic lanes being blocked off with seating and trees.</li> <li>New buildings should complement the heritage buildings.</li> <li>Repaint and preserve the historic lamp standards – add a row of trees down the middle as well with fairy lights hung across the street.</li> </ul>

	Name	Summary of Submission
24	Joan Seaman	<ul> <li>Do not support closure of Russell Street. Major events such as the winter festival should be held at the showground.</li> <li>The CBD is the business centre and should remain somewhere where we shop, carry items to our car, attend professional appointments and get home as quickly as possible.</li> <li>CBD should not be a tourist place or a place of interest to history enthusiasts.</li> <li>Cycling in the CBD should not be encouraged.</li> <li>Leave our lovely old city alone.</li> </ul>
25	Jenny Walsh	Supports all the recommendations of the AJ+C report including the building out of the on-road cycling routes on William and Keppel St and the Civic Heart project.
26	Julia Blackwood	<ul> <li>Support the planning of additional parking along with improvements to the local bus network.</li> <li>Bathurst needs to become more pedestrian and cycling friendly.</li> <li>Support shade trees, traffic calming and closing some streets, more off-street parking, public art and adaptive reuse of former TAFE site.</li> <li>CBD has the potential to become an attractive and more accessible place.</li> <li>We need to transition from a CBD that prioritises cars and parking on the main streets.</li> <li>Overseas examples shows that such transition increases visitor numbers.</li> </ul>
27	Tristan Merkel	<ul> <li>AJ+C master plan puts people first but Council's response is a fairly soft version of this that really loses the heart of the Master Plan's intention, reducing it to nothing more than a beautification project.</li> <li>The prioritising of vehicles is disappointing and will leave Bathurst out of date within a decade.</li> <li>Businesses are mistaken in their desire for vehicle access – they have not grasped the idea that creating space that people desire will help business.</li> <li>Encourage Council to be more courageous and do what is right for business and the community as a whole.</li> <li>This will take courage and mean doing things that haven't been done before.</li> </ul>
28	Roz Townsend	<ul> <li>Council needs to consider covered walkways – shade in summer and shelter in winter, particularly in William and Howick Street.</li> <li>Need raised walkways across streets to slow down traffic.</li> <li>More tree plantings needed for summer shade.</li> <li>More easily identifiable disability parking in the main street.</li> <li>Electric bollards to enable easier temporary street closures.</li> </ul>
29	James Nicholson	<ul> <li>George Street car park redevelopment only needs to provide access to perimeter land owners at ground level, this would allow car park levels above to overhand the ground level to provide larger floor plate. This might reduce the total height required.</li> <li>Agree that Council needs to ensure the new medical centre will not threaten the heritage streetscape.</li> </ul>

	Name	Summary of Submission
	INGINE	<ul> <li>Concerned about the lack of heritage recognition of the AFMM building and its curtilage at the rear. A state heritage listing should be considered for the building.</li> <li>The Master Plans proposal for a building attached to the rear of the AFMM means that the rear façade of that building (equally as good as the other facades) will be lost and must not be allowed to go ahead. The AFMM needs an adequate curtilage at the rear. The curtilage depth should be 45 degrees right angle triangle formed with the rear elevation width as its hypotenuse. Anything less than this crowds the building. The resultant public space would have the richness of this 1876 façade.</li> <li>Does not support 3D lettering in front of the Ambulance Station – it doesn't it the character of Bathurst. The forecourt has an opportunity to be a great public space.</li> <li>Do not support the redevelopment of the blank Armada wall – use this space to consolidate parking to enable a larger landscaped forecourt to the City. The wall could be improved with a mural.</li> <li>Support adaptive reuse of former TAFE site and a new building on the Howick St car park.</li> <li>Supportive of point 6 in the Futureproofing Our CBD report.</li> <li>Supportive of new tree plantings.</li> <li>Support new buildings on existing car parking areas facing the highway.</li> <li>Support mid block laneways as long as they serve the car parking areas.</li> <li>Maintain the character of the Bathurst CBD rather than transform it. Lean on the heritage buildings, use them as experiences. Recover lost spaces and try to recapture the soul of the Town Centre as a</li> </ul>
30	Stephen Howes	<ul> <li>place for people.</li> <li>Support the Performing Arts Centre proposal for the former TAFE building – it should become a cultural hub and offset the loss of the Orchard Room in the courthouse building.</li> </ul>
31	Kinga Macpherson	<ul> <li>Need to ensure the CBD is not just a service centre or a place to shop but a place where people want to be and meet. That place needs to be community minded, have friendly places, be welcoming and be something that attracts people into the precinct and visitors off the highway.</li> <li>The CBD needs to encourage events, pop-ups, buskers, include drought resistant plantings, reuse the former TAFE site and create new public space as part of that site, creating new laneways.</li> <li>A performing arts use of TAFE building will being in new people. A performing arts centre could be established in conjunction with CSU, TAFE and the many cultural providers in the City. Could also showcase the art gallery surplus and include an Aboriginal centre telling the stories of Wahluu and Windradyne.</li> <li>Opening up the TAFE site would be an alternative to closing Russell St as a community space.</li> <li>To enhance the CBD remove unnecessary vehicle signage, maintain the heritage streetscapes, plant shady trees in the footpath, do not</li> </ul>

	Name	Summary of Submission
		<ul> <li>allow inappropriate brand colours on buildings and encourage shops to improve their facades. Remove concrete median strips and replace with planted medians. Maintain existing building height. Encourage new businesses into the empty shops and challenge extortionate rents. Line mark roadways to increase parking.</li> <li>Build Carrington Park car park and only 3 levels of George St car park.</li> <li>Plant avenue trees on Durham and Stewart Streets and put electricity underground.</li> <li>Don't support closure of Russell Street</li> </ul>
32	Hugh Gould	<ul> <li>Disappointed in Council's response to the AJ+C Master Plan.</li> <li>Council's response will see another lost opportunity to give the CBD a boost.</li> <li>The key to reinvigorating the CBD is to give the city back to pedestrians and cyclists.</li> <li>High rise setbacks into the blocks, open spaces where pedestrians feel safe and welcoming.</li> <li>Need to curb vehicle access.</li> <li>Place long day parking outside of the CBD and let people walk and cycle in.</li> </ul>
33	Vianne Tourle	<ul> <li>Generally support the AJ+C Master Plan and the people first framework presented.</li> <li>Council's response is disappointing and seemingly negates a people first approach.</li> <li>Do not support Council's approach to control and reduce traffic, to allow increased building heights and the reluctance to protect the heritage values of the CBD.</li> <li>The AJ+C reports provides an example of how building height could be increased at the George St car park but warn against change.</li> <li>Neither the Master Plan or Council's response demonstrate the visual impact that changes in building height will have from various vantage points.</li> <li>Changes in building height should not be supported and adopted by Council.</li> <li>The ad hoc proposal for the Medical Centre/George St car park height is of great concern and will set a precedent for change across the CBD such that Bathurst's heritage character will be lost.</li> <li>Need considerable more community consultation on building height change and case by case decisions will lead to ad hoc development.</li> <li>Support the elements of the AJ+C Master Plan that give priority to people, park and ride outside of the CBD, new laneways, using Russell St/King's Parade and Church Street more often for community events and as shared spaces, new pedestrian crossings, new bike lanes and improved public transport flows, new tree plantings and new public plazas.</li> <li>Support public art proposals that reflect our culture and heritage but do not support large lettering in front of the Ambulance Station.</li> <li>Support proposals for the Town Square.</li> </ul>

	Name	Summary of Submission
34	Sharon Sewell	<ul> <li>Support 45 degree parking and parallel parking as already exists – do not change to 90 degree parking, people will get confused.</li> <li>Keep roundabouts, don't change to traffic lights.</li> <li>Work on increasing parking in the CBD – people love living in a country town because they can drive to where they need to go and do what they need to do.</li> </ul>
35	Sue Pamment	<ul> <li>Keen for Council to plan Bathurst to be a liveable City. We are facing enormous pressures in changes to climate, water availability and population growth.</li> <li>Protect our heritage streetscapes and promote our cultural heritage.</li> <li>Plant trees and develop infrastructure to provide shade and people friendly cty environments to encourage people to use the CBD as a place to walk, relax, meet friends and spend enjoyable time in the shopping/entertainment precinct.</li> </ul>
36	Peter Simmons	<ul> <li>Council's response to the Master Plan is a great disappointment.</li> <li>The Master Plan has been hijacked by self interested businesses and motorheads and is obsessed with parking.</li> <li>Research shows if you make people comfortable with shade and seating, bike parking and cafes people will stay longer and spend more money.</li> <li>Support a CBD that welcomes pedestrians and cyclists, supports active transport, with plenty of trees, parks, gardens and seating.</li> </ul>
37	Sandy Bathgate	<ul> <li>The Bathurst CBD is part of an important heritage precinct and must be totally respected in every way – this precinct deserves absolute and uncompromising respect.</li> <li>Existing height limits have served Bathurst well and should be maintained.</li> <li>Commercial and residential floorspace higher than 2<sup>nd</sup> storey will not be commercially attractive and is unrealistic.</li> <li>Council should concentrate on creating cohesive, engaging open cultural spaces, low impact retail, incorporating multi use interlinked spaces.</li> <li>Maximise the commercial and residential potential of the existing commercial assets.</li> <li>Former TAFE site should be at the very heart of culture, the arts and heritage in Bathurst.</li> <li>Do not support new buildings on the former TAFE site as these have been rejected by the community and has no public support.</li> <li>New public open space must be provided within the former TAFE site.</li> <li>Proposed Integrated medical centre and multi-storey car park are too high.</li> <li>Need cohesive street furniture policy.</li> <li>Need a heritage hub to tell the story of Bathurst.</li> <li>Remove all above awning signage other than historical signage.</li> <li>Rethink Council's response in favour of cars to less cars in the CBD and enhance fringe parking.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Take account of emerging retail trends – attractive, engaging and entertaining pedestrian spaces will reverse the deadening of our retail heart.</li> <li>Greater analysis of vehicle movements is needed to determine the best places for new peripheral parking.</li> <li>Consider 2/3 storey car parks on George St and Elizabeth St car parks and 5 storey on Carrington Park with footbridge link to Armada.</li> <li>Support implementation of Public Art Policy in the Town Square precinct.</li> <li>Additional tourism signage needed to get tourists off the highway and into CBD.</li> </ul>
38	Jennifer Short	<ul> <li>Council has missed an opportunity to present a progressive, strategic view for the future.</li> <li>Council has chosen a reactionary stance devoid of vision and focussed on micro managing.</li> <li>Council does not appear interested in how and why the ideas in the Master Plan were developed.</li> <li>What Council has supported is linked to increasing parking spaces and/or traffic flow.</li> <li>Council's decision making has been based on speed and continuity of traffic flow and ease of parking at the expense of everything else.</li> <li>Council has failed miserably in futureproofing the CBD</li> </ul>
39	Libby Loneragan	<ul> <li>Seriously question Council's response to the Master Plan.</li> <li>Support people first approach as presented in the Master Plan.</li> <li>Support shared zones and closing off part of Russell Street.</li> <li>Support increased street trees to reduce heat island effect.</li> <li>Protect and enhance the heritage qualities of the Bathurst CBD.</li> <li>Emphasis on cars and parking is inappropriate.</li> <li>Cars should be kept out of the CBD by using park and ride facilities.</li> <li>Support improved pedestrian and cycle ways to increase active transport opportunities.</li> <li>Do not support height increases as this will overpower our beautiful heritage – maintain maximum 3 storeys.</li> <li>Whilst support new medical facility not at 6 storeys – it should be located near the public hospital.</li> <li>Support Master Plan proposals for public art and indigenous history.</li> <li>Council needs to be brave in its decision making.</li> </ul>
40	Jim Glen	<ul> <li>Support AJ+C Master Plan – consultants have done a good job and responding to the future (e.g. climate change, greenhouse gasses, lifestyle changes) but also conserving heritage values.</li> <li>Council's response is disappointing and is stuck on motor car as the key priority.</li> <li>Street tree planting should be the no.1 priority even if it reduces car parking numbers.</li> <li>Support pedestrian crossings and other improvements for pedestrians and cyclists.</li> <li>Need to plan for more EV charging in the CBD.</li> </ul>

	Name	Summary of Submission
		Support on street bike lanes and supported with new bike infrastructure.
		Public transport usage should be encouraged and must be two way in and out of the CBD.
		Support adaptive reuse of former TAFE site.
		Support the Civic Heart project and closure of Russell St to create new plaza/event space.
		Support changes to building height but only where it does not
		compromise heritage streetscapes (e.g. in centre blocks only).
41	N K McNab	<ul><li>Support some aspects of the people first approach.</li><li>Do NOT support the closing of Russell Street.</li></ul>
	(Note: Mr McNab	Support 40km/hour speed limit.
	also presented a	Support mid-block pedestrian crossings, especially as crossings are
	petition to Council	not supported by Council's Engineers close to roundabouts.
	opposed to the	Trucks and buses need to be able to access CBD, especially on
	closure of Russell	streets like Russell Street.
	Street)	Support bi-directional bus routes in and out of CBD.
		Community bus stop outside of Armada should not have to share its stop with local bus services.
		Do not support on-road cycle routes.
		Do not need more street trees – Bathurst's summers are not that
		hot and we need the sun in winter. Street trees will lead to tree root problems.
		Support line marking of on-street car parking spaces. Wheel stops would also be useful.
		Do not support reduced car parking in Town Square.
		Support George Street car park redevelopment in conjunction with new integrated medical centre.
		Support new car park at Carrington Park.
		Do not support rearranging on-street car parking in Russell Street.
		Do not support changes to parallel parking.
		Do not support any of the gateway project and any changes to Haymarket Reserve.
		Do not want public art project in front of former Ambulance Station.
		• Increasing off street car parking should not be used as an excuse to plant more street trees.
		Do not agree that a new BMEC is required.
		Do not support the Civic Heart project. Have coordinated a petition
		with 1,500 signatures opposing the closure of Russell Street.
		Residents can tolerate temporary closures of Russell St but not permanent closure.
		Opposed to any street art and have no confidence in the public art committee.
		Support Performing Arts use of former TAFE building.
		Support wayfinding and heritage interpretation.
		Support one-on-one consideration of height changes for significant
		projects – support integrated medical centre.
		Do not support 4 – 6 storey residential buildings.

	Name	Summary of Submission
42	Bernadette	Supports more tree plantings – CBD streets are unfriendly and ugly.
	Mullaney	New street trees should be permanent not in pots.
		Support line marking of on street car parking spaces.
		Support heritage interpretation opportunities particularly of
		Wiradjuri heritage.
		Support putting pedestrians first and discouraging vehicle
		thoroughfares through the CBD.
		Support closing Russell Street permanently.
43	Lorraine Sargeant	Do not support 6 storey medical centre/car park in Bathurst CBD –
		this must not be approved.
		Bathurst's heritage is unique and new DAs must not exceed the
		church spires.
		There is not a need for additional parking in the CBD.
44	David Bull	Very disappointed in Council's response to the Master Plan.
		The focus on cars is wrong.
		Need more cycleways marked on roads.
		Need more people using active transport.
		Support more outdoor dining areas.
		Council needs to plan for changing retail environment and not for
		the past.
45	Barb McCreery	Public toilets in Machattie Park are disgraceful – need renovating
		inside.
		Permanent tree planting should be a priority.
		Support pedestrian crossing in mid-block locations.
		Support increased car parking in George St car park and Council
		should get on with it.
46	Wendy Hastings	Disappointing that Council has rejected plans that reduce car
		parking.
		Pedestrians are more likely to stop and shop.  Pedestrians are more likely to stop and shop.
		Russell Street road closure works well for events.  With 60 years to be see in the 600 average realisation and working.
		With 60 vacant shops in the CBD current policy is not working.      Provide more frings our parking rather than in the CBD.
		Provide more fringe car parking rather than in the CBD.      Compart on attract cafes.
		Support on-street cafes.  Our CRD is dull and uniquiting and has barely shanged in 45 years.
17	Ingrid Pearson	Our CBD is dull and uninviting and has barely changed in 45 years.      Support Carrington Park our park level of the site is suited to multi-
47	mgnu redison	• Support Carrington Park car park – level of the site is suited to multi level car park with links to Armada (including overhead).
		<ul> <li>Support blank wall public art including walls in the laneways.</li> </ul>
		<ul> <li>Support public transport improvements but not so close to the</li> </ul>
		Howick/William intersection – use stop closer to Bentinck Street.
		<ul> <li>Support adaptive reuse of TAFE site – e.g. boutique hotel,</li> </ul>
		function/reception centre that encourages cultural pursuits.
		<ul> <li>In principle support for new buildings on former TAFE provided</li> </ul>
		there is a decent sized public plaza. Limit new building height to
		12m. Rear of TAFE building could be orientated to the new public
		plaza.
		<ul> <li>Do not support the location of the Plaza and the idea of retaining the</li> </ul>
		1920s first floor extension of the TAFE building as a walk under area.
		Plaza could be a cultural hub of activity both day and night.

	Name	Summary of Submission
	Name	<ul> <li>Do not support a new building at rear of AFMM as it will obscure the rear façade of that building. Extend AFMM at Howick Street next to Post Office building.</li> <li>Support Civic Heart project.</li> <li>Support transition of Russell Street to shared zone and road closure, especially temporary closures.</li> <li>Support advanced trees in pots – roll this out soon.</li> <li>Do not support new cycleways.</li> <li>Relocating Russell St taxi rank will take it further away from William Street hotels and BMEC.</li> <li>Support lowering of speed limit.</li> <li>Support a trial to limit truck movements in Church Street.</li> <li>Do not support building height changes. Could concede 5-6 storeys in the centre block and support case by case analysis with community consultation. Proposed height of integrated medical centre is too high. This development will set an unwanted precedent.</li> <li>Support multi level car park in George St carpark.</li> <li>Council should consider nose-in parking as well as linemarking if a change is being considered.</li> <li>Support line marking of on-street car parking spaces.</li> <li>Support opening up mid-block laneways and activating them with public art.</li> <li>Support of many first floor areas of the CBD.</li> <li>Support increased residential densities but it is interesting at the vacancy rate of many first floor areas of the CBD.</li> <li>Support Gateway project.</li> <li>Support adaptive reuse of Ambulance Station – café/regional museum/meeting rooms. Include residential development on Council owned land behind the Ambulance Station.</li> <li>Support entrance public art feature in principle, redevelopment of blank Armada facades and new laneway between William and Bentinck Streets.</li> </ul>
		<ul> <li>Support extension of lamp standards into lower Howick Street.</li> <li>Suggest relocation of Council chambers to George Street car park to allow for expansion of BMEC at current site.</li> <li>AJ+C Master plan is silent of First Nation acknowledgement and involvement in place and story telling.</li> </ul>
48	Mr Christopher Percival	<ul> <li>Council's response to the Master Plan has focussed to much on areas of least controversy and in so doing has produced a response that will fail to futureproof the CBD.</li> <li>Start work on George Street carpark so that additional car parking can be provided upfront before other works are undertaken – this will ease the concerns of those afraid that car parking will be taken away and enable more of the AJ+C master plan to be implemented.</li> <li>Council could undertake additional research on car parking and traffic behaviour to better inform future decisions.</li> <li>Public art should include the region's indigenous history.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Support an additional bus stop in Howick Street but it must be directly opposite the Acropole stop. The Stop in lower Howick Street is too far away and is used by community transport. Council should proceed with the new bus stop despite other community opposition to the proposal.</li> <li>Suggest cultural use of former TAFE site would be a good thing. Create as much open space as possible in the Town Square.</li> <li>Do not support extension of AFMM to rear of the building as this would limit the ability to provide open space in the Square.</li> <li>Support conversion of Church Street to a shared zone.</li> <li>Support permanent street tree planting.</li> <li>Support creation of shared zone in Russell Street rather than permanent closure and limit truck movements where possible.</li> <li>Support formal pedestrian crossings and mid block locations and at roundabouts – the CBD must be made pedestrian friendly.</li> <li>Support increased residential densities so long as it is done right.</li> <li>It is understood that the Scouts would not like to lose the dedicated space currently available to them on Anglican Land as presented in an idea in the Master Plan.</li> <li>Parking on Anglican land in the Town Square needs to be considered as overall plans for the former TAFE site and its precinct are developed.</li> <li>Support internal laneways but the laneways into the Town Square should open up into new internal open space.</li> <li>Support replica standards into lower Howick Street.</li> </ul>
49	Tony Hatch	<ul> <li>Bathurst's wide CBD streets lend themselves to support street trees and bicycle lanes.</li> <li>Council seems to have adopted a planning approach suited to motor vehicles rather than pedestrians and this is disappointing.</li> <li>Do not support high rise buildings that would impact on the heritage streetscapes of the CBD.</li> <li>Support Carrington Park car park and parking outside of the CBD with park and ride facilities.</li> <li>Suggest that the former Gas works site could be a residential and parking precinct.</li> <li>Support removal of car parking from Town Square block where possible.</li> <li>Support bollards to allow temporary events in Church St, Russell St and Keppel Street.</li> <li>Performing arts use of former TAFE building would be great reuse option.</li> <li>Former TAFE site would be a great cultural centre for the City.</li> </ul>
50	John Hollis	<ul> <li>Former TAFE site would be a great cultural centre for the City.</li> <li>Bathurst needs to remain attractive to new residents and tourists.</li> <li>Support CBD being a pedestrian friendly precinct with good public transport and cycle access and more trees.</li> <li>Support the intent of the AJ+C Master Plan in addition Council should consider: upgrade to Keppel Street, parking stations outside of the CBD, dedicated bus exchange, highway bypass, rail links between Kelso and Bathurst.</li> </ul>

	Name	Summary of Submission
51	Ruth Schmid	<ul> <li>Support a People First approach but not convinced that Council's response will deliver this. Council's response emphasises cars over people.</li> <li>Strongly in favour of permanent street trees.</li> <li>Not in favour of high-rise development.</li> <li>Young people must have an input into future proofing Bathurst.</li> <li>Council should delay any final decisions until after the Sept elections.</li> </ul>
52	Dianne McNab	<ul> <li>Some of the mid-block refuges should be converted to pedestrian crossings (e.g. in George St in front of Machattie Lane, in front of the NAB and in front of the Post Office).</li> <li>Support a speed reduction to 40km/hour.</li> <li>Do not support permanent closure of Russell Street – this street is a key route through the CBD to other destinations.</li> <li>Support bi-directional bus routes into and out of the CBD – but passenger numbers do not warrant new bus stops.</li> <li>Community bus stop on Howick Street shouldn't have to share with local buses.</li> <li>Do not support cycling lanes into CBD and the provision of supporting infrastructure such as showers/change rooms would be a waste of money.</li> <li>New trees in the CBD should account for impacts on on-street car parking spaces and potential damage from root growth. Support the trialling of trees in pots to gains some feedback.</li> <li>Support retention of on-street car parking and linemarking car parking spaces.</li> <li>Do not support nose in parking.</li> <li>Parking in the Town Square block should be retained.</li> <li>Support multi storey car park in George Street and new parking in Carrington Park.</li> <li>Extension of Haymarket reserve is unnecessary.</li> <li>Adaptive reuse of Ambulance Station should be for community purposes (e.g. U3A).</li> <li>Reuse of TAFE building should be for community purposes – support performing arts proposal.</li> <li>Support new public art so long as the building owners and community are consulted.</li> <li>Tourist signage should be a priority.</li> <li>Support height and density increases on a one on one basis – the overriding consideration should be whether the new addition will be an improvement to the area and should be guided by extensive community consultation.</li> <li>Support ongoing trials like the Streets as Shared Spaces project.</li> <li>Do not support new building on the former TAFE site.</li> <li>Any changes ma</li></ul>
53	Bob Triming	Annoyed that Council is proposing not to proceed/not support some concepts in the Master Plan without first obtaining community input.

	Name	Summary of Submission
		<ul> <li>Carrington Park may lend itself to a multi-storey car park. Support new car park at Carrington park but it must be free parking.</li> <li>Support new public art but the Public Art Committee should not have final say on what is permitted. This should be a decision of the community. Public art should reflect the region's history.</li> <li>Support bi-directional bus routes into and out of the CBD but do not support the use of the community bus stop for local services as the community bus services will become non-functional. Alternative solution required as do not support new bus stop across the road from the Acropole.</li> <li>Future reuse of former TAFE site must have a high level of equitable access in all areas.</li> <li>Object to cyclist having shower change rooms on former TAFE site.</li> <li>The new accessible toilet block should be modified to include Adult Disability Change room.</li> <li>Support infrastructure that allows temporary road closures for events in Russell Street – but this shouldn't lead to excessive temporary closures.</li> <li>Do not support the relocation of bus stops or taxi rank out of Russell Street.</li> <li>Kerbless surface in Russell St in front of the courthouse may have problems for reversing parked cars.</li> <li>Support the sharing of Church Street and no gutters – works well with parallel parking.</li> <li>Support temporary trials.</li> <li>Do not support on road cycle routes nor infrastructure supporting cyclists (e.g signage).</li> <li>Seek instatement of pedestrian crossings at all mid-block refuges. Safe pedestrian movements must be a priority.</li> <li>Support 40km/hour speed limit in CBD.</li> <li>Do not support restricting truck movements in the CBD except for existing an future B-Double movements.</li> <li>Support George Street car park redevelopment but not partial reservation of spaces for doctors. Need greater than required standard of accessible parking spaces in the new facility.</li> <li>Only support improvements to existing midblock laneways not the</li> &lt;</ul>
54	David Flude	<ul> <li>creation of new ones.</li> <li>Support new car park in Carrington Park.</li> <li>Support public art on blank walls.</li> <li>Support improvements to bus network and use of community bus stop for bidirectional routes.</li> <li>Support adaptive reuse of the former TAFE site but must be for a commercial use or sold. The site must not be a drain on the public purse.</li> <li>Support extension and new entrance to AFMM.</li> <li>Support Church St shared zone.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Support new street trees – improve the streetscape and provide summer shade.</li> <li>Cycle lanes not required on the CBD streets.</li> <li>Support the Civic Heart project and closure of Russell Street.</li> <li>Support 40km/hour speed limit.</li> <li>Intersections should have lights with all directional crossing phase for pedestrians.</li> <li>Support one on one consideration of height and density changes.</li> <li>Support multi storey car park in George St car park.</li> <li>Support reconfiguration of on-street car parking spaces.</li> <li>Support improvements to midblock laneways.</li> <li>Support increased residential densities in the CBD – city cannot keep sprawling.</li> <li>Support replacement of street facing car parking with new floor space.</li> <li>Support Gateway project – Ambulance Station needs to have a commercial tenant.</li> </ul>
55	Stuart Pearson	<ul> <li>Support extension of replica standards into lower Howick Street.</li> <li>Do not support height increases – has seen how this has destroyed once leafy suburbs in Sydney.</li> <li>Carillon must stand out across the City and be observed from kilometres away in any direction.</li> <li>Must protect the CBD heritage streetscapes – raising the height of buildings is tantamount of tearing up the principles of the Bathurst heritage conservation area.</li> <li>Do not support more buildings and less public space within the Town Square.</li> <li>The Town Square must be vibrant, exciting and people friendly and people filled.</li> <li>Much larger area of open space must be retained in the former TAFE site.</li> </ul>
56	Robin McLachlan	<ul> <li>Support raised mid-block pedestrian crossings.</li> <li>Support 4 way pedestrian crossing with lights at Russell and William Street.</li> <li>Support reduced speed limit in Russell and Church Streets and support shared zones for frontages with King's Parade.</li> <li>Support 40km/hour speed zone and reducing heavy vehicle movements in the CBD.</li> <li>Suggest raising the pavement in front of courthouse without permanent closure – improve pedestrian flow across the street and slow vehicles.</li> <li>Council needs to decide what is more important in the CBD – vehicles or pedestrians – vehicles seem to be leading the way but perhaps it is time for change. Give greater emphasis to pedestrians.</li> <li>Shared bike lanes could be an attractive feature of the CBD into the future.</li> <li>Concerned about the height of a new multi level car park in George Street car park. Suggest some levels go underground instead.</li> </ul>

	Name	Summary of Submission
		Redevelopment of Carrington Park must preserve the multi-level stonewalled terraves that are remnant from the Bathurst Botanical gardens of the late 19 <sup>th</sup> century.
		<ul> <li>Support Gateway project but make sure new public art is not kitsch.</li> <li>Probably no need to extend Haymarket Reserve across William Street.</li> </ul>
		• Support new public art on blank walls provided there is sufficient community consultation.
		<ul> <li>Support the Civic Centre project but Council needs to make a determination on whether cars or people will be given priority. A Church Street shared zone may be the best compromise than permanent closure of Russell Street.</li> <li>Scouts Hall conversion will require consultation with Anglican Church and Scouts.</li> </ul>
		Support improvements to Town Square laneways.
		Support Town Square plaza – but fate of the building is the most important initial decision.
		Agree for the need to integrate Wiradjuri stories into current story telling/public art in CBD, including Bathurst Wars of 1824 Do not overdo the signage. Many other European stories also that can be told. Consider also on-line content and use of QR codes.
57	Lesley	Support additional car parking at Carrington Park precinct – 2 storey
	Worthington	car park might be possible.
		<ul> <li>Support public art on blank walls – support Wiradjuri artists but also would like to see First Inland Settlement themes.</li> </ul>
		Support new bus stop opposite Acropole stop.
		<ul> <li>Support adaptive reuse of former TAFE site – if scout hall reused then they must be offered new home. Lighting and CCTV would be important for new public spaces at the rear.</li> </ul>
		Support extension to AFMM and new Howick St entrance.
		<ul> <li>Support shared zones in George, Howick and Russell Streets with 40km/hour speed zones – suggest one way traffic flows along William, Howick and George Streets with half road closures for</li> </ul>
		shared pedestrian/cyclists.
		<ul> <li>Support permanent street tree plantings – trees will take years to grow to full maturity and shade will be critical to summer cooling.</li> <li>Support new shared cycling opportunities within the CBD and new</li> </ul>
		routes in and out of the CBD.
		Support permanent closure of Russell Street – would enhance resident and visitor experience. Appreciate that this would
		necessitate moving coach and taxi bays to Church Street but do not consider this a major issue.
		<ul> <li>Support formalised raised mid-block pedestrian crossings. Do not support crossing near roundabouts these intersections should be controlled by lights instead.</li> </ul>
		Support 40km'hour speed zone.
		<ul> <li>Need a consistent policy on building height and density to preserve Bathurst streetscapes.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Do not support proposed medical centre on Howick Street at 6/7 storeys in height. This would be better located outside of the CBD.</li> <li>Support additional parking at George Street car park – must include new toilet facilities.</li> <li>Support reconfiguring parking in Russell St.</li> <li>Support opening up mid-block laneways – need good lighting and CCTV.</li> <li>Any medium density housing in the CBD needs to complement existing streetscapes and should not affect the amenity of neighbours.</li> <li>Support redeveloping street facing car parks with new underground parking.</li> <li>Don't support the extension of Haymarket Reserve across William Street.</li> <li>Support adaptive reuse of Ambulance Station and creation of new "gateway" into CBD.</li> <li>Do not support new public art as suggested in the Master Plan in front of the Ambulance Station.</li> <li>Support revamp of blank Armada wall facing highway, the potential for new laneway from William to Bentinck Street.</li> <li>Support replica lamp standards in lower Howick Street.</li> <li>Need for more all day parking in the CBD for workers – investigate</li> </ul>
58	Simon Coomans	<ul> <li>Support planting as many trees as possible – to improve amenity and provide shade.</li> <li>To offset loss in on-street parking support additional car parking spaces at Carrington Park and George Street car park – we may need to consider paid parking.</li> <li>Support 40km/hour speed limit.</li> <li>Support formalised raised mid-block pedestrian crossings – give pedestrians greater priority.</li> <li>Support on road cycling routes and infrastructure to support cycling – waiting for a new bike plan will see nothing improve in short term.</li> <li>Increase walking and cycling in our City.</li> </ul>
59	Margaret Hogan	<ul> <li>Agree not to close Russell Street permanently at this time but support temporary closures – perhaps change paving type in front of Courthouse that helps define it for public events.</li> <li>Do not support on road cycle routes perhaps look at streets further out from CBD – e.g. Rankin and Seymour Streets.</li> <li>Support permanent tree plantings and more greenery in CBD.</li> <li>Consider focussing CBD on becoming a specialised destination for clothes shopping (e.g. factory outlets)</li> </ul>
60	Susie Linkins	<ul> <li>Council's response does not put the pedestrian first.</li> <li>Need raised pedestrian crossings and limiting truck movements.</li> <li>Support new bus stop opposite Acropole stop to encourage more people to use public transport.</li> <li>Cycling needs to be encouraged – Council's response is silent on when the review of the bike plan will be undertaken. This is a prime opportunity to link the CBD to the rest of the City.</li> </ul>

	Name	Summary of Submission
		More permanent street tree planting is required now.
		Council not future proofing the CBD in terms of climate change and
		changes in vehicles – e.g. more charging stations just on the fringe of the CBD.
		Council is only prioritising parking – not pedestrians.
		Funding will be required for Gateway project.
		Support the trialling of concepts under SaSS program.
		Support the Civic Heart project including improvements in the Town
		Hall. City needs new and better gathering places.
		<ul> <li>Support wayfinding and interpretation signage and inclusion of Wiradjuri perspective.</li> </ul>
		<ul> <li>Maintain the existing 2 and 3 storey height limit – consider below ground parking.</li> </ul>
61	Pauline Barker	Support more car parking at Carrington Park.
		Support public art on blank walls.
		Support adaptive reuse of TAFE site – but CMP will not deliver new
		public precinct. Support new/opening up of Town Square laneways.
		Do not support rear addition to AFMM – land at rear must be kept
		open as public space.
		Support SaSS project and sharing of Church Street.
		Support SaSS project to trial moveable street trees.
		Support review of Bike Plan and no on road cycling routes at this time.
		• Support infrastructure that supports easier temporary events in Russell Street.
		• Support 40km/hour speed limit and retention of mid-block refuges.
		Strongly object to changes in building height and impacts this would have on views to the 30m Carillon. Changes to building height need
		greater community consultation.
		Support reconfiguration of Russell Street parking with further community input.
		Support increasing residential densities in the CBD.
		<ul> <li>Support replacement of street facing parking provided impacts on heritage streetscapes are considered.</li> </ul>
		Support adaptive reuse of Ambulance Station.
		Gateway project should feature images which reflect Bathurst's  heritage including Winding outure
		heritage, including Wiradjuri culture.
62	Chris O'Rouke	Support replica lamp standards in lower Howick Street.
62	Chris O Rouke	Supports people first approach and urban design that supports health lifestyle – need to improve walkability, encourage cycling and
		active transport.
		<ul> <li>Support improvements that encourage greater use of public transport.</li> </ul>
		• The longer we delay a move to other forms of transport (other than car) the more congestion we will have and costs associated with that congestion.
		Focus on autonomous vehicles and ridesharing programs.
		<ul> <li>Parking evidence indicates that more parking in CBD is not required.</li> <li>Need more green space not more parking areas.</li> </ul>

	Name	Summary of Submission
	Name	<ul> <li>Summary of Submission</li> <li>Support more continuous footpaths.</li> <li>Support a prohibition on un-needed truck movements.</li> <li>Support permanent tree planting.</li> <li>Support conversion of street parking to parallel parking to allow for wider footpaths.</li> <li>Supports on road cycle routes.</li> <li>Do not support multi storey car parks.</li> <li>Support improved public transport access into the CBD.</li> <li>Support reduced speed limit to 40km/hour.</li> <li>Need more research on on-demand public transport.</li> <li>Long term possibility- relocate post office and Telstra exchange and</li> </ul>
		<ul> <li>create new public square.</li> <li>Ensure new development retains the line, form, texture, colour and scale of the existing heritage buildings in CBD.</li> <li>Increasing residential density in the CBD should not include increasing cars in the CBD.</li> <li>Maintain current building height.</li> <li>Greater interpretation required of European statues in King's Parade.</li> <li>Consider dual name for King's Parade.</li> </ul>
63	Sandra S	<ul> <li>Would like to see greater interpretation of Wiradjuri culture and relationships with Aboriginal people over the decades.</li> <li>Support CBD that is more pedestrian and cycling friendly. Need a cycling loop around the CBD.</li> <li>Support permanent street tree plantings – use natives.</li> <li>Need more facilities/shops/services in suburban locations.</li> <li>Do not support increase in building height.</li> </ul>
64	Jan Page	<ul> <li>AJ+C Master Plan provided well thought out people first approach and attractive well shaded CBD.</li> <li>Council's response has prioritised the car over people.</li> <li>Street trees can be managed with car parking – example Keppel St and works completed by Catholic Cathedral.</li> <li>Car park in Carrington Park should not detract from the existing bluestone terraces and existing tree plantings.</li> <li>Reconfiguration of parking in slower blocks will only exacerbate congestion.</li> <li>Increased residential densities might be better considered in blocks immediately outside of the CBD, not just the seven CBD blocks considered.</li> <li>No objection to planned increased building height in the centre of blocks, an increased height is not supported on the street.</li> <li>The Carillon was constructed to be viewed from throughout Bathurst and must not be obscured.</li> <li>Must have 3D modelling of multistorey developments.</li> <li>Further community consultation required on changes to building height.</li> <li>Support public art proposals.</li> <li>Support new public plaza in Town Square and entrance to CBD at Durham Street.</li> </ul>

	Name	Summary of Submission
		CBD must be more liveable – more open space, more trees, be
		walkable and protect heritage.
65	Amanda Paul	Land behind the former TAFE site should be left as open space.
		Whilst AFMM needs additional space the proposed extension to rear
		appears to take up too much space.
		Headmaster's cottage could be used by AFMM – extension adjacent
		to Post Office building may be more appropriate.
		Development on TAFE car park facing Howick Street should consider site lines to Boer War memorial – this site line should be opened
		back up.
		Raise the mid-block refuge locations rather than provide formalised
		pedestrian crossings.
		Support reduction in speed limit to 40km/hour.
		Do not like the proposed signage/art work in front of Ambulance
		Station.
66	Jane and Richard	Disappointed that a number of good ideas in the Master Plan have
	Yabsley	been quashed by Council.
		Bathurst CBD is looking tired and has bland environment – needs to
		be able to compete with its neighbours and some of the ideas in the
		Master Plan could assist.
		Support SaSS project to increase gathering spaces and assist in
		cooling CBD streets.
		Support tree plantings across the CBD streets.
		Support Civic Heart project and partial closure of Russell Street and
		shared zone on Church street – trucks should be made to use highway.
		Support formalised raised pedestrian crossings mid-block.
		Any redevelopment of BMEC must include car parking.
		Increased investment in retail and dining areas is unlikely in current
		CBD environment – better placement of long term parking and more
		widespread shorter timed parking in key retail precincts.
67	Jenner Plomley	Support new parking at Carrington Park.
		Support public art on blank wall frontages – could be permanent or
		semi-permanent (digital) – Wiradjuri history should be prioritised.
		Support improvements to public transport access into the CBD.
		Support adaptive reuse of TAFE site and new public plaza. Support
		new building on Howick Street car park.
		Do not support new buildings to rear of TAFE site – this should be
		conserved as public space.
		Support new Howick St entrance to AFMM.
		Support SaSS project.  Support trialling street tree plantings.
		Support trialling street tree plantings.  Denot support on read ending routes.
		Do not support on-road cycling routes.      Support tomporary closures of Pursell Street and infrastructure to
		Support temporary closures of Russell Street and infrastructure to facilitate this with additional consultation required about relocating
		coach bays and taxi ranks.
		Ongoing reviews of pedestrian crossing areas required.
		Support one on one consideration of height changes.
		Support George St car park redevelopment for additional parking.
	<u> </u>	Element of additional barrens.

	Name	Summary of Submission
		Support opening up on mid-block laneways.
		• Support increased residential densities in the CBD – shop top
		housing should be encouraged.
		Support long term vision for Ambulance Station precinct but public
		art and its placement need careful consideration.
		Support replica lamp standards in lower Howick Street.
68	Mem Smith	• Support people first approach and SaSS trials.
		• Key to vibrant CBD is the Town Square and City core areas.
		• CBD can be more than a place to dash into town to shop but a place to meet, explore and spend leisure time.
		<ul> <li>Support new parking at Carrington Park and George Street car park.</li> <li>Support public art on blank walls.</li> </ul>
		<ul> <li>Support infrastructure to enable bidirectional bus routes in and out of CBD.</li> </ul>
		<ul> <li>Support adaptive reuse of the former TAFE site – will be an important meeting place.</li> </ul>
		<ul> <li>Support new AFMM entrance off Howick Street.</li> </ul>
		<ul> <li>Extension of AFMM to rear appears too large – need to maintain</li> </ul>
		public open space at rear of TAFE buildings.
		• Support SaSS trial for shared zoned and moveable tree plantings.
		Support review of Bike Plan with new Active Transport Strategy.
		Support temporary closure of Russell Street with removable
		bollards.
		Want further consultation on any height or density changes.
		Support George St car park redevelopment.
		Support opening up on mid-block laneways.
		• Support increased residential densities in CBD – subject to impact on
		streetscapes.
		Look forward to more detailed plans on Ambulance Station precinct.
		Support extension of lamp standards into lower Howick Street.
69	Sally Neaves	Support AJ+C Master Plan – putting people first, planting trees, new
		cycling lanes and pedestrian areas.
		Support telling of Wiradjuri stories and the preservation of both
		European and Aboriginal heritage.

# Submissions from Businesses/Landowners

Nine (9) submissions were received from persons identifiable as either a business or landowner within the CBD.

Comments varied between different responders. Some called for a balanced approach to people and cars whilst others were adamant that no car parking spaces be lost and that additional spaces be added into the CBD. There was strong support from Armada for increased car parking at Carrington Park

There was support for a reduction in speed limit. There was little to no support for cycling infrastructure to be added to the CBD. There was no support for road closures but ongoing support for events in the CBD.

Whilst improvements to public transport were supported, not at the expense of on-street car parking spaces and a shift of the bus interchange to Carrington Park was suggested in one submission.

Armada particularly noted it had no plans to change its loading dock arrangements in light of the Gateway project suggestions included in the Master Plan.

Support was forthcoming for the introduction of public art into the CBD particularly from the two major shopping centres.

Only the submission from Elizabeth Chifley pre-school and the community bus service raised the need for pedestrian improvements and increased priority within the CBD.

Community transport service was very concerned at the proposal to share their lower Howick Street bus stop with local bus services.

There were calls for Council to consult better with business and a strong insistence that businesses must continue to be consulted. Some suggested that the voice of business should be prioritised over the voice of other community groups/individuals.

	Name	Summary of Submission
B1	Name Judy King King's Antiques & Collectables	<ul> <li>Summary of Submission</li> <li>Bathurst is on the cusp of possible great things – we need to get this right.</li> <li>We are an historic rural city – not a high rise concrete jungle.</li> <li>Shopping and retailing has changed – the next generation are shopping online and this changes how they will use the CBD.</li> <li>Needs to be a balance between pedestrian and cars – we are a rural city – whilst we need to use a people first approach we must still recognise our reliance on vehicles.</li> <li>Support reduction in speed limit and retention of mid-block pedestrian refuges suggest and additional refuge in Russell Street between Bentinck and William Street and to start to put trees at all these mid-block kerb side spots.</li> <li>Support Council's response to public transport infrastructure, on-road cycling and roundabout treatments.</li> <li>Support more tree plantings this is particularly important to control climate.</li> <li>Council needs to differentiate better between all day and timed parking. Support new off-street car parking provision as cars are now creeping out into residential streets to park all day.</li> <li>Support retention of historic lamp standards – could contain better designed flags.</li> <li>Support the gateway project and new public art work in Haymarket Reserve as this will encourage people into William Street.</li> <li>Do not support a move towards paid parking unless George St carpark is developed in the short term.</li> <li>Support temporary closures of Russell street. A mid-block refuge</li> </ul>
		• Support temporary closures of Russell street. A mid-block refuge should be investigate in front of Courthouse and heavy vehicles limited.
		<ul> <li>Support Street as Shared Spaces (SaSS) trial in Church Street.</li> <li>Support reimagining of the former TAFE site but await SaSS trial results. Support prioritising pedestrians in the Town Square. The</li> </ul>

	Name	Summary of Submission
		Town Square (former TAFE site) should be developed as original
		intended for community and civic use.
		Funding must be provided to support CBD events.
		Support wayfinding and interpretation signage and public art.
		Do not support height changes – more consultation needed with
		community – the view to and from the Carillon must be
		protected. Concerned about proposed 6 storeys as part of new
		Integrated Medical centre.
B2	Peter Rogers	Lack of consultation with business community. Needs to be
	CBD Property Owner	different and better approach to consultation.
		AJ+C Consultants copied the "Complete Street Strategy" for
		Bathurst – this strategy has related to much larger cities than
		Bathurst.
		Bathurst business community is concerned about its survival.
		Master Plan suggest that bike riders and walker will spend more
		money shopping – but this is not supported in the research
		within the Master Plan.
		No reference in the Master Plan to helping businesses or other
		ways of improving the CBD apart from cycle and pedestrian
		additions.
		Business community is concerned that the Master Plan is anti-
		small business.
		Support:
		o 40km spped zone.
		o Support George St (From RSL car park) and lower
		William Street mid-block crossings being converted to
		pedestrian priority only.
		<ul> <li>Upgrade of bus interchange and sharing of community</li> </ul>
		bus stop but not new bus stop opposite Acropole stop.
		<ul> <li>Support new street trees but only where they do not</li> </ul>
		impact on car parking spaces.
		<ul> <li>Linemarking of car parking spaces and wheel stops.</li> </ul>
		Additional car parking at Carrington Park and multi
		storey car park at George Street carpark.
		o Extension of replica lamp standards into lower Howick
		Street.
		<ul> <li>Adaptive reuse of former Ambulance Station but not if a</li> </ul>
		long term cost to ratepayers.
		<ul> <li>New signage into the entrance of the CBD.</li> </ul>
		o Integrated medical centre proposal.
		o Streets as Shared Spaces trial.
		o Improved wayfinding and heritage signage but limit the
		Wiradjuri signage there are other local history stories
		that are more important.
		o Tasteful public art proposals that define our local
		history.
		<ul> <li>Increasing building heights in the CBD.</li> </ul>
		Do not support:
		o replacement of roundabouts with lights
		o limiting truck movements
	1	1

	Name	Summary of Submission
		<ul> <li>protected cycleways (and this should not be included in a new Active Transport Strategy)</li> <li>pedestrian crossings at roundabouts</li> <li>nose in parking.</li> <li>Reduction in car parking in the Town Square.</li> <li>Changed arrangements in on-street parking in Russell Street.</li> <li>Proposed gateway project – extension of Haymarket Reserve and new laneway between William and Bentinck Streets.</li> <li>Permanent closure of Russell Street</li> </ul>
B3	Meg Bolam-Williams Bolam Group Holdings Property Owner	<ul> <li>Al+C Master Plan report has minimalised the community feedback that was not in alignment with their own ideology, and ignored a public survey containing 1,100 signatures.</li> <li>Nothing changed from the draft Master Plan to the final Master Plan despite the community feedback provided (and ignored).</li> <li>My concerns remain the same as previously raised with Council and AJ+C.</li> <li>Support many of the BRC responses to the Master Plan that:         <ul> <li>Protect existing car parking spaces</li> <li>Provide options for additional all day parking</li> <li>Retain Russell Street as a through way (not closed)</li> </ul> </li> <li>Do not support:         <ul> <li>a new Active Transport Strategy that recommends on road cycling routes in the CBD at the expense of car parking spaces.</li> <li>New amenities for visiting cyclists.</li> <li>Replacing roundabouts with traffic lights</li> <li>Do not support any loss of on-street parking for permanent or temporary trees.</li> </ul> </li> <li>Gateway project needs to be considered on benefits versus cost basis.</li> <li>Council must secure the future of the former TAFE buildings before it commits to the surrounding space and concerned at loss of car parking in this locality.</li> <li>Support public art strategy but concerned that only a few individuals will select what the community gets (not necessarily what it wants).</li> <li>The CBD is the business district of Bathurst – Council must work carefully with the whole business community and not just hear the voices of those that want to turn it primarily into a community space.</li> <li>Council should consider axing a random Council job for every business negatively impacted by changes in the CBD – how</li> </ul>
B4	Paul French and Premise Australia Pty Ltd for Armada Shopping Centre	<ul> <li>would that make people feel (this is how business now feels).</li> <li>Armada will make further submissions on any planning control amendments that eventuate from the Master Plan process should that be needed.</li> </ul>

	Name	Summary of Submission
		<ul> <li>Supports Council in developing a plan for future directions for planning and design of the Bathurst CBD but does have some reservations.</li> <li>Armada is not proposing any changes to its loading dock arrangements as is suggested may occur into the future. The loading dock is critical to future operations of the shopping centre. Seek written confirmation from Council that it is not requiring changes to Armada as indicted in the Master Plan (note this has been provided to Armada).</li> <li>Support presentation of public art on the exterior of structures with further discussions required on opportunities for design and funding (note these discussions have commenced).</li> <li>Strongly support a car park in Carrington Park and welcome any opportunity to discuss further with Council.</li> <li>Support public art in Haymarket but something that represents the City's horitage.</li> </ul>
B5	Mr Ivan Christian QIC Limited – Landowner Bathurst City Centre	<ul> <li>Key priority of Bathurst City Centre is maintaining efficient vehicle and pedestrian access to and from the site and notes that Council is not supporting road closures, shared zones or major street works at this time.</li> <li>Wish to be involved in ongoing engagement as changes in the CBD are made particularly any changes that would affect vehicle movements or efficient operations of the centre.</li> <li>Support the concepts in Council's response for:         <ul> <li>Public art on blank wall frontages</li> <li>Mid-block laneways to open up blocks</li> <li>Increase in building height and density</li> <li>Reconfiguration of parking in Russell Street between William and Bentinck.</li> </ul> </li> </ul>
B6	MW & PJ Lethlean Property Owner	<ul> <li>Improving pedestrian and cycling access will not, in reality, see more people come into the CBD and stay longer.</li> <li>Regional shoppers prefer to come into the CBD by car and park as close as possible to their shopping destination.</li> <li>Providing cycling access is not relevant in a regional centre like Bathurst. Very few workers would ride their bikes to and from work in Bathurst.</li> <li>Heritage aspects of the CBD would be better protected by retaining roundabouts rather than installing traffic lights.</li> <li>Support adding heritage lighting.</li> <li>Continue to suggest to Council to relocate the local bus interchange out of Howick Street to a new interchange for both local and intercity services. This would provide more car parking in Howick Street. Would like to discuss this further with Council.</li> <li>Support additional parking at Carrington Park and this might be a better site for the bus interchange.</li> <li>Carrington Park could also cater for parking of caravans, motorhomes so that the city is more RV friendly. This would bring additional business into the CBD.</li> <li>Support proposed integrated medical centre – it will bring new jobs and services to the City.</li> </ul>

	Name	Summary of Submission
		Against the People first Approach.
В7	Elizabeth Chifley Pre- School	<ul> <li>There are valuable learning opportunities in the CBD for our children to explore and connect to our local community. Our children have the right to feel safe, connected and a sense of belonging to these spaces.</li> <li>The preschool is within walking distance to places of interest but crossing busy roads is of concern.</li> <li>Need a pedestrian crossing in George Street between Howick and Church Streets.</li> <li>Support longer term plan to replace roundabouts with traffic lights as this would improve access across streets and intersections.</li> <li>Support 40km/hour speed limit.</li> <li>Conversion of mid block refuges to pedestrian priority crossings and in particular the Goorge Street refuge.</li> </ul>
B8	S.H.A Premier Constructions on behalf of 35 William Street	<ul> <li>Property owners must be consulted if the Master Plan proposal to convert this property (currently petrol station and food outlets) to and extension of Haymarket reserve is contemplated.</li> <li>Support tree installation along William Street subject to further consultation – but not until any displaced parking is replaced in close proximity. Moveable trees are supported to provide an opportunity for ongoing community input.</li> <li>Truck limitations are not opposed subject to those having business in the CBD being permitted to continue to move through the centre, including delivery trucks.</li> <li>Do not oppose speed limit reduction, assume this will not affect Durham Street as the highway.</li> <li>Seek further consultation on any changes in built form (height increases) and particularly any that abut 35 William Street.</li> <li>Do not oppose Complete Street approach but there needs to be a balance to ensure economic viability of the CBD and ease of access/movement and accessibility/parking for all customers of the CBD.</li> </ul>
B9	Kathryn Parnell for Bathurst Community Transport	<ul> <li>Master Plan contains little mention of disabled parking and access around the CBD for mobility impaired.</li> <li>Bathurst Community Transport requires a safe level area to disembark and load passengers and their wheelchairs and walkers. The current parking bay in Howick Street provides easy access to the largest medical centre in Bathurst, the main shopping centre and is a well known accessible meeting point.</li> <li>On any day this parking bay is used 5 or more times.</li> <li>Opposed to the proposed alteration to share this stop with local bus services. This is likely to put frail and aged clients at risk of fall and injury. The process of loading and unloading passengers onto community bus services can take up to 20 minutes.         Pressure to load/unload due to local bus services wanting to use the space would cause unnecessary risk of rushing clients.     </li> </ul>

Name	Summary of Submission
	<ul> <li>There is a need for similar community bus stop in other blocks in town – e.g. post office and for proposed new integrated medical centre.</li> <li>Otherwise Master Plan has some great opportunities for Bathurst.</li> <li>Look forward to working with Council to ensure easy safe access for the mobility challenged.</li> </ul>

## Submissions from Community Groups/Organisations

Seven (7) submissions were received from local community groups/organisations. The submissions varied in their response based on the particular interest area/s of each group represented.

Key messages from the submissions received included:

- Carrington Park offers opportunity for multi-level car park.
- Concerned about the potential impacts on the heritage streetscapes of proposed building height increases more community consultation sought before it is contemplated.
- Changes in the CBD should put people first, not car. CBD needs to be a place where people want to come and stay longer.
- Strong support for adaptive reuse of the TAFE site, and that this should be accessible (inside and out). Concern and opposition to possible new buildings within the former TAFE site and that this will compromise the public space that should be provided behind the William Street TAFE building.
- Haymarket Reserve and the croquet lawns should remain green spaces.
- Support for new public art on blank walls particularly where it tells the stories of Bathurst and Wiradjuri stories.
- Support improvements to public transport infrastructure although concern was raised over the loss in parking or loss in access to community the community bus stop by the community bus services. Support for Council to invest in permanent park and ride options outside of the CBD.
- Support infrastructure that will enable temporary closures of Russell and Church Street and changes (without permanent closure) that improve pedestrian access from Machattie Park through to Durham Street.
- There must be permanent insertion of street trees into the CBD streets. Climate must be given greater consideration in Council decision making.
- Support for the Streets as Shared spaces project to trial new street trees.
- Support for review of the 2011 Access and Cycling Plan with mixed response to the insertion of bike lanes into CBD streets.
- Pedestrian movements must be prioritised not discouraged with safe pleasant walking around the CBD. Access Committee in particular seeks pedestrian priority raised crossing at mid-block locations and reduction in speed limit.

#### COMMUNITY GROUP SUBMISSION SUMMARY

	Name	Summary of Submission
C1	Bathurst Heritage Matters Inc	<ul> <li>Carrington Park is the best place for a multi storey car park for all day parking that can utilise the slope of the land. Could be linked with footbridge across Bentinck Street to Armada shopping centre.</li> <li>Carrington Park is a better location than George Street carpark where there is a 3 storey height limit. Redevelopment of George Street Carpark should be limited to 3.5 storeys with the extra half storey cut into the land. A larger car park at this location will exacerbate traffic congestion.</li> <li>5 stories at the George St carpark will be visually dominating from any vantage point. It would act as a precedent which will destroy the attraction of our built heritage and reduce nearby</li> </ul>
		property values. Centre block development must be kept below the façade height to the street.

Name		Summary of Submission		
		<ul> <li>A 6 storey medical centre on the former Clancy's site is too high. There is a 3 storey height limit under the LEP now for a reason. Bathurst wants to remain a country town and showcase its heritage buildings – this means a human scale to our streetscapes. A large scale medical centre could be located next to Ochre Medical facility at CSU, or nearer the hospital (e.g. Council depot site).</li> <li>3d model of proposals for George St carpark and former Clancy site are essential.</li> <li>Building heights and their impacts is not sufficiently detailed for people to be able to make an informed decision and so this should not be included in Council's recommendations.</li> <li>Master Plan shouldn't be about propping up businesses that are unable or unwilling to adapt to the new world. A smarter approach is to put people first so that more people are attracted into the CBD, stay longer and spend more money.</li> <li>No justification in Council's report why aspects of the AJ+C Master Plan have been omitted.</li> <li>Council's Futureproofing report does not reflect community opinions in relation to climate change mitigation through trees, priorities people over cars, introduce street trees, intersperse parking with trees.</li> <li>The community does not want new buildings in the Town Square as expressed in the Wish upon a Square consultation in 2015. Council should look to the success of the Tremains Mill Plaza.</li> <li>Relaxing building heights on a case by case basis is developer driven and opens the floodgates and will set a poor precedent. The result will be poorly planned large boxes creating urban canyons.</li> <li>New higher rise residential development needs to be examined with care. Council's Housing Strategy identifies new opportunities for living within walking distance of the CBD and there is vast amounts of unused first floor space in the CBD now.</li> <li>Young people should have a say on the Futureproofing report as it is their future we are futureproofing. Suggest a survey of youth</li> </ul>		
C2 Bath Club		<ul> <li>and consideration by the Youth Council.</li> <li>Attended the 3 May presentations and was impressed with the way the information was presented.</li> <li>Suggest a meeting with Council into the future to discuss the current location of the croquet club on the Haymarket Reserve.</li> <li>Croquet club were not consulted earlier in the process and has caused angst among members.</li> <li>Do not support new bike lanes through the CBD – it is already difficult enough to get a car park on Durham Street close to the croquet club.</li> <li>Not enough untimed parking near the croquet club – elderly players have long distances to walk. More parking is needed not less.</li> <li>The Master Plan will see Bathurst lose its country/rural identity.</li> </ul>		

Name	Summary of Submission
	<ul> <li>Do not support new public art from former Ambulance Station through to croquet club. Don't want more people wandering onto the croquet lawns. Don't want more food/alcohol businesses near the croquet lawns.</li> <li>Haymarket Reserve and the croquet lawns should remain green spaces. Do not support new laneway between William and Bentinck Streets.</li> <li>Do not support altering loading ramp of Armada shopping centre.</li> <li>Do not support new high rise buildings facing croquet lawns and Haymarket Reserve.</li> <li>Do not support extension of Haymarket Reserve across William Street to the petrol station site.</li> <li>Do not support murals on Armada walls.</li> <li>Want longer untimed parking areas close to croquet club. Required so that club can run week long carnivals and for State and National competitions. These events can't be held due to lack of parking.</li> <li>Members want more trees in the CBD but are concerned about how it is best done.</li> </ul>
C3 Bathurst Branch of the National Trust	<ul> <li>With a few exceptions support the AJ+C Master Plan as a sound document.</li> <li>Branch full supports a people first approach to design. Do not support the "red pen" deletions that Councillors have made to this approach.</li> <li>Support new Carrington Park car park and could be multi-storey but only to height of adjacent buildings and be hidden behind the Bentinck St elms.</li> <li>Support murals on blank walls provided they are not heritage buildings. Murals should include heritage themes. Blank walls could also be used for night time projections.</li> <li>Support improvements to public transport network – consider also free park and ride options from Hereford St and Harris Park. A loop service could reduce traffic pressures.</li> <li>Support adaptive reuse of former TAFE site for a community purpose and a centre for performing arts as has been suggested would be an appropriate use. Grants should be sought to facilitate such redevelopment.</li> <li>New infill buildings on the former TAFE site are not supported as this would compete with proposals for new public spaces and laneways.</li> <li>Conditionally support new Howick Street entrance to AFMM provided it is appropriate in character to heritage building. Changes as made to the St Stephens church are not supported.</li> <li>Support the notion of shared spaces.</li> <li>Do not support permanent closure of Russell Street at this time – could be considered into the future. Support temporary closure and infrastructure to support temporary closure.</li> </ul>

Name Summary of Submission				
Name	<ul> <li>Summary of Submission</li> <li>Support new tree plantings and this has long been suported by groups such as Greening Bathurst and BCCAN. A trial of tree plantings in Church Street cannot replace the visual and ecological impact of an avenue of mature trees in their autumn splendour.</li> <li>Supportive of a review of the 2011 Bike Plan.</li> <li>Support no relocations or reductions in taxi ranks and bus bays.</li> <li>Would like to see Bathurst people friendly, pedestrianised and shade with people scale buildings that reflect our heritage and country feel.</li> <li>Support slowing of traffic speed and pedestrian crossings to achieve this.</li> <li>Supports limiting non-essential truck movements.</li> <li>Does NOT support changes in height and density within the CBD. No buildings should exceed the 3 storey height limit. A case by case approach will set precedents and leverage 'creeping' heights and densities and will be ad hoc approach.</li> <li>Community consultation to date does not support increased heights.</li> <li>Support new private hospital but opposed to a proposed 6 storey building. A better solution would be to move the building to the identified health precinct near the hospital or to CSU, alternatively widen and lower the building in Howick Street.</li> <li>Conditional support increase in parking at George St car park but suggests reducing on-street car parking time limits in selected locations will increase car parking supply. Park and ride facilities, Carrington Park car park improved bike and bus access will also offset parking demand. Any multi-storey car park in the George St carpark should not be visible from the street.</li> <li>3D modelling of private hospital and multi-storey car park.</li> <li>Support deferral of changes to the configuration of on-street car parking in Russell Street.</li> <li>Laneways could be bought to life with festive lighting, projections, cafes etc.</li> <li>Existing first floor areas of the CBD cou</li></ul>			
	<ul><li>should include a community use/s.</li><li>Support tasteful public art welcome feature but no "big" thing.</li></ul>			
	<ul> <li>Preference should be given to Wiradjuri and heritage themes over car racing.</li> <li>Support improvements of blank facades with public art and new landscaping. Heritage themes could be used.</li> </ul>			

	Name Summary of Submission				
		<ul> <li>Support in principle a new laneway between William and Bentinck Street near former Ambulance Station provided it has a life.</li> <li>Support extension of replica lamp standards into lower Howick Street.</li> <li>Implementation of a "Futureproofing" plan must account for climate change and the need to mitigate the heat island effect with more tree plantings.</li> <li>Retail revitalisation will rely on making the CBD a friendly, pleasant place to be more than just additional car parking.</li> <li>Seek further consultation as elements of the plan are implemented.</li> </ul>			
C4	Bathurst Community Climate Action Network	<ul> <li>Council's response to the AJ+C Master Plan must include an acknowledgement of climate change and include efforts to future proof Bathurst from the effects of climate change.</li> <li>CBD must become a destination not just for retailing but for art, culture, experiences etc.</li> <li>Heritage is central to Bathurst CBD and this must not change.</li> <li>Street tree cover in the CBD is less than 2% with many blocks having no tree cover. The heat island effect is already having an impact. Trees provide shade, transpire moisture and provide evaporative cooling. Shoppers will spend more time and money in shaded green spaces. Urgent plantings of streets and car parking areas is required – footpath in Keppel Street adjacent to the Catholic Cathedral is an excellent example and should be extended.</li> <li>Council's response encourages private car use. Transport is changing and this needs to be planned for – active transport and public transport.</li> <li>Pedestrian movements must be prioritised not discouraged with safe pleasant walking around the CBD.</li> <li>Community areas such as TAFE precinct need to be developed.</li> <li>Safe cycle routes need to be developed with supporting</li> </ul>			
C5	Greening Bathurst	<ul> <li>Council's response does not provide a focus for 2 key issues: increasing population and the impacts of climate change.</li> <li>Need to start planning for people not motor cars. Bathurst deserves more than just tweeking around the edges.</li> <li>Need a people centric approach to create a vibrant and liveable city.</li> <li>CBD is noisy, unsafe, hot, cold, drafty and people unfriendly. There is little acknowledgement that what we have now is poor in terms of being a liveable city.</li> <li>Bathurst CBD has very poor tree coverage of about 1 percent, NSW Government recommends 15 to 40 percent for our climate.</li> <li>Investigate permanent system of park and ride system into CBD. Reduce parking limits in the CBD. Most people can and will walk from outside of the CBD and this will help to improve public health.</li> </ul>			

	Name	mary of Submission		
		<ul> <li>Place and climate need to sit at the centre of decisions.</li> <li>The AJ+C Report is not dissimilar to other recommendations applying to other cities – give people back the City.</li> <li>Greening Bathurst support:         <ul> <li>Permanent shady street tree installations</li> <li>Minimising car parking and give the CBD back to pedestrians, cyclists and non-motor vehicle users.</li> <li>Join Machattie Park as far as possible to Durham Street for safe pedestrian usage.</li> <li>Setback any new high rise development from street frontages.</li> </ul> </li> </ul>		
C6	Town Square Group	<ul> <li>Strong support for Public Art in many forms within the Town Centre particularly as it reflects the history of Bathurst.</li> <li>Advocate for the recognition of Wiradjuri history and its significance to the Bathurst Region.</li> <li>Former TAFE site is vitally important to tourism and the surrounding businesses. Strong support for the adaptive reuse of the former TAFE buildings.</li> <li>Opening up of laneways through the Town Square is important and will encourage pedestrian movement through the Square and the CBD. Strong support for opening up of CBD laneways.</li> <li>Do not support increasing pedestrian flows through the memorial garden of the Anglican Church as suggested in the AJ+C report. Further consultation with landowners required.</li> <li>Further clarification needed for any proposed reuse of the Scouts hall as this was funded and built by the Scouts on Cathedral land.</li> <li>Adaptive reuse of Telstra Exchange building (if feasible) supported.</li> <li>Do not support new building in behind the AFMM. New entrance to Howick Street would provide sufficient new footprint for the AFMM.</li> <li>Proposed smaller plaza suggested by AJ+C in behind TAFE is very disappointing. Whole of the existing car park should be retained as open space. The centre of the TAFE site should be simple, open and free from development and overshadowing by inappropriate building heights.</li> <li>Larger public space will encourage more people into the CBD and will have benefits for tourism.</li> <li>Support adaptive reuse of former Headmasters cottage and its potential to be education centre in conjunction with AFMM or café/museum shop.</li> <li>Support infrastructure that enables temporary closure of Russell Street and Church Street. Support the Streets as Shared Spaces project to trial such new infrastructure.</li> <li>AJ+C report should be considered as a staged and evolving</li> </ul>		
C7	Bathurst Regional Access Committee	<ul> <li>process not an immediate all or nothing process.</li> <li>Support bi-drectional bus routes but not at the expense of car parking spaces opposite the Acropole stop. This area is suitable for rear loading accessible cars to park close to the CBD core.</li> </ul>		

Name	Summary of Submission
Name	Also do not support use of community bus stop in lower Howick Street for local bus route services.  Redevelopment of the former TAFE site needs to be accessible in all areas (internal and external) inclusive of accessible toilets. Acknowledge that accessible access is probably unachievable from the existing William Street entrance provided other entry points are accessible and signposted.  CCTV should be incorporated into the redeveloped TAFE site.  Consider including an Adult Disability Change room into new accessible toilet facilities.  Support infrastructure to enable temporary road closures of Russell and Church Streets, inclusive of access ramps.  Do not support permanent road closures as this would limit disability access to Council Chambers and Court House.  Do not support relocation of bus bays and taxi rank out of Russell Street.  Mixed support/opposition to raising street heights to have kerbless street in Russell St — concerned at how reversing cars would be controlled. Supported in Church Street as it has parallel parking.  Do not support on road cycle routes in CBD. Lead to conflict between cyclists and those using mobility aids and loss of accessible parking.  Support that mid-block crossings be raised pedestrian priority crossings. Pedestrian safety must be at the forefront of all decisions. Raised crossings would support a wide range of users, e.g. people with prams, elderly, those with mobility aids etc.  Support reduced speed limits. Priority in CBD must be given to the pedestrian.  Support reduced speed limits. Priority in CBD must be given to the pedestrian.  Support need for larger percent of accessible parking spaces in redeveloped George St car park. This is the approach in Canberra for parking near hospitals.  No changes are needed to parking arrangements in Russell Street — Access Committee does not want to see loss in number of kerbside parking spaces. Centre median parking is not accessible.

## **Pro forma Submissions**

One hundred and twenty-one (121) proforma submissions were received based on a proforma survey prepared by a community member. There were up to four different versions of the pro forma survey submission and the summary of responses below collates those differences as best as possible.

The proforma submissions were received from:

1. Tony Thorpe	41. Mr Gordon Newlyn	81. Miss L Healey	
2. Tracey Duddek	42. Mr Anthony Griffin	82. Mr Lester Colley	
3. Di Braun	43. Mrs Rhonda Griffin	83. Mr Grant Fooler	
4. Debbie Toole	44. Mr Ben Thomas	84. Ms Lauren Sullivan	
5. Reg Stapleton	45. Mr John Nicoll	85. Mr Adone Carstens	
6. Lesley Stapleton	46. Mrs Judith Nicoll	86. Mr Rhys Austin	
7. Glenda Simpson	47. Mr Clint Giddings	87. Mr Charlie Hodgkin	
8. Gail Osborne	48. Ms Patricia White, Crema	88. Mrs Beth Lillie	
9. Christopher Orme	on George	89. Mr Arron Roberts	
10. Norm Clarke	49. Ms Nicole Tobin	90. Mrs Amanda Sammons	
11. Marie Clarke	50. Ms Clare Davis	91. Ms Mel Bestwick	
12. E. M Andrews	51. Mr David Nicoll	92. Mr Bronson Poucher	
13. John Cook	52. Mr George Doueihi	93. Mr Edward Poucher	
14. Ray Mullen	53. Ms Latisha Cosentino	94. Mr Phil Tonkin	
15. Tammy Taylor	54. Ms Melissa Noonan	95. Mr Paul Brabham	
16. Scott Taylor	55. Ms Kylie Norris	96. Mr Peter Lillie	
17. Mr James Price	56. Ms Katrina Lyson	97. Mr Andrew Churches	
18. Mrs Julie Brabham	57. Ms Carey McDonald	98. Ms Saskia Handley	
19. Ms Nicole Piol	58. Ms Michelle Hodder	99. Ms Kristy Bell	
20. Mr Clive Brabham	59. Ms Alannah Seymour	100. Ms Joanne Gullifer	
21. Mr Adam Baldwin	60. B Roat	101. Mrs Rebecca Thomas	
22. Ms Joanne Petch	61. Mr Glenn Smith & Ms	102. Mrs Karen Mitchell	
23. Mr Allan & Mrs Mandy	Catherine Yoeman	103. Mr Scott Mitchell	
Wilding	62. Ms Sally Rosin	104. Mr Warwick Fish	
24. Mr Allan Cunynghame	63. Mr Peter Rosin	105. Mr Wayne McGarry	
25. Mrs Lesley Cunynghame	64. Ms Kate Gullifer	106. Mr Graham Sommer	
26. Mr Brian Lets	65. Ms Amy Gullifer	107. Ms Wendy Sommer	
27. Mrs Marisa Koszta	66. N Pearce	108. Mr Tony Gullifer	
28. Ms Dianne Sharah	67. Mr Michael Coote	109. Mr William Ogilvie	
29. Mr Craig Sharah	68. Mrs Elisabeth Grant	110. Mr David Crawford	
30. Mr Graeme Burke	69. Mr Damien Grant	111. Mrs Amanda Robinson	
31. Mrs Libbie Tyburski	70. Mr Graham Langridge	112. Mr Daniel McLeay	
32. Mr Matthew & Mrs Kristy	71. Mrs Amy Warren	113. Mrs Zana Foster	
Knight	72. Mr Michael Stanford	114. Mr Max W Lethlean	
33. Mr Bruce Morgan	73. Mr John Ireland	115. Mrs L Cashen	
34. Mr Adam Powell	74. Mr Andrew Burge	116. Mr Evan Dowd,	
35. Mr Rodney Dunn	75. Mr Sam Forbutt	Hennessy Dowd Lawyers	
36. Ms Sharon Sewell	76. Ms Leanne & Mr Andrew	117. Mr Grant Williams	
37. Mrs Michelle Dunn	Siegert, Get Hemmed	118. Ms Kathleen Gunning	
38. Mr Ian Hooper	77. M Johns	119. Ms Rachel White	

39. Ms Rhyannah Larnach	78. Ms Rachelle McLean	120.	Mrs Sharn McIntosh
40. Mr Andrew Warren	79. Ms Renee Howard	121.	Mr Phillip McIntosh
	80. Mrs Raeleen Gough		

An additional four (4) proforma submissions were received without a name or contact and so have not been included.

The results of the submissions received are presented below in the grouped questions as they appeared in the proforma survey.

The overall agreement or disagreement with the question asked has been collated, summarised and displayed as follows.

The majority of respondents disagreed with the question asked (opposed)

The majority of respondents agreed with the question asked (supported)

There was close to equal number of respondents who agreed and disagreed with the question asked (generally close to equal support and opposition)

The key matters where there was general support/agreement included:

- Use of the existing community bus stop in lower Howick Street to enable bi-directional bus routes in and out of the CBD.
- Concern that if an Active Transport Strategy is developed it will recommend (and see implemented) bike lanes into the CBD.
- Should Bathurst Integrated Medical centre proceed in the CBD this may necessitate the installation of traffic lights at the George and Howick Street intersection.
- Loss of parking spaces should be considered before setting a formula for the introduction of new street trees.
- Linemarking of 45 degree angle on street car parking.
- New public car parking in Carrington Park.
- Multi-level car parking in the George Street car park.
- Extension of replica heritage lamp standards into lower Howick Street.
- Adaptive reuse of the former Ambulance Station, subject to no large cost to ratepayers.
- Public art on blank walls supporting Bathurst's history.
- Change in the CBD should not impact on the country atmosphere of Bathurst.

The key matters where there was a mixed response with close to equal support and opposition included:

- 40km/hour speed limit.
- Should Bathurst Integrated Medical centre proceed in the CBD this may necessitate the installation of traffic lights at the George and Howick Street intersection (note this question was asked twice and elicited a different response).
- Restriction of non-essential truck movements in the CBD.
- Upgrade to the Howick Street bus interchange and better signage for bus stops.

- Undertake a review of the 2011 Bathurst Community Access and Cycle Plan.
- Introducing more trees into the CBD.
- Implementing wheel stops in on-street parking bays.
- Public art in the form of graffiti.
- Support for the raising of building heights commercial and residential.

The key matters where there was opposition included:

- 30km/hour speed limit.
- Removal of roundabouts and replacement with traffic lights.
- Raised wombat pedestrian and cycling crossings at roundabouts and roundabouts designed to limit/reduce traffic speed.
- Pedestrian crossings at mid-block pedestrian refuges.
- Closure of Russell Street as permanent events space (and raising Russell St pavement) and preventing trucks from using Russell Street.
- Relocation of Russell Street bus bays and taxi ranks.
- Creating a shared zone in Church Street.
- New bus stop opposite the Acropole stop.
- Implementing protected cycle ways in the CBD and particularly on William and Keppel Streets and providing supporting cyclist infrastructure (e.g. showers). Changing on-street parking to parallel parking to enable protect cycle lanes.
- Introducing permanent street trees which would reduce on-street parking spaces.
- Nose in parking.
- Inclusion of centre median parking in Russell St (between William and Bentinck).
- Extension of Haymarket Reserve across William Street (on basis that this would be huge cost to ratepayers).
- New public lane between William and Bentinck Street (along Armada frontage) and new residential development facing the Haymarket reserve.
- New wayfinding signage for both pedestrians and cyclists.

## Profroma Survey summary

## **CBD Vehicle Speed & Access**

## Question asked in proforma survey submission

Master Plan suggest 40 km Per Hour in the CBD - Do you agree?

Master Plan suggests 30 km per hour in the CBD later - Do you agree?

Master Plan suggests eventual removal of busy CBD Roundabouts & Replace with Traffic Lights (Design Speed) - Do you agree?

One Exemption (Howick St and George St) change to traffic lights if integrated medical centre goes ahead in Howick Street - Do you agree?

Master Plan suggests provision of Wombat raised crossings at Roundabouts. (A wombat crossing is the name given to a pedestrian zebra crossing that is placed on a flat top road hump.) - Do you agree?

Master Plan suggests upgrade to formalise 6 centre CBD pedestrian crossings, as shown in the plan - Do you agree?

The Master Plan recommends "No Trucks" to restrict trucks within the CBD to only delivery vehicles. Without some serious thought with a solution and work with people from the industry Do you agree to this?

The master plan suggests stopping trucks from using Russell street whether Russell street is closed permanently or not Do you agree?

## **Public Transport Infrastructure**

## Question asked in proforma survey submission

Master Plan suggests upgrade existing Howick St Bus Interchange - Do you agree?

Master Plan suggests adding a secondary bus stop interchange, opposite the current bus stop (outside the old Acropole building) in Howick Street for buses travelling in the opposite direction – (Transport NSW 19 cities program has only added a few new services) - Do you agree with this duplication?

Alternatively, use the already established community bus stop (outside Busby Medical) for public transport buses and community busses in lower Howick St - Do you agree?

Master Plan suggests better signage for bus stops as it will encourage better public transport use - Do you agree?

## Cycling Infrastructure

#### Question asked in proforma survey submission

The Master Plan recommends implementing protected cycle ways on William & Keppel Streets - Do you agree?

Do you agree to any protected cycle ways in the CBD?

Are you happy with council's current decision about cycleways, whereby in the short term, it will wait for "major review of the 2011 Bathurst Community Access & Cycle Plan"? \*

Are you concerned that cycleways will be reviewed to be implemented again soon i.e. When the "Active Transport Strategy" is reviewed?

The Master Plan is proposing shower and change room facilities be built at the Town Plaza behind the Old TAFE Building for long distance cyclists to shower and change before doing business in the Town Centre - Do you support this proposal?

#### Roundabouts

#### Question asked in proforma survey submission

Master Plan recommends remove roundabouts from busy intersections and replace with traffic signals in the CBD - Do you agree?

The exception of replacing roundabouts would be Howick St & George St if the Integrated Medical Centre goes ahead - Do you agree?

Master Plan suggests raised pedestrian and bike crossings at CBD roundabouts to slow traffic - Do you agree?

Master Plan suggests bike lanes raised with wombat crossings where bike lanes intersect with vehicles on roundabouts in CBD - Do you agree?

Master Plan suggests limit roundabouts in CBD to 1 vehicle lane to slow traffic - Do you support this?

Master Plan suggests minimising the radius of future roundabouts in CBD to slow traffic - Do you support this?

#### Street Trees

## Question asked in proforma survey submission

Previous street trees planted in George Street have died through lack of water, forward planning, and maintenance. Are you aware of this?

The Master Plan recommends increased street plantings by way of formula.

1 tree per 4 car parks kerb side parking

1 tree per 2 car spaces parallel parking

1 tree per 6 parking space Median Parking - Do you accept this formula?

Do you agree with more trees in the CBD?

The Master Plan should take into consideration the loss of parking, etc before considering a set formula with street trees - Do you agree?

#### **Parking**

#### Question asked in proforma survey submission

Master Plan suggests line marking at 45 Degree Parking - Do you agree?

Master Plan suggests nose in Parking - Do you agree?

Master Plan suggests wheel stops in parking bays - Do you agree?

Master Plan suggest council build a new off-street parking in Carrington Park (Possibly 160 bays) - Do you agree?

Proposed Multi-Level car park behind the proposed integrated Medical Centre where George St car park lot is currently located - Do you agree?

Master Plan suggests parallel parking to accommodate protected cycleways wherever they suggest them – do you agree?

## Street Design

#### Question asked in proforma survey submission

Master Plan suggests extension of replica lights (Howick Street) - Agree?

Master Plan suggests Duplication of Bus Stop (Opp Acropole) - Agree?

Master Plan suggests Russell St be changed to parallel parking and median 90 degree all day parking between William St & Bentick St – Do you agree ?

Master Plan suggests tree pits to support future bike lanes

Tree Pit Definition "The underground soil area for **tree** roots (often with root barriers to direct roots downwards), and the surface treatment for pedestrian safety, and irrigation - Do you agree?

#### **Bathurst Gateway Project**

#### Question asked in proforma survey submission

Master Plan suggests "adaptive reuse" of former Ambulance Station.

With no definition of adaptive reuse provided in the Master Plan, would you agree if not a large cost to ratepayers with ongoing expenses?

Master Plan suggests the purchase of the United Petroleum Petrol Station. Knock it down and converted to a Public Park (Extension of Haymarket Reserve) Huge cost to ratepayers - Do you agree?

Master Plan suggests new Public Laneway between William & Bentinck Street running down Haymarket Reserve in front of Armada loading Ramp - Do you agree?

Master Plan suggests Retail or Residential Re- Zoning facing Haymarket Reserve or park behind the former Ambulance station facing the croquet club - Do you agree?

## George Street Council Car Park

## Question asked in proforma survey submission

Do you support the concept of the new proposed multi Storey car park suggested as part of the new 6 storey integrated Medical Centre George Street Car Park?

### Civic Heart Project Machattie Park to Town Square

### Question asked in proforma survey submission

Master Plan suggests Russell Street permanently blocked at Court House for a plaza for events - Do you agree?

Master Plan suggests permanent stage area as part of Plaza at Russell Street outside Courthouse - Do you agree?

Master Plan suggests removal of Bus stops from Russell Street to another location - Do you agree?

Master Plan suggests removal of Taxi ranks from Russell Street to another location - Do you agree?

Master Plan suggests raising of Russell Street road level outside Court House for kerbless surface to Kings Parade - Do you agree?

Master Plan suggests Church Street be turned into a shared space (Streets as shared spaces) which would mean raising road surface, slow traffic, shared spaces, accessed through Ribbon Gang Lane - Do you agree?

### Wayfinding Signage

### Question asked in proforma survey submission

Master Plan suggests Pedestrian & Cyclist priority signage which will be explored in the Active transport Strategy by Council – Do you agree?

Do you support Pedestrian priority signage?

Do you support Cyclist priority signage?

### **Town Centre Public Art Strategy**

### Question asked in proforma survey submission

Master Plan suggests Public Art on blank walls, etc Do you support tasteful public art?

Do you support public art graffiti?

Do you support public art above awnings to brighten our CBD?

Do you support public art that displays Bathurst's History?

### Change to built form Controls

### Question asked in proforma survey submission

Do you support raising the height levels of buildings in the Bathurst CBD? up to 6 stories where possible

Do you support the raising of building height levels in the CBD for residential buildings?

Do you support the raising of building height levels in the CBD for commercial buildings?

### Put People First

### Question asked in proforma survey submission

The Master Plan suggests "Put People First" which is a trend being pushed by Planning across the state.

Just because it's a trend we don't have to follow. Do you agree that changes should not impact on our country town atmosphere?

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**POLICY**: FUTUREPROOFING OUR CBD - 2022 AND BEYOND

**DATE ADOPTED:** 

**ORIGINAL ADOPTION:** 

FILE REFERENCE: 20.00340

**OBJECTIVE:** To establish the guiding principles to support future

decision making in ensuring the public realm of the CBD responds to changing community values and economic

and environmental influences over time.

### 1.0 BACKGROUND:

### Bathurst Town Centre Master Plan

The Bathurst Town Centre Master Plan 2021 provides a vision for improving seven city blocks within the Bathurst CBD, an area known as the Bathurst Town Centre.

Allen Jack + Cottier Architects (AJ+C) were invited to prepare the Master Plan for Bathurst Regional Council. The project was co-sponsored by Charles Sturt University (CSU), who were investigating the opportunities for a Bathurst CBD Campus at that time.

The Master Plan outlines AJ+C's analysis of the existing condition of the Town Centre, the outcomes of stakeholder and community engagement undertaken in the development of the draft plan, and then makes several site or area-specific recommendations as well as Centre-wide master plan proposals. As CSU decided not to proceed with an investigation of a CBD Campus, several options explored for campus facilities were identified as open opportunities for other uses.

**'Futureproofing our CBD'** Council's Response to the Bathurst Town Centre Master Plan, summarises the key concepts proposed in the A J + C Master Plan. The **'Futureproofing our CBD'** response did <u>not</u> recommend wholesale adoption of the Master Plan but outlined those elements of the Master Plan considered appropriate, at that time, for consideration of their implementation into the future.

The community's response to Council's 'Futureproofing Our CBD' report was sought through a formal public exhibition process. "Futureproofing Our CBD" was exhibited for a one-month period with submissions closing on 24 May 2021.

A range of voices were heard and messages received during the public exhibition period. These were collated in the report: Futureproofing our CBD (Council's Response to the Bathurst Town Centre Master Plan) – "What Bathurst Said".

Relevant documents are available at:

https://yoursay.bathurst.nsw.gov.au/bathursttowncentre/widgets/278695/documents

### Street as Shared Spaces

At about the time Council placed its proposed response to the Master Plan on public exhibition Council was successful in attracting a substantial grant (\$767,884) under the NSW Government's Streets as Shared Spaces (SaSS) program round 1.

The NSW Government's Streets as Shared Spaces program provided one-off grant funding to support local councils to test and pilot new and innovative ideas for streets as safe, shared public spaces.

The Pilot project and the additional grant received under round 2 of the program enabled Council to trial a number of the suggestions outlined in the Bathurst Town Centre Master Plan.

The SaSS projects have highlighted the value in trialing change in stages rather than seeking wide ranging irreversible change. This has proved a very effective method of engaging with the community as to how that change is best managed and achieved.

### This Policy

This policy seeks to respond to the Bathurst Town Centre Master Plan and the community's response to it and the lessons learnt from the Streets as Shared Spaces Pilot projects. It sets the guiding principles for future change within the CBD to ensure impacts on the public realm respond to changing community values and economic and environmental influences. Decisions involving future changes will need to assess their consistency against these Principles. Those decisions can reference the Master Plan report for possible solutions or adapt solutions to suit the circumstances of the case or develop new solutions, provided they respond to the principles of the Policy. Other strategies and plans will also inform those decisions including for example the future Active Transport Strategy and a revised Retail Strategy. Importantly, community engagement can continue as each new decision is made.

### 2.0 AIM OF THIS POLICY:

The policy aims to guide change in the public realm of the Bathurst CBD, whether owned publicly or privately.

### 3.0 OBJECTIVE OF THIS POLICY

The objective of this policy is to establish the guiding principles to support future decision making to ensure the public realm of the CBD responds to changing community values and economic and environmental influences over time.

This policy seeks to ensure that change within the public realm of the Bathurst CBD is positive and negative impacts are minimised and mitigated.

### 4.0 LAND TO WHICH THIS POLICY APPLIES:

This policy applies to land zoned B3 Commercial Core under Bathurst Regional Local Environmental Plan 2014 located within the Central Business District (CBD) of the City of Bathurst.

The public realm is those spaces around, between and within buildings that are publicly accessible and visible including streets, plazas, parks, footpaths, laneways, parks and open spaces.

This policy applies to changes that may be made to land, buildings, streets, lanes, footpaths, parks, spaces, views and vistas that may impact or change the public realm of the Bathurst CBD.

This policy applies to privately owned land to the extent to which new development on private land impacts on the public realm.

### 5.0 GUIDING PRINCIPLES TO SUPPORT FUTURE DECISION MAKING TO ENSURE THE PUBLIC REALM OF THE CBD MEETS COMMUNITY EXPECTATIONS:

The Council will consider the following guiding principles (as applicable) when making decisions that impact on the public realm (private or public) of the Bathurst CBD.

Sense of Place - How does change engage the Bathurst Town Centre.

### Considerations include:

- the geographical grid layout of the Bathurst Town Centre, inclusive of the meridian ridge line and the respective falls to the northwest and southeast.
- the role of the Bathurst Town Square as the centre of the Bathurst Town Centre.
- the role of the Carillon, located on the meridian ridge and as the high point of the city,
- Bathurst's two- and three-storey street frontage rhythm and character.
- significant stories and memories of place recognising cultural longevity and promoting its greater visibility (including relating to Aboriginal culture and heritage).
- the extent the community and visitors enjoy being in and take pride in the Bathurst Town Centre.

<u>Heritage and Streetscape</u> - How does change integrate with the Bathurst Town Centre and its heritage streetscapes and parklands.

### Considerations include:

- scale, bulk, massing, form, and siting of new development to complement and improve the quality and amenity of the public domain.
- the external appearance of new development (building design, character, materials, colours, and detailing) and how it might improve the quality and amenity of the public realm.
- the design of new development and how it responds to and mitigates its potential to impact other property and the public realm in terms of, overshadowing and solar access, visual and acoustic privacy, noise, wind and reflectivity.
- protecting heritage assets and encouraging adaptive reuse of heritage building stock.

<u>Landscape and environment</u> - How does change respond to and integrate with the environment and landscape of the Bathurst Town Centre.

Considerations include opportunities to improve:

- amenity by connecting to networks of open space.
- the quality and the value of the public realm.
- the amenity of streets and public spaces though landscaping and vegetation, using plant species which are particular to the Bathurst Town Centre.
- water and air quality by utilising sustainable and resilient infrastructure.

<u>Economic vitality</u> - How does change revitalise the Bathurst Town Centre and particularly activate the streets of the Bathurst Town Centre.

### Considerations include:

 encouraging economic activity that creates a distinct and attractive place for business to trade and invest, and for people to visit.

- creating new or improved places for people and communities to gather, meet and interact that are safe enjoyable and equitable, inclusive of the provision of street furniture.
- encouraging opportunities for events.
- encouraging night-time activation.

Connection - How does change prioritise connectivity and walkability.

### Considerations include:

- contributing to walkable blocks, particularly at mid-block locations.
- increasing pedestrian traffic and contributing to business exposure in the public realm.
- encouraging people to walk around the Bathurst Town Centre by integrating pedestrian paths with vehicle access and designated parking areas.
- connecting significant natural features, buildings, views and cultural assets to make the Bathurst Town Centre more navigable, accessible, engaging and attractive and to reinforce local character, including new places to sit, rest and socialise.
- slowing traffic and minimising unnecessary truck movements.
- increasing pedestrian safety by designing for a balance of all users (pedestrian, cyclist or vehicular) with differing abilities.
- encouraging temporary road closures and events spaces.

<u>Traffic and Parking</u> - How does change manage disruptions to traffic and parking and enhance opportunities for public and active transport.

### Considerations include:

- offsetting on-street car parking losses with new off street parking opportunities.
- providing drop off and pick up kerb side spaces.
- signalisation of intersections and the prioritisation of traffic and off street car parking locations away from the CBD high streets.
- encouraging opportunities for new forms of travel into, through and out of the Bathurst
   Town Centre including cycling, park and ride, shuttle services and EV infrastructure.

<u>Climate and Resilience</u> How does change respond to climate conditions and their impacts on the Bathurst Town Centre.

### Considerations include:

- new water conservation infrastructure.
- mitigating the effect of summers with increasing temperatures and declining rainfall, particularly through appropriate landscaping and greenery.
- mitigating the predominant winter winds and their impact in the public realm.

<u>Liveability</u> - How does change encourage new employees to work and new residents to live in the Bathurst Town Centre.

### Considerations include:

- adaptive reuse of heritage assets for commercial and residential opportunities.
- redevelopment of centre block locations and mid-block laneway improvements to open the centre of blocks and vacant lands.

- identification of opportunities to appropriately increase living and built form density (e.g. building height) in ways that mitigate impacts to street frontage rhythm and character.
- enhancing public safety particularly at night-time.

### 6.0 COMMITMENT TO COMMUNITY ENGAGEMENT

In guiding change under the principles of this Policy, Council commits to ongoing engagement with the community including the business community.

Where appropriate, Council will seek to trial change in stages rather than seeking wide ranging irreversible change as an effective method of engaging with the community as to how that change is best managed and achieved.

### 7.0 MODELLING CHANGE

3D modelling can provide an invaluable tool in simulating change within the CBD to aid decision making under this Policy.

In guiding change under the principles of this Policy, Council may require the submission of digital data in a format prescribed by Council for the purpose of 3D modelling. This data may be used by Council for community consultation/engagement purposes.

### **Investment Policy Benchmarks**

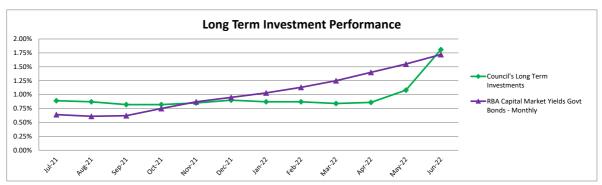
### Benchmark 1 - The performance of the portfolio shall be against the industry standard 90 Day Bank Bill Index or the official RBA Cash Rate

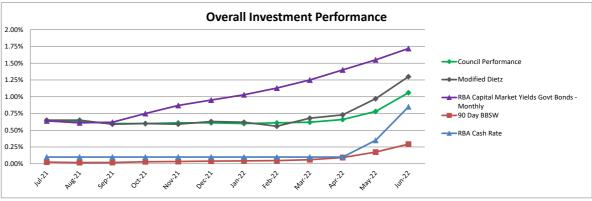
Council's current year to date performance compared to the two benchmarks is shown below. Council has outperformed both benchmarks.

Reserve Bank of Australia - Cash Rate 0.85%
AFMA - 90 Day Bank Bill Swap Rate (BBSW) Avg Mid 0.293%
RBA Capital Market Yields Govt Bonds - Monthly 1.72%
Modified Dietz Calculation 1.30%

	Short	Term		Long Term		Overall Pe	rformance
				RBA Capital			
				Market Yields	Council's		
	RBA	90 Day	Council's Short	Govt Bonds -	Long Term	Modified Dietz	Council
	Cash Rate	BBSW	Term Investments	Monthly	Investments	Calculation	Performance
Jul-21	0.10%	0.024%	0.57%	0.64%	0.89%	0.65%	0.64%
Aug-21	0.10%	0.018%	0.56%	0.61%	0.87%	0.65%	0.63%
Sep-21	0.10%	0.019%	0.52%	0.62%	0.82%	0.59%	0.60%
Oct-21	0.10%	0.029%	0.51%	0.75%	0.82%	0.60%	0.60%
Nov-21	0.10%	0.033%	0.51%	0.87%	0.85%	0.59%	0.61%
Dec-21	0.10%	0.039%	0.50%	0.95%	0.90%	0.63%	0.61%
Jan-22	0.10%	0.043%	0.50%	1.03%	0.87%	0.62%	0.60%
Feb-22	0.10%	0.047%	0.51%	1.13%	0.87%	0.56%	0.61%
Mar-22	0.10%	0.060%	0.56%	1.25%	0.84%	0.68%	0.62%
Apr-22	0.10%	0.093%	0.60%	1.40%	0.86%	0.73%	0.66%
May-22	0.35%	0.174%	0.70%	1.55%	1.08%	0.97%	0.78%
Jun-22	0.85%	0.293%	0.87%	1.72%	1.81%	1.30%	1.06%







### 2a - Overall Portfolio Credit Framework

To control the credit quality on the entire portfolio, the following credit framework limits the percentage of the portfolio exposed to any particular credit rating. AMP was recently downgraded from A- to BBB+ on the 27 Aug 2019. Council will reinvest into a complying rated institution at the maturity of these investments.

Short Term	Ratings	Maximum Holding %	Actual Holding	
	A-1+	100	55%	Complies
	A-1	100	13%	Complies
	A-2	40	30%	Complies
	A-3 or unrated	Note*	2%	Complies
			100%	Ĭ
Long Term				Ī
	AAA	100	0%	Complies
	AA+ AA AA- A+ A	100	89%	Complies
	A-	40	0%	Complies
	BBB+ BBB	20	5%	Complies
	BBB- & unrated	Note *	6%	Complies
			100%	Ĭ

<sup>\*</sup>Note: For reasons of practicality the number of these investments should be kept to a minimum.

### 2b - Institutional Credit Framework

To limit single entity exposure each individual institution will be limited by their credit rating. AMP was recently downgraded from A- to BBB+ on the 27 Aug 2019. Council will reinvest into a complying rated institution at the maturity of these investments.

	Ratings	Maximum	Actual Holding	Ī
	Ratings	Holding %	%	
CBA	AA-	40	17%	Complies
National Australia Bank Limited	AA-	40	32%	Complies
Westpac	AA-	40	6%	Complies
HSBC	AA-	30	2%	Complies
Suncorp Metway Ltd	A+	30	13%	Complies
Macquarie Bank Limited	A+	30	1%	Complies
UBS AG Australia	A+	30	1%	Complies
Sumitomo Mitsui Banking Corp	A	30	1%	Complies
AMP	BBB+	5	3%	Complies
Bank of Queensland Limited	BBB+	5	7%	Does not comply
Bendigo & Adelaide Bank Ltd	BBB+	5	4%	Complies
IMB	BBB+	5	3%	Complies
Newcastle Permanent	BBB	5	0%	Complies
Members Equity Bank	BBB	5	7%	Does not comply
Auswide Bank	BBB	5	0%	Complies
Maritime Mining & Power Credit Union	ADI	Note*	3%	Complies
*Note: For reasons of practicality the number of these investment	ents should be kept to a minim	um.	100%	Ī

<sup>\*</sup>Note: For reasons of practicality the number of these investments should be kept to a minimum. \*Credit rating to Auswide Bank issued by Fitch Ratings, equivalent Rating by S & P shown

### 2c - Maturity Profile

The Investment Portfolio is to be invested within the following maturity constraints, Council has successfully met this criteria.

79,500,000

	Term Deposit	FRTD	TCD	FRN	Min %	Max %	Actual %	
Within one year	64,500,000	1,500,000	0	0	40	100	67%	Complies
One to three years	15,000,000	2,730,000	0	4,700,000	0	60	23%	Complies
Three to Five Years	0	1,500,000	0	7,600,000	0	30	9%	Complies
Over Five Years	0	0	0	1,200,000	0	15	1%	Complies

13,500,000

Recommendation: That the report be noted. Responsible Accounting Officer Aaron Jones Director Corporate Services & Finance 1-Jul-22 Prepared By Lesley Guy Reviewed By Tony Burgoyne

5,730,000

100%

### 2021/22 Annual Operational Plan

### Bathurst 2040 Community Strategic Plan

### As at 30th June 2022

### Council's Vision:

Bathurst: A vibrant and innovative region that values our heritage, culture, diversity and strong economy.

As a community it is important to have a plan that outlines what we want and need as a community now and as the region grows. The NSW Government also requires all councils to have such a plan. The Bathurst 2040 Community Strategic Plan (CSP) is the highest level forward planning document of Bathurst Regional Council. It identifies the community's priorities and guides the direction for the Bathurst region over the next 20 years.

Six key objectives have been established in the CSP:

- 1. Our Sense of place and identity
- 2. A smart and vibrant economy
- 3. Environmental stewardship
- 4. Enabling sustainable growth
- 5. Community health, safety and well-being
- 6. Community leadership and collaboration

These objectives are supported by strategies, shown below, aimed at identifying the importance of each objective.

As a 20 year plan, the CSP is not able to be wholly implemented in one term of Council. The Delivery Program represents actions that the Council expects to achieve during the current term of election for the Council, typically four years. This <u>Annual Operational Plan</u> identifies the individual activities and projects that will be completed within the current financial year of the Delivery Program.

### OBJECTIVE 1: Our sense of place and identity

- 1.1 Respect, protect and promote the region's Aboriginal heritage assets
- 1.2 Protect, enhance and promote the region's European heritage assets and character
- 1.3 Enhance the cultural vitality of the region
- 1.4 Protect and improve the region's landscapes, views, vistas and open space
- 1.5 Promote good design in the built environment

### OBJECTIVE 3: Environmental stewardship

- 3.1 Protect and improve our natural areas and ecosystems, including the Macquarie River and other waterways
- 3.2 Protect the City's water supply
- 3.3 Minimise the City's environmental footprint, live more sustainably and use resources more wisely
- 3.4 Protect and improve the region's biodiversity
- 3.5 Increase resilience to natural hazards and climate change

### OBJECTIVE 5: Community health safety and well being

- 5.1 Provide opportunities for our community to be healthy and active
- 5.2 Help make the Bathurst CBD, neighbourhoods and the region's villages attractive and full of life
- 5.3 Help build resilient, inclusive communities
- 5.4 Make our public places safe and welcoming
- 5.5 Plan and respond to demographic changes in the community

### Bathurst 2040 Community Strategic Plan

### OBJECTIVE 2: A smart and vibrant economy

- 2.1 Support local business and industry
- 2.2 Grow local employment, investment and attract new businesses by nurturing and supporting entrepreneurs, partnerships and local skill development
- 2.3 Develop Bathurst as a Smart City
- 2.4 Support agriculture, local manufacturing, food production and education as significant contributors to the region's economy
- 2.5 Support Mount Panorama as a premier motor sport and event precinct
- 2.6 Promote our City and Villages as a tourist destination

### OBJECTIVE 4: Enabling sustainable growth

- 4.1 Facilitate development in the region that considers the current and future needs of our community
- 4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility
- 4.3 Ensure services, facilities and infrastructure meet the changing needs of our region
- 4.4 Provide parking to meet the needs of the City
- 4.5 Work with partners to improve public transport, and passenger and freight transport connections to and from the region
- 4.6 Plan for, assess and regulate development activity

### OBJECTIVE 6: Community leadership and collaboration

- 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst Region
- 6.2 Work with our partners and neighbouring councils to share skills, knowledge and resources and find ways to deliver services more efficiently
- 6.3 Advocate for our community
- 6.4 Meet legislative and compliance requirements
- 6.5 Be open and fair in our decisions and our dealings with people
- 6.6 Manage our money and our assets to be sustainable now and into the future
- 6.7 Invest in our people
- 6.8 Implement opportunities for organisational improvement

On the following pages, each of Council's principal activities is shown along with their four year Delivery Program actions and the Annual Operational Plan tasks that will be undertaken. These actions and tasks are linked back to the Bathurst 2040 CSP to show the community how its needs and wants are being delivered.

The table below is a guide to reading the Delivery Program and Annual Operational Plan.

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – this year's Projects / Tasks	Tracking our Progress	Responsible Officer
From the Objectives shown on Page 2	What actions will be delivered to achieve the objective	What specific projects will be undertaken this year to address the 4 year actions	Measurable KPI - How we will know when we have achieved our plans	Position Title – Director, Manager, Team Leader

The Performance Measures in this Plan have been rated by the responsible Directors as to their status of completion.

Below is a summary of the Status of all Performance Measures:

In progress – tracking as expected	Needs Attention	Urgent Attention
149 / 169	20 / 169	0 / 169
88 %	12 %	0 %

## Engineering Services

The key to developing a sound foundation for growth and prosperity of the Bathurst Region is by ensuring infrastructure needs are keeping pace with demand. The Engineering Services Department has the responsibility to ensure the current needs of the community are met and the capacity exists to cater for future growth. A clean and safe water supply, a quality local road network, and environmentally responsible waste management systems are all high priorities for engineering the future of the Bathurst Region.

## **Asset Management**

	6m 000m	Soom  Park 50m  Soom complete complete complete complete out to Newell  Oom complete inck and Park sts Russell 200m	Soom  Park 50m  Soom complete complete complete our to Newell  Oom complete inck and Park sts Russell 200m  10/20
	Bant Street Lewins to Busby 166m Stanley St George to Rankin 200m Rankin St Stanley to Morrisset 200m	Browning St William to George Park 50m Charlotte St 40m Graham Dve to Mendel Dve 300m complete Piper St – Havannah to Seymour 200m complete Lambert St – Stewart to Rankin 50m complete Rocket St – Stewart to Rankin complete Halfpenny Drive – 200m Gilmour to Newell complete Peel Street – Keppel to Piper 200m complete Peel Street – Keppel to Edgell 270m complete Renewed Pram ramps at Bentinck and Park sts Havannah Street – Keppel to Russell 200m complete.	Browning St William to George Park 50m Charlotte St 40m Graham Dve to Mendel Dve 300m complete St - Havannah to Seymour 200m complete St - Stewart to Rankin 50m complete Halfpenny Drive - 200m Gilmour to Newe complete Peel Street - Keppel to Piper 200m complete Complete Street - Keppel to Russell 200m complete.  Level 1 (CBD) - 100% as at 26/10/20 Level 2 - 100% as at 23/7/20
Manager   Bant Street L		Charlotte St. Graham Dve Piper St. Hav complete Lambert St.—S Rocket St.—S Halfpenny Di complete Peel Street— Osbourne Av Renewed Prc Havannah St complete.	JeE
	cleway		ban footpath
	ت ک		
Projects / Tasks	Completion of additional concrete footpaths/cycleways accordance with the Bathurst Regional Community Access ar	Cycling Plan 2011.	Cycling Plan 2011.  Monitor condition of footpaths.
	Improve pedestrian access within the urban area.		
reference	7.7 7.2 7.1 0 0 0 0		

Status		000	00•		
Action Year to Date	2km rehabilitate widen and seal on Freemantle Rd – Complete 1km rehabilitate widen and seal Rockley Rd – Complete 1.5km Freemantle Rd Stage II complete 2.2km Bridle Track rehabilitate, widen and seal – Complete 4km Turondale Rd widen and seal 3km complete 1.5km sealing of Redhill Rd – Complete Reconstruction of Prince street Perthville between Bathurst and Rockley Sts – Complete 1.5km realignment Evans Plains Rd 75% complete 1km reconstruct Hen&Chicken Lane complete 1km realignment around Monaghan's Bluff underway. 25% complete – bulk earthworks well underway.	In progress/ongoing	Complete (last assessment 2019, next assessment due 2023) Condition Percentage Rating	Excellent 35.0 1 Good 38.9 2 96% Fair 22.1 3 Poor 3.9 4 4% Bad 0.1 5	Funding Grant application through NSW Government Floodplain Management Program in 2020/21 unsuccessful. Further application has been made in 2021/22 program, decision pending.
Responsible Officer		Manager Works	Manager Works		Manager Technical Services
Tracking our Progress	Completion of 2021/2022 Roads to Recovery Program.	Completion of 2021/2022 Unsealed Roads Gravel Resheeting program.	Greater than 90% of the urban road network remains at condition index 3 or above.		Substantial Completion of Design and Environmental Assessment
Operational Plan – 2021/2022 Projects / Tasks		Renewal of gravel road surface throughout the network.	Undertake maintenance program in accordance with allocated budget.		Completion of flood mitigation works as outlined in the Georges Plains Flood Management Plan.
Deliverable Actions over the next 4 years					Protection of urban areas on the Bathurst Floodplain
Bathurst 2040 Objective reference					4.1

Mount Panorama			-	-		
De <u>li</u> o	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
Incre Mou the p racir Austi	Increase profile of Mount Panorama as the premier motor racing venue in Australia.	Construction of optic fibre communications loop	Installation of Optic fibre network to Mount Panorama Circuit as per 2021/2022 Capital Works Plan	Director Engineering Services	Current budget allocation will complete 1,700m of conduit. This will complete 5,640m of installation, leaving approx. 1,000m of conduit to be installed from future budgets.	
		Development of the second circuit	Development Consent obtained.	Director Engineering Services	Masterplan Complete. Preliminary Design Complete Aboriginal Cultural Heritage Assessment completed. Draft Environmental Impact Assessment completed, has been submitted to NSW Planning for adequacy review prior to lodgement. Community Consultation completed for EIS drafting. Detailed design and EIS completed Jan 2022. Ready for lodgement with EIS to NSW Planning.	

Water, Sewer and Waste

Status			00				00	
Action Year to Date	Water Filtration Plant daily operations are ongoing, with maintenance and repairs conducted as required. The treatment processes are constantly monitored through a SCADA system and reviewed daily by staff.	To 30 June 2022, 2,671 tests were undertaken (through NSW Health Laboratory plus Council monitoring for fluoride) there was 97.9% compliance with Australian Drinking Water Guidelines.	Water distribution system operations are ongoing, with monitoring, maintenance and repairs conducted as required.	The water main in Mountain Straight, Mount Panorama has now been re-laid.	Significant reservoir improvements have been completed, with further work planned, to continue to improve the integrity of the drinking water system around Bathurst.	To 30 June 2022, complaints regarding flow and pressure were 13 for the 2021/22 year.	Complaints regarding discoloured water are investigated, actioned, and resolved as soon as possible.	Complaints regarding discoloured water for period 1 July 2021 to 30 June 2022 were 34.
Responsible Officer	Manager Water and Waste		Manager Water and Waste				Manager Water and Waste	
Tracking our Progress	Achieve the Australian Drinking Water Standards 90% of the time.		Customer complaints regarding flow and pressure are kept below 52 p.a.				100% of complaints investigated, actioned, and resolved.	
Operational Plan – 2021/2022 Projects / Tasks	Operate, maintain, repair and upgrade Water Filtration Plant.		Operate, maintain, repair and upgrade water distribution system.				Respond effectively to discoloured water complaints	
Deliverable Actions over the next 4 years	Maintain and upgrade existing water and sewer infrastructure to meet the needs of all stakeholders into the future.							
Bathurst 2040 Objective reference	3.2 3.3.3 3.6.2 3.6.2 3.6.3 3.							

Status			$\bigcirc\bigcirc\bigcirc$
Action Year to Date	A Drinking Water Management System (DWMS) document has been completed and is in effect. Details on addressing the actions to ensure continuous improvement are being documented.  An internal review of the Drinking Water Management System's Critical Control Points (CCPs) is undertaken weekly and monthly.  Continuous external monitoring of CCPs is undertaken externally by D2K Information Pty Ltd. CCP performance for the current financial year to 30 June 2022 averaged 92.9%.	Work on this Tendered Item is progressing with work on the dam crest drilling underway and over 84.75% of the varied contract price is complete as at the end of May 2022.  A second project scope change request has been lodged, with a negative response being received and this is being followed up. Additional correspondence has been sent to DPIE.  The project scope, cost & timeframe have all been extended as significantly different foundation rock was encountered (than was found during geotechnical investigations) along the dam toe once onsite work commenced.	Survey, design reports and approvals are being progressed for this project, tenders have been advertised and are currently open to selected contractors who are pricing the proposed works.
Responsible Officer	Manager Water and Waste	Manager Water and Waste	Manager Water and Waste
Tracking our Progress	Australian Drinking Water Guidelines & DWMS compliance reported 6 monthly.	Project is constructed and commissioned	Project is constructed and commissioned
Operational Plan – 2021/2022 Projects / Tasks	Review, update and adhere to Drinking Water Management System (DWMS).	Winburndale Dam Flood Security Upgrade	Stage 1
Deliverable Actions over the next 4 years			
Bathurst 2040 Objective reference			

Deliverable Actions over Operational Plan – 17acking		Tracking	Our Progress	Responsible	Action Year to Date	Status
Pr	Projects / Tasks			Officer		SOIDIO
					Tenders closed 27 July 2021, and assessment continues.	
Review and update existing Best Practice Guidelines plans	Review and update existing Best Practice Guidelines plans		Best Practice Guidelines compliance reported	Manager Water and	There are no new Best Practice Guidelines introduced since the 2007 Best Practice Guidelines.	00
as required.	as required.		quarterly.	Waste	Compliance remains at 100%.	
					See below for a new direction from DPIE in the form of a Roadmap, which is not yet implemented.	
					In October 2021 DPIE has released their Roadmap to an improved regulatory framework for local water utilities, which will replace the Best Practice Management Framework. The implications and impacts on Council are being reviewed, and monitoring of this continues.	
Continue implementation of Trade Waste Policy.	Continue implementation of Trade Waste Policy.		Maintain approvals at over 90% of active businesses	Manager Water and	Trade Waste Policy is current, has been approved by NSW Office of Water, and adopted by Council.	00
				D S	As of 30 June 2022, there were 339 approvals in place, with 363 active businesses (93%).	
					The recently released 2021 Liquid Trade Waste Management Guidelines from DPIE are being reviewed to determine whether any changes are required.	
Monitor and action developments from State Government regarding	Monitor and action developments from State Government regarding		Review Guidelines monthly, then action as required.	Manager Water and Waste	The existing level of compliance with the Best Practice Guidelines is 100% for both Water and Sewer.	
Chariges in the best ridance. Guidelines	Changes in the best fractice.				The review of further initiatives will be commenced, once DPIE advises the outcomes of their proposed review of the guidelines.	

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					In October 2021 DPIE has released their Roadmap	
					to an improved regulatory framework for local	
					water utilities, which will replace the Best Practice	
					Management Framework. The implications and	
					impacts on Council are being reviewed, and	
					monitoring of this continues.	

Status	
Action Year to Date	For both Chifley and Winburndale, a Dam Safety Emergency Plan is in place.  Chifley Dam is safe to withstand a 1 in 1,000,000- year flood event.  A surveillance inspection of Chifley Dam was undertaken in December 2021. Winburndale Dam surveillance inspections are on hold for the next 12 months during the construction period.  Winburndale Dam is not yet safe to withstand a 1 in 100,000-year flood event, however detailed design is complete, the tender has been awarded and construction has commenced and is well advanced to significantly improve the dam safety.  Grant funding was sought through the NSW Safe and Secure Water Program. Council has been successful in procuring \$2.225 million towards this project under the Program.  A tender was awarded at the 3 July 2019 Council Meeting to EODO for Winburndale Dam Safety Upgrade. Work is currently over 84.75% of the varied contract price is complete for the project at the end of May 2022.  Work on the required Dam Safety documentation is underway, with all reports due soon being drafted and under review.
Responsible Officer	Manager Water and Waste
Tracking our Progress	Compliance with Dams Safety NSW requirements reported 6 monthly.
Operational Plan – 2021/2022 Projects / Tasks	Prepare reports and studies for Winburndale Dam and Chifley Dam to achieve compliance with Dams Safety NSW regulatory requirements.
Deliverable Actions over the next 4 years	
Bathurst 2040 Objective reference	

Status	$\bigcirc\bigcirc\bigcirc$	
Action Year to Date	Work is continuing, through meetings and projects. Alliance Business Plan has been developed and adopted. Bi-monthly meetings attended online, with other projects and correspondence dealt with as required.	Wastewater Treatment Works operations are ongoing, with maintenance and repairs conducted as required.  A new biosolids contract commenced on 01 October 2021 and until 30 June 2022, 7479.09 tonnes of biosolids have been delivered to site under the new contract.  A trial to limit discharge odours from Sewer Pump Station no 2 commenced in November 2021 initial results indicate a positive result. Continued monitoring is on going  Plans for minor upgrades are underway. Daily and weekly sampling and monitoring of the plant's performance are continuing, with internal and external testing performed.  Ongoing testing of wastewater discharged to the Macquarie River as per EPA Licence 1647 for the period commencing 1 April each year continues. For the licence year commencing on 1 April 2022, 84 tests were completed till 30 June 2022, and 98.8% compliance achieved.
Responsible Officer	Manager Water and Waste	Manager Water and Waste
Tracking our Progress	Meeting attended. Relevant projects supported. Goals delivered.	Achieve over 90 % compliance with EPA licence conditions.
Operational Plan – 2021/2022 Projects / Tasks	Work with CNSWJO on Water Utilities Alliance goals	Operate, maintain, repair and upgrade Wastewater Treatment Works to comply with licence conditions.
Deliverable Actions over the next 4 years		
Bathurst 2040 Objective reference		

Status	$\bigcirc\bigcirc\bigcirc$	$\bigcirc\bigcirc\bigcirc$			
Action Year to Date	Identification of appropriate locations for CCTV pipe inspection is ongoing through customer issues, staff advice and development proposals.  Any issues found are scheduled for repair or replacement as required.	Liaison with Technical Services staff to obtain advice on road projects and / or developments is continuing.  The aim is to ensure water and sewer services are relocated prior to RMS or BRC projects commencing.	The waste collection vehicle fleet is up to date.	A stormwater management audit of the WMC has been conducted by EPA staff. A review has been conducted by an independent consultant. The final report has been received and recommendations are being put into effect. Aerial survey was completed on 19 April 2021 which is done annually to monitor actual fill and the final fill plan.	Several ongoing projects are supported, with bimonthly meetings attended online.  New projects or opportunities are assessed as they arise.
Responsible Officer	Manager Water and Waste	Manager Water and Waste	Manager Water and Waste	Manager Water and Waste	Manager Water and Waste
Tracking our Progress	Mains where blockages or overflows occur are inspected	Complete capital works program	One waste collection vehicle replaced	Survey and monitor the remaining air space of the landfill annually. Air space reduction minimised.	Meeting attended. Relevant projects supported and delivered.
Operational Plan – 2021/2022 Projects / Tasks	Confinue program of sewer main CCTV inspection, and lining if warranted	Identify, plan and undertake water and sewer construction works.	Replace waste collection vehicles on a 4-yearly cycle.	Review Waste Management Centre filling plans to ensure the optimum long-term strategy is delivered, and to enable future planning timelines to be developed.	Work with NetWaste on waste projects and opportunities, for greater diversion from landfill and increased efficiencies.
Deliverable Actions over the next 4 years			Maintain and upgrade existing waste infrastructure to meet stakeholder requirements.		Reduce waste to landfill.
Bathurst 2040 Objective reference			1.4 3.3 4.3 6.2	0.0	2.2 3.3 6.1 6.2 6.6

Examples include recycling of waste tyres, mattresses, Household Chemical Cleanout, Waste 2 Art and collection and recycling of scrap metal. Recycling and organics collection service started in April 2016. The contract is proceeding well. A textile recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in	Examples include recycling of waste tyres, mattresses, Household Chemical Cleanout, Waste 2 Art and collection and recycling of scrap metal.  Recycling and organics collection service started in April 2016. The contract is proceeding well. A textile recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.	Examples include recycling of waste tyres, mattresses, Household Chemical Cleanout, Waste 2 Art and collection and recycling of scrap metal. Recycling and organics collection service started in April 2016. The contract is proceeding well. A textile recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.  For 2021/22 to the end of May 2022, food and garden tonnage is 5240 and recycling is 2005 giving a total of 6827 tonnes.  25,532,400 tonnes of food and garden waste have been sent for composting in the first 74 months (April 2016 to May 2022) inclusive.	f waste tyres, cal Cleanout, Waste 2 ing of scrap metal. ction service started in ceeding well. A textile ucted. The Garage with over 55 over 2 weekends in 4 7 2022, food and recycling is 2005 giving d garden waste have the first 74 months (April als show a diversion ones, or over 39.6	f waste tyres, cal Cleanout, Waste 2 ing of scrap metal. ction service started in ceeding well. A textile ucted. The Garage with over 55 n the 2021 Garage over 2 weekends in y 2022, food and recycling is 2005 giving clecycling is 2005 giving a garden waste have the first 74 months (April als show a diversion ones, or over 39.6 e. a where education a where education a recycling contract underway.
April 2016. The contract is proceeding well. A tex recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in	April 2016. The contract is proceeding well. A tex recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.	April 2016. The contract is proceeding well. A textile recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.  For 2021/22 to the end of May 2022, food and garden tonnage is 5240 and recycling is 2005 giving a total of 6827 tonnes.  25,532,400 tonnes of food and garden waste have been sent for composting in the first 74 months (April 2016 to May 2022) inclusive.	April 2016. The contract is proceeding well. A tex recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.  For 2021/22 to the end of May 2022, food and garden tonnage is 5240 and recycling is 2005 giving total of 6827 tonnes.  25,532,400 tonnes of food and garden waste havbeen sent for composting in the first 74 months (A 2016 to May 2022) inclusive.  Combined with recycling, totals show a diversion from landfill of over 39,672 tonnes, or over 39.6 million kilograms over this time.	April 2016. The contract is proceeding well. A tex recycling trial has been conducted. The Garage Sale Trail 2020 was a success with over 55 households participating, with the 2021 Garage Sale Trail, now has been held over 2 weekends in November 2021.  For 2021/22 to the end of May 2022, food and garden tonnage is 5240 and recycling is 2005 giving a total of 6827 tonnes.  25,532,400 tonnes of food and garden waste havbeen sent for composting in the first 74 months (A 2016 to May 2022) inclusive.  Combined with recycling, totals show a diversion from landfill of over 39,672 tonnes, or over 39,6 million kilograms over this time.  Sustainability is one focus area where education works are continuing, and the recycling contract education strategies are also underway.
househ Sale Trc	househ Sale Trc Novem	Manager For 202 Water and garden Waste a total (25,532,4)		
		10 recycling promotion and education programs run.  Monitor combined diversion and report 6 monthly.	10 recycling promotion and education programs run. Monitor combined diversion and report 6 monthly.	10 recycling promotion and education programs run. Monitor combined diversion and report 6 monthly.
		Council to continue education and promotion of appropriate WasteWise behaviours regarding green waste and recycling. Promote recycling to maximise diversion from landfill.	Council to continue education and promotion of appropriate Wastewise behaviours regarding green waste and recycling. Promote recycling to maximise diversion from landfill.	Council to continue education and promotion of appropriate WasteWise behaviours regarding green waste and recycling. Promote recycling to maximise diversion from landfill.
		Coul Was: regc	Cour wasi rego	and was: rego recy max

Bathurst 2040	Deliverable Actions over	Operational Plan –				
Objective reference	the next 4 years	2021/2022 Projects / Tasks	Tracking our Progress	Officer	Action Year to Date	Status
					continuing with a separate Council contract	
					arangerien.	

### Recreation

Status		000		000	
N N					
Action Year to Date	Works progressed slowly with significant rain and covid related delays. Both playing surfaces were finally constructed with turf having been laid at end of April 2022. Establishment and sand slit drainage works to be undertaken in Spring 2022 as per contract requirements. Risk of possible turf establishment failure is high due to tuff being laid late in the season.	Budget reallocated to Macquarie View Tennis club house due to the need for essential repairs. Contract awarded for major renovations to clubhouse building and construction of new amenities facility. Significant delays experienced with suppliers & materials due to Covid. Works 80% completed, anticipate full construction works completed by end August 2022.	Main infrastructure and field construction works completed, including turfing in early April 2022. Significant delays in experienced due to covid supply issues and regular rain delays. Establishment and sand silf drainage works to be undertaken in Spring 2022 as per contract requirements.	Tenders closed 26 October and reported to Council on 16 February 2022. Council resolved not to accept the only tender submission due to high price. Council also resolved to make further funding available in the 2022/23 Operational Plan and call tenderer again in the 2022/23 financial year.	Ongoing as part of adopted maintenance service levels and funding
Responsible Officer	Manager Technical Services	Manager Recreation	Manager Recreation	Manager Recreation	Manager Recreation
Tracking our Progress	Construction of 5 & 6 <sup>th</sup> sports fields at Hereford Street	Replacement of synthetic turf surface to 2 courts – John Matthews Tennis Centre	Reconstruction of the playing field – Bathurst Sportsground	Construct stage 1 of Centennial Park Masterplan	Maintenance activities undertaken to all recreation Assets
Operational Plan – 2021/2022 Projects / Tasks	Construct additional facilities as determined in budget.	Update sporting venues, including associated infrastructure. Update parks including associated infrastructure.			Maintain existing levels of service to all parks, reserves, open space areas and other recreational facilities
Deliverable Actions over the next 4 years	Plan for increasing population and aging population in the provision of suitable recreational projects				Maintain existing and future recreational areas.
Bathurst 2040 Objective reference	1.4 5.1 5.5				1.4 5.1 5.5

provisions of the current Council Operational Plan.	Community and volunteer tree planting proposed to commence in August 2021 was postponed due to Covid restrictions and Bathurst Lockdown orders. Volunteer programs recommenced in January 2022. A total of Eleven tree planting / volunteer engagement days were held this financial year.	Revegetation site protection fencing complete. Stage 1 of woody weed control commenced in December 2020. Plant supply contract awarded. Community planting recommenced in January 2022 with school programs starting in April 2022, and main contract planting commenced in early June 2022. All on-site works under this grant completed at end of June 2022. Works also to include a 12 month maintenance program which will expire June 2023.	Draft plan developed and presented to Council in August 2021. Plan placed on public exhibition and closed September 2021. Council adopted the Vegetation Plan at its October Ordinary Meeting 2021. Project complete.
	Manager Recreation	Manager Recreation	Manager Recreation
in accordance with adopted maintenance service levels in the Asset Management Plan.	Arrange for 11 Tree Planting and volunteer engagement activities.	Complete the revegetation component of the Queen Charlotte's Vale Creek Grant Project	Develop a Vegetation Plan Of Management for Brooke Moore Woodland Reserve
	To ensure that appropriate Environmental Management Plans for the Bathust Region are current, relevant and provide long term strategies for the Region		
	Continue environmental programs identified within the Bathurst Vegetation Management Plan		
	1.4 5.5 5.5		

# Corporate Services & Finance

time equivalent staff in 20 locations and attracting and keeping good people is our priority. For the fourth time in succession, in the bi-annual Employee Opinion Looking after its staff and ensuring open and transparent government is the main priority at Bathurst Regional Council. Council employs approximately 378 full Survey, Council rated above the Australian Local Government Industry Standard for employee satisfaction.

## **Human Resources**

Action Year to Date Status	to regularly meet ithin the NSW IO	urrent HR issues and aproved service we also regularly HS and Training. HR and Training are also ongoing as size to BRC. cilitated by LGNSW HR staff. The two HR attending the are conference velopment aff involved (and the staff involved (and the
	Council HR continues to regularly meet with other Councils within the NSW JO area as part of quarterly HR Group meetings, to discuss current HR issues and	exchange ideas for improved service delivery. In addition, we also regularly meet now with the WHS and Training Development groups. HR meetings with "Evo-city" council HR are also ongoing as all Councils of similar size to BRC. Quarterly meetings facilitated by LGNSW are also attended by HR staff. The two HR Business Partners are attending the LNGNSW HR conference. This conference is not only a great development opportunity for the staff involved (and hence Council) but also an excellent helevorking opportunity.
Council HR continues to re with other Councils within	area as part of quarterly the meetings, to discuss current exchange ideas for improventions to additional to addit	delivery. In addition, we at meet now with the WHS at Development groups. HR "Evo-city" council HR are call Councils of similar size to Quarterly meetings facilita are also attended by HR st Business Parthers are atten INGNSW HR conference. I is not only a great develop opportunity for the staff in hence Council) but also a
	Resources are an are	
	Participation of HR Team members in relevant HR meetings and networking opportunities working	with relevant committees and sub-committees to ensure developing & implementing HR best practice.
2021/2022 Projects / Tasks	HR HR Inditional factors of the fact	<u></u>
4 years	d on is with identify onal	
reterence	6.2. 6.2. 6.0.000	

Bathurst 2040 Objective reference	Deliverable Actions over the next 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
					learning platform. This should support all staff to complete their required compliance training during their probation period with an aim to have most staff completed within their first month of employment Changes to the post recruitment through to end of probation have also now been further streamlined. Plans to review and improve the recruitment process will be commenced later in 2022.  Work to develop the Employee Engagement Program and Workforce strategy has commenced.	
· · · · · · · · · · · · · · · · · · ·	Provide a range of education and training opportunities for Council's workforce.	Implement targeted position to support education & training of BRC staff.  Develop and implement BRC Training policy and plan.  Implement plan.	Training & Development now centrally coordinated across Council.  Training & Development policy and plan implemented.	Manager Human Resources	The Performance Appraisal process implemented in 2020 has been further streamlined. Further improvements based on feedback continue to be made. Improvements in relation to education & training have been implemented as part of this process, including dedicated resource to support co-ordination of staff training & development. The BRC Training Plan has also now been developed and adopted.  The BRC Workforce Management Plan and supporting internal action plan now completed and endorsed.	
	Develop and implement programs and initiatives to foster a strong leadership culture.	Review current framework that underpins leadership capability and identify areas for improvement.  Focus on improvement of Employee Engagement Programs and supporting training.	Management to leadership training arranged for all Managers. Employee Engagement policy drafted. Training & Development policy and plan implemented.	Manager Human Resources	A full review of this area has now commenced with plans to development an Employee Engagement Program covering all aspects of the employee lifecycle and focus on career development and succession planning. The Employee Engagement policy has now been approved through Dept. Heads.  Further improvements will continue to be implemented as part of the revised Performance strategy across all staff levels.  Targeted Senior & Middle Management training has commenced with stage 1 of this training completed as well as second	

1		
Status		
Action Year to Date	round coaching sessions. The focus on 2022 will be connectiveness. This new phase commenced Mid March 2022. And has now been rolled out to stage 2. Stage 3 was launched May 2022. ECI training conducted 2 & 3 June GM, Directors &	Managers.
Responsible Officer		
Tracking our Progress		
Operational Plan – 2021/2022 Projects / Tasks		
Bathurst 2040 Deliverable Actions over Objective the next 4 years		
Bathurst 2040 Objective reference		

Status		00		000
Action Year to Date	All Council policies are undergoing review. Policies are then forwarded to Council meetings for adoption. Program continuing.	Online Contract Register is available. We continue to review opportunities for improvement.	lapplication received in July 2021. Application has been processed. I application has been processed. I application has been processed. I application has been processed. 2021. Application has been processed. Nil applications received in October 2021. Applications received in October 2021. Applications received in December 2021. Applications received in December 2021. I application received January 2022. Application has been processed. I application has been processed. I application has been processed. Capplication has been processed. I application has been processed. I application has been processed. Capplications received April 2022. Applications received April 2022. Applications received April 2022. Applications received April 2022. Sapplications received June 2022. Sapplications were finalised. Capplications were finalised.	Information Services Disaster Recovery Plan scheduled to be tested on 21 August 2021 has been deferred for testing once again. A suitable date for testing has
Responsible Officer	Manager Corporate Governance	Manager Corporate Governance	Manager Corporate Governance	Manager Corporate Governance
Tracking our Progress	Individual Policies reviewed for relevance and compliance with statutory requirements	Register updated monthly.	(formal and informal) actioned in actioned in accordance with statutory guidelines.	Plan reviews completed
Operational Plan – 2021/2022 Projects / Tasks	Regular review of Council's policies (Policy Manual).	Provision of Contract Register on Council's website.	Action requests for information under GIPA Act.	Review of Disaster Recovery Plan and Business Continuity Plan.
Deliverable Actions over the next 4 years	Ensure Council policies reflect community needs and organisational requirements.	Implementation of the Government Information Public Access Act (GIPA Act)		Ensure Council's continuity of operations.
Bathurst 2040 Objective reference	6.4 6.8 8.8	6.5		6.4 6.4

deferred to arly 2022.			
restrictions. Testing has been deferred to a later date yet to be set in early 2022.			
restrictions. 1 a later date			

Status						00•	00•	00
Action Year to Date	Penetration testing was performed on the week of the 6th of December. Council has received the testing report. This testing included external and internal penetration testing. Council's IT section is has created a plan to correct the issues identified and is currently working through it.	Multi Factor authentication has been deployed to all staff. Staff have been assisted where necessary.	Training has been purchased and a schedule has been developed. Training will now continue on a rolling basis.	An immutable storage device has been purchased and configured. Backups to this device have begun	Cyber security framework and documents have been developed. The Framework was approved by the General Manager on 29th of June. Discussions are now on going with risk owners.	The new VOIP phone system has been pushed to fiscal year 22-23 as we proceed with the current proof of concept for teams calling.	Full DR testing is being rescheduled for fiscal 22-23 After testing a report will be written detailing the results obtained.	Stage 3 of the CBD CCTV system has been installed and is operational.
Responsible Officer	Manager Information Services	Manager Information Services	Manager Information Services	Manager Information Services	Manager Information Services	Manager Information Services	Manager Information Services	Manager Information Services
Tracking our Progress	Allcom Networks were engaged to perform the Penetration testing	Multi Factor authentication purchased configured and deployed to staff.	Cyber Security training purchased, and training program implemented.	Cloud storage for backups implemented and regular backups instigated.	Cyber Security Framework developed and approved by the General Manager	Phone system installed and functioning.	Tests performed and results reported to General Manager.	System installed and functioning.
Operational Plan – 2021/2022 Projects / Tasks	Perform Penetration testing to ensure the security of BRC Data	Implement Multi Factor Authentication for all staff that require external access to BRC data and systems.	Implement a regimen of Cyber Security training for all staff at BRC.	Implement regular backup to cloud based data repository to defend BRC against ransom ware attack.	Develop and implement Cyber Security Framework and ancillary documents to guide BRC's cyber security program	Implement cloud based VOIP telephone system.	Perform Disaster Recover testing at BRC's DR site.	Implement Stage 3 of CBD CTV
Deliverable Actions over the next 4 years	Improve long-term viability and availability of electronic data for both the current and long term.							Support the Smart Cities project.
Bathurst 2040 Objective reference	८, ८, ७, ६, २७, ७,							2.2 2.3 2.6

Status			00		$\bigcirc\bigcirc\bigcirc$	
Action Year to Date	Draff Long Term Financial Plan for 2022/23 approved by Council .18/05/2022. Public submissions closed 17/06/2022, then adopted by Council on 29/06/2022.	Council has not applied for a special rate variation for 2022/23 Operating/Delivery Plan.	As per 2020/21 Financial Statements achieved 6.29%	(2019/20 6.49%) (2018/19 6.22%) (2017/18 6.17%) (2016/17 5.68%) (2015/16 5.85%)	As per 2020/21 Financial Statements achieved 1.71 times (2019/20 1.06) (2018/19 2.17) (2017/18 3.66) (2016/17 4.12) (2015/16 3.95)	At 30th June 2022 current year average:  Investment earnings – 1.06% (2020/21 average 0.79%)  O.79%)
Responsible Officer	Manager Financial Services		Manager Financial Services		Manager Financial Services	Manager Financial Services
Tracking our Progress	Long Term Financial Plan complete and adopted by Council.	Special Rate Variation considered by Council.	Rates and Charges Outstanding Ratio less than 10%.		Debt service cover ratio greater than 2.	Outperform monthly 90 day bank bill swap rate.
Operational Plan – 2021/2022 Projects / Tasks	Review need for special variation in rate income.		Improve Council's cash flows.		Ensure Council's level of debt is manageable.	Maximise invested funds within prudential guidelines.
Deliverable Actions over the next 4 years	Ensure Council's long term financial sustainability.					
Bathurst 2040 Objective reference	6.9					

Status			
Sta			
Action Year to Date	<ul> <li>Successfully delivered the Bathurst winter festival with the out door ice rink, illuminations, food and wine events, music, entertainment, business engagement, rides and community sprirt.</li> <li>The festival presented many challenges with major construction works for the Court House changing the illumination locations and layout of the whole festival. One day one of the festival, the NSW Government put Sydney into lockdown due to Covid 19 threats and introduced new restrictions. These restrictions reduced capacity on the ice rink and the over all number of people in one space. Despite these challenges, the festival was still a success and the community was able to embrace the festival.</li> <li>The illumination location footprint was spread wide over Bathurst to ensure social distancing was maintained. The theme for this year was People &amp; Place with illuminations featuring stories and talents of local Bathurst people through art, music, photography and movement.</li> <li>Food and wine nights still went ahead as part of the festival, with reduced capacity and a more local focus. The festival footprint was reduced to cater for smaller crowds. Entertainment moved to showcase the locals with outside of region musicians and entertainment unable to attend.</li> <li>Overall, the festival was a local success for community, businesses and residents</li> </ul>	August	Wrap up of the Bathurst Winter festival. Which includes settlements, debriefs with wide variety of stakeholders, surveys, future planning and thanking those who were involved.  Planning underway for car racing events; Bathurst 1000 off track events, challenge Bathurst, Bathurst International – working with the ever-changing dates and restrictions  Planning underway for NYE – working with multi busing a planning underway for NYE – working with multi busing a planning the planning the planning planning and planning planning with multiplaners.
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Responsible Officer	Manager Events		
Tracking our Progress	99% or more of residents attend an event.		
Operational Plan – 2021/2022 Projects / Tasks	Deliver events including New Years Eve, Australia New Years Eve, Australia Classic, NRL game, Bathurst 1000 off track events.		
Deliverable Actions over the next 4 years	Coordinate and deliver events to enhance the cultural life of residents and promote the Bathurst Region		
Bathurst 2040 Objective	7		

Planning for school holiday activities with change of date of Bathurst 1000. This includes chalk art and the popular scavenger hunt from 2020     Reporting on previous events for the GM – NRL, Cycling Classic and Winter festival     Award submission for 2019 Winter festival     Updating the event Manual	Planning for Love your Local campaign. This includes promoting local business, providing activities for children, engaging the local community.     Event manual complete     Planning undertaken for car races Bx1000 off track events.     Working with community groups to deliver on events not run by council.	October	Planning undertaken for car races Bx1000 off track events, Challenge Bathurst, and Bathurst 6 hour Planning underway for NYE and Australia Day Delivered on love your local campaign during covid lockdown. 338 Businesses listed, 2,000 craft activity booklets posted. Community engagement on social media – reach 19,341 people Planning for Bathurst Winter Festival – 3 year Tenders for Ice rink and Illuminations Finalist for NSW Tourism Awards – Bathurst Winter Festival Re-structured BRC Event website.	November	Event delivery of Challenge Bathurst including campground administration, reception, fit out and general event assistance     Event delivery of Garage Sale Trail – 30 stalls registered     Installation of Christmas decorations in CBD.     Tenders Advertised for the Bathurst Winter Festival Ice Rink & Illuminations     Events Facebook page reached 19,343
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December	<ul> <li>Event delivery of Bathurst 1000 off track events.</li> <li>328 entries for the Winners presentation, 67 tickets sold to the Legends at the Museum event</li> <li>Saturday Street Fair - 12 food vendors, 2 alcohol vendors, 20 market stalls and 1587 rides tickets sold</li> <li>Event delivery of NYE Party in the Park</li> <li>4,323 tickets sold to NYE Party in the park</li> <li>Live streaming of Fireworks display had a reach 2,060</li> <li>Campground tickets on sale for Bathurst 6 Hour</li> <li>Events Facebook page reached 21,905</li> </ul>	January	<ul> <li>Delivered on Australia Day activities – Citizenship &amp; awards ceremony, Free entry to the Manning Aquatic Centre, 2 x free BBQs</li> <li>NRL tickers on sale</li> <li>Reports finalised for NYE &amp; Bx1000 Off track events</li> <li>Event survey and feedback sent for NYE &amp; Bx1000 off track bx1000 off track events</li> <li>Event Sarbook page reached - 21,191</li> </ul>	February	<ul> <li>Planning commenced for Bathurst Winter Festival</li> <li>Campgrounds on sale for the Bathurst 12 Hour</li> <li>Planning continues for Bathurst NRL</li> <li>Events Facebook reach – 17, 194</li> <li>Wrap up of Australia Day includes settlements, debriefs with wide variety of stakeholders, future planning and thanking those who were involved.</li> </ul>	March	Event delivery of Bathurst NRL. Largest crowd in attendance of 11,253. All accommodation within Bathurst was booked out. 308 participants in the Club Parade, 53 participants in all abilities league tag and Group 10 match took place prior to the main game.  Planning continues for the Bathurst 6 hour and

Assisted with pariming and implementation of Summer Nights Fund with Economic development.	Wrapping up of Bathurst NRL and reporting Planning and execution of Bathurst 6 Hour Discussions with event promotors for Vanfest 2022 Planning underway for winter festival Planning for Proclamation Day and Bathurst 12 Hour		Planning and execution of Proclamation Day and Bathurst 12 Hour Execution of Track to Town as part of 12 Hour Applied for Holiday Grant funding and received it Pre planning for Bathurst winter festival Sourcing sponsors for the Bathurst Winter Festival Hiring of a casual events assistant		Wrapping up of previous events Launching the Bathurst Winter Festival Logistics, coordination and booking of entertainers for the winter festival Applying for state government funding
• April	• • • •	Мау	• • • • •	June	• • •

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Status		
Action Year to Date	Sunnybright Stages 'A', 'B' and 'C' had <u>all</u> lots sold and settled as of 31 December 2021.  Kelso Industrial Park has 0 lots available at end of March 2022.  Stage 11 of Bathurst Trade Centre sold, pending DA approval. Expected March 2022.  Kelso Industrial Park grant funding (Drought Relief) – DA lodged, plans on hold due to Covid19.	Return on Investment document being created and completed December 2021.
Responsible Officer	Property Management Coordinator	Property Management Coordinator
Tracking our Progress	Provision of land to meet demands	Lease Register updated.
Operational Plan – 2021/2022 Projects / Tasks	Complete development of land in accordance with Council plans.	Review of Council's Property Portfolio
Deliverable Actions over the next 4 years	Manage development of new residential and commercial land releases to ensure appropriate level of supply.	Ensure best available return on investment on Council properties.
Bathurst 2040 Objective reference	1.5 6.4 6.8 6.8	2.1 4.1 6.4

## Corporate Communications

Status		
Action Year to Date	2021 Community Survey completed. Survey result found that 75% of the community is somewhat satisfied or higher (ie satisfied or very satisfied) with Council.	As 30June 2022: 100% consultation projects on Your Say Bathurst (Irrigation portal, Lodging planning applications online, Bathurst town centre master plan, Streets as Shared spaces, Financial Assistance COVID-19 Stimulus measures, Expressions of Interest former TAFE precinct, Bathurst Region Heritage Plan 2021-2025, Our Region Our Future, Heritage Assistance Fund, Draft Delivery Program & Operational Fund, Wattle Flat Public Recreation Reserve Management Plan, Long Term Financial Plan, Laneway Naming, Development Control Plan changes, Pillars of Bathurst, Emissions Reduction Plan, Employment Zone reform, Proposed Miller & Gormans Hill Park Upgrades, Contaminated Land Policy Social media followers:  July: 14,953 August: 15,189 September: 15,374 October: 15,444 November: 15,374 October: 15,444 November: 16,316 March: 16,514 May: 16,531
Responsible Officer	Manager Corporate Communications	Manager Corporate Communications
Tracking our Progress	Overall satisfaction rating > 70%	All consultation projects included on the "Your Say" platform Followers on social media > 13,000 BRC Website visits > 40,000
Operational Plan – this year's Projects / Tasks	Bathurst Regional Council Community Survey.	Ensure community consultation occurs
Deliverable Actions over the next 4 years	Communicate and engage with the community	
Bathurst 2040 Objective reference	6.1	

Mount Panorama: 8,901  Museums: 6,439  Art Gallery: 2,301  Cobb & Co: 831  Hill End Art: 421  Bathurst Childcare: 258  Bathurst Cycling Festival: 110  June total: 75,702

## Cultural & Community Services

Bathurst Regional Council supports a vibrant culture and community. Lifestyle in the Bathurst Region is enriched by providing a diverse range of cultural facilities and programs and by promoting cultural diversity. Community well-being is promoted through social planning, community development and ensuring access to community services.

## Community Services

Status	
Action Year to Date	YTD Six (6) Community Safety Committee meetings held.  Five (5) campaigns undertaken in accordance with the Bathurst Community Safety Plan, during the year.  Community Safety initiative was organised by Bathurst Regional Youth Council and Children's Services. Children at Scallywags created an artwork to present to a neighbour along with community safety information, in May 2022.  Social media campaign was delivered for Scams Awareness Week In November 2021.  Fraud workshop was held in collaboration with NSW Police as part of the Seniors Festival 2022 program, February 2022.  Don't Be Next Break and Enter Residential advertising recommenced in the lead up to school holidays, June 2022.  The Red Bench project continued in 2021 - 2022. There are now six Red Benches installed throughout the region.
Responsible Officer	Manager Community Services
Tracking our Progress	Provide administrative support to four (4) meetings of the Bathurst Regional Community Safety Committee. Relevant campaigns /projects developed and implemented as per actions identified in the Bathurst Community Safety Plan.
Operational Plan – 2021/2022 Projects / Tasks	Undertake the actions identified in the Bathurst Community Safety Plan in partnership with the Bathurst Regional Community Safety Committee
Deliverable Actions over the next 4 years	Work in parthership with key stakeholders to develop administer and deliver community planning that reflects the strengths and needs of specific sectors and the community as a whole.
Bathurst 2040 Objective reference	5.1 5.3 5.5 5.5

Status		
Action Year to Date	Review of actions and strategies listed in the Disability Inclusion Action Plan (DIAP) 2017-2021.  14 of 50 actions COVID-19 affected (28%) 26 of 50 actions complete (52%) 10 of 50 actions incomplete (20%) while COVID-19 has had an impact on the DIAP with 14 out of the 50 actions affected (28%).  Many actions, although marked complete, are ongoing and remain a priority for Council.  The Draft Disability Inclusion Action Plan 2022 - 2027 was placed on public exhibition seeking feedback by 27 May 2022.  Consultation for the second DIAP concluded in Auaust 2021.	The Draft Positive Ageing Strategy 2021-2026 was adopted by Council 16 June 2021 (DCCS Report #8.5.5.1) to be placed on public exhibition until 15 July 2021.  The Positive Ageing Strategy was presented to Council and adopted by Council on 18 August 2021 (DCCS Report #8.4.2.1)  Monthly review of actions was completed in June 2022.  YTD twenty-eight (28) of fifty-nine (59) actions are in progress (47%).  A program of events concluded on 3 April 2022 to celebrate Seniors Festival.  Creating Connections, a program aiming to combat social isolation in older people, was held in May 2022.
Responsible Officer	Manager Community Services	Manager Community Services Community Services Manager Community Services Manager Community Services
Tracking our Progress	Monthly review to defermine the number of actions in progress or complete.  Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Disability Inclusion Action Plan (DIAP).  Research and draft second DIAP 2022-2026	Draft Positive Ageing Strategy adopted by Council for public exhibition. Final Positive Ageing Strategy adopted by Council, following public exhibition Monthly review to defermine the number of actions in progress or complete.  Relevant Community Services initiatives/projects developed and implemented as per actions identified in the Positive Ageing Strategy.
Operational Plan – 2021/2022 Projects / Tasks	Implementation of the strategies and actions identified in the Disability Inclusion Action Plan (DIAP) that address each of the four focus areas of the plan 2017-2021.	Adopt Positive Ageing Strategy and implement strategies and actions identified in the Strategy
Deliverable Actions over the next 4 years		
Bathurst 2040 Objective reference		6.3

Status		
Action Year to Date	<ul> <li>YID, six (6) community development projects were delivered including:</li> <li>Council NAIDOC Week Celebration and Flag Raising Ceremony held at Bathurst Memorial Entertainment Centre on 6 July 2021</li> <li>Dance Workshops and Community Hub in February 2022, in partnership with Bathurst Local Aboriginal Land Council</li> <li>Seniors Festival Aboriginal and Torres Strait Islander elderty care packages delivered to 30 elders during Seniors Festival, March 2022</li> <li>National Sorry Day commemoration held at the Civic Centre on 26 May 2022</li> <li>National Reconciliation Week football and fun event held at Kelso Community Hub on 27 May 2022</li> <li>Council NAIDOC Week Celebration and Flag Raising Ceremony held at Bathurst Memorial Entertainment Centre on 30 June 2022.</li> <li>Consultation for the Aboriginal Commitment Strategy was held from January to March 2022.</li> <li>The draft Strategy has been designed for</li> </ul>	adoption.  YTD, six (6) collaborative projects were facilitated including:  • Vaccination Clinics provided by; NSW Health, Western Area Health, Moderna Vax Clinic (Oct 2021 – Jan 2022)  • Christmas Photos and Hampers in conjunction with Bathurst Local Aboriginal Land Council, December 2021  • NSW Police – Holiday activities, January 2022  • Corroboree Workshops over four (4) days, February 2022
Responsible Officer	Manager Community Services Manager Community Services	Manager Community Services
Tracking our Progress	Deliver two (2) community development projects  Research and draft Bathurst Regional Council's Aboriginal Commitment Strategy	Facilitate two (2) collaborative projects with key stakeholders at the Kelso community Hub. Information distributed regarding hire of Kelso Community Hub to meet the needs of community.
Operational Plan – 2021/2022 Projects / Tasks	Collaborate with key stakeholders to develop and deliver programs/ activities to meet the needs of the Indigenous community.	Encourage and facilitate the use of Kelso Community Hub to meet community needs
Deliverable Actions over the next 4 years		The provision of the Kelso Community Hub as a safe community hub and venue for outreach service provision that meet the needs of the community.
Bathurst 2040 Objective reference		5.1 4.3 1.3 5.4 6.2 6.3

Status					00								
Action Year to Date	<ul> <li>Reconciliation Week Touch Football affernoon, May 2022</li> <li>Aboriginal Commitment Strategy, consultation. February 2022</li> </ul>	YTD information distributed to twenty-eight (28) organisations.	YTD Two (2) updated reports provided to Council 16 March 2022 (DCCS Report #9.5.1) and Working Party 22 June 2022 (DCCS Report #2.2.1)	YTD eight (8) Youth Council main meetings were held with 14 Youth Councillors in attendance.	YTD thirteen (13) activities undertake, which included:	<ul> <li>R U Ok Day, September 2021</li> <li>COVID-19 Competition – keeping positive during COVID-19 online arts competition, October 2021</li> </ul>	<ul> <li>Christmas Scavenger Hunt, December 2021</li> <li>Participation at the Bathurst Street Fair, December 2021</li> </ul>	Australia Day recognition and award ceremony January 2022     Bathurst Vauth Art Briting (BBAC) 2022	NSW Youth Council conference Goulburn,     February 2022	<ul> <li>Bathursf Corroboree, February 2022</li> <li>International Women's Day March 2022</li> </ul>	Harmony Week 2022     Chass the Painhow April 2022	Anzac Day April 2022	Scallywags' Long Day Care to acknowledge Neighbourhood Day June 2022
Responsible Officer				Manager Community Services	Manager Community Services								
Tracking our Progress	Provide two (2) Kelso Community Hub update reports to Council.			Facilitation of six (6) Bathurst Regional Youth Council meetings, including attendance numbers	Undertake and/or participate in six (6) initiatives, activities,	programs and events.							
Operational Plan – 2021/2022 Projects / Tasks				Value and support opportunities for young people to understand the processes of Local Government and be involved in relevant projects.									
Deliverable Actions over the next 4 years				Value and support opportunities for young people to understand the processes of Local Government and be involved in relevant projects.									
Bathurst 2040 Objective reference				5.1 5.3 1.3 6.2 6.3									

Status					$\bigcirc\bigcirc \bullet$	
Action Year to Date	YTD 100% of the policies have been reviewed and updated to align with the industry and regulatory requirements.	YTD Both Family Day Care and Long Day Care have current Self-Assessment tools in place.  For the year, three (3) reviews have occurred on the service documents including:	Scallywags Long Day Care developed their Self-Assessment tool, submitted for Assessment and Rating visit April 2021     Development of Family Day Care Self-Assessment tool January 2022     Family Day Care and Long Day Care documents, moved to new regulatory document May 2022	YTD no peer reviews were undertaken for the year due to COVID-19 restrictions.	YTD Zero (0) surveys were undertaken for Long Day Care and Family Day Care for the year.  During a period of uncertainty for the sector, due to COVID-19, continuous communication occurred with families.	YTD one (1) Children's Services update report was reported to the 15 June 2022 Council meeting (DCCS Report #8.5.1), providing an update on all aspects of service delivery for 2021-2022 for both Family Day Care and Long Day Care.
Responsible Officer	Manager Community Services	Manager Community Services		Manager Community Services	Manager Community Services	Manager Community Services
Tracking our Progress	50% of policies reviewed	Develop and Maintain current Service Self- Assessment		Undertake one (1) peer review of educational programs in long day care services	Facilitate one (1) survey for Family Day Care (FDC) and Long Day Care (LDC) families for review of service delivery.	Provide one (1) Children's Services update report to Council
Operational Plan – 2021/2022 Projects / Tasks	Update policies and procedures to ensure alignment with:  1. Education and Care Services National Quality Standards.	2. Education and Care Services National Regulations and Law		Undertake actions identified in the Children's Services Strategic Plan 2021-2023		
Deliverable Actions over the next 4 years	Provision of high-quality childcare facilities to cater for children aged 0-12 years in the Bathurst Community			The provision of Council's Children Services, setting a benchmark for education and care in the Bathurst LGA		
Bathurst 2040 Objective reference	5.1 5.2 5.3 5.4			6.3 6.4 6.7		

Status		000	000			$\boxed{\bigcirc\bigcirc\bigcirc}$
Action Year to Date	YTD the occupancy rate has increased to 98%. Occupancy rates have remained consistently high with any vacancies being filled immediately when becoming vacant.	YTD two (2) Family Day Care Educators have been recruited with a 17.5% increase in Educator numbers.	YTD the average daily aftendances increased by 12.3%/ Reduced daily averages were due to COVID-19.	YTD zero (0) information evenings held due to COVID-19 restrictions.	YTD five (5) marketing mechanisms implemented during the year, primarily through Facebook.  Mechanisms included promoting the service through the shaing of major activities or events to gain community interest; promoting recruitments drives; acknowledgement of significant events, such as Reconciliation Week.	YTD three (3) marketing measures were undertaken during the year, through the promotion of the preschool program and activities via the Facebook page.
Responsible Officer	Manager Community Services	Manager Community Services	Manager Community Services	Manager Community Services	Manager Community Services	Manager Community Services
Tracking our Progress	85% occupancy rate for long day care	30% increase of Family Day Care Educators	20% increase in daily usage of family day care	Deliver two (2) family information evenings for Children's Services	Facilitate two (2) marketing mechanisms	Facilitate one (1) marketing mechanism relating to the Preschool Program
Operational Plan – 2021/2022 Projects / Tasks	Increase occupancy rates within Children's Services			Build communify awareness of services offered by Children's Services section		
Deliverable Actions over the next 4 years				Promotion of Children's Services.		
Bathurst 2040 Objective reference						

Status		
Action Year to Date	Zero (0) industry forums undertaken, due to COVID-19 restrictions.	Zero (0) surveys undertaken for the year, due to COVID-19 restrictions, core business only undertaken.
Responsible Officer	Manager Community Services	Manager Community Services
Tracking our Progress	Facilitate one (1) industry forum	Facilitate one (1) local survey
Operational Plan – 2021/2022 Projects / Tasks	Complete one (1) education and care needs analysis	
Deliverable Actions over the next 4 years	Connect and collaborate with Children's Services networks locally and regionally to ensure services provision reflects strengths and needs of the sector.	
Bathurst 2040 Objective reference		

## **Bathurst Library**

Status		000	000	000	000	000
Action Year to Date	YTD report to Council meeting on Wednesday 18 May 2022 (DCCS Report #8.5.4)	YTD, the total active membership of Bathurst Library is 11,047 = 26% of Bathurst population.  Library closed Sunday 15 August 2021 and reopened on Monday 18 October 2021 due to COVID-19 restrictions.	YTD: 65,060 people visited the library. Library closed Sunday 15 August 2021 and reopened on Monday 18 October 2021 due to COVID-19 restrictions.	YTD: 192 Programs delivered. Library closed Sunday 15 August 2021 and reopened on Monday 18 October 2021 due to COVID-19 restrictions.	YTD: 3,117 attendees Library closed Sunday 15 August 2021 and reopened on Monday 18 October 2021 due to COVID-19 restrictions.	YTD: 171,637 items borrowed Library closed Sunday 15 August 2021 and reopened on Monday 18 October 2021 due to COVID-19 restrictions
Responsible Officer	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services
Tracking our Progress	Report to Council by June 2022	Membership is 28% or more of total population	Yearly visitations are 84,000 or more (monthly average: 7,000)	Deliver 200 or more programs / events per year (monthly average: 16.6)	4,800 attendees or more to programs / events per year (monthly average: 400)	Loans exceed 240,000 per year (monthly average: 20,000)
Operational Plan – 2021/2022 Projects / Tasks	Review the Mobile Library Service	Maintain and improve membership base	Maintain and improve visitations	Maintain and improve program and event delivery	Maintain and improve attendance at programs and events	Maintain and increase circulation of all library material
Deliverable Actions over the next 4 years	Develop a strategic approach to planning the next-practice library	Maintain and improve community participation in the Library Services				Maintain and improve access to information and life-long learning
Bathurst 2040 Objective reference	4.3	က				بر د

Status	00•	00•		00•	00•			
Action Year to Date	Audit of Bathurst newspapers digitised on Trove and Bathurst Library physical microform completed and ongoing.	YTD: 32 digital literacy programs delivered	YTD 58 titles created for Book Club Book club kit collection launched June 2022.	YTD: 8 challenges launched and promoted	YTD: 12 monthly posts	YTD: Facebook: 3,622 Twitter platform has been archived. Note: Facebook changed from Likes to Followers in October 2021.	Report to Council and Survey Summary submitted to and noted at Ordinary Council Meeting Wednesday 17 November 2021 (DCCS report #8.5.1.1)	YTD: Two (2) new activities undertaken with local schools and day care centres.
Responsible Officer	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services	Manager Library Services
Tracking our Progress	Audit Bathurst newspaper collections for digitisation needs by June 2022.	Provide at least 20 technology sessions/workshops for adults yearly	Curate and promote the new Book Club kit collection (minimum 50 titles) by June 2022	Launch and promote four (4) online reading challenges by June 2022	Promote Wiradjuri and Aboriginal Collection content: one (1) promotion per month	More than 2,900 Facebook likes and more than 930 Twitter followers	Analyse and report on Library Community Survey by December 2021	Deliver at least two (2) new activities to local schools and two (2) new activities to day care centres by June 2022
Operational Plan – 2021/2022 Projects / Tasks	Improve online information	Improve adult digital literacy skills	Improve Readers Resources		Promote Wiradjuri and Aboriginal Collection content: 1 promotion per month	Growth in followers on the library social media platforms	Monitor community satisfaction with Library Services, Programs and Collections	Foster relationships with local schools and day care centres
Deliverable Actions over the next 4 years						Communicate and engage with the community		Maintain and create partnerships with local organisations and neighbouing councils
Bathurst 2040 Objective reference						6.1		6.2

Bathurst Regional Art Gallery

Status		
Action Year to Date	YTD: 70 Programs; 725 participants	<ul> <li>YTD: 8% increase</li> <li>July: 2 SHW, 20 participants.</li> <li>August: no activity. (lockdown)</li> <li>September: online Step into Spring activity. 10 participants. (lockdown).</li> <li>October: no activity (lockdown)</li> <li>November: Skillset (12)</li> <li>December: Home art making (119, 5 schools). Skillset (17). Scallywags (12)</li> <li>January: Home exhibition (119 students, 5 schools). A School Holiday workshops, 46 participants.</li> <li>February: Stannies (9 students), Home community session (9 teachers), Projector workshop (two teachers).</li> <li>March: HOME Teacher gallery induction (11 teachers, 259 students)</li> <li>April: School holiday workshop (5)</li> <li>May: Skillset visit (2 teachers, 15 students)</li> <li>June: In development: Luke Sciberras Education resource, school holiday workshops, term classes, Home Program students workshops</li> </ul>
Responsible Officer	Art Gallery Director	Art Gallery Director
Tracking our Progress	Minimum eight (8) public / education programs delivered per exhibition slot.	5% increase in school engagement on 2020/2021.
Operational Plan – 2021/2022 Projects / Tasks	Increase community participation and engagement through public programs and events	Increase student and teacher engagement through education programs and outreach
Deliverable Actions over the next 4 years	Provide a focus on the visual arts for the community by providing education and public programs that challenge thinking and stimulate creativity, and promote creativity, and promote cutural vitality in the region through the development and care of the permanent collection, temporary exhibitions and research facilities.	
Bathurst 2040 Objective reference	1.3	

Status			000
Action Year to Date	YTD: Twelve (12)) regional artist projects; Attendance: 27,412  1. Chester Nealie: Etched in Fire. June/July 2021 2. Euan Macleod & Andrew Merry: Stirring the Ash. 3. Angela Malone: Winter Paintlings. Attendance: 3,175 4. Karin Smith & Colin Fenn (31 July – 7 Nov) Attendance: 7,759 5. BRAGS Art Fair Online 1 – 30 Nov (3,940 online attendance) 6. Peter Wilson: Ceramics (20 Nov – 1 Jan). Attendance: 3,114 7. HOME 2021 (Jan). Attendance: 2609 8. CEL: Locust Jones, Genevieve Carroll, Harrie Fasher and Tom Buckland (Feb): 2275 9. Robert Hirschmann: Past Night (9 April – 5 June 1314)) 11. Hui Selwood (9 April – 5 June 1314)) 12. Luke Sciberras: Side of the Sky (9 June) YTD: Five (5) Commissioned Artworks: February: Harrie Fasher, Genevieve Carroll, Tom Buckland, Locust Jones; WBYK (Sonny Day and Biddy Maroney) - Projection art	YTD: Three (3) exhibitions of contemporary Aboriginal art. Attendance: 1196 1. Myall Creek and Beyond (31 July – 7 Nov) 2. Karla Dickens: Mother's Little Helpers (31 July – 7 Nov) 3. Paddy Fordham Wainburranga: Recent Acquisitions (31 July – 7 Nov)	EOI closed 9 December 2021. Ongoing In development, project currently under review.
Responsible Officer	Art Gallery Director	Art Gallery Director	Art Gallery Director
Tracking our Progress	staging of four (4) regional artist projects with at least 3,250 attendees Commission four (4) new works by regional artists.	Stage two (2) exhibitions of contemporary Aboriginal art.	Contract First Nations Curator.
Operational Plan – 2021/2022 Projects / Tasks	Provide opportunities for the professional development of regionally based artists.	Develop community access to and understanding of contemporary indigenous art.	Develop First Nations led program for 2024.
Deliverable Actions over the next 4 years			
Bathurst 2040 Objective reference			

Status					
Action Year to Date	• August: RTAF application submitted (unsuccessful) • September: BRAG Art Store Collection Project # 2: hanging racks removed for relocation to CWCF • December: Create NSW Creative Capital Grant submitted (unsuccessful) • February/March/April/May/June: Meeting with Engineers re: amenities	YTD: Two (2) permanent collection exhibitions with 1196 attendees  1. Karla Dickens: Mother's Little Helpers (31 July – 7 Nov)  2. Paddy Fordham Wainburranga: Recent Acquisitions (31 July – 7 Nov)	YTD: Masterplan for Gallery refurbishment developed.	YTD: 10,448, 45% increase on 2020/2021. Target: 7,660.	YTD:  • May: EOI submitted, STATUS PENDING  • June: EOI additional information  requested
Responsible Officer	Art Gallery Director	Art Gallery Director	Art Gallery Director	Art Gallery Director	Art Gallery Director
Tracking our Progress	Gallery Store conversion project 'grant ready'.	Staging two (2) permanent collection exhibitions with at least 3,000 attendees combined	Develop Masterplan for Gallery refurbishment including permanent collection Foyer Gallery	Increase followers across social media platforms by 5% on 2020/2021 figures.	EOI for Hill End AIR leases complete.
Operational Plan – 2021/2022 Projects / Tasks	Develop community access to the permanent collection.	Develop community access to the permanent collection through exhibition, research, loans, and touring exhibitions		Increase community engagement on social media platforms.	Develop community understanding of the achievements of the Hill End Artists in Residency (AIR) Program.
Deliverable Actions over the next 4 years				Communicate and engage with the community	Promote cultural activity in the Bathurst CBD, neighbourhoods and the region's villages through the development of inclusive and accessible satellite programs and events, and the promotion of Hill End as a significant site of contemporary and historic Australian art and culture.
Bathurst 2040 Objective reference				6.1 2.6	5.2

Status				000
Action Year to Date	YTD: Two (2) residency exhibitions staged due to COVID-19 restrictions  1. December – February: Partnered with HEAC on 9x5 exhibition at CWA Hall in Hill End. Attendance: 257  2. February to April: Cel exhibition display work developed from Hill End Residency Intensive. Attendance: 2389	YTD:  May: EOI submitted, STATUS PENDING  June: EOI additional information requested	YTD: Seven (7) public art programs delivered:  1. July: Banha Belong Digital Mural 2. October-January: Step into Spring, Youth Programs 3. Feb: Let's Get Digital Workshops 4. Feb/March: Animate This! Youth workshop and Out There projections. 5. April: Nicola Mason: Banksia Heist (Out There Projector) 6. May: Served: We Buy Your Kids commission (TAFE Screens) 7. May: Out There Digital screens installed.	YTD: -9.6% on 2020/2021 Closed due to COVID-19 from 15 August – 19 October 2021.
Responsible Officer	Art Gallery Director	Art Gallery Director	Art Gallery Director	Art Gallery Director
Tracking our Progress	Staging of at least three (3) Hill End Artists in Residence exhibitions with at least 4,000 attendees combined	Expression of Interest for NPWS leases (Haefligers and Murrays) submitted.	Develop and deliver three (3) programs for Out There Bathurst platforms.	5% increase in revenue
Operational Plan – 2021/2022 Projects / Tasks	Develop Community understanding of the Hill End Arfists in Residence (AIR) Program	Ensure ongoing sustainability of the Hill End AIR cottage leases	Develop activities within the Public Art Policy as resources permit.	An increase on 2020/2021 total revenue generated from gallery retail and sales
Deliverable Actions over the next 4 years				Increase in revenue generated from gallery retail outlet and programs
Bathurst 2040 Objective reference				1.3 6.6

**Bathurst Memorial Entertainment Centre** 

Status			000	
Action Year to Date	Interim solution and Framework both finalised and provided on 12 July 2021.	YTD 12.5 tickets purchased per member. Member numbers for the 2022 Season are currently sitting at 66.	YTD venue attendance for the year totals 32,521 Closed due to COVID-19 from 15 August – 18 October 2021	YTD 14 season shows presented.  YTD seven (7) associated workshops were delivered.  Local Stages program:  • Kangaroo – world premiere with seasons in Cowra and Penrith  • Highway of Lost Hearts – local production with an additional season in Cowra  • Local Stages involved in the Regional Song Contest with four LEAP artists performing.  • Fast Cars and Dirty Beats new production in development  Bathurst Writers' & Readers' Festival was successfully presented in May with ten live, local events included.  • Local Stages contributed to the BARN / Local Stages contributed to the BARN / Local Giants residency program at St Josephs' Perthville in April with 8 regional projects from ten regional artists supported by three national mentors
Responsible Officer	Manager BMEC	Manager BMEC	Manager BMEC	Manager BMEC
Tracking our Progress	Timeline and interim solution provided by April Framework provided by April	Average of at least five (5) tickets per Member	Affendances exceed 55,000	Deliver approximately 14 Season and other events, seven (7) associated workshops and a Local Stages Program including LEAP program, local writers' and readers' festival and other performing arts development
Operational Plan – 2021/2022 Projects / Tasks	Consultant to develop framework, provide timeline, and produce interim solution	Maintain and improve average number of tickets purchased per Member	Maintain and improve venue attendance	Maintain and improve program and event delivery
Deliverable Actions over the next 4 years	Implement a strategic approach to planning the next-practice Performing Arts Centre	Maintain and improve community participation in BMEC services and activities		
Bathurst 2040 Objective reference	4.1 1.1 1.2 5.3 6.2	5.2		

Status	000	
Action Year to Date	YTD 3,926 attendees at Season events, Associated and Local Stages project attendees YTD total 4,415 being: YTD 1,772 at associated events YTD 2,643 at Local Stages events	In 2021 and 2022 the intrinsic impact study has seen the BMEC involvement in six instalments of national surveys to investigate and report on audience sentiment changes over the impact of the pandemic.  YTD 11.2% growth in facebook followers from June 2021  BMEC currently has:  4.168 facebook followers  1,115 instagram followers
Responsible Officer	Manager BMEC	Manager BMEC
Tracking our Progress	5,200 attendees or more to Season shows and 4,000 at associated and Local Stages projects per year	At least one (1) intrinsic impact study per year. 2% growth in social media followers over 2020/2021
Operational Plan – 2021/2022 Projects / Tasks	Maintain and improve atfendance at programs and events	Growth in community engagement
Deliverable Actions over the next 4 years		Communicate and engage with the community
Bathurst 2040 Objective reference		

#### Auseums

Status			
Action Year to Date	YTD total visitors to Council's Museums was 75,653 which is a 31% increase from 57,492 in the 2017/2018 Financial year.  Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order, re-opening in the week of 20 October, total ten (10) weeks.	YTD total education/school visitors to Council's Museums was 8,383 which is a 95% increase from 4,280 in the 2017/2018 Financial year.  Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order, re-opening in the week of 20 October, total ten (10) weeks.	Eleven exhibitions (target 6)  1. Chapman Collection – Australian Fossil and Mineral Museum  2. Online exhibition, Interpretations: A reproduced history – Chifley Home and Education Centre  3. Online exhibition – CSU Art Education students – Isolated Connections' – Chifley Home and Education Centre  4. Local Stories Cabinet, Michael Burrell story – Bathurst Rail Museum  5. Dick Johnson Exhibition – National Motor Racing Museum  6. 2002 Holden 427 Monaro and 2020 Holden ZB Commodore on loan from Garry Rogers Motorsport – National Motor Racing Museum
Responsible Officer	Manager	Manager	Museums
Tracking our Progress	Total increase of 8% in visitor numbers	Total increase of 8% in education/ school engagement	Minimum six (6) exhibitions, five (5) public programs and two (2) community events
Operational Plan – 2021/2022 Projects / Tasks	An increase of 8% total visitors from 2017/2018 numbers to:  • Australian Fossil and Mineral Museum  • National Motor Racing Museum  • Centre  • Bathurst Rail Museum	An increase of 8% in total education/ school engagement from 2017/2018 numbers to:  • Australian Fossil and Mineral Museum  • National Motor Racing Museum  • Centre  • Bathurst Rail Museum	Undertake exhibitions, public programs and community events across the Bathurst Regional Council managed museums
Deliverable Actions over the next 4 years	An increase in total visitor numbers to the Bathurst Regional Council managed museums of 8% over 4 years	An increase in the total educational/schools engagement with the Bathurst Regional Council managed museums of 8% over 4 years	The provision of a range of public programs, exhibitions and community events at the Bathurst Regional Council managed museums
Bathurst 2040 Objective reference	2.6 1.1 1.2 1.3 6.6	2.6 1.1 1.2 1.3 6.6	2.6 1.1 1.3 6.6

Status	
Action Year to Date	<ol> <li>Local Stories Cabinet, Stuart Family display – Bathurst Rail Museum.</li> <li>Larry Perkins Special Exhibition – National Motor Racing Museum.</li> <li>Chaz Mostert Crash Exhibit - upgraded and installed – National Motor Racing Museum.</li> <li>Local Schools, Local Stories – the Earth is changing – exhibition of dioramas by MacKillop College Bathurst – Australian Fossil and Mineral Museum.</li> <li>The Dino-Store – so you want a pet dinosaur? Interactive exhibition – Australian Fossil and Mineral Museum held in partnership with the Panorama Lions Club Bathurst.</li> <li>Afternoon tea with the Chifley Neighbours held on 9 December.</li> <li>Christmas Markets at Rail Museum held in partnership with the Panorama Lions Club Bathurst.</li> <li>Rail Museum – Plaque holders and families morning tea.</li> <li>Chifley Home Long weekend sneak preview.</li> <li>Bathurst Rail Museum – 6029 Beyer Garratt visit (public trips)</li> <li>Seven public programs (target 5)</li> <li>Wine and Cheese evening – Bathurst Rail Museum.</li> <li>6029 Beyer Garratt visit (local schools trips)</li> <li>Seniors week – guided tour and affernoon tea at Rail Museum and AFMM.</li> <li>School holiday kids workshops at BRM.</li> <li>Meeting of Bathurst District Historical Society held at Bathurst Rail Museum.</li> <li>Makering of Bathurst District Historical Society held at Bathurst Rail Museum.</li> <li>DART Virtual Classrooms - AFMM.</li> <li>Science Teachers Association – virtual conference and expo – AFMM.</li> </ol>
Responsible Officer	
Tracking our Progress	
Operational Plan – 2021/2022 Projects / Tasks	
Deliverable Actions over the next 4 years	
Bathurst 2040 Objective reference	

Status		
Action Year to Date	YTD total gross revenue for Council's Museums was \$451,726 which is a 28% increase from \$352,962 in 2017/2018 Financial Year.  Note: Museums closed to public on Sunday 15 August in compliance with NSW Public Health Order, re-opening in the week of 20 October, total ten (10) weeks	The Central Tablelands Collections Facility works set out in the Create NSW funding agreement have been completed.  Final work to complete the exterior landscaping and driveway has been delayed due to wet weather. This work is scheduled to be completed early August 2022.
Responsible Officer	Manager Museums	Museums
Tracking our Progress	Total increase of 8% in revenue	Complete construction and commence operations.
Operational Plan – 2021/2022 Projects / Tasks	An increase of 8% gross total revenue from 2017/2018 numbers for:  • Australian Fossil and Mineral Museum • National Motor Racing Museum • Chifley Home and Education Centre • Bathurst Rail Museum	Complete construction of Central Tablelands Collection Facility and commence operations.
Deliverable Actions over the next 4 years	An overall increase in revenue generated from museum retail outlets and venue hire across the Bathurst Regional Council managed museums	Central Tablelands Collection Facility
Bathurst 2040 Objective reference	2.6 1.1 1.2 1.3 6.6	1.1 1.2 1.3 6.6

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Status		000		
Action Year to Date	<ul> <li>Bathurst 'Lockdown Love' packages - local products sold online through September/October 2021</li> <li>Five new tour experiences added for Autumn Colours/Heritage Week 2022 program — Miss Traill's House, TAFE Building Tours and 'Charles Darwin in Bathurst' plus two additional new experiences for Heritage Week, "Keppel Street Walking Tour' and 'Wine at Rail'</li> <li>Rockley – interpretive signage for village discovery walk. First signs installed May 2022</li> <li>New Bathurst Wine Explorer tour</li> <li>The 'Bathurst Wine Explorer tour</li> <li>The 'Bathurst Wine Frail' - self-drive weekend on fourth Saturday of month to coincide with Farmer's Markets launched March 2022.</li> <li>New Hill End Event - "Hill End 150" to commemorate 150 years since discovery of Holtermann nugget in 2022.</li> </ul>	YTD 125 paid tourism partners as of 30 June 2021. Full year target was 206. Paid partnership renewal fees were negatively impacted by COVID-19.	YTD 38 ads booked. Revenue of \$17,785 is 19.7% increase over 2020/2021.	YTD two new products completed:  1. Hill End Tour, new tour live as of December 2021  2. St Joseph's Perthville, completed, to be launched July 2022.
Responsible Officer	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services
Tracking our Progress	Ten (10) new packages, products or experiences developed	Number of tourism partners increased by 10%	Advertising revenue increased 10%	One (1) new tour product added and promoted
Operational Plan – 2021/2022 Projects / Tasks	Work with local operators in the provision of visitor services and destination experiences	Grow Regional Tourism Partnership program	Increase stakeholder advertising in Destination Planner	Develop new engaging content for Bathurst Step Beyond App
Deliverable Actions over the next 4 years	Grow the number and engagement of businesses associated with the Visitor Economy			Provide visitors and prospective visitors to the area with quality information and services.
Bathurst 2040 Objective reference	6.1			2.6

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Action Year to Date	YTD: -0.1% decrease against 2020/2021 figures to total \$86,257.  No bookings were made between August-October 2021 due to COVID-19 shutdown.	YTD 2022 Destination Planner printed June 2022.	YTD eight (8) in total new itineraries developed:  • four (4) new itineraries with Geo tourism/outdoors themes published on website and themes published on website and two (2) new promotional itineraries developed for Media PR kits distributed October 2021 and media visits February/March 2022.  • Two (2) new itineraries developed for DNSW campaign March 2022.	YTD 19.3% decrease to \$72,905  YTD result significantly affected by COVID19 lockdowns with BVIC closed to 14 October and no travel from Sydney before December.	YTD 24 of 39 action items (61%) completed or underway as of 30 June 2022	Pageviews: YTD 11% decrease on 2020/2021 (No travel from Greater Sydney July-November 2021 due to COVID-19 lock down). 371,210 total pageviews.  Total Users increases 25.8% to 142,304 over same period driven by single page searches for COVID-19 and event information.  Social Media: YTD of 10.1% increase total social media to total 21,274 followers
Responsible Officer	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services
Tracking our Progress	Increase of 10% total bookings through online portal	2022 Destination Planner published	Six (6) new itineraries created and published on website/available at BVIC.	Retail sales at BVIC increase by 10% over previous year	30% of actions completed or underway	Destination website page views increase 15% Total social media following (includes Facebook, Instagram and Twitter) increase 20%
Operational Plan – 2021/2022 Projects / Tasks	Increase volume of online tour, event and accommodation bookings	Develop annual Destination Planner	Develop new Bathurst region villages touring itineraries and inter-region itineraries based on shared thematic elements	Increase local range of retail products and souvenirs at BVIC and develop e-commerce facility	Implement new 2021-2023 marketing plan	Implement online content strategy
Deliverable Actions over the next 4 years					Effectively promote and market the Bathurst Region as a key destination	
Bathurst 2040 Objective reference					2.6	

Status		OO•)	
Action Year to Date	YTD 122 media articles generated across all platforms.	Annual Tourism Research Australia figures released October 2020 (most recent)  YTD 6.1% increase overnight visitor nights, average length of stay steady at average three nights  YTD 16.4% increase in average length of stay from 3.75 nights in 2020/2021 to 4.37 in 2021/2022 as shown by 'Localis' analytics platform  YTD visitations decrease of 37.5% on 2020/2022 with a	total of 28,755 visitors to BVIC COVID-19 lock down, Greater Sydney YTD and all NSW from 15 August - 11 October 2021. Overall visitation severely impacted from July 21 to January 22 by COVID-19 restrictions and traveller concerns.
Responsible Officer	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services Manager	loursm & Visitor Services
Tracking our Progress	120 media articles generated (across all platforms).	Overnight visitors increase by 5%  Average length of stay increases by 5%  Measurement based on Tourism Research Australia annual data	BVIC Increases 3%
Operational Plan – 2021/2022 Projects / Tasks	Work with industry and specialist agencies as required to generate brand building earned media coverage through public relations activity	Promote Bathurst region to niche and specialist markets as identified in Destination Management Plan and 2021 Marketing Plan Promote BVIC as essential step	off point for Bathurst region.
Deliverable Actions over the next 4 years		Increase total number of visitors and overnight stays in the Bathurst region	
Bathurst 2040 Objective reference		2.6	

## Destination Management

Status				
Action Year to Date	YTD 36,5% or 38 of the 104 priority actions completed or underway as of 30 June 2022.	<ul> <li>YTD fifteen (15) industry meetings held</li> <li>Meeting held with Bathurst Region Vignerons Association (BRVA) 19 July</li> <li>Meeting held with National Trust/Bathurst Heritage Network 31 January with follow up meeting 31 March</li> <li>Meeting with Bathurst Cycling Network 14 February &amp; 20 May</li> <li>Meeting with new accommodation providers 11 April 2022</li> <li>Attended DNCO Destination management Plan workshop 16 May</li> <li>Attended LGNSW Tourism Conference 17-19 May</li> <li>Meeting held with Bathurst Region Vignerons Association (BRVA) 20 June</li> <li>Series of one-on-one targeted meetings held with industry sector leaders June 22 (7)</li> <li>Workshops as basis for developing new Tourism Wayfinding and Signage Strategy planned deferred to July/August 2022 due to budget reallocations.</li> </ul>	YTD: 22 eDMs Issued. Industry Events: YTD four (4) industry events held Pageviews: YTD 39.5% increase – Industry Website	Market intelligence report produced including data drawn from 36 accommodation operators.  Report to be tabled at August 2022 Council meeting.
Responsible Officer	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services	Manager Tourism & Visitor Services
Tracking our Progress	35% of actions completed or underway	Hold at least:  four (4) targeted meetings with industry four (4) industry capacity building workshops	Minimum of 12 eDMs issued. Hold at least four (4) industry networking events. Pageviews increase 20%	Market intelligence report produced.  More than ten (10) accommodation operators contribute
Operational Plan – 2021/2022 Projects / Tasks	Implement the Strategic priorities of the 2019 DMP	Implement the Industry Engagement Strategy	Continue monthly industry eDM Host industry gatherings Increase engagement with industry website	Publish annual market intelligence report to strengthen knowledge and guide investment.
Deliverable Actions over the next 4 years	Utilise the Destination Management Plan as a basis for marketing, promotion and tourism development	Support the Tourism Reference Group, which consists of a cross section of the industry	Connect with industry	Set and measure benchmarks
Bathurst 2040 Objective reference	2.6	2.6	2.6	2.6

Bathurst 2040 Objective reference	athurst 2040 Deliverable Actions over Objective the next reference 4 vears	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
		Establish accommodation	data to			
		benchmarking in the	accommodation			
		Bathurst LGA	monitoring			

# Environmental, Planning & Building Services

Development Strategy will identify opportunities for continued growth, mindful of Council's obligations to environmental stewardship, heritage conservation and Council will manage growth and development in alignment with Council's and the NSW Government's planning instruments and controls, and continue forward planning through reviews of the Housing Strategy, Open Space Strategy and Transport and Parking Strategy. Adoption of a new Economic good urban design.

### **Environmental**

Status		
Action Year to Date	The first community desexing program was held between 1 and 12 November 2021 with 110 dogs and cats desexed. The next program was held between 6 and 17 June 2022 with 110 dogs and cats desexed.  Pet Day was held on 9 July 2021 in conjunction with Bathurst Winter Festival activities. The online event was popular with the local community.  Weekly radio interviews were undertaken between August 2021 and June 2022. The radio interviews continue to be a valuable source of education and promotion for companion animals matters.  Educational Facebook posts were made on a monthly basis throughout the review period.  Off leash areas maintained by contractors when necessary.	98.02% of customer requests responded to within adopted corporate standards for the period 1 July 2021 to 30 June 2022. 963 customer requests were investigated during the period 1 July 2021 to 30 June 2022.
Responsible Officer	Team Leader Regulatory Services	Team Leader Regulatory Services
Tracking our Progress	Two Community desexing programs conducted  Pet Education event held Educational radio interviews conducted weekly  Educational social media posts conducted monthly  Maintain Kefford Street Off  Leash areas forthightly	95% of customer requests responded to within adopted corporate standards 100% response to customer requests reported out of hours
Operational Plan – 2021/2022 Projects / Tasks	Complete Responsible Pet Ownership community programs Maintain and enhance areas for off-leash recreation for dogs	Investigate animal related complaints, including matters reported after hours Undertake regulatory action consistent with Council's
Deliverable Actions over the next 4 years	Meet Council's responsibilities under the Companion Animals Act 1998 by continuing to provide community programs relating to responsible pet ownership	Meet Council's responsibilities under the Companion Animals Act 1998 and Impounding Act 1993 by promptly responding to customer requests and implementing
Bathurst 2040 Objective reference	4.0.4 4.0.4	6.4 5.4

Status					
Action Year to Date	100% of customer requests responded to out of hours	A minimum of one adoption post was made each month during the review period. "Help we are lost" posts were made regularly during the review period. Help we are lost" posts were made regularly during the review period, trying to reunite impounded pets with their owners.  Visits to the adoption page on Council's website averaged 1383 views per month in the review period.  79.72% of dogs were returned to owner, sold or released to welfare organisations in the period between 1 July 2021 and 31 May 2022.  52.55% of cats were returned to owner, sold or released to welfare organisations in the period between 1 July and 31 May 2022. A high number of feral cats were impounded in this period.	Construction was 30% complete by 31 December 2021. The project faced delays due to extended periods of wet weather and and material and staff shortages cause by the Covid-19 pandemic. Construction 60% complete by June 2022.	Infrequent monitoring undertaken due to issues with IT hardware and the Covid-19 pandemic.  Educational post made were made monthly during the review period.	While Council's contractual obligations were met, enforcement activities in off-street car parks were less frequent than in previous reporting periods due to the Covid-19 pandemic.
Responsible Officer		Team Leader Regulatory Services	Manager Environment	Team Leader Regulatory Services	Team Leader Regulatory Services
Tracking our Progress		Implement social media program to promote rehoming of impounded dogs and cats Increase the % of impounded dogs returned to owner or sold or released to welfare organisation Increase the % of impounded cat's returned to owner or sold or released to welfare organisation	Construction 50% complete by 31 December 2021	Daily monitoring undertaken Educational social media posts conducted monthly	100% compliance with contractual obligations
Operational Plan – 2021/2022 Projects / Tasks	Enforcement Policy for identified breaches	Operate Small Animal Pound at Vale Road site	New Small Animal Impounding Facility construction completed	Monitor and enforce parking regulations on public roads Implement a community education program regarding the Australian Road Rules	Monitor and enforce parking regulations in off-street car parks in accordance with contractual obligations
Deliverable Actions over the next 4 years	enforcement action for breaches	Meet Council's responsibilities under the Prevention of Cruelty to Animals Act 1979 and the Impounding Act 1993 in the operation of the Small and Large Animal Impounding Facilities		Meet Council's responsibilities under the Road Rules 2014 and Fines Act 1996	Meet Council's contractual obligations under the Local Government Act 1993 in monitoring and enforcing parking regulations in off street car parks
Bathurst 2040 Objective reference		6.4		6.4.4.4.4.4.4.4.4.4.4.4.4.4.4.4.4.4.4.4	6.4 5.2

Status		$\bigcirc\bigcirc\bigcirc$		
Action Year to Date	100.0% of customer requests responded to within adopted corporate standards for the period 1 July 2021 to 30 June 2022.  279 customer requests were registered with Council in the period 1 July 2021 to 30 June 2022.	Posts from the Environment team were made a minimum of monthly on educational programs. Page "likes" increased from 1620 in July 2021 to 1743 in June 2022,	Posts were made a minimum of weekly on various sustainability themes during the review period. Average monthly "reach" was 3512 and "bost engagement" was 545. Reach is a measure of how many people see content, and engagement how many people like/comment/share/save the posts.  The 2022 SLE event was cancelled as there was no longer funding available.  Applications for Council's Sustainable Schools Grant program were awarded in September 2021. Follow-up visits with schools commenced in February 2022.  The pilot phase of the River Connections program was fully completed by December 2021 with Holy Family School and Eglinton Public School.  All scheduled activities (including cultural emersion sessions, teacher training and "Big River Days") were completed with O'Connell Public and Raylan Public Schools in term 1	under the program is ongoing with a focus on high-risk systems and systems where the ownership is changing due to sale of the property.
Responsible Officer	Manager Environment	Manager Environment	Manager Environment	Manager Environment
Tracking our Progress	95% of customer requests responded to within adopted corporate standards	Monthly posts on the ©sustainablebathurst Facebook page	Weekly posts on the @sustainablebathurst Facebook page Conduct Sustainable Living Expo in March 2022 Implement the River Connections program targeting primary school aged students by December 2021	Increase the number of onsite sewage management systems with a current approval to operate
Operational Plan – 2021/2022 Projects / Tasks	Investigate customer requests and pollution incidents Undertake regulatory action consistent with Council's Enforcement Policy for identified breaches	Undertake educational programs to enhance community knowledge	Communicate sustainability messages via a range of on-line and traditional media sources. Conduct sustainability education programs	Conduct inspections and issue approvals for existing onsite sewage management systems without approvals or requiring renewal
Deliverable Actions over the next 4 years	Meet Council's responsibilities under the Protection of the Environment Operations Act		Continue to improve the community's awareness and capacity regarding environmental sustainability	Implement Council's Onsite Sewage Management Strategy and meet Council's obligations under the
Bathurst 2040 Objective reference	3.1 3.2 3.3 3.4 6.4 1.4		3.3 6.1	3.1 6.4 6.4

Status								00		
Action Year to Date	340 approvals to operate have been issued for the period 1 July 2021 to 30 June 2022.	Some maintenance of previous UWMP projects was undertaken in Spring 2021 and Winter 2022.	in the back yata bind coon in association with Birdlife Australia was completed in October 2021. The count contributes to Council's condenstanding of bird populations and is relevant to both biodiversity and pest bird	management. The 2021 program was the most successful to date, with 15,481 birds sighted across the week.	The Wattle Flat Racecourse Plan of Management was finalised and placed on public exhibition in May 2022.	Pigeon removal works were conducted at three sites in December 2021. 115 pigeons were removed from the CBD and Council's works depot. 114 pigeons and 82 starlings were removed from the Waste Management Centre, and 58 pest birds of various species were removed from the Mount Panorama racetrack precinct.	Installation of signage and guideposts for high conservation value sections of roadway identified in the RVMP took place January and May 2022, focussing on priority areas in Napoleon Reef and Yetholme.	The installation of a 46KW solar array at the Waste Management Centre was completed in December 2021.	The installation of a 16kW of solar array at the Bathurst Rail Museum was completed in mid-December 2021, to compliment the 24kW array and batteries installed in June 2021.	Works commenced on the installation of a 100kW system on the new Central Tablelands Collections Facility in June 2022.
Responsible Officer		Manager Environment						Energy Strategy Officer		
Tracking our Progress		Implement a priority project identified in the Urban Waterways Management Plan.	Implement a priority project identified in the Biodiversity Management Plan.	Implement a priority project identified in the Pest Bird Management Plan	Implement a priority project in the Roadside Vegetation Management Plan			Implement a priority project identified in the Renewable Energy Action Plan		
Operational Plan – 2021/2022 Projects / Tasks		Implement the Urban Waterways Management Plan	Implement the Biodiversity Management Plan	Implement the Pest Bird Management Plan	Implement the Roadside Vegetation Management Plan			Implement the Renewable Energy Action Plan		
Deliverable Actions over the next 4 years	Local Government Act 1993	Meet Council's obligations under the Local Government Act 1993 and community	expectations to manage, restore, enhance and conserve the natural environment					Implement energy efficiency and renewable energy projects at Council facilities		
Bathurst 2040 Objective reference		3.1 3.4 3.5 1.4						3.5 3.3 6.6		

Status	ergy 1022. Solar	ew ew out	ds ved
Action Year to Date	Council in partnership with the Central NSW Joint Organisation commenced the procurement process for a Renewable Energy Power Purchase Agreement in February 2022. The detailed design of a new large scale solar array for the Wastewater Treatment Plant was 90% complete in June 2022.	307 development applications were assigned for environmental assessment in during the review period.  Advice was provided throughout the review period for many Council activities and their implications under the Biodiversity.  Conservation Act.  Advice was given and applications for vegetation removal were assessed throughout the review period.  Advice provided on a regular basis. The Council capacity building program for contaminated land was ongoing throughout the review period with assistance from the project officer. Updated data for inclusion in the Land Use Information System was finalised in April 2022 and a revisew placed on public exhibition in June 2022.	Acquisition of hybrid vehicles for the passenger fleet have not yet been achieved due to global market shortages.  The first full electric vehicle for the fleet was ordered by Council in October 2021 and arrived in late January 2022. The vehicle is achieving 15kW per 100km range.  Two EV charge stations were installed at the National Motor Racing Museum.  Investigation of options to procure an electric vehicle for garbage collection is onaoina.
Responsible Officer		Manager Environment	Manager Environment
Tracking our Progress		Number of development applications assessed and professional advice provided.  Council policies and plans are reviewed and updated where required to ensure consistency with current legislation.  Assess vegetation removal applications in urban zones in accordance with the vegetation SEPP in Council's DCP.  Professional advice provided including pre-DA advice on contaminated land matters	Implement a priority project identified in the Electric Vehicle Transition plan
Operational Plan – 2021/2022 Projects / Tasks		Ensure the assessment of development applications meets all of the requirements of the Biodiversity Conservation Act 2016, Fisheries Management Act 1994, Vegetation SEPP and Koala SEPP Ensure that Council activities are compliant with the requirements of the Biodiversity Conservation Act 2016 Ensure the assessment of development applications meets all of the requirements of SEPP55 and Council's Contaminated Land Policy	Implement the Electric Vehicle Transition Plan
Deliverable Actions over the next 4 years		Meet Council's obligations under the Biodiversity Conservation Act 2016, Fisheries Management Act 1994 and Water Management Act 2000  Meet Council's obligations under SEPP55 and related planning policies	Contribute to the development of Bathurst as a Smart City
Bathurst 2040 Objective reference		3.1 4.6 4.1 5.6 6.7 7.0 7.0 7.0 7.0 7.0 7.0 7.0 7.0 7.0 7	2.3 3.3 5.2 5.2

Status				
Action Year to Date	An MOU was signed with a company to investigate options for conversion of landfill gas into Hydrogen to power vehicles.	Trends in Council's operational footprint included in the monthly report prepared for internal review, with annual data included in the State of Environment (SOE) reporting.  The Regional and BRC SOE reports were presented to Council at it's ordinary meeting in November 2021 and are available on Council's website.	The food inspection program was ongoing throughout the review period and all of Council's inspection obligations under the Food Regulation Partnership were met.  The Annual Food Regulation Report was submitted to the NSW Food Authority in miduly 2021.  11 customer requests were registered with Council in the period 1 July 2021 to 30 June 2022.  100% of customer requests responded to within adopted corporate standards for the period 1 July 2021 to 30 June 2022.	Skin penetration premises were not inspected during the review period as many businesses were closed for part of the period, and resources were focused on higher priority areas such as food regulation.  Public swimming pool inspections will recommence in Spring 2022.  Legionella Management Plan was finalised in September 2021 and adopted by Council in February 2022 after a period on public exhibition. Implementation is ongoing.
Responsible Officer		Manager Environment	Manager Environment	Manager Environment
Tracking our Progress		Collate data and prepare reports on Environmental data on an annual basis	Conduct an inspection of all high and medium risk food premises by June 2022 Implement a risk based inspection program for home-based food premises Prepare and distribute educational material on food safety three times annually  95% of customer requests responded to within adopted corporate standards	Conduct an inspection of all skin penetration premises Conduct an inspection of all public swimming pools and spa pools Implement the activities identified as Council's role in Legionella management and the inspection of cooling towers 95% of customer requests responded to within
Operational Plan – 2021/2022 Projects / Tasks		Monitor the operational footprint of Council's operations and report on trends identified.  Measure and collate the trends in environmental condition across the Local Government Area	Conduct a program of inspections of food premises including home-based food premises to ensure compliance with regulations	Conduct a program of inspections of skin penetration premises, public swimming and spa pools and cooling towers
Deliverable Actions over the next 4 years		Meet Council's statutory reporting obligations under the Local Government Act 1993	Meet Council's obligations in the Food Regulation Partnership and the Food Act 2003	Meet Council's obligations under the Public Health Act 2010 and associated regulations
Bathurst 2040 Objective reference		3.3 3.5 3.1 3.1	4. 4. 4. 2.	6.4 5.4

athurst 2040 Objective reference	Bathurst 2040 Deliverable Actions over Objective the next reference 4 years	Operational Plan – 2021/2022 Projects / Tasks	Tracking our Progress	Responsible Officer	Action Year to Date	Status
			adopted corporate standards		100% responded to within adopted corporate standards between 1 July 2021 and 31 May 2022.	
					83 customer requests were registered with Council during the period 1 July 2021 to 30 June 2022.	

Plannina

Status	
Action Year to Date	1. LEP Amendment: Movedble and Monumental Heritage. Gazethed 2. LEP and DCP Amendment: Laffing Waters Master Plan. Gateway Determination received. DPE have engaged consultants to support Council to finalise the PP. Consultants reviewing PP and DCP amendment documentation and preparing public exhibition material. 3. LEP and DCP Amendment: Heritage Conservation Area Review. Gazethed. Schedule 5 update Heritage Planning Proposal – 50 items being researched for listing. Planning Proposal being prepared. 5. Community Participation Plan Amendment – 10 update notification procedures for new development adjacent to rural heritage items – adopted by Council. 6. DCP amendment – Update Section 9.6 Flooding – adopted by Council. 7. DCP Amendment – Gorman's Hill in Residential density precinct 1 adopted by Council. 8. Mount Haven map amendment under section 3.22. Gazetted. 9. Bathurst Integrated Medical Centre Planning Proposal – Gateway Determination received subject to conditions that must be satisfied before public exhibition can commence. 10. North St Perthville – reinstate R1 zonepleing prepared. 11. DCP Amendment – 2 Ashworth Drive – reconsider the extent of the landuse buffer. Draft DCP amendment on public exhibition until 11 June 2022. Submissions being collated.
Responsible Officer	Manager Strategic Planning
Tracking our Progress	Planning proposals referred to NSW Department of Planning & Environment for gazettal
Operational Plan – 2021/2022 Projects / Tasks	Prepare draft LEP and DCP amendments
Deliverable Actions over the next 4 years	Prepare relevant planning proposals to ensure Council's planning controls remain relevant and up to date.
Bathurst 2040 Objective reference	2. 1. 2. 3. 3. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4.

Status		$\bigcirc\bigcirc\bigcirc$	
Action Year to Date	Hereford Street Corridor investigations – Presented to Council at October meeting.     CBD Car parking surveys – data from two surveys received and being analysed.     Bathurst Region Community Strategic Plan 2022. Endorsed by Council at the June Council meeting.     Bathurst Region Active Transport Strategy – Community consultation completed. Final report received and made available on Yoursay website.     Bathurst Streets as Shared Spaces Round I works completed.     Bathurst Streets as Shared Spaces Round I works completed.     Bathurst Streets as Shared Spaces Round 2 - Council advised it was successful in gaining \$500,000 under round 2. Project implementation underway.     Village Plans – visioning consultation for Sofala, Rockley and Peel completed and draft plans being prepared.     Bathurst Town Centre Master Plan – "What Bathurst Said Report" presented to Council and placed on Yoursay Webpage.     EOI for former TAFE site – EOI closed 3     May 2022. EOIs being assessed.	1. Investigations underway to determine if stormwater plan should be moved to section 64 of LGA 1993.	2021/22 site visits to date: 79 (Due to COVID -19 some site visits are occurring on-line/virtually or only with staff attending).      Review of guidelines for preparation of Statement of Heritage Impact completed and being placed on Council's website.      Preparation of guidelines for the preparation of heritage interpretation
Responsible Officer	Manager Strategic Planning	Manager Strategic Planning	Manager Strategic Planning
Tracking our Progress	Draft studies/plans are well underway by 30 June 2022	Draft plans considered and adopted by Council	Number of site visits undertaken by the heritage advisory service.
Operational Plan – 2021/2022 Projects / Tasks	Prepare studies and plans.	Review existing or prepare new s7.11 Plans	Provide a Heritage Advisory Service.
Deliverable Actions over the next 4 years	Investigate relevant land use and planning issues of the Bathurst Region.	Review and update Council's section 7.11 plans.	Implement the Bathurst Regional Heritage Plan.
Bathurst 2040 Objective reference	1.5 2.1 3.3 4.6 6.4 6.4	4.1 6.4 6.4	1.1 1.2 1.5 4.6 5.5

#### Attachment 8.3.2.1

Status				
Action Year to Date	strategies completed and being placed on Council's website.  4. Heritage Assessment advice provided for 197 development applications to date.	<ol> <li>Bathurst Region Local heritage fund – Applications for funding under the 2021/22 program: 35 projects completed at a value of \$520,139. Applications for 2022/23 being assessed.</li> <li>Bathurst Region Conservation and Interpretation Fund – Applications for funding under the 2021/22 program: 7 projects completed at a value of \$68,236. Applications for 2022/23 being assessed.</li> <li>Bathurst CBD Main Street Improvement Fund – Applications for funding under the 2021/22 program: 14 projects completed at a value of \$323,926. Applications for 2022/23 being assessed.</li> </ol>	Mount Panorama Wahluu Boardwalk – Stage 1 signage at lookout installed, 3 freestanding signs yet to be installed.     Pillars of Bathurst project: 2022 Pillars launched on Proclamation Day. Project handed over to Bathurst library to convert to future digital biography.     CBD Wayfinding Project – sign structures manufactured. Interpretation and wayfinding panels being developed.	Bathurst Region Heritage Plan 2021-25:     adopted by Council.     Former Ambulance Station     Conservation Management Plan –     completed and presented to Council.     Condition Assessment and     Maintenance Plan for the Street and     Paintenance Plan for the Street and     P
Responsible Officer		Manager Strategic Planning	Manager Strategic Planning	Manager Strategic Planning
Tracking our Progress		Value of works generated from Council's incentive funds.	New interpretative/ promotional information made available.	Studies/plans considered and adopted by Council. Number of local heritage items included in the Local Environmental Plan.
Operational Plan – 2021/2022 Projects / Tasks		Provide heritage incentive funding programs to protect, maintain, enhance and promote the regions heritage assets.	Prepare and implement projects for the interpretation and display of cultural heritage and history information.	Prepare research/studies into the region's heritage values
Deliverable Actions over the next 4 years				
Bathurst 2040 Objective reference				

**Development Assessment** 

Status		)(									С	С	)(					
	Bathurst	Council	year to date average	79.20			53.40			Bathurst	Regional	Council	year to date	average	6.43			
ır to Date	Bathurst	Council	Jun 2022	85.59			45.62			Bathurst	Regional	Council	Jun 2022		4.57			
Action Year to Date	MSN MSN	Average	2018-19	91			46			MSN	State	Average	2018-19		16			
				Average gross	days taken to	determine a DA	Average nett	days taken to	determine a DA						Average days	taken to	determine a	CDC
Responsible Officer	Manager Development	Assessment		l						Manager	Development	Assessment			l			
Tracking our Progress	Comparative data	provided as pair of annual Local	Development Performance	Management	(LDPM) to DPIE					Comparative data	provided as part of	annual Local	Development	Performance	Management	(LDPM) to DPIE		
Operational Plan – 2021/2022 Projects / Tasks	To be at or below the state	development applications								To be at or below the state	average of determination times for	complying development						
Deliverable Actions over the next 4 years	Ensure the assessment of	applications, in	accordance with planning instruments,	development control	plans and policies, occurs	within appropriate	timeframes.											
Bathurst 2040 Objective reference	1.5	- 4	6.4															

# **Economic Development**

Status	ed for Strang and ot ot ot of Grant Grant Grant	g to Evo
Action Year to Date	<ul> <li>Aerodrome promotional prospectus completed. New website copy completed. New website copy complete for airport. EOIs received for Aerodrome study.</li> <li>DA approved for Stage 1 of Kelso Industrial Estate expansion (\$4.8M Drought Stimulus Fund). CC to be submitted shortly.</li> <li>Aerodrome scope finalised with grant authority (Growing Local Economies Fund \$2.9M).</li> <li>Lease signed for Leading Edge data centre</li> <li>Early stages of Funding proposal for better NBN connection for Raglan and parts of Kelso underway. Grant not available at this time.</li> <li>Funding approval for nbn fibre to the premises at the Bathurst Airport.</li> <li>Working with Telstra on funding proposal for better connectivity at Hill End. Grant not available at this time.</li> </ul>	<ul> <li>Contributed to Move to More Campaign. Joined the Regional Activators Alliance.</li> <li>Listed Bathurst and villages on Pointer Remote.</li> <li>New Resident Guide nearing completion.</li> <li>Reinstated process for responding to Evo City enquiries.</li> <li>Looking to change billboards over shortly.</li> <li>New Live section on Bathurst Business Hub live. Website to change to bathurstliveinvest.com.au.</li> <li>Four new resident interviews and photography sessions undertaken.</li> <li>Uploaded onto website.</li> </ul>
Responsible Officer	Manager Economic Development	Manager Economic Development
Tracking our Progress	Seek funding for economic infrastructure projects.	Continued support for joint regional relocation campaigns.  All 4 entrance billboards and welcome signs updated/maintained as required.  Lifestyle promotional content created/updated. including the Bathurst Region website / Bathurst Business Hub.
Operational Plan – 2021/2022 Projects / Tasks	Nurture economic infrastructure development by supporting the development of the aerodrome, industrial precincts and telecommunications.	Market-leading promotional campaigns to increase residential relocations and a sense of place.
Deliverable Actions over the next 4 years	Implementation of the Economic Development Strategy 2018-2022 and associated actions.	
CSP 2040 Objective Reference	1. 2. 2. 2. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4. 4.	

#### Attachment 8.3.2.1

<ul> <li>All eNewsletters sent to date.</li> <li>Cluster Strategy complete.</li> <li>Events/engagements around cluster groups planned.</li> <li>BizMonth held in February. Planning for September 2022 BizMonth under way.</li> <li>Secured regular spot in Business Chamber Board meeting.</li> <li>Representation at all Business Chamber events to date.</li> <li>All Upstairs Startup hub board meetings</li> </ul>	attended to date.  - Redesigned Bathurst Business Hub website. New content being developed. Site to be rebranded to liveinvestbathurst.com.au.  - Update to Forecast id population projections.  - Spendmapp used to track impact of	COVID on economy.  - Successfully lobbied to have NSW Government population projections adjusted upwards.	<ul> <li>Continued posting of EvoJobs.</li> <li>2021 Bathurst Careers Expo cancelled.</li> <li>Over 45 exhibitors signed up for August 2022 Careers Expo.</li> <li>Ongoing support for the relocation of numerous businesses, particular interest from manufacturing and IT businesses.</li> <li>Invest Bathurst campaign being developed including social media/TVC ad, new brochure and updated website.</li> </ul>	<ul> <li>Assistance IBM deal recently announced.</li> <li>Discussions ongoing with various IT software development firms to be based in Bathurst.</li> <li>Smart benches installed.</li> <li>Investigations into various new Smart projects.</li> <li>Creation of Digital Twin with Spatial Services. Launch to occur shortly.</li> </ul>
Manager Economic Development			Manager Economic Development	Manager Economic Development
12 eNewsletters issued. Cluster Strategy developed and cluster groups activated. Run BizMonth, Buy Local Gift Cards and Business engagement programs. Bathurst Business Hub website	updated/maintained.  Attendance at 75% of Business Chamber After-Hours events.  Representation at all "Upstairs Start-up Hub" board	meetings.  Promote resources to businesses including the ID websites and Spendmapp.	Organise the Bathurst Careers Expo with minimum 40 stalls and 1,500 attendees.  Minimum of 60 new local jobs promoted each month via EVO Cities.  Develop relocation proposals, relocation materials and support the relocation of new	Monthly Project Group meetings held. Seek funding and roll out Smart Community priority projects.
Support local businesses and start-ups through engagement, support and economic programs.			Grow local employment, investment and attract new businesses	Develop Bathurst into a Smart Community of national significance. Support innovative practices from industry.

#### Attachment 8.3.2.1

Promote Bathurst as a Smart Community.			

Part	Report as at 30 June 2022			04					
Figure   December   Paper   Company   Compan	Details	Reference	Date	Donations	Donations	Waived	Donations	Donations	TOTAL
Special Conference   Content   Con	Annual Rudget						•		
Control   Cont	<del>-</del>			03,007.00	20,000.00	33,000.00	00,000.00	20,000.00	220,007.00
Manufact   Control   Con	•	Operation Plan	27/07/2021		300.00				-300.00
Selbant Edgels   Depart Edge		·							
	·	•							-1,000.00
Balbana Remember   AVAMS   Communication   Operation Pine   27707021   -3,000 0   -3,000 0   -3,000		•							-5,000.00
## ARCHITECTURE OF CHEMICAL PLAN  **PASS Armans Extension Production (**) Centrolic Plan  *** 2767/2021*** 2,2555.00  *** 2,25									5,000.00
MASS Amenial Subscriptioned content   Part   2007/2021   2,255.00		Operation Plan	27/07/2021		-4,000.00				-4,000.00
Montey   Mill	•	Operation Plan	27/07/2021	-2,595.00					-2,595.00
Danis   Dani	Bathurst AH&P Association	Operation Plan	28/07/2021	-8,244.00					-8,244.00
Lifestine Carterian Weet   Section	Monkey Hill UHF Repeater	Operation Plan	30/07/2021	-1,000.00					-1,000.00
Balburs Club   Inc.   Committee   Septimate   Septim	Lions Club of Bathurst Inc	Operation Plan	30/07/2021	-2,000.00					-2,000.00
BBMEC   CPSA Monthly Meetings   -1st July   Cometion Plan   3107/2021   -3,000.00   -3,0		•							-2,500.00
Samusal Capital Assistancianal Society (SPINS) - VJ Day (Comerico Pinn   31677021   3500000   35000000   35000000   35000000   35000000   35000000   350000000000		•			-500.00				-500.00
Serial A Destrict A HAPP Association   Committen Plan   Shi770021   5,000.00	, ,	•			0.000.00		-898.64		-898.64
Balburs Laurium Sports Awards   1987/2021   5,000.00				350.00	-3,000.00				-3,000.00 -350.00
The Neighbauth-load Center (comenty BINC)   Opension Plan   108/00201   4.000   5.000   5.000   7.00		•							-5,000.00
Solial Progress Association	·	•							-900.00
Central Tablelands Rowing Club in   Capealison Pan   Ca	, , ,	•							-720.00
Cartant Tabeleands Woodmarft no		•						-5.000.00	-5,000.00
Earns Act Coursel	· ·				-500.00			-,	-500.00
Bathurst City Rolls Water Account   Operation Plane   61/08/021   3,055.38     3,055.38   3,050.00     3,055.38   3,050.00     3,055.38   3,050.00     3,055.38   3,050.00     3,055.38   3,055.00     3,055.00		•		-3,000.00					-3,000.00
Balturat Griffon City Bowling Citib   Committed   Co	Bathurst City Colts Water Account	Operation Plan							-3,205.38
Samurat Gardener's Club Inc   Committee   Samurat Cardener's Club Inc   Samurat Cardener's Clu	Bathurst City & RSL Band Association Inc	Operation Plan	14/10/2021	-5,000.00					-5,000.00
Meadow   Plan Public School - presentation day   Side Policy   Side Po	Bathurst City Bowling Club	Operation Plan	14/10/2021						-1,000.00
BMEC C PSA Monthly Meelings - 41/121   New Dereiton Plan   31/12/2021   3/14		•			-500.00				-500.00
BMEC   CPSA Monthly Meetings - 411/21 - New Councillor Forum   311/22021	·							-60.00	-60.00
Councilie Forum   Councilie	, ,	Operation Plan	17/12/2021				-638.18		-638.18
BMEC - CPSA Monthly Meeting - 58/21   Operation Plan   311/2/2021   358 Policy   310/2/2022   358 00	, ,	Operation Plan	31/12/2021				-794.54		-794.54
Small Schools Creative Arts Festival 27/10/21   S358 Policy   31/12/2021   -9.00.00   -2.00		Operation Plan	21/12/2021				1 062 40		1 062 40
Commel School presentation day 15/12/21   S36 Policy   31/12/2021   3,000.0   3,000.		•							-1,063.40 -496.00
CSU Foundation Trust (Gordon Bullock Scholarship)   Operation Plan   802/2022   -3,000.00     -3,000.00   -3,000		,							-248.00
SUB Fundation Trust	CSU Foundation Trust (Gordon Bullock	•		-3,000.00			210.00		-3,000.00
Bushrangers ARIC (BDRSC grants)		Operation Plan	8/02/2022	-5.000.00					-5,000.00
Bushrangers ARFC (BDRSC grants)		•							-738.00
Pancama Motorcycle Club (BDRSC grants)	, ,	•		-600.00					-600.00
Bathurst Rifle Club (BDRSC grants) Operation Plan 16/03/2022 -1,200.00 -1,205.00 -1,20	, , ,	•	16/03/2022	-3,000.00					-3,000.00
Bathurst Hockey Association (BDRSC grants)   Operation Plan   16/03/2022   4,880,00   4,880,00   985,28   398,00   398	Panorama Motorcycle Club (BDRSC grants)	Operation Plan	16/03/2022	-2,500.00					-2,500.00
BMEC - CPSA Monthly Meelings - 03/02/22   Operation Plan   18/03/2022   1.205.00   1.2	Bathurst Rifle Club (BDRSC grants)	Operation Plan	16/03/2022	-1,200.00					-1,200.00
BMEC - CPSA Monthly Meetings - 03/03/22   Operation Plan   30/04/2022   -1,597.00   -1,22   -1,205.00   -1,2   -1,597.00   -	Bathurst Hockey Association (BDRSC grants)	Operation Plan	16/03/2022	-4,880.00					-4,880.00
BMEC - CPSA Monthly Meetings - 07/04/2022   Operation Plan   25/05/2022   -1,597.00   -1,095.45   -1,895.00   -1,095.45   -1,895.00   -1,095.45   -1,895.00   -1,095.45   -1,095.45   -1,000.00   -1	BMEC - CPSA Monthly Meetings - 03/02/22	Operation Plan	18/03/2022						-985.28
Bathurst City Croquet Club (BDRSC grants)   Operation Plan   25/05/2022   -1,597.00   -1,095.45   -1,000.00   -1	, ,	Operation Plan							-1,205.00
Bathurst City Croquet Club (BDRSC grants)   Operation Plan   25/05/2022   3,383.60   3.3.80		Operation Plan					-872.18		-872.18
BMEC - CPSA Monthly Meetings - 05/05/2022   Operation Plan   30/05/2022   31/05/2022   -1,095.45   -1,00   -		•							-1,597.00
Bathurst Street & Custom Motorcycle Show   19/6/21 Item 08.02.6   31/05/2022   -2.272.27		•		-3,383.60					-3,383.60
NSW Police - Volunteers Amenities Mt Pan   17/02/21 tlem 7.2.7   31/05/2022   -5,000.00	, ,	•					-1,095.45	4 000 00	-1,095.45
HK HT HG Holden Nationals	•					2 272 27		-1,000.00	-1,000.00
Russell St Road Closures - Festival of the Bells 22 20/10/21 Item 9.3.8 31/05/2022 -2,500.00 -2,									-2,272.27 -5,000.00
Russell St Road Closures - Packard Rally 4/5/22 19/08/20 Item 7.3.7 1/06/2022 -2,500.00 -2,500.00 -2,500.00 -2,500.00 -2,500.00 -2,500.00 -3,500 -3,500 -3,500 -3,500 -3,500 -3,500 -3,500.00 -3,500						-5,000.00			
Lions Club of Mount Panorama Inc Rotary Club of Bathurst - RYDA Rotary Club of Red (BDRSC) Grants Rotary Club of Red (BDRSC) Grants Rotary Club Club Ryder Account Rotary Club Conservatorium - BMEC Concerts Operation Plan Rotary Club Conservatorium - BMEC Concerts Operation Plan Rotary Club Rotary Club Rotary R	Russell St Road Closures - Festival of the Bells 22								-2,500.00
Rotary Club of Bathurst - RYDA   15/06/22   tem 09.1   23/06/2022   30/06/20222   30/06/20222   30/06/20222   30/06/20222   30/06/20222   30/06/20222   30/06/20222   30/06/	Russell St Road Closures - Packard Rally 4/5/22	19/08/20 Item 7.3.7	1/06/2022	-2,500.00					-2,500.00
Rotary Club of Bathurst - RYDA   15/06/22   tem 09.1   23/06/2022   30/06/2022	Lions Club of Mount Panorama Inc	16/03/22 Item 9.3.6	23/06/2022					-35.00	-35.00
Amount Spent -62,912.98 -13,300.00 -12,272.27 -8,596.67 -6,095.00 -103,173  Available Balance before commitments 22,154.02 7,500.00 22,727.73 51,403.33 13,905.00 117,695  Committed:  Macquarie Philharmonia - Platinum Donation Operation Plan -2,000.00 -2,000.00  Bathurst City Colts Water Account Operation Plan -3,828.62 -3,888  Bathurst District Sport & Rec (BDRSC) grants Operation Plan -2,101.40 -2,101.40  Mitchell Conservatorium - BMEC Concerts Operation Plan -7,000.00 -7,000.00  BMEC - Bathurst Eisteddfod Sep 2021 Operation Plan -7,000.00 -30,000  BMEC - Bathurst Youth Council Operation Plan -2,000.00 -2,000.00  BMEC - CPSA Monthly Meetings Operation Plan -5,000.00  Western Sydney University Medical Scholarship Operation Plan -7,500.00  Western Sydney University Medical Scholarship Operation Plan -7,500.00  Amount Committed -20,430.02 -2,500.00 0.00 -42,147.33 0.00 -65,000  Adjustment between Funds	Rotary Club of Bathurst - RYDA		23/06/2022			-5,000.00			-5,000.00
Available Balance before commitments   22,154.02   7,500.00   22,727.73   51,403.33   13,905.00   117,657	BMEC - CPSA Monthly Meetings - 02/06/2022	Operation Plan	30/06/2022				-300.00		-300.00
Committed:  Macquarie Philharmonia - Platinum Donation Operation Plan -2,000.00  Bathurst City Colts Water Account Operation Plan -3,828.62  Bathurst District Sport & Rec (BDRSC) grants Operation Plan -2,101.40  Mitchell Conservatorium - BMEC Concerts Operation Plan -7,000.00 -7,00  BMEC - Bathurst Eisteddfod Sep 2021 Operation Plan -30,000.00 -30,00  BMEC - Bathurst Youth Council Operation Plan -2,000.00 -2,00  BMEC - CPSA Monthly Meetings Operation Plan -3,147.33 -3,147	Amount Spent		-	-62,912.98	-13,300.00	-12,272.27	-8,596.67	-6,095.00	-103,176.92
Macquarie Philharmonia - Platinum Donation Operation Plan -2,000.00  Bathurst City Colts Water Account Operation Plan -3,828.62 -3,838.828.62 -3,838.828.62 -2,101.40	Available Balance before commitments			22,154.02	7,500.00	22,727.73	51,403.33	13,905.00	117,690.08
Macquarie Philharmonia - Platinum Donation Operation Plan -2,000.00  Bathurst City Colts Water Account Operation Plan -3,828.62 -3,838.828.62 -3,838.828.62 -2,101.40	Committed:								
Bathurst District Sport & Rec (BDRSC) grants Mitchell Conservatorium - BMEC Concerts Operation Plan  -2,101.40  -2,000.00  -3,000.00	Macquarie Philharmonia - Platinum Donation	Operation Plan		-2,000.00					-2,000.00
Mitchell Conservatorium - BMEC Concerts         Operation Plan         -7,000.00         -7,00           BMEC - Bathurst Eisteddfod Sep 2021         Operation Plan         -30,000.00         -30,00           BMEC - Bathurst Youth Council         Operation Plan         -2,000.00         -2,00           BMEC - CPSA Monthly Meetings         Operation Plan         -3,147.33         -3,147.33           Russell St Road Closures         Operation Plan         -5,000.00         -5,000.00           Western Sydney University Medical Scholarship         Operation Plan         -7,500.00         -7,5           Bathurst Seymour Centre Inc         Operation Plan         -2,500.00         0.00         -42,147.33         0.00         -65,0°           Amount Committed         -20,430.02         -2,500.00         0.00         -42,147.33         0.00         -65,0°	Bathurst City Colts Water Account	Operation Plan		-3,828.62					-3,828.62
BMEC - Bathurst Eisteddfod Sep 2021         Operation Plan         -30,000.00         -30,00           BMEC - Bathurst Youth Council         Operation Plan         -2,000.00         -2,00           BMEC - CPSA Monthly Meetings         Operation Plan         -3,147.33         -3,14           Russell St Road Closures         Operation Plan         -5,000.00         -5,000.00         -5,000.00           Western Sydney University Medical Scholarship         Operation Plan         -7,500.00         -7,500.00         -7,500.00         -7,500.00         -2,500.00         -2,500.00         -2,500.00         -2,500.00         -2,500.00         -2,500.00         -65,000.00         <	Bathurst District Sport & Rec (BDRSC) grants	Operation Plan		-2,101.40					-2,101.40
BMEC - Bathurst Youth Council BMEC - Bathurst Youth Council BMEC - CPSA Monthly Meetings         Operation Plan         -2,000.00         -2,00           BMEC - CPSA Monthly Meetings         Operation Plan         -3,147.33         -3,147.33         -3,147.33         -3,147.33         -3,147.33         -3,147.33         -3,147.33         -3,147.33         -5,000.00         -5,000.00         -5,000.00         -5,000.00         -5,000.00         -5,000.00         -7,500.00         -7,500.00         -7,500.00         -7,500.00         -2,500.00         -2,500.00         -2,500.00         -2,500.00         -2,500.00         -2,500.00         -65,000.00 <t< td=""><td></td><td>•</td><td></td><td></td><td></td><td></td><td></td><td></td><td>-7,000.00</td></t<>		•							-7,000.00
BMEC - CPSA Monthly Meetings Operation Plan Russell St Road Closures Operation Plan -5,000.00 Western Sydney University Medical Scholarship Bathurst Seymour Centre Inc Operation Plan -7,500.00 Amount Committed -20,430.02 -2,500.00 0.00 -42,147.33 0.00 -65,000 Adjustment between Funds	·	•							-30,000.00
Russell St Road Closures Operation Plan -5,000.00 -5,00 Western Sydney University Medical Scholarship Bathurst Seymour Centre Inc Operation Plan -7,500.00 -2,500.00 -		•							-2,000.00
Western Sydney University Medical Scholarship Bathurst Seymour Centre Inc Operation Plan Operation Plan -7,500.00 -2		•					-3,147.33		-3,147.33
Bathurst Seymour Centre Inc         Operation Plan         -2,500.00         -2,50           Amount Committed         -20,430.02         -2,500.00         0.00         -42,147.33         0.00         -65,00           Adjustment between Funds         -40,430.02         -2,500.00         0.00         -42,147.33         0.00         -65,00		•		,					-5,000.00
Adjustment between Funds		•		-7,500.00	-2,500.00				-7,500.00 -2,500.00
	Amount Committed		-	-20,430.02	-2,500.00	0.00	-42,147.33	0.00	-65,077.35
Available Ralance 1 724 00 5 000 00 22 727 73 9 256 00 13 905 00 52 60	Adjustment between Funds								
774 414 5,000	Available Balance			1,724.00	5,000.00	22,727.73	9,256.00	13,905.00	52,612.73

#### Attachment 8.3.3.1

2021-2022 Section 356 Donations

Details	Reference	Date	Standard Annual Donations \$	Specific Donations \$	Mt Pan Fee Waived \$	BMEC Donations	Sundry Donations \$	TOTAL
	Summary Remain	ing Budget		\$				
	Standard Annual De	onations		1,724.00				
	Specified Donations	S		5,000.00	Summary			\$
	Mt Pan Fee Waived	d		22,727.73	Total Budget			220,867.00
	BMEC Donations			9,256.00	Less: Amount S	Spent		-103,176.92
	Sundry Donations			13,905.00	Less: Amount (	Committed		-65,077.35
	Total Remaining			52,612.73	Total Remaini	ng		52,612.73

# Market Rental Subsidies for 2021/22

NAME OF TENANT	LOCATION	Current Rent PA	Estimated Market Rent	BRC Rental Subsidy
Mitchell Conservatorium	Machattie Park Cottage	561.00	561.00 17,140.00	16,579.00
Central Tablelands Woodcraft Inc	Learmonth Park	588.00	588.00 15,950.00	15,362.00
Community Opportunity Shop Inc	8 Lions Club Drive	1,122.00	21,266.00	20,144.00
Community Opportunity Shop Inc	Veggie Patch Church Lane	1.00	15,950.00	15,949.00
Air Services Australia	Aerodrome - Communication	1.00	19,139.00	19,138.00
Taxi Cabs of Bathurst Co-operative Society Ltd	Communication tower	1,308.00	19,139.00	17,831.00
Master Communications & Electronics Pty Ltd	Communication tower	4,547.00	19,139.00	14,592.00
Bathurst City & RSL Band Association	Walmer Park	233.00	21,266.00	21,033.00
Bathurst Lions Club Inc	Short St	1.10	15,950.00	15,948.90
Evans Arts Council Inc	Lee Street	500.00	5,317.00	4,817.00
Bathurst District Historical Society Inc	Mitre Street	1.00	10,634.00	10,633.00
Bathurst District Historical Society Inc	16 Stanley Street	1.00	10,634.00	10,633.00
Bathurst Meals on Wheels Inc	4 Watt Drive	1.00	53,163.00	53,162.00
Department of Defence (Air Cadets)	Aerodrome - Lot 25	90.91	13,648.00	13,557.09
Department of Defence (Air Cadets)	Aerodrome - Lot 36	90.91	39,425.00	39,334.09
				288 713 08

	Created on 4/07/2022 2:46 PM
PARCEL	
Parcel Number	24937
Assessment Number(s)	172097
OTIMI VITALIA	
PROPERTY INFO	
Title Description	Lot: 1 DP: 986470
Property Name	
Property Address	35 Pye Street BATHURST NSW 2795
Area	1113 M
Parish	Bathurst
County	Bathurst
Land Status	
Zone	IN1 General Industrial
Survey Plan	Click Here
OWNER POSTAL	
Addressee	Mr GG Booth & Mrs MA Booth
Postal 1	18 Gordon Close
Postal 2	KELSO NSW 2795
Postal 3	
Postal 4	
OWNER DETAIL	YES (2)
ADDITIONAL ADDRESS	ON
LEASE	ON
PROPERTY MEMO	ON
APPLICATIONS	ON
OCCUPATION CERTIFICATE	ON
SEWERAGE MANAGEMENT	ON
RECORDS FILE NO	YES (1)
GOOGLE	YES (1)
HOUSE DRAINAGE	YES (1)
INDEMNITY	ON
CROWN PLAN	ON
SUBDIVISION CERTIFICATE	ON





Map Scale:

Feature Report

#### **Agreement for Pye Street Construction**

**THIS DEED** is made the day of 2022

**BETWEEN:** BATHURST REGIONAL COUNCIL of Civic Centre, Russell Street,

Bathurst 2795 in the State of New South Wales ("Council")

AND GRANT GERARD BOOTH of 18 Gordon Close, Kelso, NSW,

2795 in the said State ("Booth").

#### **RECITALS**

- A. Pye Street in Bathurst is a private road, ownership of which is registered to Thomas Pye (deceased). In his Will of 1875 Thomas Pye reserved the Pye Street land for use by his children as a 'footway or roadway only'.
- B. As a private road, Council is not required to seal or maintain Pye Street. The street is unsealed.
- C. Booth desires to develop his land in Pye Street. Development of Booth's land cannot proceed until Pye Street is properly constructed, sealed and designated a public road.
- D. Pye Street requires construction from its intersection with Alpha Street to its termination at or near a gate located across Pye Street at the boundary of Lot 96 in DP602564 and Lot 42 in DP1228785
- E. Until constructed, costs associated in any way with the road, its dedication or its construction are to be paid by Booth.

#### **OPERATIVE PART**

#### Confidentiality

With the exception of any information that needs to be disclosed as part of any development application or other approval the parties must ensure that any person who receives information about this Agreement by a party's authority does not:

- 1.1. disclose any of the information in any form to anyone else; or
- 1.2. use any of the information except to:
- (i) acquire or check information in connection with this Deed; or
- (ii) perform any of its obligations under this Deed;

#### unless:

1.3. the information is disclosed to a professional adviser, banker or financial adviser of the party, or to a person whose consent is required in relation to this

Agreement, and that person undertakes to the person who provides the information:

- (i) not to disclose any of the information in any form to anyone else; and
- (ii) only to use the information for the purposes of advising the party or financing the party or considering whether to give consent (as the case may be);
- 1.4. the law requires the disclosure or use; or
- 1.5. the information is available generally (but not if it is because a person has contravened a confidentiality obligation (including under this clause)).

If construction of Pye Street does not occur, the party must return, and ensure that any person who receives the information by the party's authority returns, the information (in any form in which it is held) to the person who provided the information. The obligations imposed by this clause survive this Agreement.

#### **Booth to hold Insurance**

- 2. Booth must take out and maintain a public liability insurance policy for \$50 million in respect of Booth's or his Agents' activities, on or near Pye Street, under this Agreement.
- 2.1. A copy of the policy must be provided to Council before Booth or Booth's Agents occupy the Site of Works.

#### Site of Works

3. In addition to Booth's other rights under this Agreement, Council grants to Booth and Booth's Agents, from the date of this Agreement until completion of construction of Pye Street, a licence to enter upon, use and occupy the Site of Works shown on the attached drawing of Calare Civil (labelled G01) to undertake construction works. This is an essential term of this deed for the benefit of Booth.

#### Booth's access obligations

4. Booth and his agents may enter upon and remain on the Site of Works as may reasonably be required to undertake the construction works, together with all vehicles, plant, equipment, machinery, tools and materials considered necessary by Booth or Booth's Agents. The proviso of the foregoing is that Booth uses his reasonable endeavours to minimise any disturbance caused by his construction works and makes good any damage to the surface of the Site of Works having reasonable regard to the condition of that area prior to any such damage.

#### **Road Area**

- 5. Booth acknowledges and agrees that:
- 5.1. the 7-page PRELIMINARY plan attached shows the indicative location of the road to be constructed;

5.2. the exact location of the road is subject to final survey which will be carried out following completion of construction.

#### Gazettal and Bond.

- 6. Normally:
- 6.1. construction of a road takes place before dedication to the public; and
- 6.2. any owner of proposed road land, must consent before Council may approve construction. Construction may not commence until the owner's consent is obtained.
- 7. As the owners of the Pye Street land are deceased, owner's consent is not available.
- 8. Accordingly, the road will be gazetted by Council prior to construction. The parties agree gazettal of the land will vest ownership of Pye Street in Council.
- 9. Notwithstanding Clause 8 the parties agree the purpose of early gazettal is to circumvent the impossibility of obtaining the current owner's consent.
- 10. The parties further agree that:
- 10.1. early gazettal is absolutely not for the purpose of making Council financially, or otherwise, responsible for construction of Pye Street; and
- 10.2. Booth remains completely responsible for all preparation and road construction work.
- 11. For the reinforcement of clause 10, Booth will pay a Bond of \$400,000.00 to Council, to ensure his compliance with this agreement.
- 11.1. In the event Booth fails to commence and/or complete construction or does not meet any of his other obligations under this Agreement, Council is entitled to forfeit the Bond in order to undertake Booth's obligations.
- 11.2. The parties agree that Booth's consent to forfeiture is not required.

#### Matters required before the commencement of construction

- 12. Booth will ensure Calare Civil finalises its Pye Street plans for erosion & sediment control and notes, civil works, sight distance, vehicle manoeuvres and any other plan required for construction of the road and will submit the final plans to Council.
- 12.1. Booth will lodge a Development Application for construction of the road and associated infrastructure.
- 12.2. Council will examine the plans and Development Application and provide its approval therefore, or requirements for amendment prior to approval, or refusal of the application should it be warranted.

#### **Road Work**

13. Booth is obliged and responsible to:

- 13.1. meet all specifications and requirements of Council for construction of the road; and
- 13.2. arrange and pay experienced road contractors and any other entity necessary, to construct the road to Council's specifications; and
- 13.3. ensure the road is constructed:
  - (i) to the quality required by; and
  - (ii) within any time limits imposed by Council's development approval; and
- 13.4. with the exception of providing vehicular access to 36 Pye Street, ensure Pye Street is not available for use by the public during construction.
- 14. Council will inspect the work from time to time and will inform Booth of any alterations it deems are required on site.

#### After construction

- 15. Council will make a final inspection of the work and declare whether the public may use the road.
- 16. Council authorises Booth to do everything necessary to register the road plan at Land Registry Services once the exact location of the road has been determined.
- 16.1. Booth will arrange a surveyor to prepare a Deposited Plan of the road, suitable for registration at Land Registry Services.
- 16.2. Booth will ensure the Deposited Plan is lodged at Land Registry Services and the fees therefore are paid.

#### Responsibilities

- 17. Council will gazette Pye Street upon receipt of Booth's Bond payment.
- 18. Booth is responsible and indemnifies Council for all things related to road construction, the work site and all persons or items within it.

#### **Fencing**

- 19. Any new fencing along road boundaries will be similar to existing fencing. Generally, existing fencing will remain except where removal is required to facilitate road construction.
- 20. Any replacement fencing will be constructed by Booth when the road work is undertaken.

#### Expenses to be paid by Booth

- 21. Booth will pay the following:
- 21.1. All expenses associated with any required development application at Council, its approval and any other statutory approval; and

- 21.2. All expenses involved with pre-construction activities; and
- 21.3. All expenses of, or relating to, construction; and
- 21.4. All expenses of, or relating to, work site clean up after construction
- 21.5. Deposited plan preparation; and
- 21.6. Land Registry Services registration fees; and
- 21.7. Council's legal fees for Gazettal preparation and lodgement; and.
- 21.8. Any other expenses, incurred by Council, in the course of fulfilling this agreement not covered by the above clauses; and
- 21.9. Bond of \$400,000.00, referred to in clause 11.

#### **Indemnities**

- 22. Except as otherwise described herein Booth hereby releases unconditionally and forever all claims, demands, entitlements which Booth has or asserts to have or could, would or might but for this Release have against the Council in respect of any matter to which this Agreement relates.
- 23. Except as otherwise described herein Booth agrees to indemnify and keep indemnified Council from and against any and all claims that may be made against Council in respect of construction of the road, including any claim by any person who establishes legal interest in Pye Street.

#### Notices and other communications

- 24. Form: All notices, certificates, consents, approvals, waivers and other communications must be in writing, signed by the sender (if an individual), or an authorised officer of the sender and marked for the attention of the other party or their solicitor or, if the recipient has notified otherwise, then marked for attention in the way last notified.
- 25. Delivery: Communications must be:
- 25.1. left at the address of a party set out herein or their solicitor; or
- 25.2. sent by post to:
- (i) the address of a party set out herein; or
- (ii) their solicitor; or
- 25.3. given in any other way permitted by law.
- 26. When effective: Communications take effect from the time they are received or taken to be received unless a later time is specified.
- 27. When taken to be received: Communications are taken to be received:
- 27.1. if sent by post, six business days after posting; or

27.2. if sent by email, four hours after the time sent (as recorded on the device from which the sender sent the email) unless the sender receives an automated message that the email was not delivered.

#### **Dispute Resolution**

- 28. In this clause, Dispute includes any dispute, controversy, difference or claim arising out of or in connection with the road, this Agreement, including any question concerning formation, validity, interpretation, performance, breach and termination.
- 29. Any party (Initiating Party) claiming that a Dispute has arisen must give the other party (Recipient Party) a notice setting out brief details of the Dispute (Dispute Notice). Within 10 Business Days of service of a Dispute Notice, the Recipient Party must give the Initiating Party a notice setting out brief details of the Recipient Party's position on the Dispute (Reply Notice).
- 30. If a Dispute Notice and Reply Notice are given, the parties must make representatives with authority to settle the Dispute available for the purpose of meeting in an effort to resolve the Dispute. At least one meeting of the authorised representatives must take place within 10 Business Days of service of a Reply Notice.
- 31. Notwithstanding the existence of any Dispute, each party undertakes to continue to comply with the terms of this Agreement.
- 32. Neither Party may (and undertakes not to) take legal action in relation to a Dispute until they have complied with this clause 14 in relation to a Dispute.

#### General

- 33. The obligations in this Agreement do not merge on completion.
- 34. If any provision of this Agreement is illegal or unenforceable, to the extent of the inconsistency the provision is to be severed, unless this would materially change the intended effect of this Agreement.
- 35. A provision of this Agreement, or a right created under it, may not be waived or varied except in writing, signed by the party or parties to be bound.
- 36. No rule of construction applies to the disadvantage of a party because that party was responsible for the preparation of, or seeks to rely on, this Agreement or any part of it.
- 37. This constitutes the entire agreement of the parties about the subject matter and supersedes all previous agreements, understandings and negotiations on the subject.

#### **Definitions**

38. In this Agreement, these meanings apply unless the contrary intention appears.

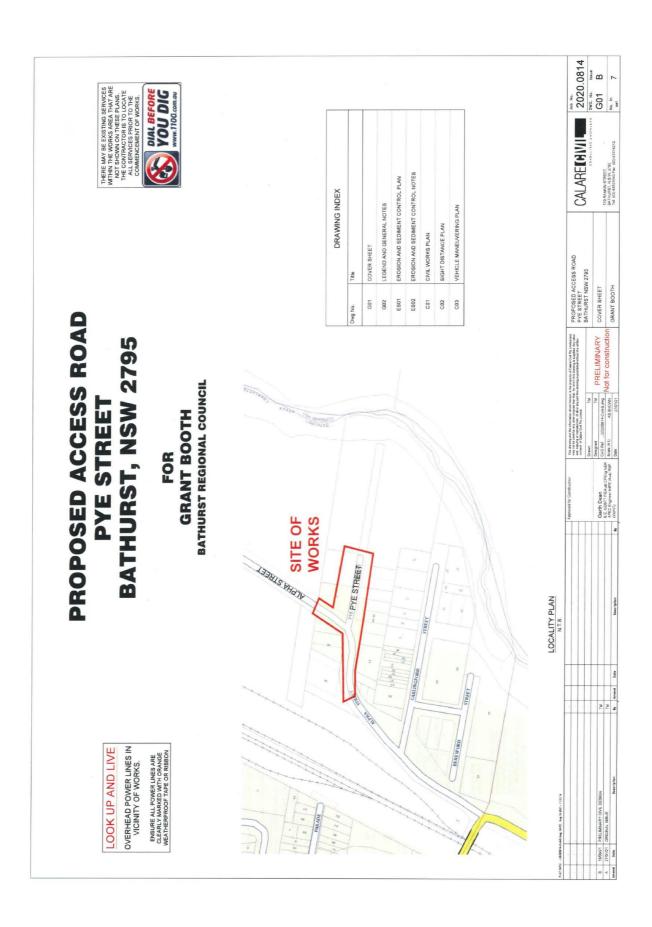
- 38.1. Agent(s) means employees, contractors, invitees, occupiers or anyone authorised by a party as agent.
- 38.2. Construction Works means all works required to construct the road including without limitation clearing the route of vegetation, digging and spoil removal, backfilling and compaction, carting and installing materials, placement of seal, work site remediation and the installation/replacement of any infrastructure required within the road reserve including water, sewer, drainage, electricity, street lighting, gas and telecommunication services.
- 38.3. Interested Person means any person or entity that has a claim over the proposed road area or any legal or equitable interest in the road area and includes any person who is, without limitation, the holder of an encumbrance.

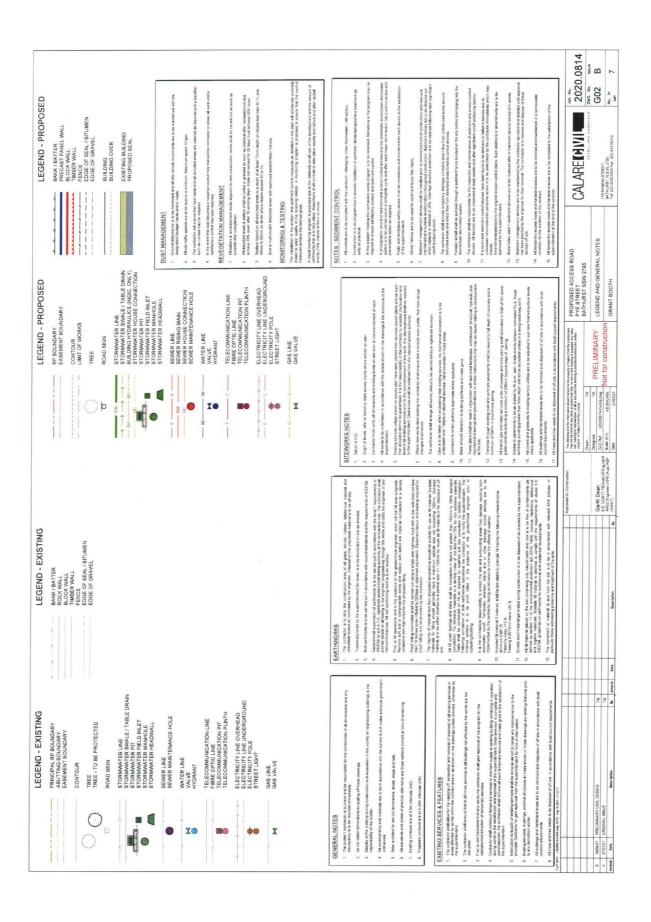
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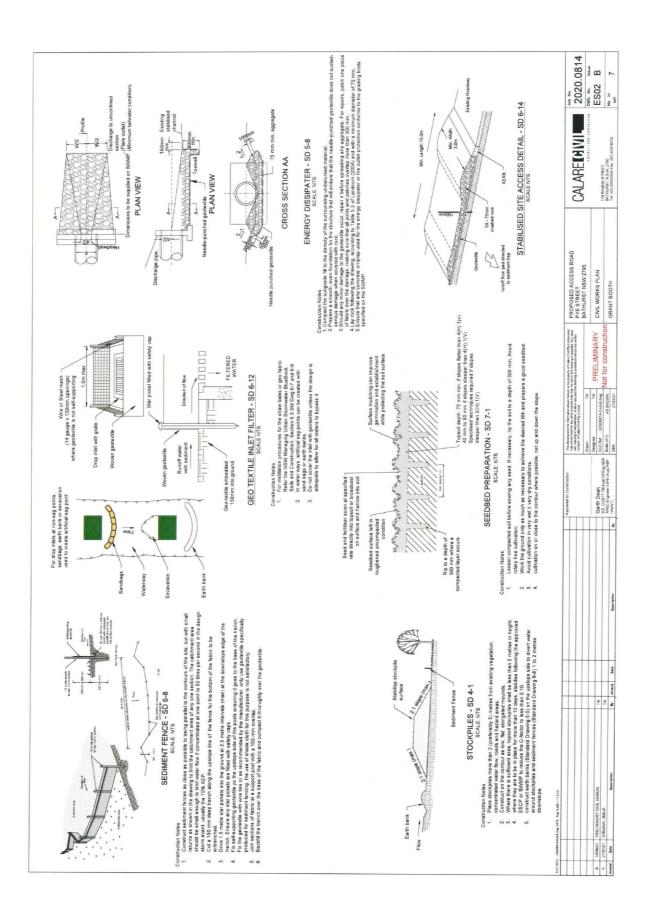
	Signature of G G Booth
Print name of Witness (use BLOCK lette	ers)
being the person for the time be of Bathurst Regional Council execution of this present instru Power of Attorney Registered B the within document and the pursuant to a resolution of Bath	eing holding or fulfilling the duties of General Manager and the said Attorney states that at the date of ument he has received no notice of revocation of ook 4429 No. 885 by virtue of which he has executed said Attorney further states that this deed is made nurst Regional Council made on the

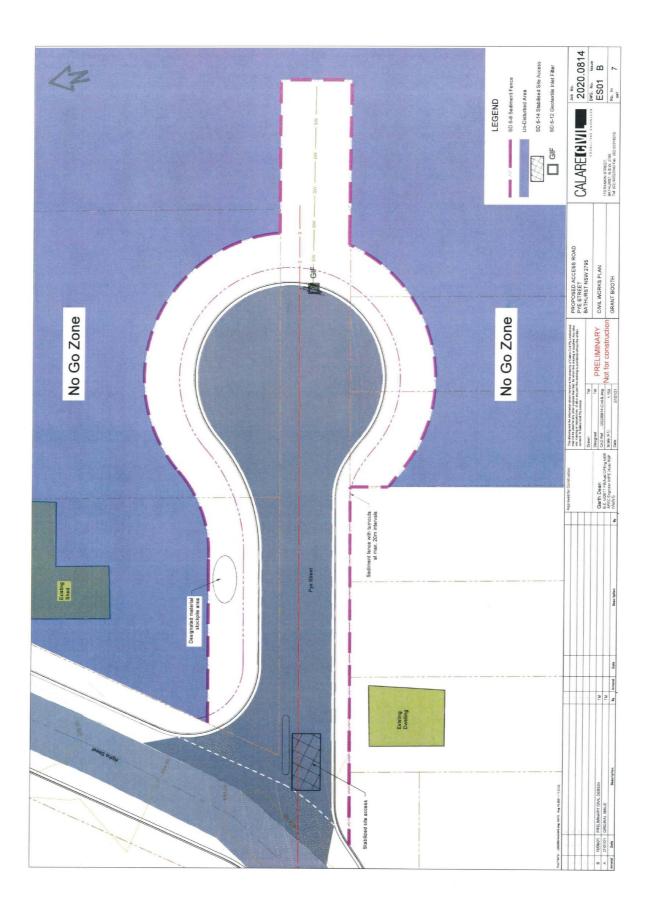
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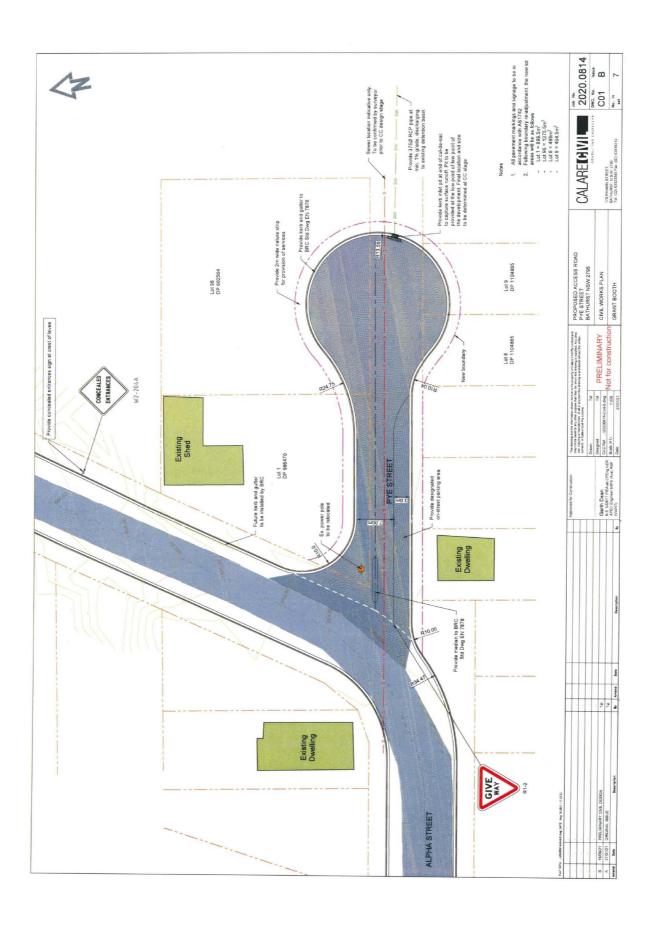


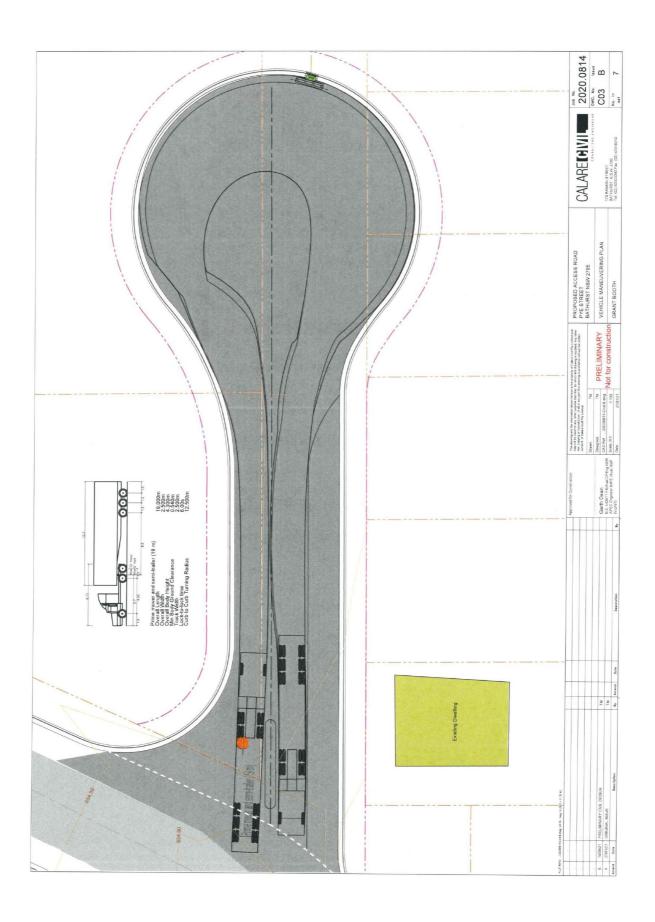


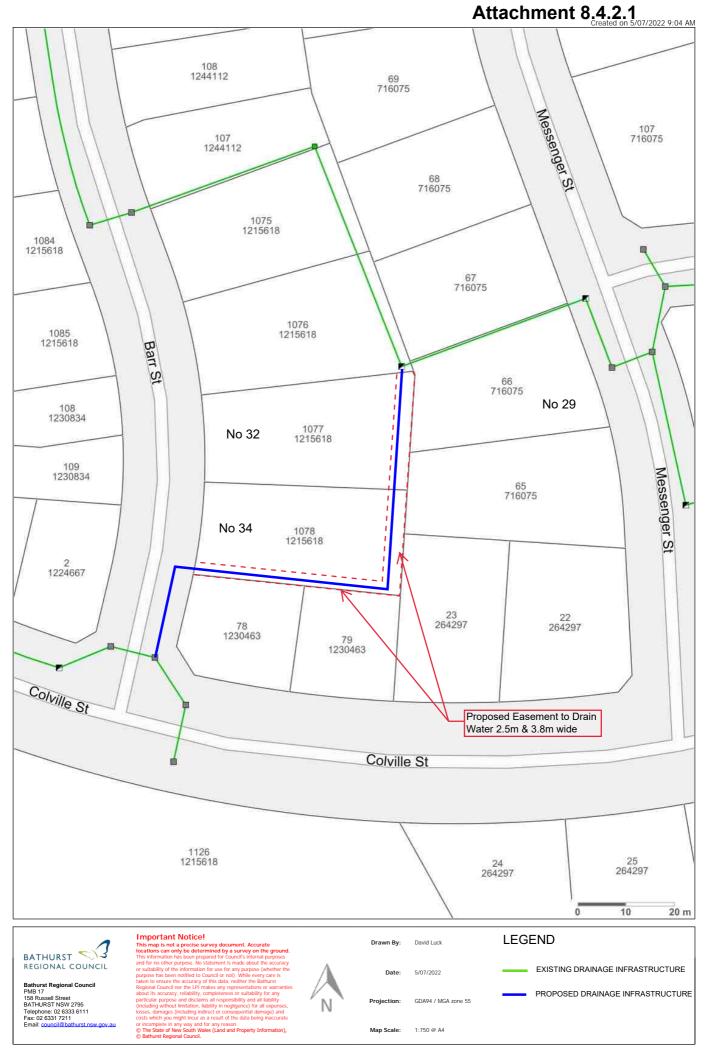




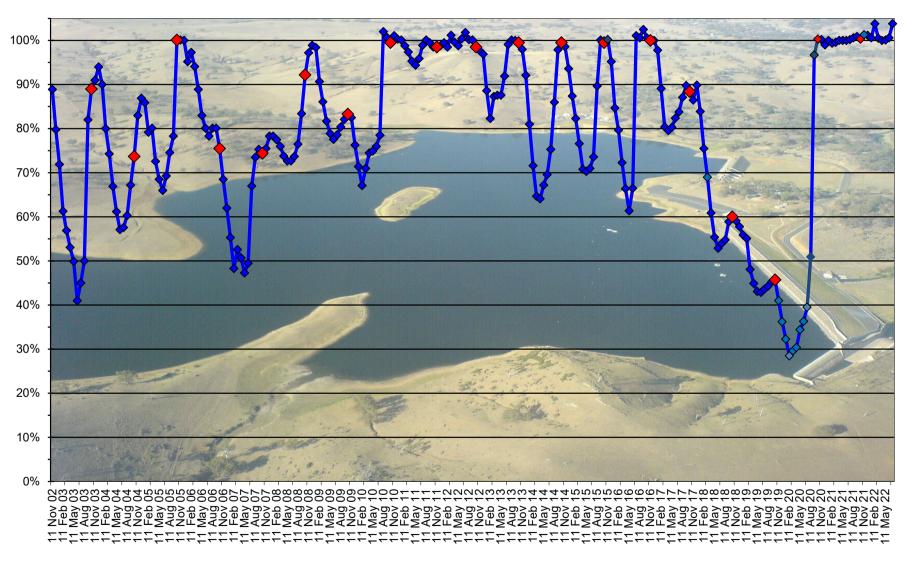




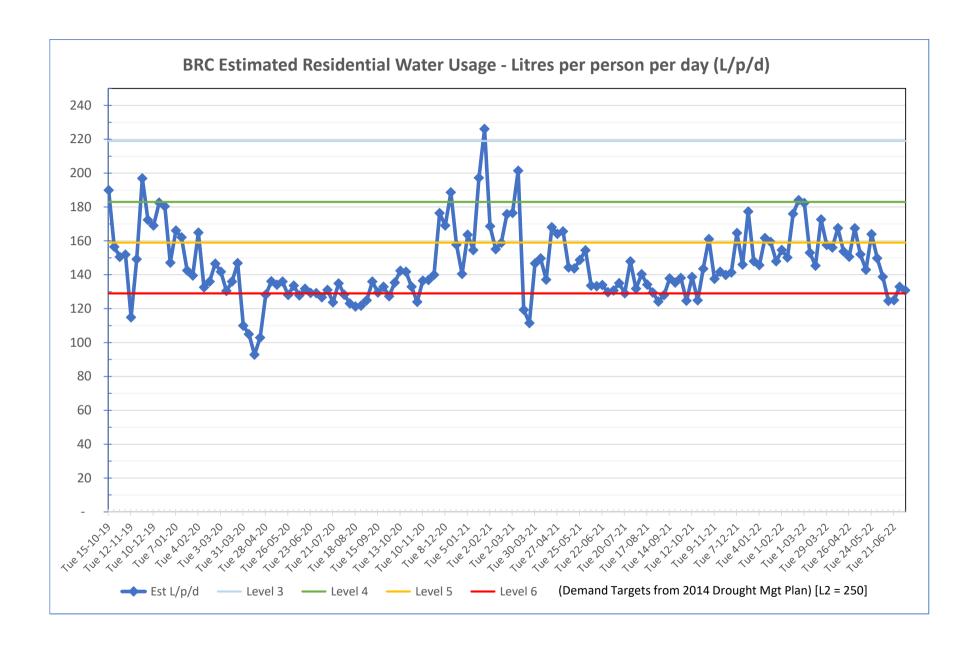




#### **Bathurst Regional Council: Monthly Chifley Dam Volume (%)**



Red markers = October. Last reading 4 July 2022.







# DISABILITY 58 INCLUSION 58 ACTION PLAN



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# ACKNOWLEDGEMENT OF COUNTRY

Bathurst Regional Council acknowledges the Wiradjuri People as Traditional Custodians of the land on which we work and live. The Wiradjuri Nation is the largest Aboriginal group in New South Wales. The Wiradjuri People are known as "the people of the three rivers", being the Wambuul (Macquarie), Kalari (Lachlan) and Murrumbidjeri (Murrumbidgee). We pay respect to Elders, past present and future and acknowledge other Indigenous Nations who work and live on Wiradjuri country.



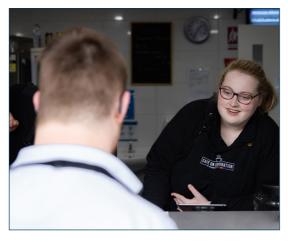


# BATHURST REGIONAL COUNCIL'S COMMITMENT TO INCLUSION AND ACCESSIBILITY

Through the development and implementation of the Disability Inclusion Action Plan 2022 – 2027, Council commits to;

- Strive for an inclusive community through collaborations with key stakeholders and people living with disability
- Improve community awareness and understanding of people living with disability
- Improve access to Council facilities, assets and services
- Advocate for all, to ensure the Bathurst Region is an accessible and inclusive place.







# MAYORAL WELCOME

Inclusive communities provide greater choice and control for individuals. Through the development and implementation of the Disability Inclusion Action Plan (DIAP) 2022 - 2027, Council aims to create an inclusive community that allows everyone to participate in and enjoy the range of opportunities provided throughout the region.

Whilst developing the DIAP, Council reached out to the community and stakeholders to ensure their needs were being met. We were told that Council is performing well in a number of areas, with facilities such as the Manning Aquatic Centre, Bathurst Rail Museum, Bathurst Library and Bathurst Regional Art Gallery best meeting the needs of people living with disability. We were also told of areas which need to be improved, including footpaths and the accessibility of outdoor spaces and playgrounds.



Additionally, we heard that community understanding and attitudes towards people with disability have a significant impact on the way people with disability access the community. This includes community awareness of those living with invisible disabilities such as Autism and mental health disorders.

The DIAP outlines how Council will build on previous achievements and address concerns to create a region that provides accessible services and facilities, increased employment and volunteering opportunities and a diverse range of accessible social activities, programs, and services.

It is my pleasure to present Bathurst Regional Council's Disability Inclusion Action Plan 2022 – 2027.

Mayor Councillor Robert Taylor

# GENERAL MANAGER'S WELCOME

The Disability Inclusion Action Plan (DIAP) 2022 – 2027 is a five-year plan that outlines strategies and actions Council will undertake to improve access and inclusion of people living with disability.

Over the last four years Council has worked towards achieving the actions outlined in the Disability Inclusion Action Plan 2017 – 2021. Notably, during this time, Council has upgraded a number of facilities including improving the accessible toilets at the Bathurst Visitor Information Centre and National Motor Racing Museum, provided customer service training to enable Council staff to more effectively recognise and meet the needs of people living with disability, worked with disability service providers to create opportunities for people living with disability and provided Bathurst Regional Access Grants to local businesses.



I would like to thank everyone who has contributed to the development of this Plan. The advice, feedback and suggestions provided by the community and stakeholders is valued and assists Council to develop plans that meet the needs of the community.

I look forward to seeing the DIAP 2022 – 2027 build on Council's progress and continue to improve the accessibility of the region.

David Sherley General Manager





# INTRODUCTION

The Disability Inclusion Act 2014 defines disability as a long-term physical, psychiatric, intellectual or sensory impairment that in interaction with various barriers, may hinder the person's full and effective participation in the community on an equal basis with others.

Bathurst Regional Council's Disability Inclusion Action Plan (DIAP) 2022 – 2027 aims to enable people living with disability to have greater access to the built environment and Council information, services, facilities and events.

The DIAP outlines the strategies and actions Council will undertake over the next five years, continuing to improve the accessibility of the region. The implementation of these strategies and actions will benefit many people in the Bathurst community including older people, people with a temporary and long-term disability, parents and young children.

Council's DIAP is developed in line with the NSW Disability Inclusion Act 2014 and is underpinned by the following principles which support the United Nations Convention on the Rights of Persons with Disabilities (2006);

- Focusing on abilities and not disabilities
- Fundamental rights for all people irrespective of age, race, gender or religion
- Genuine dialogue and participation
- Provision of equitable access and inclusion for all
- Prudent use of resources
- Recognising the benefits of collaboration
- Principles of Universal Design
- Access is everyone's business

### WHY IS INCLUSION IMPORTANT?

- As a community, we are poorer without a diverse range of viewpoints and individual perspectives.
- Exclusion leads to disadvantage and discrimination, which have far-reaching negative impacts across all aspects of life, including health, welfare, education and employment. These impacts are felt beyond the individual, with families and the broader community being negatively impacted by a non-inclusive community.
- Employment can provide independence, reduce reliance on benefits and improve the living standards of people with disability. This can have positive health impacts and contribute to a greater sense of self-worth.
- Equitable access to business benefits not only the people living with disability, but older people, parents with prams and business owners by expanding their business reach.



AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments



# DISABILITY INCLUSION ACTION PLAN (DIAP) 2017 - 2021 KEY ACHIEVEMENTS

#### KEY ACHIEVEMENTS OF BATHURST REGIONAL COUNCIL'S INAUGURAL DIAP INCLUDE:

- All Ability Lego Club at Bathurst Library
- Council staff trained to improve customer service for people living with disability
- Bathurst Winter Festival Accessibility and special Accessibility Day
- Support of disability service providers and people living with disability during International Womens Day
- All Council websites provide Readspeaker function including an enlarge font button
- Disability service providers in attendance at Jobs Expo
- Disability Service Directory created and published on Council's website
- Re-vamp of Council's 'People Living with Disability' webpage
- Training provided to Council staff regarding the Disability Inclusion Action Plan at induction
- Implementation of new recruitment software which asks people with disability to specify what additional requirements they require to assist them during the employment process
- Council provided paid work opportunities to two LiveBetter participants to pack children's arts and craft packs for the Winter Festival
- Council provided employment opportunities for seven LiveBetter participants during the Winter Festival as part of their transition to work program
- Bathurst Library hosted a work experience student living with disability for 3 months
- Access and inclusion audits undertaken at selected Council facilities
- Bathurst Access Improvement for Small Business Grants continues to be provided with the assistance of Bathurst Regional Access Committee (BRAC)
- Hearing loop installed in the Council Chamber
- Charge stations for motorised wheelchairs installed at the Library/Art Gallery forecourt and Bathurst Visitor Information Centre
- Upgrade of Bathurst Visitor Information Centre, National Motor Racing Museum Sofala Memorial Hall accessible toilets
- Continuing improvements to footpaths, playgrounds and parks
- Advocacy provided for improvements to accessible taxi services
- Advocacy provided for improvements to bus services
- Continued provision of accessible toilets, parking and site access for major events
- Purchase of portable ramps for use at events
- Details of disability support provided by local schools added to Council website
- Development of a media guide for local disability service providers
- Playground at Kelso Community Hub includes an accessible layback swing and accessible spinner
- Street lighting upgrades
- Accessible Bathurst content developed including a Visitors Guide to Bathurst, accessible toilet and accessible parking maps
- Library update of audio readers in partnership with Vision Australia
- All abilities league tag during NRL
- AUSLAN introduced at Baby Rhyme Time programs at Bathurst Library





## BATHURST PROFILE

The Bathurst Regional Council area is located in the Central Tablelands of New South Wales, 200 kilometres west of Sydney. The Bathurst Regional Local Government Area (LGA) is located on Wiradjuri land. The area was proclaimed as a settlement in 1815 by Governor Macquarie, making Bathurst the oldest inland European settlement in New South Wales. At the 2016 Census, Bathurst had a resident population of 42,550. These people live in Bathurst City, the villages of Sofala, Hill End, Wattle Flat, Rockley, Trunkey Creek, Yetholme, George's Plains, Sunny Corner and Peel, together with a range of rural localities covering a land area of 3,821.9km2.

The Bathurst region has a rich history; it has been inhabited by the Wiradjuri people for over 40,000 years. Early agricultural pursuits of the 1800's continue today and have provided ongoing support to the community, particularly on the banks of the Macquarie River. The gold rush of the 1850's and 60's saw the establishment of outlying townships such as Hill End and Sofala and the introduction to the region of multicultural influences. The first railway line reached Bathurst in 1876 and for the community has been a vital link between Sydney and the West ever since.

Bathurst is recognised as an educational centre with schooling available from preschool through to tertiary pursuits; as a vibrant city that has retained its relaxed country atmosphere; a community that embraces its facilities and prides itself on being friendly and welcoming; a region that values its history and at the same time embraces its future; a region that provides a wide range of cultural opportunities and facilities; a city that will continue to grow and respond to the needs of its residents.

### **DISABILITY IN AUSTRALIA**

It is estimated that over 4.4 million Australians, around 1 in 6, are living with a disability.

#### OF THESE 4.4 MILLION PEOPLE:

- 1 in 2 are aged 65 years and over
- 1 in 4 have a mental or behavioural disorder
- 1 in 3 have severe or profound disability
- 1 in 4 have experienced some form of discrimination

### IN PROFILE - Charlotte

What do you enjoy doing in your spare time? I do heaps of drama and dance lessons and am currently working on four shows.

I am training my dog Edward through Mind Dog Australia so he can be my Assistance Dog. Edward is a great help when I get anxious and overwhelmed. He comes up to me and "climbs into my chest" and I end up in fits of giggles and it makes me calm down. We got Edward from the Bathurst Pound and we can't understand why someone gave him up, he is amazing.



What do you like about living in Bathurst? The people and the opportunities including drama classes etc.

What would you like the Bathurst community to know about people living with disability? I am just a normal kid and I don't like to show my disability in public. I don't like to be treated differently.

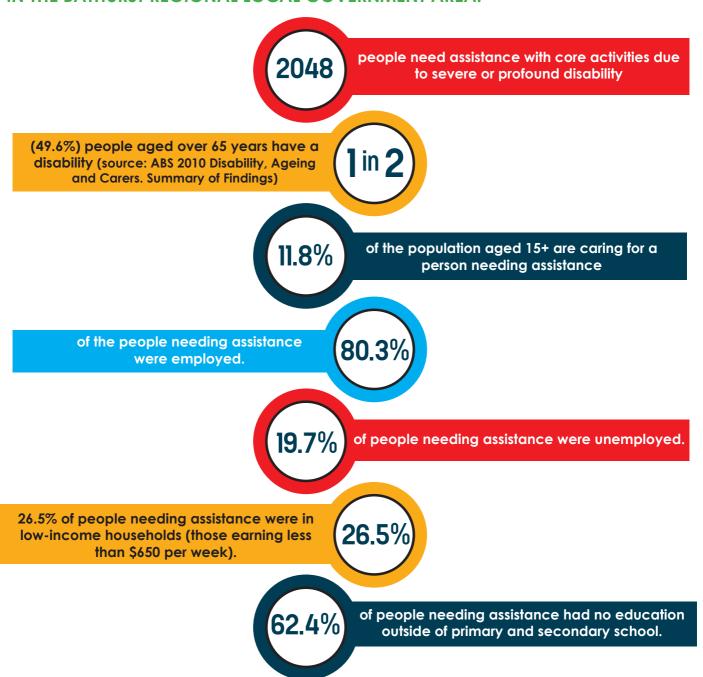
# **DISABILITY IN BATHURST**

There are approximately 7919 people living with disability in the Bathurst Local Government Area.

In the 2016 Census, 2048 people in the Bathurst LGA reported a need for assistance with core activities due to severe or profound disability (5% of the population). This is comparable to the New South Wales figure of 5.4%.

The need for assistance dramatically increases with age, with 31.7% of people aged over 85 needing assistance with core activities.

#### IN THE BATHURST REGIONAL LOCAL GOVERNMENT AREA:



Source: ABS Census of Population and Housing 2016



(footnote – based on the Bathurst LGA June 2020 estimated population of 43,996).



# BATHURST REGIONAL COUNCIL'S DISABILITY INCLUSION ACTION PLAN

Council's Disability Inclusion Action Plan 2022 – 2027 has been developed to align with the Bathurst 2040 Community Strategic Plan (CSP). The CSP is a legislative requirement as part of the NSW Government's integrated Planning and Reporting Framework for Local Government. The purpose of the CSP is to create a whole of community vision so that Council, other agencies, and the community are working in the same direction.

In July 2020, Bathurst Regional Council adopted Vision Bathurst 2040 – Bathurst Regional Local Strategic Planning Statement (LSPS) which outlines the region's economic, social and environmental land use needs over the next 20 years as the Region grows and changes. The LSPS highlights the characteristics that make the Bathurst Region special and outlines how growth and change in land use will be managed into the future.

The Disability Inclusion Action Plan 2022 – 2027 aligns with a number of objectives and strategies identified in the LSPS, as outlined below:

Action 3.2	Review the Bathurst Community Cycle and Access Plan
Action 3.4	Amend Council's planning instruments and engineering guidelines to adopt appropriate road and footpath widths to achieve active transport opportunities (including footpaths, cycleways and cycle lanes).
Action 3.10	Ensure that greenfield subdivisions are master planned with contemporary public and private transport and active transport connections to open spaces and community services.
Action 3.12	Implement the recommendations of the Bathurst Town Centre Master Plan to improve pedestrian linkages and thoroughfares within the Bathurst CBD.
Action 3.13	Implement the recommendations of the Bathurst Community Cycle and Access Plan.



# KEY ACTIONS WITHIN THE BATHURST 2040 COMMUNITY STRATEGIC PLAN RELEVANT TO THE DISABILITY INCLUSION ACTION PLAN 2022 – 2027 INCLUDE:

OBJECTIVE	STRATEGY	HOW THIS WILL BE ACHIEVED
OBJECTIVE 4: Enabling sustainable growth	<ul> <li>4.1 Facilitate development in the region that considers the current and future needs of our community.</li> <li>4.2 Provide safe and efficient road, cycleway and pathway networks to improve accessibility.</li> <li>4.3 Ensure services, facilities and infrastructure meet the changing needs of our region.</li> <li>4.4 Provide parking to meet the needs of the city.</li> </ul>	Review facilities and implement improvements.  Review and improve cycleways and pathways throughout the region.  Infrastructure planning will consider the needs of people living with disability.  Review and improve accessible parking throughout the region.
OBJECTIVE 5: Community health, safety and well being	<ul> <li>5.1 Provide opportunities to be healthy and active.</li> <li>5.3 Help build resilient, inclusive communities.</li> <li>5.4 Make our public places safe and welcoming.</li> <li>5.5 Plan and respond to demographic changes in the community.</li> </ul>	Support initiatives that enhance inclusive aspects of the Bathurst region.  Implement community development initiatives that address the needs of the community.  Build social networks, connections and cohesion.  Support initiatives which enhance the region's ability to cater for an older population.
OBJECTIVE 6: Community leadership and collaboration	<ul> <li>6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.</li> <li>6.3 Advocate for our community.</li> <li>6.4 Meet legislative and compliance requirements.</li> <li>6.5 Be open and fair in our decisions and our dealings with people.</li> <li>6.7 Invest in our people.</li> <li>6.8 Implement opportunities for organisational improvement.</li> </ul>	Continue to explore new partnerships which work to meet the needs of people living with disability in the Bathurst LGA.  Advocate to a variety of organisations, businesses, groups and government departments for increased access to accessible services, incentives and activities for people living with disability.  Consider the needs of people living with disability in Council planning and processes.  Council will continue to be ethical, inclusive and transparent in all communication and decision-making.  Consider the needs of people living with disability in Council employment procedures and policies.





### POLICY AND LEGISLATIVE CONTEXT

People living with disability, their families, and carers have the same rights as all people to access services and facilities. These rights are part of Commonwealth and State policy and legislation which make it unlawful to discriminate against a person with disability.

The NSW Disability Inclusion Act 2014 mandates that all NSW Councils have a Disability Inclusion Action Plan (DIAP).

#### LEGISLATION AND STANDARDS THAT INFORM COUNCIL'S WORK INCLUDE:

- UN Convention on the Rights of Persons with Disabilities
- Australia's Disability Strategy 2021 2031
- National Disability Insurance Scheme (NDIS)
- National Disability Inclusion Act 2014
- Commonwealth Disability Discrimination Act 1992
- New South Wales Disability Inclusion Action Plan 2021 2025
- National Art and Disability Strategy 2009
- Disability (Access to Premises Standards Buildings) Standards 2010
- Disability Standards for Accessible Public Transport 2002
- Local Government Act 1993 and Local Government (General) Regulation 2005
- Australian Standard (AS 1428) Design for Access and Mobility
- Web Accessibility National Transition Strategy 2010



### IN PROFILE - Lara



What do you like about living in Bathurst? Shops, family and friends. There are lots of places to eat out with family and friends and salons to get my nails done.

What would you

like the Bathurst community to know about people living with disability? You can't always see disabilities. It takes a lot of hard work and a lot of time to get a job. Travel and transport is a lot harder for people with disabilities.

What can people in Bathurst do to support people living with disability? Give us more opportunities/chances at jobs. Remember to keep including us in different events. It is good that we can have our own time on the ice-skating rink.

### **CONSULTATION**

Council undertook community and stakeholder consultation to ensure the Disability Inclusion Action Plan 2022 – 2027 best meets the needs of people living with disability.

#### **METHODS OF CONSULTATION INCLUDED:**

- 1. Disability Inclusion Action Plan Survey
- 2. Online Disability Inclusion Action Plan Stakeholder Focus Group
- 3. Internal Working Group

A Community Focus Group was postponed due to COVID-19 restrictions.

#### DISABILITY INCLUSION ACTION PLAN SURVEY

The Disability Inclusion Action Plan Survey was developed to inform the priorities of the Disability Inclusion Action Plan 2022 – 2027. The survey included questions to determine the challenges faced by local people living with disability in accessing information, employment and local facilities.

The survey was available online through YourSay and printed copies available at Council's Civic Centre and the Bathurst Library from 20 July 2021 to 20 August 2021.

An Easy Read version of the survey was also available online and in hard copy format.

Of the 73 survey respondents, 19 identified as a person living with disability, 17 respondents provide paid services to people living with disability, 14 identified as a family member or friend of a person living with disability, 11 care for people living with disabilities, 10 identified as community members and 2 respondents identified as something else.

A majority of respondents were female (72%) with 62% of respondents under 50 years old. Physical disabilities were the main disability reported (24 respondents), followed by psychological/mental health disabilities (14 respondents), intellectual disability (13 respondents), hearing impairment (12 respondents) and vision impairment (5 respondents). 31 respondents had no disability while 31 respondents selected 'other'.

Participants were equally divided when asked if they believe Bathurst is an inclusive place for people with disability to live, with 29 respondents selecting 'yes' and 29 respondents selecting 'no'. 15 respondents were unsure.

The survey found that community attitudes have the greatest impact on a person with disability accessing the community (45 of 73 responses), followed by a lack of accessible shops and services (39 responses), footpaths (25 responses), lack of accessible parking (25 responses) and lack of signs, braille and hearing loops (19 responses).

Volunteer opportunities continue to be an area of concern with 25 of 73 respondents believing a person living with disability cannot access volunteer opportunities if they want to.

Changing people's attitudes (50 responses), accessible workplaces (40 responses) and inclusive recruitment processes (35 responses) are most needed to improve employment opportunities for people living with disability.





A majority of respondents believe Council's current services are satisfactory (52 respondents) in terms of ease of use and access to information.

40 respondents were not aware of Council's Disability Inclusion Action Plan, with the 64% of those who were aware of the Plan believing it had not made their life easier.

The Manning Aquatic Centre, Bathurst Rail Museum, Bathurst Library and Bathurst Regional Art Gallery are rated as the facilities best meeting the needs of people living with disability. Community halls, Bathurst Regional Airport, sports grounds, playgrounds, parks and Chifley Home and Educational Centre were identified as facilities which do not meet the needs of people living with disability.

A selection of responses to the Disability Inclusion Action Plan Survey can be seen in the Appendix.

#### **FOCUS GROUP**

A Stakeholder Focus Group was held in August 2021 to assist in the development of the Disability Inclusion Action Plan 2022 – 2027.

Stakeholders in attendance at the Disability Inclusion Action Plan Stakeholder Focus Group included Glenray, LiveBetter, Bathurst Regional Access Committee, Social Futures, Verto and Bathurst Childhood Early Intervention Service.

The key points raised by stakeholders are similar to those of the survey, with community education, accessibility, transport and inclusive employment highlighted as areas needing improvement. The Stakeholder Focus Group identified that Council performs well in managing inclusive events, administering the Bathurst Regional Access Grants and providing the Accessible Guide to Bathurst. The challenges presented by COVID-19 were also raised, with many people living with disability isolated from the community.

#### INTERNAL WORKING GROUP

An Internal Working Group has been formed consisting of key Council staff involved in providing services and information to the community. This group will meet throughout the development and implementation of the Plan to review the progress of actions and strategies.

#### **PRIORITY AREAS**

#### Consultation findings show key areas of improvement which align with the priorities of:

- Developing positive community attitudes and behaviours
- Supporting access to meaningful employment
- Creating liveable communities
- Improving access to mainstream services through better systems and processes.







## **ACTION PLAN**

#### **DEVELOPING POSITIVE COMMUNITY ATTITUDES AND BEHAVIOURS**

People's attitudes impact all aspects of community life. The attitudes and behaviours of the community towards people living with disability have been described as the most significant barrier to participation and inclusion.

ACTION 1: DEVELOPING POSITIVE COMMUNITY ATTITUDES AND BEHAVIOURS				
OUTCOME/OBJECTIVE	ACTION	MEASURES	TIME- FRAME	DEPARTMENT/S INVOLVED
awareness and understanding of	a) Recognise the achievements and contributions of people living with disability.	# of stories of inclusion promoted.	Annual	General Manager's Office Cultural & Community Services
	<b>b)</b> Improve understanding of a range of disabilities and mental health conditions.	Information on disability and mental health conditions provided.	Annual	Cultural & Community Services
	c) Promote opportunities for inclusion to schools, child care services, businesses and service providers.	# of opportunities promoted.	Annual	Cultural & Community Services
	d) Support inclusive events and activities such as International Day of People with Disability (IDPwD).	# of events and activities supported.	Annual	Cultural & Community Services
2. Bathurst Regional Council employees are disability aware and provided with development opportunities to assist in the delivery of inclusive services and environments.	a) Continue to include information about accessibility, inclusion and the DIAP at Bathurst Regional Council new staff induction days, Councillor communication and through Staff News.	Accessibility and DIAP information included in induction presentation.	Annual	Corporate Services & Finance  General Manager's Office
		# of employees to receive information.		
	<b>b)</b> Continue to provide disability inclusion training for Bathurst Regional Council employees.	# of staff completing training.	On com- mence- ment and every 2 years	Corporate Services & Finance  Cultural & Community Services
	c) Acknowledge events that promote inclusion, such as IDPwD within Bathurst Regional Council.	# of events promoted.	Annual	Corporate Services & Finance Cultural & Community Services





#### SUPPORTING ACCESS TO MEANINGFUL EMPLOYMENT

Employment contributes towards feelings of self-worth and provides regular social interaction. For more people employment and economic security are interrelated. Employment can increase an individual's capacity for choice and control over many life decisions.

<u> </u>	ACTION 2: SUPPORTING ACCESS TO MEANINGFUL EMPLOYMENT					
	OUTCOME/OBJECTIVE	ACTION	MEASURES	TIME- FRAME	DEPARTMENT/S INVOLVED	
1	. Build Council's organisational capacity for disability inclusion.	<b>a)</b> Ensure Council employment processes are inclusive and support a diverse workforce.	Inclusive employment processes implemented.	2024	Corporate Services & Finance	
2	<ul> <li>Support the employment of people living wiith disability in the Bathurst LGA.</li> </ul>	a) Provide information on disability and the benefits of providing employment, volunteer and work experience opportunities for people living with disability to the local business community.	# of occasions Information provided.	Annual	Community Services Environmental, Planning & Building Services	

#### **CREATING LIVEABLE COMMUNITIES**

Liveable communities are places people can move about easily to access services and facilities and participate in community life.

ACTION 3: CREATING LIVEABLE COMMUNITIES					
OUTCOME/OBJECTIVE	ACTION	MEASURES	TIME- FRAME	DEPARTMENT/S INVOLVED	
Provide clean,     accessible toilets     throughout the     Bathurst LGA.	a) Continue to monitor cleaning and maitenance of accessible toilets around the region.	Accessible toilet maintenance and cleaning schedule continued.	Annual	Engineering Services	
	<b>b)</b> Review opportunities for additional, and make improvements to existing, accessible toilets in the region.	# of toilets upgraded. # of larger spaces/adult change spaces.	Annual	Engineering Services	
2. Improve the accessibility of streets, footpaths, parks and open spaces in the Bathurst LGA	a) Improve, where possible, accessibility of parks including inclusive play spaces, accessible equipment, quiet spaces, amenities, paths and seating.	# of improved accessible playspaces in Bathurst LGA. # of accessible parks and playspaces under consideration.	Annual	Engineering Services	

		Attachment 8.5.1.1		
OUTCOME/OBJECTIVE	ACTION	MEASURES	TIME- FRAME	DEPARTMENT/S NVOLVED
	<b>b)</b> Investigate opportunities to provide more shaded and accessible seating options within Bathurst.	# of additional accessible seating options provided.  # of additional shaded seating options provided.	Annual	Environmental, Planning & Building Services Engineering Services
	c) Continue to implement strategies in the Bathurst Regional Council Access and Cycling Plan 2011 (future Bathurst Region Active Transport Strategy). Including a focus on:  • Width of pathways.  • Access in and around playgrounds and parks.  • Maintenance of existing paths.  • Development of pathways.  • Continual monitoring of standards.	# of improvements to existing pathways.  # of new pathways developed.  Monitoring practices in place.	Annual	Environmental, Planning & Building Services Engineering Services
	d) Review the 2011 Access and Cycling Plan to develop a new Bathurst Region Active Transport Strategy that reviews the current standards with a focus on improving accessibility of existing footpaths and cycleways.	New Active Transport Strategy completed.	2023	Environmental, Planning & Building Services
	e) Plan all new subdivisions with contemporary public and private transport and active transport connections to open spaces and community services and facilities.	Addressed by Council's Planning and Engineering Guidelines.  # of active transport connections provided.	Annual	Environmental, Planning & Building Services Engineering Services
	f) Advocate for and deliver accessible footpaths and cycleways in new developer owned subdivisions.	# advocacy undertaken  # of accessible footpaths and cycleways in new subdivisions delivered.	As required	Environmental, Planning & Building Services Engineering Services





		Attachment 6.5.1.1			
		<b>g)</b> Continue to review and improve, where possible, lighting and signage	# lighting and signage improvements made.	Annual	Engineering Services
		<b>h)</b> Improve accessibility of Council-owned sporting facilities.	# of improvements to sporting facilities made.	Annual	Engineering Services
		i) Investigate opportunities to create a pedestrian-friendly CBD.	# of pedestrian friendly opportunities considered.  # of pedestrian friendly initatives supported.	Annual	Environmental, Planning & Building Services
3. Improve the accessibility of Council owned assets and facilities	a) Annually report improvements to and promote accessibility of Council-owned assets.	# of improvements to Council assets made.  # of times accessibility is promoted.	Annual	Engineering Services Cultural & Community Services General Manager's Office	
	b) Review opportunities to provide quiet spaces and places for sensory seeking and respite in new and existing Council facilities.	# of quiet, sensory and respite spaces provided.	Annual	Cultural & Community Services	
4.	Support safe and accessible transport options	a) Advocate for improved accessible transport options including public and community transport services.	Advocacy undertaken	As required	Cultural & Community Services
	<b>b)</b> Continue to review and monitor accessible parking spaces on street to ensure they cater for the diverse needs of the community.	Parking audits complete.  # of accessible parking improvements made.	Annual	Environmental, Planning & Building Services  Engineering Services  Cultural and Community Services	

# IN PROFILE - OLIVÍA

**What do you enjoy doing in your spare time?** I enjoy watching Rugby League and follow the Sydney Roosters, going to the movies, playing sport, swimming, soccer and going out for dinner with my family & friends.

**What do you like about living in Bathurst?** I like all the friendly people that live in Bathurst and all the places I can get my coffees each day - I like to try them all but I do have my favourites.

What would you like the Bathurst community to know about people living with disability? I would like to say that most people with a disability are like everyone, they like to be useful and go out and meet people and make new friends like I do.

AGENDA - Ordinary Meeting of Council - 20 July 2022 Attachments





OUTCOME/OBJECTIVE	ACTION	MEASURES	TIME- FRAME	DEPARTMENT/S INVOLVED
	c) Investigate drop off and pick up locations within the CBD with access to shelter and appropriate seating	Investigation complete.  Drop off/pick up zones introduced	2023/ 2024	Engineering Services Environmental, Planning & Building Services
5. Provide inclusive and accessible events	a) Develop accessible event guidelines for Council and community events	Document developed	2023/ 2024	Corporate Services & Finance Cultural & Community Services
	<b>b)</b> Continue to provide inclusive and accessible Council events.	# of accessible Council events held Consultation held with disability service providers to ensure events are accessible	Annual	Corporate Services & Finance Cultural & Community Services Environmental, Planning & Building Services
<ol> <li>Improve the accessibility of local businesses and services for people living with a disability.</li> </ol>	a) Continue to provide Bathurst Regional Access Committee (BRAC) with Bathurst Access Improvement Grants.	# of grants provided to small businesses.	Annual	Cultural & Community Services
	<b>b)</b> Continue to advocate for improved access to shops, businesses and organisations.	Advocacy undertaken.	Annual	Cultural & Community Services Environmental, Planning & Building Services
	c) Ensure accessibility and inclusion are considered when processing Development Applications.	Accessibility and inclusion standards reviewed by Council staff.	Annual	Engineering Services

### IN PROFILE - Reggie

**What do you enjoy doing in your spare time?** I like playing sports, soccer, basketball, cricket and karate. Hanging out with my best mate Logan.

What do you enjoy about working at Glenray Laundry? Helping the bosses. I like going in the vans & trucks to do deliveries, especially to Orange and Mudgee.

**What are your strengths?** Dancing, bowling, making people laugh. These make me have a better work experience with all the guys at the laundry and I just like to have fun.









# IMPROVING ACCESS TO MAINSTREAM SERVICES THROUGH BETTER SYSTEMS AND PROCESSES

Ease of accessing systems, options for communicating and information to help remove barriers to participation and support people to live independently.

# ACTION 4: IMPROVING ACCESS TO MAINSTREAM SERVICES THROUGH BETTER SYSTEMS AND PROCESSES

OUTCOME/OBJECTIVE	ACTION	MEASURES	TIME- FRAME	DEPARTMENT/S INVOLVED
Improve the accessibility of Council information.	<b>a)</b> Improve the accessibility of Council information.	# of opportunities investigated. # of improvements made.	Annual	All Departments
Raise awareness of accessible services and facilities.	a) Continue to update and distribute the Accessible Bathurst Guide, including accessible parking and accessible toilet maps.	Accessible Bathurst Guide is available online. Printed copies of the Accessible Bathurst Guide are available. Updates made as required.	Annual	Cultural & Community Services
	b) Promote Council's accessible programs, services, facilities and resources.	# of accessible programs, services, facilities and resourcess promoted.	Annual	General Manager's Office Cultural & Community Services
	c) Continue to update and provide an online disability service directory on Council's website.	Annual update of service directory. Service directory available on Council website.	Annual	Cultural & Community Services
3. Ensure people living with disability are informed and consulted in Council's decision making processes.	a) Ensure Council engagement processes are inclusive.	Evidence that Council's engagement processes are inclusive.	Annual	All Departments

#### IN PROFILE - BOD

#### What do you like about living in Bathurst?

Apart from being able to take an active part in the community, being able to wheelchair r oll easily from the CBD to bush areas together with being able to liaise with a council staff team that are easily approachable when it comes to equitable access. As Bathurst is quite close to Sydney, Canberra and other major destinations, it is also in a position where I can access major medical facilities not available locally. The effort put into parks and gardens and multiple sporting facilities makes Bathurst an excellent place to enjoy one's life.



#### What would you like the Bathurst community to know about people living with disability?

Ability not Disability is a most apt description in such a short sentence. People with disability should be able to access all goods and services and the built environment exactly the same as every other person. It is most annoying when I have to make multiple phone calls and plans before I venture out to a business to see if that business or event is accessible for those with a disability. Not all disabilities are visible – so don't reach incorrect conclusions as to why a person has to use disability parking or disability toilets etc..

#### What does an inclusive community look like to you?

An inclusive community, to me, is where I can go anywhere and everywhere and access goods and services just like any member of the public can do. A community where our elected civic leaders ensure every special event, every new building development, and every street is accessible as is currently required by law via the Disability Discrimination Act.

### RESOURCING

Many of the actions contained in the 2022 – 2027 Disability Inclusion Action Plan can be resourced using Council's existing annual operational budget. Additional funding will be sought through grant applications, as required.

### MONITORING, REVIEW AND REPORTING

Each year, Council will report on its progress against the Disability Inclusion Action Plan (DIAP) as part of its Annual Report. A summary of achievements will also be prepared annually and provided to the NSW Disability Council.

#### **GOVERNANCE**

The General Manager and the Senior Management Team will sponsor, promote and ensure implantation of the plan.

#### INTEGRATION

The actions in this Plan will become part of Council's Delivery Program and Annual Operational Plan and will help to deliver the Bathurst 2040 Community Strategic Plan.

#### **IMPLEMENTATION**

An implementation plan that includes time frames, priorities, resources and responsibilities has been developed to help with the delivery of the Plan.





#### MONITORING AND EVALUATION

An evaluation framework with performance indicators has been developed to measure change. Data will be collected and reported throughout the implementation of the Plan. In the 5th year of the Plan, we will measure community satisfaction through a community survey.

#### **REPORTING**

Regular updates will be provided on Council's website to report progress. Progress measures towards delivering the actions in the Plan will be formally reported as part of Council's annual reporting processes. Council will prepare and submit reports to the NSW Disability Council, as required. The DIAP is a five-year plan.

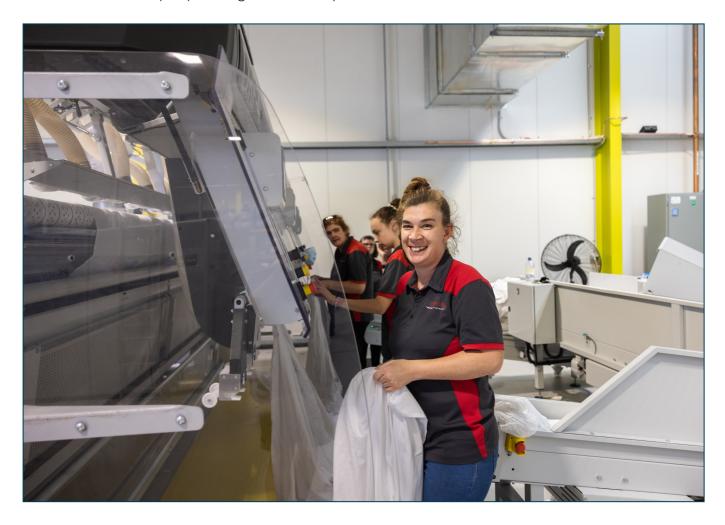
# IN ADDITION TO THE ANNUAL REVIEW PROCESSES, A FIVE YEARLY REVIEW WILL INCLUDE;

- Review and evaluation of the complete DIAP
- Adoption and publication of an updated DIAP

#### ONGOING CONSULTATION AND REVIEW

Council will continue to talk to stakeholders to check that the priorities in the Plan are still relevant and will make changes to the Plan where they are needed.

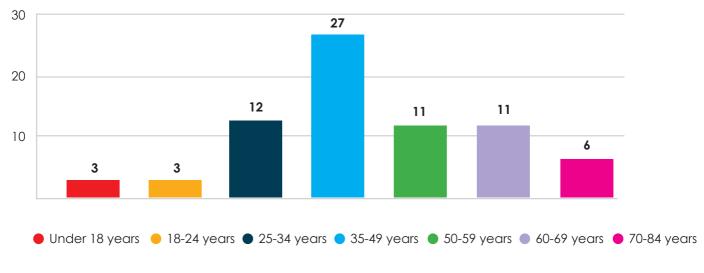
When appropriate to relevant actions of the Plan, Council will also consult with key stakeholders to ensure the needs of people living with disability are met.





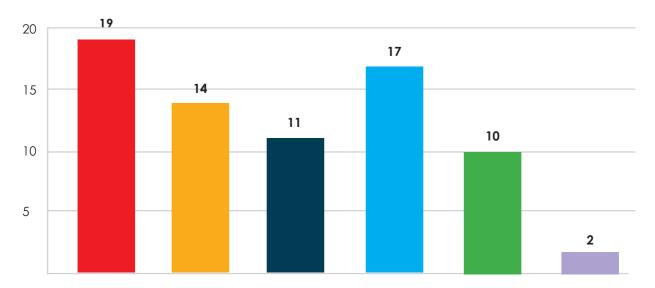


#### WHAT IS YOUR AGE GROUP?



Mandatory Question (73 Responses)
Question Type - Checkbox Question

#### ARE YOU? (select one)



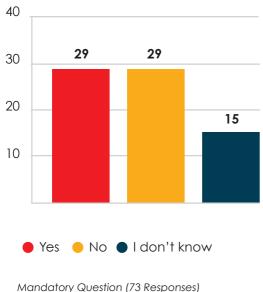
- Someone with a disability
   A family member of a person living with a disability
- Carer of someone living with a disability
- A provider of services (including paid carers to a person living with disability
- A community memberOther

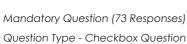
Mandatory Question (73 Responses) Question Type - Checkbox Question





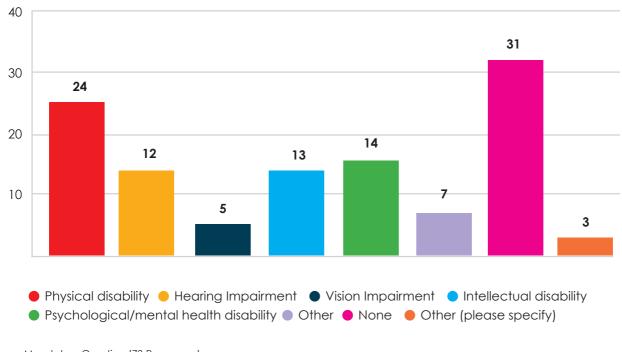
#### DO YOU THINK BATHURST IS AN INCLUSIVE PLACE FOR PEOPLE WITH A **DISABILITY TO LIVE?**







#### WHAT KIND OF DISABILITY DO YOU HAVE? (select all that apply)



Mandatory Question (73 Responses) Question Type - Checkbox Question



#### IN PROFILE - ISAAC



### What do you enjoy doing in your spare time?

I have been interested in planes and flying for a long time. I was given the opportunity to have some flying lessons and I now have many hours of flying experience flying solo but with an instructor next to me. I enjoy helping out at Central

West Flying at the airport. I also really love to fly the Bristell plane with my instructor. I like to fly to Orange and back.

Taking my Corolla for a drive. I often drive to the shops or the pool. I enjoy keeping fit at the gym. I use the treadmill, cross trainer, bike and rowing machine. I love listening to music and I like watching movies to relax. Some of my favourites are Monster House and Shrek.

During the last 2 years I have also started gardening. I am growing vegetables and sunflowers out at my farm garden.

#### Why do you enjoy working at Café on Corporation?

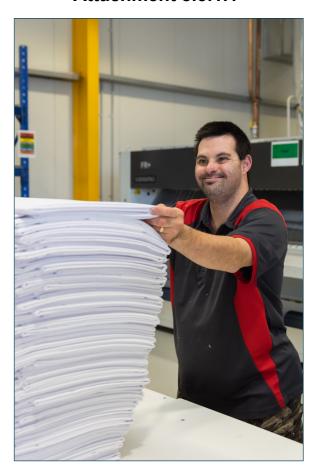
I have a job at Café on Corporation which I love because I love working and helping people. I am very good at remembering jobs once I have had a couple of practices. Sometimes I start very early in the morning. I enjoy setting up the deck and making egg and bacon rolls and toasted sandwiches.

### What do you want the Bathurst community to know about people living with disability?

We are all very much individuals and have lots of skills, traits and likes and dislikes just like anyone else. A diagnosis does not define who we are to become. If we are surrounded by a community full of people who are ready to foster interests and give opportunities anything is possible.

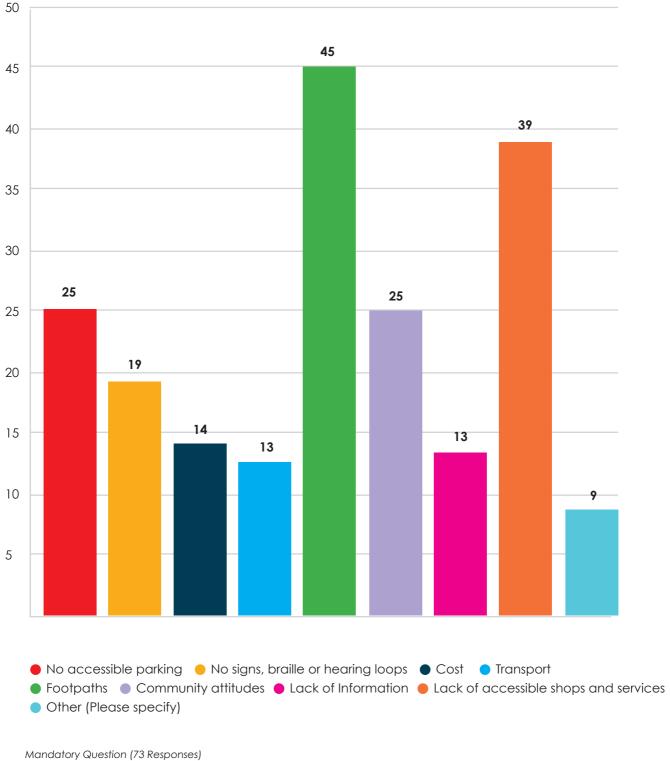








# WHAT MAKES ACCESSING THE COMMUNITY HARD FOR A PERSON LIVING WITH DISABILITY? (select three)



Mandatory Question (73 Responses)

Question Type - Checkbox Question



### IN PROFILE - Vicki



#### What do you like about living in Bathurst?

Apart from the fact that Bathurst is an environmentally and beautiful place to live, I find it to be an inclusive, accepting and friendly community where people always seem ready to smile and say "hello".

### What would you like the Bathurst community to know about people living with disability?

Whether it be a vision or hearing impairment, an intellectual disability, an acquired brain injury, an autistic spectrum disorder, a mental health condition or a physical disability (such as mine); people living with disability are faced with a few more challenges during their life span than the average person. Therefore, they may require more support to fulfil the same goals, hopes and dreams that everyone has.

Negative attitudes, stigma and discrimination toward those with disability can lead to low self-esteem and a reduced participation in society by the person living with disability.

ACCEPTANCE is a key word in relation to disability...acceptance of self, by the individual living with the disability, as well as community acceptance.

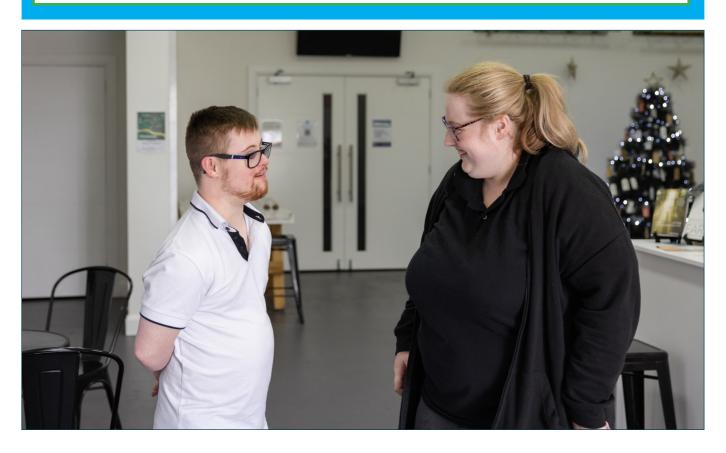
#### What does an inclusive community look like to you?

The environment has an impact on the experience and extent of disability.

Among other things, an inclusive community may include:

- accessibility of the built environment and transport
- signage for sensory impairments
- accessible health, education and support services
- opportunities for work & employment for persons living with disability

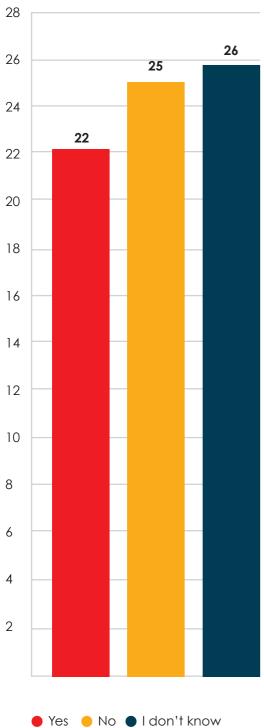
In addition to the environment, positive and accepting attitudes contribute toward making an inclusive community.

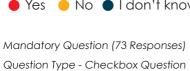






# DO YOU THINK A PERSON LIVING WITH DISABILITY IN BATHURST CAN ACCESS SUITABLE WORK OR VOLUNTEERS OPPORTUNITIES IF THEY WANT TO?

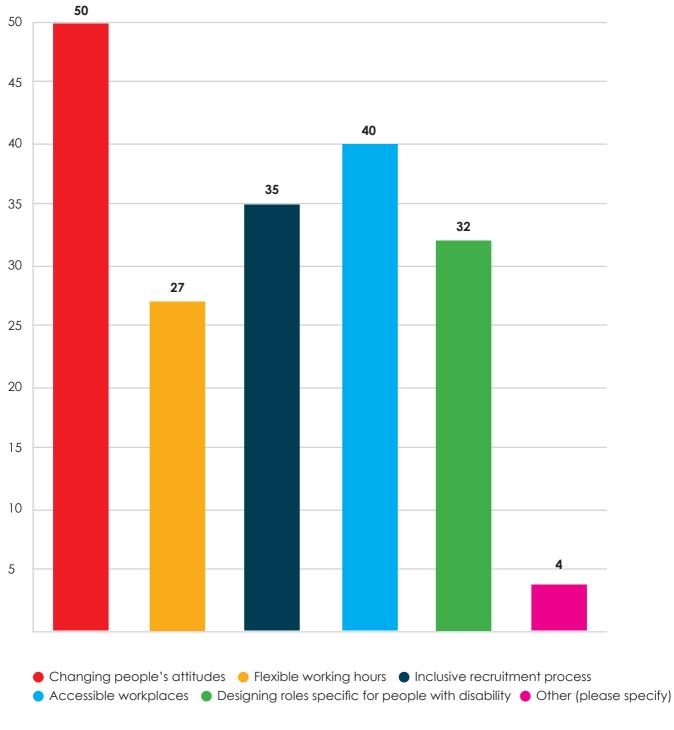








# WHAT IS NEEDED TO IMPROVE EMPLOYMENT OPPORTUNITIES FOR PEOPLE LIVING WITH DISABILITY? (select three)



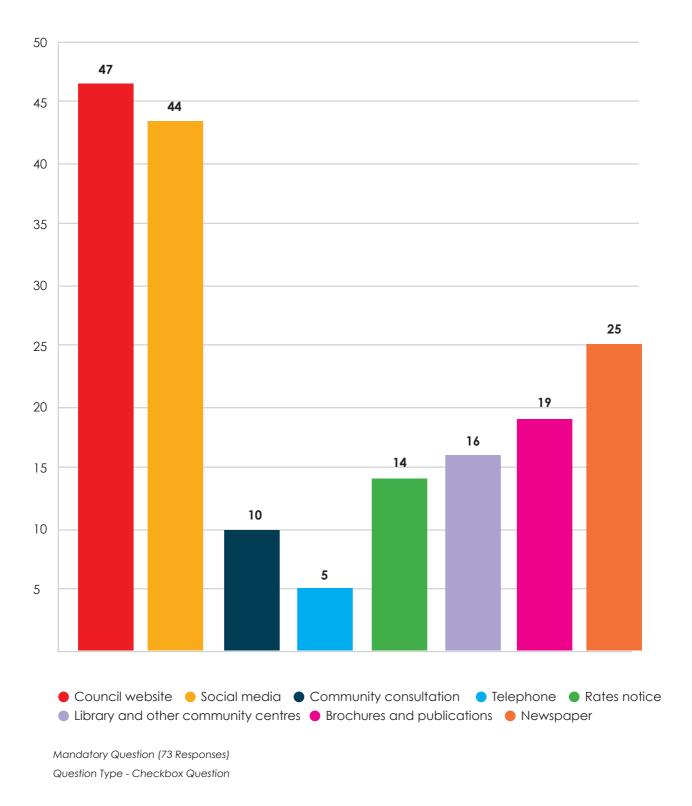
Mandatory Question (73 Responses)

Question Type - Checkbox Question





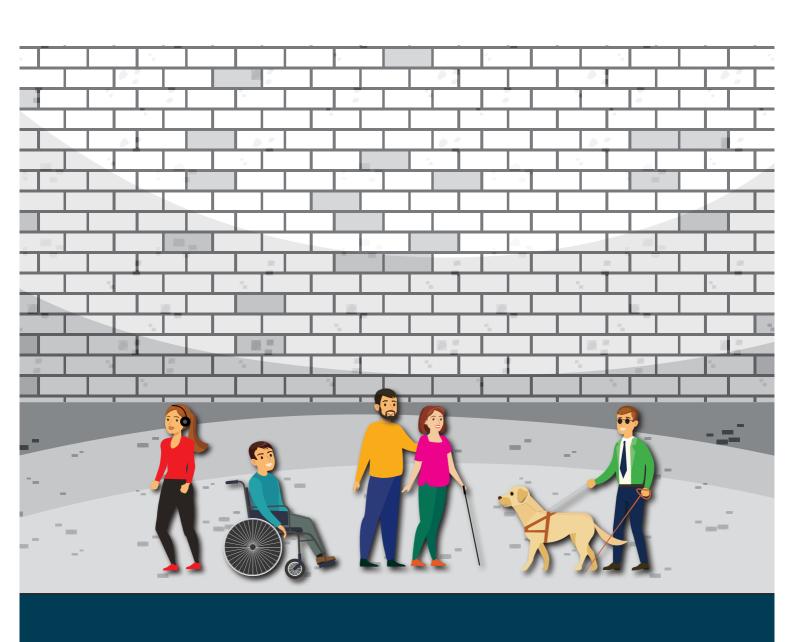
# WHERE DO YOU GET YOUR INFORMATION ABOUT COUNCIL AND ITS SERVICES, FACILITIES AND ACTIVITIES? (tick all that apply)















Our disability plan.

**Bathurst Regional Council.** 

2022 to 2027.



We thank the Aboriginal people in Bathurst.



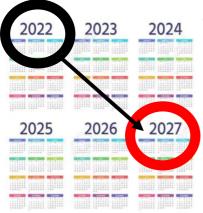
We have a new disability plan.

We call it the DIAP. Its long name is the

Disability Inclusion Action Plan.

The plan helps to make our community

- safe to use
- easy to use.

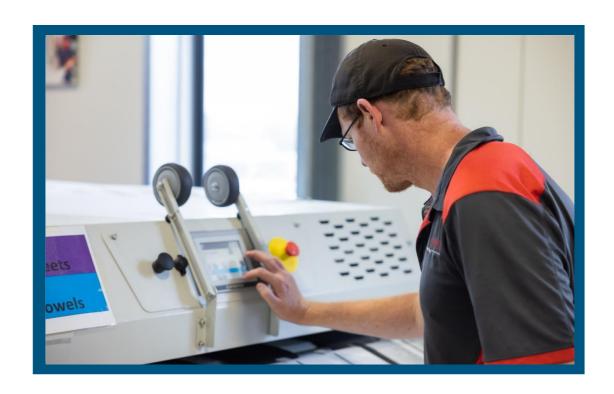


Our new plan is for 5 years.

It starts in 2022.

It ends in 2027.

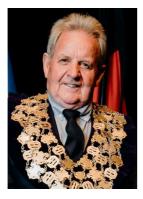






I am David Sherley.

I am the General Manager of
Bathurst Regional Council.



I am Robert Taylor. I am the Mayor of Bathurst Regional Council.



Council talked to lots of people.



They all helped to make the new disability plan.

4



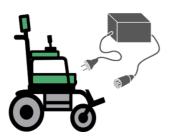
Council made lots of changes.

It was part of our last plan. It was 2017 to 2022.

These are some of the things we did.



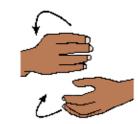
The Winter Festival. People with disability had jobs at the Winter Festival.



You can charge your electric wheel chair when

you are out. Like

- outside the library
- at the Visitor Information Centre.



We use sign language in story time.

It is at Bathurst Library.



### People with disability

### in Bathurst

Lots of people have a disability.



Lots of people need help each day.

It is for **all** the things they do.



You help a person with a disability.

We call you a carer.



1 in 10 people are carers.



You are more than 65 years old.

1 in 2 older people have a disability.



3 in 5 people with disability stopped study at the end of school. You want to learn more.



4 in 5 people with a disability have a job.

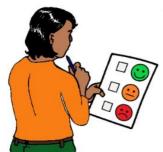


2 in 5 people with a disability need more money.

7



# We talked to lots of people



Council asked questions. It was about how you use the community. We asked

- you
- people who help you.



We talked to the services you work with.



Council staff had meetings. They talked about

- the plans
- ideas for change.



# Read about some people with disability



I am Charlotte. I like

- drama
- dance.



I am training my dog. Some times I worry.

My dog helps me feel OK.



I am just a normal kid.

I want to be seen the same as other kids.



I am Lara. I like to eat out with

- my family
- my friends.



People with a disability can find it hard to

go places

#### and



get a job.



We need to feel part of the Bathurst area.

Like at the ice skating rink.

It was at the Winter Festival.



I am Bob. I like Bathurst. I use my wheel chair

- in town
- in bush areas.

There are great parks in Bathurst.



The best community has

- buildings each person can use
- events we can all join in
- shops we can all use.



I call to check I can get my wheel chair in.

I do **not** like that I need to do that.



I am Isaac. I like

- flying lessons
- to drive my car
- gardening.



I work at Café on Corporation. I love

- to help people
- to make food.



People with disability are all different. We have

• lots of different skills





different things we like to do.



I am Reggie. I love

• to play sports

#### and

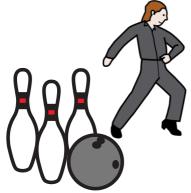
• to be with my best friend.



I like my work at Glenray laundry.

I like to go in the truck. We drive to

- Orange
- Mudgee.



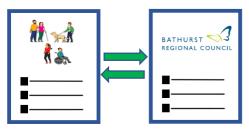
I am good at

- dancing
- bowling.

I make my friends laugh.



### Our disability plan



We looked at other Council plans.

Our disability plan must have the same goals.



We have 4 big goals.



1. The community knows about disability.



2. People with disability have jobs.



- 3. Your community is
  - easy to use
  - safe to use.



4. You have better access to services.



### 1. The community knows about disability

Council will help people learn about disability.

We will have training for Council staff.



We will tell people about disability.





# 2. People with disability have jobs



We will think about how people with disability can work for Bathurst Council.



Council will talk to businesses. It is about how to have people with disability in the work place.



- 3. Your community is
  - easy to use
  - safe to use



## Council will

- make Council places easy to use
- make some quiet spaces you can use
- have more toilets that are



- clean
- easy to use.



Council will make it easy to go to events. Like

- we take ramps to each event
- we help you to use the ice rink at the Winter festival.

18



We want to make the Bathurst area

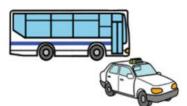
easy to use. Like

- better lights
- safe paths.



We plan to have

- more disability parking spaces
- easy to use play grounds
- easy ways for you to go places.



There are new homes. It is in a new area.

We want it to be easy to use. There are plans for

- how you can go places
- buildings
- foot paths.

19



# 4. You have better access to services



We plan to make council information

• easy to find

and

easy to use.





Council will have information for you.

We will tell you about services you can use.



## Council will

- listen to people with disability
- tell you about our plan.



## Council will check the plan

Council will check the goals each year.



We will write a report each year.

The reports will be on the Council website.



Council will still talk to

- people with disability
- services.

We want to know what you think.



We will make a new plan in 2027.

21







Come to see us.

158 Russell Street Bathurst.



Email council@bathurst.nsw.gov.au

## **Images**



We have used images from

- ChangePeople
- Picto-selector
- TheNounProject
- Tobii-Dynavox.

Photos from Bathurst Regional Council



This fact sheet is based on the Bathurst Regional Council Disability Inclusion Action Plan.

2022 - 2027



Access Easy English wrote the Easy English.

March 2022.

## **Draft Disability Inclusion Action Plan 2022 - 2027**

## **Public Exhibition Comments**

Comment	Changes to Strategy
It is mostly inclusive of Council assets.	No change to Plan.
I cannot see anything specifically regarding the Mt. Panorama Motor Racing Precinct.	
It all looks good on paper, but are all these things going to be actioned? The Liberty Swing not being placed in the Adventure Playground is absolutely disgraceful. Even though my 2 sons with special needs won't need to access it, I know so many other special needs kids are missing out on the enjoyment of it. Also having access to toilets to change nappies/pull ups on our older kids that aren't toilet trained, is an absolutely essential need for so many members of our community, including one of my sons. Imagine trying to change a soiled nappy/pull up on an 18 year old, in a tiny toilet cubicle. It's bloody hard. Add to that a wheelchair, trying to manoeuvre that, as well as a young adult, that doesn't aways follow instructions, because of their disability. Sometimes they aren't capable of helping because of their disability. It's usually easier for us to stay home because there aren't any facilities to accommodate this basic human need. Something needs to be done to fix this situationnot just place one in town, but several, in various parts of the community.	No change to Plan.
I don't think you asked a wide enough variety of people with disability. You need to ask the families and carers of the kids/adults that cant speak for themselves, like my youngest son, who is non-verbal, what will work for people with disabilities. Some of us aren't able to come to meetings because of our roles as carers. The majority of us have other kids we care for, some of us have to work, some of us are caring for our elderly parents, some of us have our own health issues. Something needs to be done to include ALL people with disability, its also exhausting, heart breaking and soul destroying. We see, do and hear things that no parent should have to deal withbut we do, because that's our job as a parent. All we ask for is inclusion, not just for our kids, but for us as well.	
I see the plan mentions more toilets but no mention of an accessible change room. I know we are not the only ones in Bathurst that would utilise such a facility.	No change Plan.
As far as Im aware, there are no such facilities in Bathurst and I wouldn't be surprised if there were none this side of the Blue Mountains.	
Currently, if we are down the street and my son needs a nappy change (14 years old and weighing 50+ kg) I have two options, lay	

him on the floor of a public toilet which is extremely unhygienic, it also dehumanises both my son and also me but it also causes injuries to myself as a carer for my son (Im currently recovering from two recent shoulder reconstructions), or the other option is to take him home to change him... a 10km trip.

Similarly, if my son is out with carers, it means I must stay at home, should they urgently need to return to home to change him... this may not sound like much, but put yourself in my shoes, you only get a few hours of respite a fortnight, but that time must be spent at your house because Council cant provide a basic facility for members of its community.

We are not the only ones in this boat.

Overall, the plan is comprehensive. I would request that there is greater information included relating to the Social Model, rather than the Medical Model of disability.

I understand that focusing on Ability not Disability has been a popular part of this model for sometime, however, is no longer seen as the most contemptuous view in most disability circles. Minimising focus on disability leads people to believe that disability in itself is a negative or problematic thing (it isn't, but lack of accessibility is). Recognition of Disability enables us to have our needs met and also lends itself to a sense of community and Disability Pride.

Another area I would like to see more thoroughly addressed would be Ableism, the different way this may present (through blatant and overt means, systemic ableism, microaggressions etc) and a language guide to assist every resident with reducing their contribution to this issue.

Overall, good work – I hope this increases accessibility and inclusion in our region.

I approve of the pledge for the implementation of new recruitment software wholeheartedly. Curious to know why it is the 'LiveBetter' participants that will secure paid work. It seems to me that not all PWDs are with LiveBetter or any organisation in fact. I have two children with disabilities, on adult male with intellectual and one teenage female with physical disability. My concern is not with my older son who is too old now to participate in employment, but my lass is my huge concern. Future employment for a bright beautiful and intelligent person in a power chair will be the challenge.

No change to Plan.

Comments added to Council's internal working document for implementation.

No change to Plan.

Comments are based on Disability Inclusion Action Plan 2017 – 2022 actions.

A detailed and informed submission was provided on all actions and will be considered in the implementation of the Strategy.

Minor changes to Plan.

Pg 5 – change definition of Disability Inclusion Act 2014 to "The Disability Inclusion Act 2014 defines disability as a long-term physical, psychiatric, intellectual or sensory impairment that in interaction with various barriers, may hinder the person's full effective participation in the community on an equal basis with others".

Pg 5 – Change second dot point to "Fundamental right for all people irrespective of age, race, gender or religion".

Pg 6 – Included reference to Sofala Memorial Hall and accessible parking map.

Pg 20 – Wording changed to read "...can be resourced using Council's existing annual operational budget..."

Pg 20 – Wording changed to read "The General Manager and Senior Management Team will sponsor, promote and ensure the implementation of the Plan".

Formatting concerns and typos were also addressed.

#### Attachment 8.5.1.4

Bob Triming 10 Mckenzie Place Bathurst NSW 2795

**ADVOCATE** FOR OVER 14 YEARS





Thursday, 26 May 2022

**David Sherley** General Manager, **Bathurst Regional Council Bathurst NSW 2795** 

#### Re - Draft D.I.A.P., suggestions

#### Mr. Sherley,

As stated by me at the Council General meeting public forum on Wednesday 18<sup>th</sup> May 2022 I stand by comments that the draft D.I.A.P., (DIAP) is certainly a massive improvement over the first plan. At the time obviously I and everyone else thought the first plan ended up to be excellent and some of us said so. This current draft for the new DIAP has to have total appreciation and congratulations given to the team members who formulated it. Just because I am making several suggestions based on my experience in disability advocacy and also having made numerous suggestions to the first DIAP, this does not detract from the excellence of the draft document.

My wife – Kaye – and I were the only ones from the Central West who attended the meeting at NSW Parliament House on Wednesday 11th March 2020 to participate in the NSW Disability Inclusion Act consultations for people with a disability. This session was attended by several major organisations including The Physical Disability Council NSW, Spinal Cord Injuries Aust., Education Department plus several representatives from the Sydney area. Much was learnt as to the perceived shortcomings of the first attempts at DIAP presentation even though it was acknowledged the first edition of most DIAPS was of a good standard. (Note: a copy of the submission to the NSW Dept. Communities & Justice – statutory review by the PDCN sent to me was forwarded to Council for their information).

Hoping my suggestions are accepted in the spirit they are given. The items in blue are a direct quote from the draft DIAP.

One thing I do note throughout the whole document is the practice of hyphenating words instead of having the whole word on the one line. I point to page 15 – Action 3 – for instance there are nine hyphenated words. Even words such as spaces (spac-es). This makes it extremely hard for the average person to read much less those with vision impairment and or other literacy issues. There is always a way of eliminating this issue by careful formatting.

Regarding the font size for the bulk of the document (not headings) I am unable to determine what size the font is via the draft. Is it 11point or greater?

I acknowledge that the correct style of font suitable for those with vision impairment appears to have been used which is fantastic. (i.e.; not TIMES ROMAN for instance)



#### Page 4: Mayoral Welcome

Whilst I have addressed this statement before via a separate email, and been given an explanation that my concerns were in conflict with the overall public perception that the Bathurst Library and Art Gallery best meets the needs of people living with a disability – I still wholeheartedly dispute this statement being made by the Mayor in an official document that is supposed to reflect positive actions to improve the lives of those with a disability and not just list rhetoric designed to appease the reader. It has been accepted that this facility does not have an appropriate sized accessible toilet that ALL people with a disability can use and not just the lucky few who are able to access the current small accessible toilet.

I do not dispute that this statement was prominent in public surveys. Such surveys are based on individual circumstances and do not take into account circumstances and limitations by others – something which I am always at pains to do in my access advocacy assistance.

I ask that this statement be replaced perhaps with something more appropriate.

#### **Page 5: Introduction**

'The Disability Inclusion Act 2014 defines disability as the long-term physical, mental, intellectual or sensory impairment which in interaction with various barriers may hinder the full and effective participation in society on an equal basis with others.

This is an incorrect quote. The correct quote says, '...disability includes a long-term physical, psychiatric, intellectual or sensory impairment that, in interaction with various barriers, may hinder the person's full and effective participation in the community on an equal basis with others.'

The reason the word 'includes' is so important is because a disability can also be short-term as per the Disability Discrimination Act 1992 (DDA) which states: '...The DDA covers people who have temporary and permanent disabilities...'

The words '...sensory impairment which in interaction with various barriers may hinder...' reads differently in the draft DIAP due to the replacement of the word 'that' after impairment and the removal of two commas as depicted in the correct quote.

I appreciate the third paragraph on page 5 refers to both temporary and long-term disability.

Page 5: Paragraph 4. Council's DIAP is developed in line with the NSW Disability Inclusion Act 2014 and is underpinned by the following principals which support the United Nations Convention on the Rights of Persons with Disabilities (2006)

I am surprised at the reference to the United Nations Convention with zero mention of the Australian DDA which more clearly defines one's rights in Australia. I ask that the DDA be included in this particular reference.

I consider that the second dot point should include the words 'Fundamental rights for all people irrespective of age, race, gender or religion. (reason is because the U.N. Convention has whole paragraphs devoted to Women, children etc.).



#### Page 5: Why is Inclusion so important?

Second dot point '...families and the brooder community...' perhaps should read as '...broader community...'

Fourth dot point is excellent but I suggest it should read '...expanding their customer base...' instead of '...expanding their business reach.' I also think it should continue with a reference to appearing OH. & S. requirements.

#### Page 6: Key Achievements...

I think Council has shortlisted their achievements on this page. I also think there are so many more achievements that there should have been two pages devoted to this as it is important.

Third dot point could be re-worded to read 'Bathurst Winter Festival Accessibility and special Accessibility Day. (reason – the whole of the festival has improved greatly for access since its inception)

The dot point referencing upgrades to BVIC & NMRM could include upgrade to access to the Sofala Memorial Hall. (reason – I cannot see many references to villages on this page)

The dot point referencing purchase of portable ramps for use at events should also include the words 'and the ANZAC Day march'. (the word ANZAC is written with all capitals)

The dot point referencing Accessible Bathurst should include a reference to an updated accessible parking map.

(note all these suggestions for page 6 are done so as to be included on the one page as currently designed)

#### Page 16: Item 'F'.

Simple typo: As required is not only unnecessarily hyphenated but there is no space between the words As & required.

#### Page 20: Resourcing

I suggest this should read '...can be resourced using Council's existing annual operational budget...'.

Reason: It currently appears to mean that the current existing operational budget will be used for resourcing funds.

#### Page 20: Governance

The term: 'The General Manager and the Senior Management Team will sponsor and promote the plan' seems a bit of a weak commitment to governance to me. Considering the G.M's welcome on page four states in part '...Council will undertake to improve access and inclusion...', perhaps words similar to: ...<u>and ensure implementation of the plan</u>... could be added which would intimate Council is really committed?



#### Overall plan:

One of the main items I took away from the Sydney DIAP review meeting was that more firm designated timelines need to be adopted. Terms for Timelines should have limited reference to 'Annual' or 'As required'. I do appreciate these terms may apply to some line items but not all. The Improvement to equitable access to Council owned premises should perhaps list those premises of Council that are deficient in their access and have a definite time frame as to when those assets will be remediated.

For instance, there is no reference to the council owned old Tourist Hotel property which contains retail stores.

I recognise that Disability is an evolving concept and demands regular change but it is an action plan and should result in positive timelines.

In summing up, the amount of time and effort put into the formulation of DIAPs by Council would be quite costly to the budget bottom line. I ask that Council pursue the State Government urging them to adopt recommendation 22 of the Physical Disability Council of NSW submission to the NSW Department of Communities & Justice dated 30<sup>th</sup> March 2020 which recommends 'That the State Government increase local government funding and ensure that departments are sufficiently resourced to prepare and implement DIAPS.'

Finally, I would like to thank the team at Cultural & Community Services for their amicable responses whenever I contacted them to ask questions whilst preparing my submission and in appreciation of the huge amount of work this draft DIAP would have been lumbered on them.

Once again – a very good draft document which will be become even better if the relevant submissions of those who have taken the time and effort to respond are accurately taken into account.

If your team require any clarification, please do not hesitate to contact me. I will be absent from Bathurst until 6<sup>th</sup> June.

Thank you!

**Bob Triming** 

**Disability Access Advocate** 



## 7.5.2 TOURISM INDUSTRY ENGAGEMENT

FRAMEWORK

File No: 20.00299

**MINUTE** 

**RESOLUTION NUMBER: ORD2020-182** 

MOVED: Cr I North SECONDED: Cr J Jennings

**RESOLVED:** 

That Council note the expanded approach to tourism industry engagement.

# 7.5.2 TOURISM INDUSTRY ENGAGEMENT FRAMEWORK

File No: 20.00299

#### **RECOMMENDATION:**

That Council note the expanded approach to tourism industry engagement.

#### **BACKGROUND**

In 2015 the Tourism Reference Group (TRG) was established as a skills-based group of professionals from the diverse sectors of the visitor economy across the Bathurst region. Convened and chaired by Bathurst Regional Council, the Group provided strategic advice, updates from members, acted as an advocacy group to industry and provided industry specific advice to Council.

The TRG was the only cross sector group within the Bathurst region visitor economy. The TRG was intended to provide direct feedback from industry to inform decision making and guide the implementation of the priority actions of the 2015 Destination Management Plan. The formation of the group was the first priority item identified in this former Destination Management Plan and was a response to sentiment from industry that such a group was essential.

The term of the previously appointed group expired in December 2020. An initial call for expressions of interest from industry representatives in November/December of 2020 to constitute a new Group attracted limited responses. This was considered an indication that the industry is broadly comfortable in the leadership being displayed by Council in contrast to the last process in 2015, and that it was timely to consider a new working arrangement between Council, acting through the Bathurst Visitor Information Centre (BVIC) as the Destination Marketing Organisation (DMO) for the region, and the regional tourism industry.

#### **REPORT**

The Bathurst Region Destination Management Plan 2019-2024, adopted by Council on 11 December 2019 (DCCS Report #8.5.2), contains four overarching strategic priorities of which Priority Three is "Capacity Building and Collaboration". Whilst the Tourism Reference Group established a collaboration between local government and the private sector, it did not establish an adequate model through which the DMO could develop a comprehensive capacity building program informed by the needs of the industry.

The Bathurst Visitor Information Centre has recently developed a number of additional resources to increase engagement and to provide information and sector building tools to the regional tourism industry. Foremost amongst these are the development of a new Industry focused website <a href="https://www.bathurstregiontourism.com">www.bathurstregiontourism.com</a> which provides updated business advice, campaign information, reporting and statistics as well as the introduction of regular industry newsletters which have been well received and of demonstrated value

particularly throughout the uncertain climate created by the COVID-19 outbreak.

To fully implement the strategic intent of the Destination Management Plan a broader approach to industry engagement is required. This approach is proposed to constitute three elements:

#### 1. Industry Networking and Cohesion

The formalisation of the previously intermittent industry networking events through BVIC. A structured calendar of such gatherings was being developed prior to the COVID 19 outbreak. The advantages of these gatherings are increased coherence and collaboration between industry partners and opportunity for a rotating program of presentations to communicate the activities of the DMO and the advantages and opportunities for engagement and participation in ongoing marketing and public relations activities amongst industry members.

#### 2. <u>Sector Based Reporting</u>

The Bathurst Visitor Information Centre will seek to create an annual State of the Industry report based upon input from primary sectors of the Bathurst region visitor economy. Action 3.5 of the DMP requires an annual report of the industry and this activity will provide the data for that report and continue to fine tune the direction of Council activity and update the DMP. This would, in turn, be reported to the Council.

These reports will be compiled by the industry with assistance provided by the Council Tourism team. These reports will represent the views, challenges and requirements of the sectors. BVIC will facilitate industry led consultation within each specific sector area in the preparation of a sector-focused final report.

BVIC will have corresponding requirements to research and report on potential funding, broader industry trends and macrotrends and opportunities. This will further include creating a simple and reliable dashboard to evaluate outcomes and visitation trends including appropriate KPIs and producing the regional annual report showcasing visitor statistics, industry trends and economic data. This high-level report will lead to increased outcomes beyond dialogue between DMO and Industry. Central to this will be identifying the often-differing requirements of each sector area which will better allow the DMO to effectively allocate resources to the areas where it will have the most impact both in a marketing and a capacity building context. This will facilitate advocacy for the regional tourism industry, as well as better defining the role that Council is playing and should undertake in its ongoing growth and development.

An annual public meeting of industry will be called so sector leaders can present their reports.

#### 3. Capacity Building

Informed by the consultation and reporting outlined in point 2, BVIC as the DMO will provide a calendar of industry and product development workshops, including working with Destination NSW and Destination Network Country & Outback to ensure maximum funding opportunities are available for Bathurst. A key initial consideration will be building the digital capacity of operators and enhancing the industry's digital footprint.

This three-tier system represents an effective feedback process and constructive engagement between Council and the tourism industry and will allow delivery of several of the action items as defined under Strategic Priority Area Three of the Bathurst Region

Destination Management Plan 2019-2024.

#### FINANCIAL IMPLICATIONS:

There are no financial implications resulting from this report.

# BATHURST COMMUNITY STRATEGIC PLAN – OBJECTIVES AND STRATEGIES:

- Objective 1: Our sense of place and identity.
- Strategy 1.1 Respect, protect and promote the region's Aboriginal heritage assets.
- Strategy 1.2 Protect, enhance and promote the region's European heritage assets and character.
- Strategy 1.3 Enhance the cultural vitality of the region.
- Objective 2: A smart and vibrant economy.
- Strategy 2.1 Support local business and industry.
- Strategy 2.6 Promote our City and Villages as a tourist destination.
- Objective 6: Community leadership and collaboration.
- Strategy 6.1 Communicate and engage with the community, government and business groups on important matters affecting the Bathurst region.
- Strategy 6.5 Be open and fair in our decisions and our dealings with people.

#### **COMMUNITY ENGAGEMENT:**

01 **Inform** - to provide the public with balanced and objective information to help them understand the problem, alternatives, opportunities and/or solutions.

#### ATTACHMENTS:

Nil



## VISION

## A place:

- where regional, remote, metropolitan and international artists and community members gather to develop exceptional performing arts ventures.
- where regional location inspires transformational performing arts practice.
- to focus, dream, share and be inspired.
- which places the Bathurst Region at the centre of international performing arts incubation

## PREAMBLE - FROM THE BATHURST CULTURAL VISION 2036

"The Council-owned and operated Chifley Dam facility, some 20 kilometres south of Bathurst on the edge of the town's main water supply storage, offers an opportunity to add value and productivity to a significant Council asset while developing a nationally important facility and program in the performing arts at low cost.

The proposal is to construct a versatile, purpose built, rehearsal and fabrication studio with on-site group catering facilities. This space, along with the existing cabin accommodation, can be made available for performing arts companies nationally for residential rehearsal and development periods to create and develop new performing arts projects."



PROPOSED BARN SITE

- Construction of the BARN facility has been costed by Quantity Surveyors at \$4.8 million.
- The project has progressed through the Create NSW Creative Capital Expression of Interest phase and now awaits the result of the final funding round.
- Bathurst Regional Council has committed land for the build and access to the existing cabin accommodation.
- 52 letters of support have been provided from across the nation from individuals, the small to medium sector and major performing arts organisations.

### OBJECTIVE OF THE BARN PROJECT

"To develop the full potential of a Performing Arts Residency Program by constructing a multi-purpose workshop space with on-site group catering facilities for residencies by local, national and international performing arts groups and individuals at the Ben Chifley Dam.

#### This strategy will:

- a. develop an internationally recognised centre for the development of new arts content;
- b. maximise the potential of the existing residential cabin accommodation;
- c. provide affordable on-site accommodation during the residency period;
- d. provide a flexible rehearsal/performance space suited to a wide range of performing arts styles:
- e. ensure the facility will have the potential for use by non-performing arts activities when not used for its primary function."

# MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD ON Tuesday 7 June 2022

#### 1. MEETING COMMENCES

#### MINUTE

Meeting commenced at 2.05pm

<u>Members</u>: Clr Warren Aubin - Microsoft Teams- joined the meeting at 2.11pm (BRC), Mr David Veness (MP Representative), Joshua Marsh (NSW Police), Mr Wayde Hazelton (Transport for NSW)

<u>Present</u>: Mr Bernard Drum (Acting Chair - Manager Technical Services - BRC), Mayor Robert Taylor (BRC), Mr Myles Lawrence (Civil Investigation Team Leader - BRC), Mr Paul Kendrick (Traffic and Design Engineer - BRC)

#### 2. APOLOGIES

**MINUTE** 

**RESOLVED:** 

Nil

#### 3. REPORT OF PREVIOUS MEETING

#### 3.1. REPORT OF PREVIOUS MEETING

File No: 07.00006

MINUTE

**RESOLVED:** 

That the Minutes of the Traffic Committee held on 3 May 2022 be adopted.

#### 4. DECLARATION OF INTEREST

#### **Declaration of Interest**

**MINUTE** 

**RESOLVED:** That the Declaration of Interest be noted.

Nil

#### 5. RECEIVE AND DEAL WITH DIRECTOR'S REPORTS

# 5.1.1. MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD 3 MAY 2022

File No: 07.00006

**MINUTE** 

**RESOLVED:** 

That the information be noted and necessary actions be taken.

5.1.2. 2022 BATHURST WINTER FESTIVAL - AMENDMENTS

File No: 23.00152

MINUTE

**RESOLVED:** 

That the proposed amendments to the 2022 Winter Festival traffic management be approved, subject to conditions as detailed in the Director Engineering Services' Report.

5.1.3. FREEDOM OF ENTRY TO THE CITY MARCH

File No: 23.00119

MINUTE

**RESOLVED:** 

That the Freedom of Entry to the City March to be held in Kings Parade on Saturday 15 October 2022 be classified as a Class 2 event, and the traffic management for this event be approved, subject to conditions as detailed in the Director Engineering Services' report.

#### 6. TRAFFIC REGISTER

#### 6.1. TRAFFIC REGISTER

File No: 07.00006

**MINUTE** 

**RESOLVED:** 

That the information be noted.

### 8. MEETING CLOSE

#### MINUTE

The Meeting closed at 2.14pm.

# MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD ON Tuesday 5 July 2022

#### 1. MEETING COMMENCES

#### **MINUTE**

Meeting commenced at 2.14 pm.

<u>Members</u>: Clr Warren Aubin - Microsoft Teams (BRC), Daniel Cooper (NSW Police), Mr Wayde Hazelton (Transport for NSW) Absent from meeting - Electronic comments provided.

<u>Present</u>: Mr Bernard Drum (Acting Chair- Manager Technical Services BRC), Mayor Robert Taylor (BRC), Mr Myles Lawrence (Civil Investigation Team Leader), Mr Paul Kendrick (Traffic and Design Engineer - BRC)

#### 2. APOLOGIES

#### **MINUTE**

#### **RESOLVED:**

That the apology of Mr David Veness (MP Representative), be accepted and leave of absence granted.

#### 3. REPORT OF PREVIOUS MEETING

#### 3.1. REPORT OF PREVIOUS MEETING 7 JUNE 2022

File No: 07.00006

**MINUTE** 

**RESOLVED:** 

That the Minutes of the Traffic Committee held on 7 June 2022 be adopted.

#### 4. DECLARATION OF INTEREST

#### **Declaration of Interest**

**MINUTE** 

**RESOLVED:** That the Declaration of Interest be noted.

Nil

#### 5. RECEIVE AND DEAL WITH DIRECTOR'S REPORTS

# 5.1.1. MINUTES OF THE TRAFFIC COMMITTEE MEETING HELD 7 JUNE 2022

File No: 07.00006

**MINUTE** 

**RESOLVED:** 

That the information be noted and necessary actions be taken.

# 5.1.2. STREETS AS SHARED SPACES ROUND 2 - PEDESTRIAN CROSSING ON GEORGE STREET

File No: 16.00181

**MINUTE** 

#### **RECOMMENDATION:**

That a raised threshold marked pedestrian crossing be installed at the existing George Street mid-block pedestrian refuge (located near Machattie Lane) for a 12-month trial period, subject to conditions as detailed in the Director Engineering Services' report.

#### **RESOLVED:**

That a raised threshold marked pedestrian crossing be installed at the existing George Street mid-block pedestrian refuge (located near Machattie Lane), subject to the following conditions:

- a) That the zebra crossing be designed and built to the appropriate standards
- b) That the recent zebra crossing concept proposal road safety audit recommendations be considered in this design, including:
  - i) Upgrade of lighting at the site
  - ii) Raised threshold construction
- c) That the installation be subject to a 12-month trial, and removed at the end of this period unless otherwise approved.

## MOVED: Wayde Hazelton (Transport for NSW) SECONDED: CI Warren Aubin (BRC)

# 5.1.3. BATHURST INTERNATIONAL - OFF-TRACK EVENT

File No: 04.00148

**MINUTE** 

#### **RESOLVED:**

That the 2022 Off-Track Event complementing the Bathurst International, to be held in Bathurst from Thursday 10 November 2022, be classified as a Class 2 event and the Traffic Management Plan for this event be approved, subject to conditions as detailed in the Director Engineering Services' report.

#### 5.1.4. 2022 REPCO BATHURST 1000

File No: 04.00001

**MINUTE** 

#### **RESOLVED:**

That the 2022 Repco Bathurst 1000 and associated off-track events be classified as Class 2 events, and traffic management be approved subject to conditions as detailed in the Director Engineering Services' report.

#### 5.1.5. BUS ROUTE SIGNAGE - WIMBLEDON ROAD

File No: 25.00447/083

**MINUTE** 

#### **RESOLVED:**

That Council approve the installation of "School Bus Route" signage on Wimbledon Road.

#### 6. TRAFFIC REGISTER

#### 6.1. TRAFFIC REGISTER

File No: 07.00006

**MINUTE** 

#### **RESOLVED:**

That the information be noted.

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### **MINUTE**

The Meeting closed at 2.29 pm.